

MONTEREY COUNTY PLANNING COMMISSION

Meeting: February 27, 2013 Time: 9:00 a.m.	Agenda Item No.: 2
Project Description: Consider a Use Permit to allow the rehabilitation of existing structures at the Mission San Antonio de Padua to include seismic retrofits, infrastructure upgrades, ADA access improvements, drainage modifications, replacement of deceased landscaping vegetation and the removal of a non-protected redwood tree.	
Project Location: Within U.S. Army Garrison Fort Hunter Liggett, at the northern terminus of Mission Road, Jolon.	APN: 201-021-002-000
Planning File Number: PLN120417	Owner: Roman Catholic Bishop of Monterey Agent: Brett Brenkwitz
Planning Area: South County Area Plan	Flagged and staked: No
Zoning Designation : "PQP-HR" [Public/Quasi-Public – Historic Resource]	
CEQA Action: Exempt per 15331 (Historical Resource Restoration/Rehabilitation)	
Department: RMA - Planning Department	

RECOMMENDATION:

Staff recommends that the Planning Commission adopt a resolution (**Exhibit C**) to:

- 1) Find the project CEQA Exempt per 15331; and
- 2) Approve a Use Permit to allow the rehabilitation of existing structures at the Mission San Antonio de Padua to include seismic retrofits, infrastructure upgrades, ADA access improvements, drainage modifications, replacement of deceased landscaping vegetation and the removal of a non-protected redwood tree. , based on the findings and evidence and subject to the conditions of approval (**Exhibit C**);

PROJECT OVERVIEW:

The Roman Catholic Bishop of Monterey, as overseers of the Mission San Antonio, are seeking approval for a multi-phased effort to restore, repair and further protect the historically significant Mission structures. An approved Use Permit will be required for the project, which is located within a Historic Resource (HR) district, pursuant to Monterey County Code 21.54.080.

OTHER AGENCY INVOLVEMENT: The following agencies and departments reviewed this project:

- √ RMA - Public Works Department
- √ Environmental Health Bureau
- Water Resources Agency
- √ Fort Hunter Liggett Fire Department
- Parks Department

Agencies that submitted comments are noted with a check mark ("√"). Conditions recommended by the RMA – Public Works Department, Environmental Health Bureau and Fort Hunter Liggett Fire Department have been incorporated into the Condition Compliance/Mitigation Monitoring and Reporting Plan attached to the draft resolution (**Exhibit C**).

The project was reviewed by the South County Land Use Advisory Committee on October 17, 2012. The Committee recommended approval of the rehabilitation project as proposed with a

vote of 4-0. The project was also reviewed by the Monterey County Resources Review Board on September 6, 2012, receiving their approval with a vote of 5-0.

Note: The decision on this project is appealable to the Board of Supervisors.



Steve Mason, Assistant Planner
(831) 755-5228, masons@co.monterey.ca.us
February 13, 2013

cc: Front Counter Copy; Planning Commission; Fort Hunter Liggett Fire Department; Public Works Department; Parks Department; Environmental Health Bureau; Water Resources Agency; Laura Lawrence, Planning Services Manager; Steve Mason, Project Planner; Roman Catholic Bishop of Monterey, Owner; Brett Brenkwitz, Agent; California State Parks Office of Historic Preservation; The Open Monterey Project; LandWatch; Planning File PLN120417

Attachments:	Exhibit A	Project Data Sheet
	Exhibit B	Project Discussion
	Exhibit C	Draft Resolution, including:
		• Conditions of Approval
		• Rehabilitation Plan: Site Plan, Floor Plan and Elevations,
	Exhibit D	Vicinity Map
	Exhibit E	Advisory Committee Notes (LUAC & HRRB)
	Exhibit F	Historical Photographs and Site Photographs
	Exhibit G	Secretary of the Interior's Standards for Rehabilitation

This report was reviewed by Taven Kinison Brown, Senior Planner.

EXHIBIT A

Project Information for PLN120417

Project Information:

Project Name:	ROMAN CATHOLIC BISHOP OF MTY		
Location:	TERMINUS OF MISSION RD (FORT HUNTER LIGGETT) JOLON		
Permit Type:	Use Permit		
Environmental Status:	Exempt	Final Action Deadline (884):	3/17/2013
Existing Structures (sf):	46500	Coverage Allowed:	25%
Proposed Structures (sf):	0	Coverage Proposed:	2.7%
Total Sq. Ft.:	46500	Height Allowed:	30'
Tree Removal:	1 - Redwood	Height Proposed:	36' (Legal Non-Conforming)
Water Source:	Public/U.S. Government	FAR Allowed:	
Water Purveyor:	Fort Hunter Liggett Community Services	FAR Proposed:	
Sewage Disposal (method):	Septic	Lot Size:	40
Sewer District:	n/a	Grading (cubic yds.):	0

Parcel Information:

Primary APN:	201-021-002-000	Seismic Hazard Zone:	No Data
Applicable Plan:	South County Area Plan	Erosion Hazard Zone:	Low
Advisory Committee:	South County LUAC	Fire Hazard Zone:	No Data
Zoning:	PUBLIC/QUASI-PUBLIC & HISTORIC RESO	Flood Hazard Zone:	FEMA - "A" (1% annual flood)
Land Use Designation:	PUBLIC/QUASI-PUBLIC	Archaeological Sensitivity:	High
Coastal Zone:	No	Viewshed:	No
Fire District:	Fort Hunter Liggett FPD	Special Setbacks on Parcel:	No

Reports on Project Parcel:

Soils Report #:	LIB120367
Biological Report #:	n/a
Geologic Report #:	n/a
Forest Management Rpt. #:	n/a
Archaeological Report #:	LIB120368
Traffic Report #:	n/a

EXHIBIT B DISCUSSION

Historical Overview

Founded in 1771 by Father Junipero Serra, Mission San Antonio de Padua was the third, chronologically, of California's 21 Missions to be established, following San Diego de Alcalá in 1769 and San Carlos Borromeo de Carmelo in 1770. Construction on the existing mission building began in 1810, after the original Mission site, approximately 1.5 miles to the south, was abandoned due to an unstable water supply. The Mission was eventually host to a population of over 1,300, comprised primarily of local (Salinan) Native Americans, as well as soldiers of the Spanish army, and various representatives of the Catholic Church. The Mission was the site of the first irrigation canal system in California (based on ancient Roman prototypes), and also hosted the first Christian marriage in the State, in 1773.

1834 began the period of secularization. Under the order of Governor Figueroa, the mission was removed from the authority of the Catholic Church and placed under civil jurisdiction. The Mission would be returned to the Church in 1863 by the U.S. Land Commission under the decree of President Lincoln, however, by this time the population of the Mission had dwindled significantly. The Mission would be abandoned entirely by 1883.

By 1900, the Mission structures had fallen in to a state of serious disrepair. Much of the roofing had collapsed and the resultant rainwater infiltration had begun eroding the adobe walls. The north and west wings of the Mission quadrangle had collapsed entirely, leaving the main chapel and the archway-loggia fronting the south wing as the only remaining intact structures. (Note that the walls of the chapel, averaging 5.5 feet in thick at most points, are considerably thicker than the other quadrangle walls which had structurally failed). In 1903, a restoration effort was undertaken by the newly formed California Historical Landmarks League, with the assistance of the Native Sons of the Golden West. Temporary wood roofing was put into place over the main chapel, and repairs were made to its damaged adobe walls.

Religious services at the Mission would resume in 1928, and the Mission would be registered as a State Historical Landmark in 1936. In 1939 the lands surrounding the Mission would be granted to the U.S. government by William Randolph Hearst in order to establish the Fort Hunter Liggett Military Reservation. The lack of development surrounding the Mission due to the presence of the base have resulted in San Antonio as being one of the few Missions which remain located within a primarily rural setting.

In 1948, an ambitious project was undertaken to not only restore the existing Mission structures, but to also reconstruct the Mission's full quadrangle in its original form. The effort was funded largely by the Hearst Foundation and overseen by the Franciscans. New adobe bricks for the walls were re-constituted from the remaining decayed adobe, permanent tile roofing was put in place, and every effort was taken to re-construct the destroyed portions of the Mission according to its original design specifications. The new garage and kitchen extension at the northeast corner of the quadrangle wing was also added at this time, as was a diesel-powered boiler and accompanying boiler chimney at the north end of the chapel building.

The Mission was included on the National Register of Historic Places in 1976, and management of the Mission was turned over from the Franciscans to the Diocese of Monterey in 2005. Presently, the Mission continues to operate as a place of worship, hosting services various

denominations in addition to Catholic masses. The Mission also hosts group retreats, weddings, baptisms, and offers a gift shop and museum for visitors.

Project Description

The restoration/rehabilitation of the Mission will be comprised of the following primary elements:

1. ADA (Americans with Disabilities Act) Accessibility Improvements: An ADA-compliant parking area will be installed in close proximity to the main chapel entrance. Wheelchair-accessible ramps will be installed at the front and side entrances to the chapel. Existing restrooms will be remodeled to meet ADA-accessibility standards.
2. Seismic Retrofit: The front archway-loggia and main chapel walls will be seismically reinforced. 1.5" to 2" cores will be drilled from roof level downward and reinforced with steel rods and cement grout. (See Sheet S3.1 in **EXHIBIT C** Plan Set). Similar seismic upgrades to the north, west and south convento wings (late 1940's construction) may also be implemented on an "as-needed" basis. All of these retrofits will be undetectable from outside view following completion.
3. Drainage Improvements: Copper half-round gutters with downspouts will be installed at roof edges in order to minimize rain runoff deflection on the Mission's exterior walls. These gutters will replace the temporary standard gutters which are already in place at selected areas. With ageing, the copper pipes will take on a patina hue which has been proven as visually compatible with the Mission-type architecture where it has been employed at other Mission sites. An underground drainage system will be installed at the east side of the chapel in order to minimize groundwater collection near the base of the chapel walls. Both of the above-listed measures are intended to minimize water infiltration which has been verified as an ongoing cause of damage to the Mission's adobe walls.
4. Roof Improvements: The roof of the main chapel will be retrofitted with a new plywood diaphragm, center coring and a new waterproof membrane. Broken ceramic tiles throughout the Mission will be replaced.
5. Plaster Replacement: When the Mission was reconstructed and restored in the late 1940's, the original adobe walls of the main chapel were covered-over with a Portland cement-based plaster (with chicken-wire base) in what was intended as a protective measure. Recent structural surveys strongly suggest, however, that this plaster may be responsible for trapping damaging moisture within the walls. The source of the internal moisture is likely the result of groundwater being absorbed into the adobe walls through a process known as "wicking," as well as rainwater splashing onto the exterior face of the walls (Both sources of which are to be addressed through "#3: Drainage Improvements", above). The 1940's plaster will be carefully removed in small selected sample sections in order to gauge the extent of moisture-related damage that has occurred. Strictly on an "as-needed" basis, the cement-based plaster will then be carefully removed and replaced with a lime-based plaster which would better allow the adobe walls to breathe, and hence, minimize ongoing moisture-related damage.
6. Boiler & Chimney: In the 1940's, a diesel-powered boiler was installed in a utility room at the north end of the chapel building. A large chimney was also erected directly above the boiler room at that time. The diesel boiler has recently been replaced with a more efficient propane

powered boiler. The boiler chimney is no longer required, and, as a non-historically significant (and anachronistic) feature, will be removed as a part of this project.

7. Miscellaneous:

- Upgrades to electrical, plumbing and mechanical systems throughout the Mission complex will be undertaken.
- General building fabric wear (cracks, chips, staining, etc.) will be repaired.
- New signage will be installed at the main entrance road.
- Dead and dead/inappropriate vegetation will be removed and/or replaced.
- The museum will be upgraded to incorporate a more interactive approach.

Project Issues

The project coordinator, Franks, Brenkwitz & Associates, have successfully undertaken similar restoration projects, including the San Carlos Cathedral/Royal Presidio Chapel in Monterey, Mission San Juan Bautista and the Carmel Mission. Given their experience, staff considers the restoration effort for Mission San Antonio to be in capable hands. All facets of the restoration project will respect the historical integrity of the structures to the greatest extent feasible.

There will be no foundation work and minimal grading as a part of the project. The drainage trench, described in “Project Description” item #3 (above), will be excavated primarily by hand-tools and with a small mini-excavator. All work requiring sub-surface earth disturbance will be conducted under the strict supervision of both an archaeological consultant and a representative of the Salinan Tribe.

The project will be conducted under the Secretary of the Interior’s Standards for Rehabilitation (**EXHIBIT G**). The project has been brought to the attention of the State Office of Historic Preservation and the National Park Service. The project has also received unanimous approval from both the Monterey County Historic Resources Review Board as well as the South County Land Use Advisory Committee.

Environmental Review

California Environmental Quality Act (CEQA) Guidelines Section 15331 categorically exempts projects limited to maintenance, repair, stabilization, rehabilitation, restoration, preservation, conservation or reconstruction of historical resources in a manner consistent with the Secretary of the Interior’s Standards for the Treatment of Historic Properties.

Recommendation

Staff is recommending approval of the project as proposed.

EXHIBIT C
Draft Resolution
Conditions of Approval
Rehabilitation Plan Set

**EXHIBIT C
DRAFT RESOLUTION**

**Before the Planning Commission in and for the
County of Monterey, State of California**

In the matter of the application of:

ROMAN CATHOLIC BISHOP OF MONTEREY (PLN120417)

RESOLUTION NO. ----

Resolution by the Monterey County Hearing Body:

- 1) Finding the project CEQA exempt per 15331;
and
- 2) Approving a Use Permit to allow the rehabilitation of existing structures at the Mission San Antonio de Padua to include seismic retrofits, infrastructure upgrades, ADA access improvements, drainage modifications, replacement of deceased landscaping vegetation and the removal of a non-protected redwood tree.

[PLN120417, Roman Catholic Bishop of Monterey, Within U.S. Army Garrison Fort Hunter Liggett, at the northern terminus of Mission Road, Jolon, South County Area Plan (APN: 201-021-002-000)]

The Roman Catholic Bishop of Monterey application (PLN120417) came on for public hearing before the Monterey County Planning Commission on February 27, 2013. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Planning Commission finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE:
 - a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 2010 Monterey County General Plan;
 - South County Area Plan;
 - Monterey County Zoning Ordinance (Title 21);No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
 - b) The property is located within U.S. Army Garrison Fort Hunter Liggett, at the northern terminus of Mission Road, Jolon (Assessor’s Parcel Number 201-021-002-000), South County Area Plan. The parcel is zoned PQP - HR, which allows alterations to historic resources with an approved Use Permit pursuant to Monterey County Code 21.54.080.A.

- Therefore, the project is an allowed land use for this site.
- c) The project planner conducted a site inspection on September 14, 2012, to verify that the project on the subject parcel conforms to the plans listed above.
 - d) The project was referred to the South County Land Use Advisory Committee (LUAC) for review. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors per Resolution No. 08-338, this application warranted referral to the LUAC as staff considers the Mission to be a resource of significant local importance to South Monterey County.
 - e) The rehabilitation project, as proposed, will be conducted in a manner consistent with the prescribed guidelines of the Secretary of the Interior's Standards for the Treatment of Historic Properties. Additionally, the work shall conform to the 2010 California State Historical Building Code (CHBC).
 - f) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN120417.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: RMA - Planning Department, Fort Hunter Liggett Fire Department, Parks, Public Works, Environmental Health Bureau, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
 - b) Staff identified potential impacts to Historical and Archaeological Resources. The following reports have been prepared:
 - "Archaeological Considerations, Retrofit/Upgrade at Mission San Antonio de Padua," (LIB120368), prepared by Robert L. Hoover, Ph.D., San Luis Obispo, CA, September 4, 2012.
 - "Hydrogeologic Investigation Report/Mission San Antonio de Padua," (LIB120367), prepared by Jeffrey M. Nolan (Nolan Associates), Santa Cruz, CA, September 12, 2011
 - "Mission San Antonio de Padua Draft Focused Historic Structure Report," (LIB130010) prepared by Architectural Resources Group, San Francisco, CA January 2010

The above-mentioned technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff has independently reviewed these reports and concurs with their conclusions.

- c) Staff conducted a site inspection on September 14, 2012 to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.
- EVIDENCE:**
- a) The project was reviewed by the RMA - Planning Department, Fort Hunter Liggett Fire Department, Parks, Public Works, Environmental Health Bureau, and Water Resources Agency. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities are available.
 - c) Staff conducted a site inspection on September 14, 2012 to verify that the site is suitable for this use.
 - d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN120417.
4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.
- EVIDENCE:**
- a) Staff reviewed Monterey County RMA - Planning Department and Building Services Department records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on September 14, 2012, and researched County records to assess if any violation exists on the subject property.
 - c) There are no known violations on the subject parcel.
 - d) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN120417.
5. **FINDING:** **CEQA (Exempt)** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15331 categorically exempts projects limited to maintenance, repair, stabilization, rehabilitation, restoration, preservation, conservation or reconstruction of historical resources in a manner consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties.
 - b) The project proposes only the maintenance, repair, stabilization, rehabilitation, restoration and preservation of the existing structures at Mission San Antonio de Padua, in compliance with the Secretary of the Interior's Standards for the Treatment of Historic Properties.

- c) No adverse environmental effects were identified during staff review of the development application during a site visit on September 14, 2012.
- d) The project does not fall under any of the criteria which might preclude "Exempt" status, pursuant to CEQA 15300.2 ("Exceptions"); The project will not create an impact within a particularly sensitive environment, will not have a significant cumulative impact or effect on the environment, is not located on a registered Hazardous Waste Site, and will not result in damage to scenic or historic resources.
- e) Staff conducted a site inspection on September 14, 2012, to verify that the site is suitable for this use.
- f) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN120417.

6. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors.
- EVIDENCE:** a) Section 21.80.040.D of the Monterey County Zoning Ordinance states that the proposed project is appealable to the Board of Supervisors.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Planning Commission does hereby:

- 1. Find the project CEQA Exempt per 15331; and,
- 2. Approve a Use Permit to allow the rehabilitation of existing structures at the Mission San Antonio de Padua to include seismic retrofits, infrastructure upgrades, ADA access improvements, drainage modifications, replacement of deceased landscaping vegetation and the removal of a non-protected redwood tree, subject to the attached conditions, all being attached hereto and incorporated herein by reference; and

PASSED AND ADOPTED this 27th day of February, 2013 upon motion of xxxx, seconded by xxxx, by the following vote:

AYES:
 NOES:
 ABSENT:
 ABSTAIN:

 Mike Novo, Secretary, Planning Commission

A COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE [DATE]

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning Department and Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 05-09-2012

Monterey County Planning Department
DRAFT Conditions of Approval/Mitigation Monitoring Reporting Plan
PLN120417

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of the RMA - Planning Department. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled.
(RMA - Planning Department)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"A Use Permit (Resolution Number ***) was approved by the Monterey County Planning Commission for Assessor's Parcel Number 201-021-002-000 on February 27, 2013. The permit was granted subject to 12 conditions of approval which run with the land. A copy of the permit is on file with the Monterey County RMA - Planning Department."
Proof of recordation of this notice shall be furnished to the Director of the RMA - Planning Department prior to issuance of building permits or commencement of the use.
(RMA - Planning Department)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits or commencement of use, the Owner/Applicant shall provide proof of recordation of this notice to the RMA - Planning Department.

3. PD004 - INDEMNIFICATION AGREEMENT

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: The property owner agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the County for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. The County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of property, filing of the final map, whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the County harmless.
(RMA - Planning Department)

Compliance or Monitoring Action to be Performed: Upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, recording of the final/parcel map, whichever occurs first and as applicable, the Owner/Applicant shall submit a signed and notarized Indemnification Agreement to the Director of RMA-Planning Department for review and signature by the County.

Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to the RMA-Planning Department.

4. PD003(B) - CULTURAL RESOURCES - POSITIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: If archaeological resources or human remains are accidentally discovered during construction, the following steps will be taken:
There shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent human remains until:
The coroner of the county in which the remains are discovered must be contacted to determine that no investigation of the cause of death is required, and
If the coroner determines the remains to be Native American:
- The coroner shall contact the Native American Heritage Commission and the RMA – Planning Department within 24 hours.
- The Native American Heritage Commission shall identify the person or persons from a recognized local tribe of the Esselen, Salinan, Costonoans/ Ohlone and Chumash tribal groups, as appropriate, to be the most likely descendent.
- The most likely descendent may make recommendations to the landowner or the person responsible for the excavation work, for means of treating or disposing of, with appropriate dignity, the human remains and any associated grave goods as provided in Public Resources Code Section 5097.9 and 5097.993, or
- Where the following conditions occur, the landowner or his authorized representatives shall rebury the Native American human remains and associated grave goods with appropriate dignity on the property in a location not subject to further subsurface disturbance:
1. The Native American Heritage Commission is unable to identify a most likely descendent or the most likely descendent failed to make a recommendation within 24 hours after being notified by the commission.
2. The descendent identified fails to make a recommendation; or
3. The landowner or his authorized representative rejects the recommendation of the descendent, and the mediation by the Native American Heritage Commission fails to provide measures acceptable to the landowner.
(RMA - Planning Department)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits or approval of Sub. Improvement Plans, whichever occurs first:

The applicant shall submit the contract with a Registered Professional Archaeologist to the Director of the RMA – Planning Department for approval. The requirements of this condition shall be included as a note on all grading and building plans.

5. PD016 - NOTICE OF REPORTS

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: PD016 – NOTICE OF REPORTS
Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states: "The following reports have been prepared for this parcel and are on record in the Monterey County RMA - Planning Department. All development shall be in accordance with these reports:

- "Archaeological Considerations, Retrofit/Upgrade at Mission San Antonio de Padua," (LIB120368), prepared by Robert L. Hoover, Ph.D., San Luis Obispo, CA, September 4, 2012.
- "Hydrogeologic Investigation Report/Mission San Antonio de Padua," (LIB120367), prepared by Jeffrey M. Nolan (Nolan Associates), Santa Cruz, CA, September 12, 2011
- "Mission San Antonio de Padua Draft Focused Historic Structure Report," (LIB130010) prepared by Architectural Resources Group, San Francisco, CA January 2010"

(RMA – Planning Department)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits:
Proof of recordation of this notice shall be furnished to the RMA - Planning Department.

Prior to final building inspection:
Submit proof that all development has been implemented in accordance with the report to the RMA - Planning Department for review and approval.

6. PD032(A) - PERMIT EXPIRATION

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: The permit shall be granted for a time period of 3 years, to expire on February 27, 2016 unless use of the property or actual construction has begun within this period. (RMA - Planning Department)

Compliance or Monitoring Action to be Performed: The applicant shall obtain a valid grading or building permit and/or commence the authorized use to the satisfaction of the Director of Planning. Any request for extension must be received by the Planning Department at least 30 days prior to the expiration date.

7. PDSP01 - ON-SITE MONITORING

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: A qualified archaeologist and a Salinan (Native American) monitor shall be present during all construction activities that involve subsurface disturbance (grading, excavation, plumbing repair, etc.).

Compliance or Monitoring Action to be Performed: As stated in Condition PSDP01 for project PLN120417.

8. PDSP02 - POST-PROJECT ARCHAEOLOGICAL REPORT

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: At the conclusion of the project, a qualified archaeologist shall prepare a report of his findings in the format recommended by the California Office of Historic Preservation, with accompanying maps, diagrams and photographic documentation.

Compliance or Monitoring Action to be Performed: As stated in Condition PSDP02 for project PLN120417.

9. EHSP01 - INSPECT AND LOCATE ONSITE WASTEWATER TREATMENT SYSTEMS (NON-STANDARD)

Responsible Department: Health Department

Condition/Mitigation Monitoring Measure: Submit a pumping report to the Environmental Health Bureau which includes a tank evaluation for each septic tank on the property. Submit a plot plan showing the location of the existing onsite wastewater treatment systems (OWTS) on the property. The map shall include tank locations and existing leachfields.

Compliance or Monitoring Action to be Performed:

- Submit pumping reports that include a tank evaluation for all septic tanks.
- If any structural concerns are found with the septic tanks that pose a public health safety concern, repairs shall be required under permit by EHB.
- Submit a plot plan showing the location of the existing onsite wastewater treatment systems (OWTS) on the property.

10. FIRE014 - EMERGENCY WATER STANDARDS - FIRE PROTECTION WATER SUPPLY - (SINGLE PARCEL)

Responsible Department: Fire

Condition/Mitigation Monitoring Measure: For development of structures totaling less than 3,000 square feet on a single parcel, the minimum fire protection water supply shall be 4,900 gallons. For development of structures totaling 3,000 square feet or more on a single parcel, the minimum fire protection water supply shall be 9,800 gallons. For development of structures totaling more than 10,000 square feet on a single parcel, the reviewing authority may require additional fire protection water supply. Other water supply alternatives, including ISO Rural Class 8 mobile water systems, may be permitted by the fire authority to provide for the same practical effect. The quantity of water required by this condition shall be in addition to the domestic demand and shall be permanently and immediately available. (Fort Hunter Liggett Fire Dept; C/O Cal-Fire)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permit, Applicant shall incorporate specification into design and print the text of this condition as "Fire Dept. Notes" on plans.

Prior to requesting a final building inspection, the Applicant shall complete the installation of the water system improvements and shall obtain fire department approval of the final fire inspection.

11. FIRE023 - FIRE ALARM SYSTEM - (COMMERCIAL)

Responsible Department: Fire

Condition/Mitigation Monitoring Measure: The building(s) shall be fully protected with an approved central station, proprietary station, or remote station automatic fire alarm system as defined by NFPA Standard 72. Plans and specifications for the fire alarm system shall be submitted by a California licensed C-10 contractor and approved prior to requesting a rough sprinkler or framing inspection.
Responsible Land Use Department: Fort Hunter Liggett Fire Department

Compliance or Monitoring Action to be Performed: Prior to issuance of building permit, Applicant shall print the text of this condition on the construction plans.

Prior to requesting a framing inspection, Applicant shall obtain fire department approval of the fire alarm system plans.

Prior to requesting a final building inspection, Applicant shall complete the installation of the fire alarm system, obtain fire department approval of the fire alarm acceptance test and final fire inspection.

12. NON-STANDARD CONDITION - PORTABLE FIRE EXTINGUISHERS

Responsible Department: Fire

Condition/Mitigation Monitoring Measure: Portable fire extinguishers shall be installed and maintained in accordance with California Fire Code Chapter 9 and Title 19 California Code of Regulations. Responsible Land Use Department: Fort Hunter Liggett Fire Department

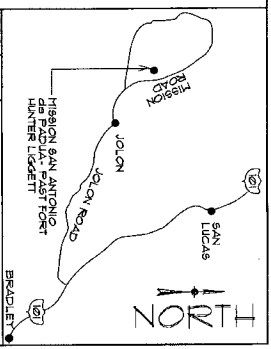
Compliance or Monitoring Action to be Performed: Prior to issuance of the building permit, the Applicant shall print the text of this condition as "Fire Department Notes" on the construction plans.

Prior to requesting a final building inspection, Applicant shall install the applicable portable fire extinguisher(s) and shall obtain fire department approval of the final fire inspection.

MISSION SAN ANTONIO de PADUA

REHABILITATION PROJECT

PO BOX 803
JOLON, CA. 93928



5 NT6 | VICINITY MAP
 PARCEL # 2017071-0071-0000
 ADDRESS: JOLON, CA 93928
 ZONING: ROP-1H
 WATER: FORT HANER LUGGETT
 WASTE: ON-SITE SEPTIC
 PARCEL AREA: 181 ACRES
 PROPOSED PROJECT: REHABILITATION OF EXISTING ON-SITE BUILDINGS INCLUDING SEPTIC RETROFIT, REPAIRS TO EXISTING BUILDINGS, IMPROVEMENTS TO EXISTING DRIVEWAYS, AND ADJACENT SPACES AND THE SOUTH CONVENT LODGE.
 THIS PACKAGE ALSO CONTAINS DETAILED SCHEMATIC DRAWINGS FOR THE PHASE I PROJECT INCLUDING THE CHURCH AND ADJACENT SPACES AND THE SOUTH CONVENT LODGE.

4 NT6 | PROJECT NOTES
 OWNER: DIOCESE OF MONTEREY, A CORP. SOLE
 PO BOX 2046
 MONTEREY, CA 93942
 ARCHITECT: FRANKS BRENKWITZ & ASSOC.
 PO BOX 597
 APTOS, CA 95023
 PRESERVATION ARCHITECT: ARCHITECTURAL RECORDERS GROUP
 1000 MARKET STREET, SUITE 101
 SAN FRANCISCO, CA 94111
 (415) 421-0271
 STRUCTURAL: C. LURER AND ASSOC., INC.
 275 PORTER STREET
 SOCOLL, CA 95073
 LIGHTING/ELECTRICAL ENGINEERING: THOMA ELEC. INC. ENGINEERING
 3562 ERIE LEO STE. C
 (925) 343-3025
 MECHANICAL ENGINEERING: DEYOUNGER MECHANICAL
 4000 S. GARDNER DRIVE
 APTOS, CA 95023
 CIVIL ENGINEER/SURVEYOR: J. J. HARRIS
 1560 19TH STREET
 LOS OSOS, CA 93402
 (805) 528-5233

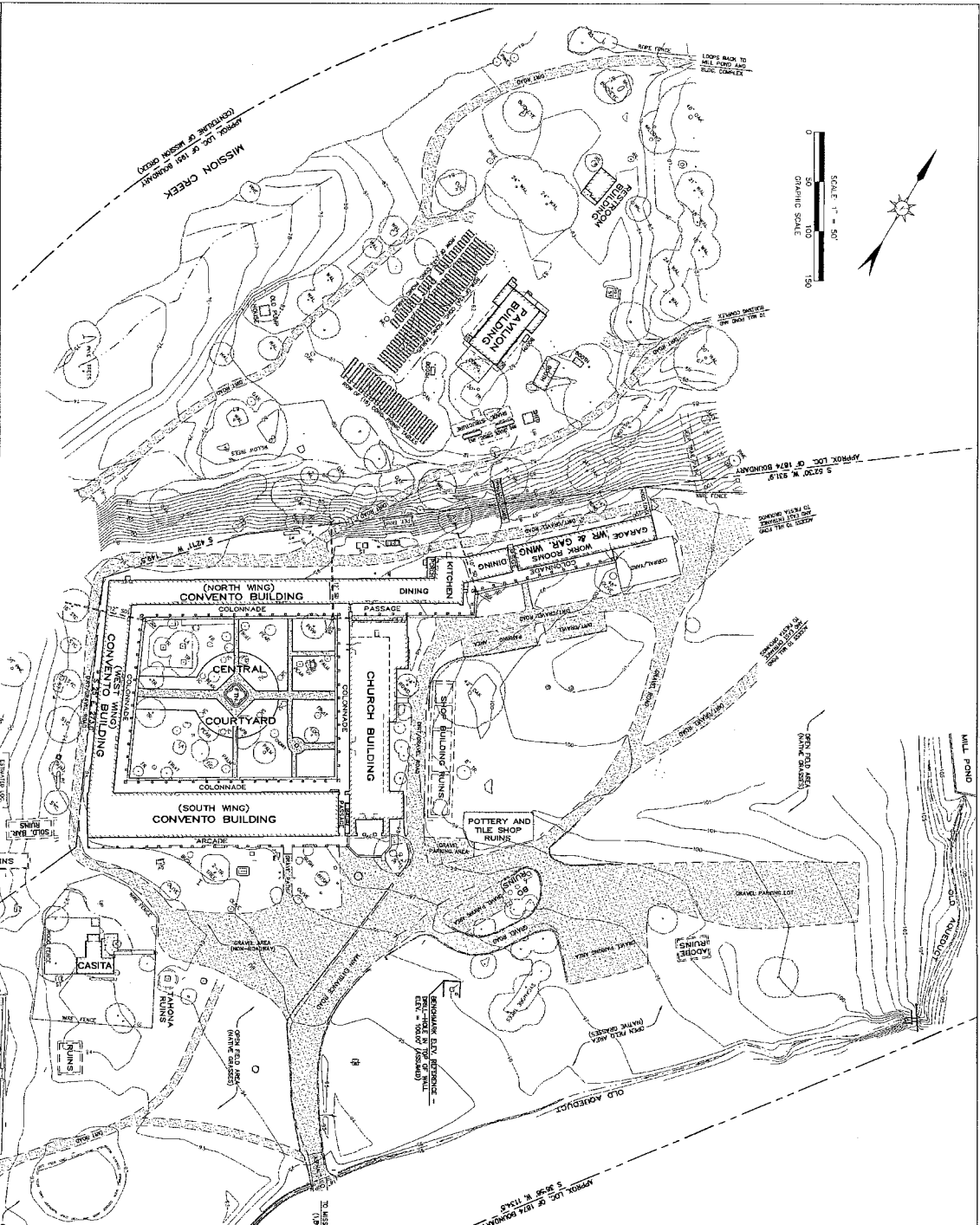
2 NT6 PROJECT DATA
<p>SHEET NO. DESCRIPTION</p> <p>A-1 TITLE SHEET</p> <p>A-2 SITE SURVEY/ARCHAEOLOGY</p> <p>A-3 MASTER SITE PLAN</p> <p>A-4 CHURCH EXTERIOR ELEVATIONS</p> <p>A-5 CHURCH ROOF/ROOF FRAMING PLAN</p> <p>A-6 CHURCH REFLECTED WATER PLAN</p> <p>A-7 CHURCH BUILDING SECTION</p> <p>A-8 CHURCH INTERIOR ELEVATIONS</p> <p>A-9 RESTROOM UPGRADE</p> <p>A-10 NOTED SPECIFICATIONS</p> <p>A-11 CHURCH STRUCTURAL PLANS</p> <p>A-12 CHURCH LIGHTING PLANS</p>
<p>DATE: 9-1-12</p> <p>SCALE: NT6</p> <p>SHEET NO.: A-1</p> <p>OF 14 SHEETS</p>

<p>TITLE SHEET</p>	<p>MISSION SAN ANTONIO de PADUA REHABILITATION PROJECT</p>	<p>Franks Brenkwitz & Associates Architecture + Planning + Historical P.O. BOX 597 APTOS, CA. 95001 (831) 662-8800</p>
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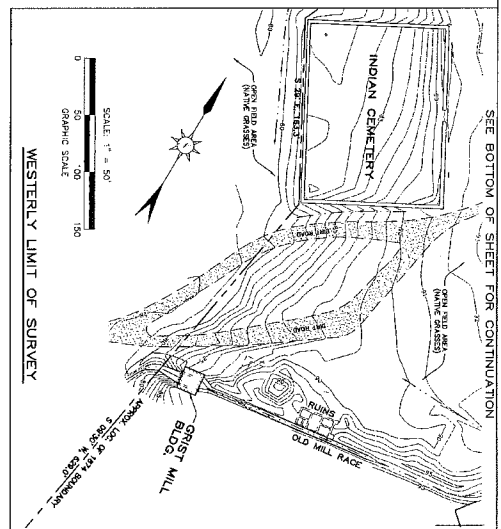
TOPOGRAPHIC SURVEY MAP
 SHOWING THE PRESENT AND PROPOSED CONTOUR
 REQUESTED BY FRANKS BROWN & ASSOCIATES IN APRIL 2011
 AS DESCRIBED IN THE MISSION SAN ANTONIO DE PADUA GRANT
 THE COUNTY RECORDS, COUNTY OF ADAMS, STATE OF CALIFORNIA
 THE ROMAN CATHOLIC BISHOP OF MONTEREY

BEATZ ENGINEERING
 CIVIL ENGINEERING
 1805 3RD STREET, LOS ANGELES, CA 90012
 (323) 229-2523

DATE OF SURVEY: MAY 15, 2012
 SHEET 2 OF 14
SUR-2



SEE TOP, RIGHT OF SHEET FOR CONTINUATION



FIELD SURVEY NOTE
 THE SURVEY WAS CONDUCTED ON THE DATE SHOWN ABOVE. THE FIELD SURVEY WAS CONDUCTED BY THE SURVEYOR AND HIS ASSISTANTS. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE SURVEYING ACTS AND REGULATIONS OF THE STATE OF CALIFORNIA. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE SURVEYING ACTS AND REGULATIONS OF THE STATE OF CALIFORNIA. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE SURVEYING ACTS AND REGULATIONS OF THE STATE OF CALIFORNIA.

BOUNDARY NOTE
 THE BOUNDARY LINES SHOWN ON THIS MAP ARE THE RESULT OF A SURVEY CONDUCTED BY THE SURVEYOR AND HIS ASSISTANTS. THE BOUNDARY LINES SHOWN ON THIS MAP ARE THE RESULT OF A SURVEY CONDUCTED BY THE SURVEYOR AND HIS ASSISTANTS. THE BOUNDARY LINES SHOWN ON THIS MAP ARE THE RESULT OF A SURVEY CONDUCTED BY THE SURVEYOR AND HIS ASSISTANTS.

EXISTING UTILITIES NOTE
 THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE AREA AND HAS IDENTIFIED THE LOCATION OF EXISTING UTILITIES. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE AREA AND HAS IDENTIFIED THE LOCATION OF EXISTING UTILITIES. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE AREA AND HAS IDENTIFIED THE LOCATION OF EXISTING UTILITIES.

SHEET NOTE
 THIS SHEET IS ONE OF SEVERAL SHEETS THAT MAKE UP THE ENTIRE SURVEY. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE AREA AND HAS IDENTIFIED THE LOCATION OF EXISTING UTILITIES. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE AREA AND HAS IDENTIFIED THE LOCATION OF EXISTING UTILITIES.



TOPOGRAPHIC SURVEY MAP
 SHOWING EXISTING SITE AND TOPOGRAPHICAL INFORMATION
 ON THE PROPERTY DESCRIBED BELOW
 REGISTERED PROFESSIONAL ENGINEER & SURVEYOR IN JUNE 2011
 REGISTERED PROFESSIONAL LAND SURVEYOR IN JUNE 2011
 MISSISSIPPI SAN ANTONIO DE PAOLA
 AS A PLACE OF INTEREST
 RECORDED IN BOOK 14 OF PARTIALS AT PAGE 446 IN THE OFFICE OF
 THE COUNTY RECORDS, COUNTY OF HAWKEYE, STATE OF IOWA
 THE IOWA CATHOLIC BISHOP OF HAWKEYE
 MISSISSIPPI SAN ANTONIO DE PAOLA
 JULY 15, 2012
SUR-3
 SHEET 3 OF 14

FIELD SURVEY NOTE
 TOPOGRAPHIC AND SITE DATA SHOWN HEREON ARE BASED UPON A FIELD SURVEY CONDUCTED BY THE SURVEYOR AND HIS ASSISTANTS IN THE PRESENCE OF THE CLIENT'S REPRESENTATIVE ON THE DATE AND AT THE LOCATION INDICATED ON THIS MAP. THE SURVEYOR HAS NOT CONDUCTED ANY INVESTIGATION TO DETERMINE THE EXISTENCE OF ANY SUBSURFACE UTILITIES OR OBSTRUCTIONS. THE SURVEYOR HAS NOT BEEN ADVISED OF ANY SUCH UTILITIES OR OBSTRUCTIONS. THE SURVEYOR HAS NOT CONDUCTED ANY INVESTIGATION TO DETERMINE THE EXISTENCE OF ANY SUCH UTILITIES OR OBSTRUCTIONS. THE SURVEYOR HAS NOT BEEN ADVISED OF ANY SUCH UTILITIES OR OBSTRUCTIONS.

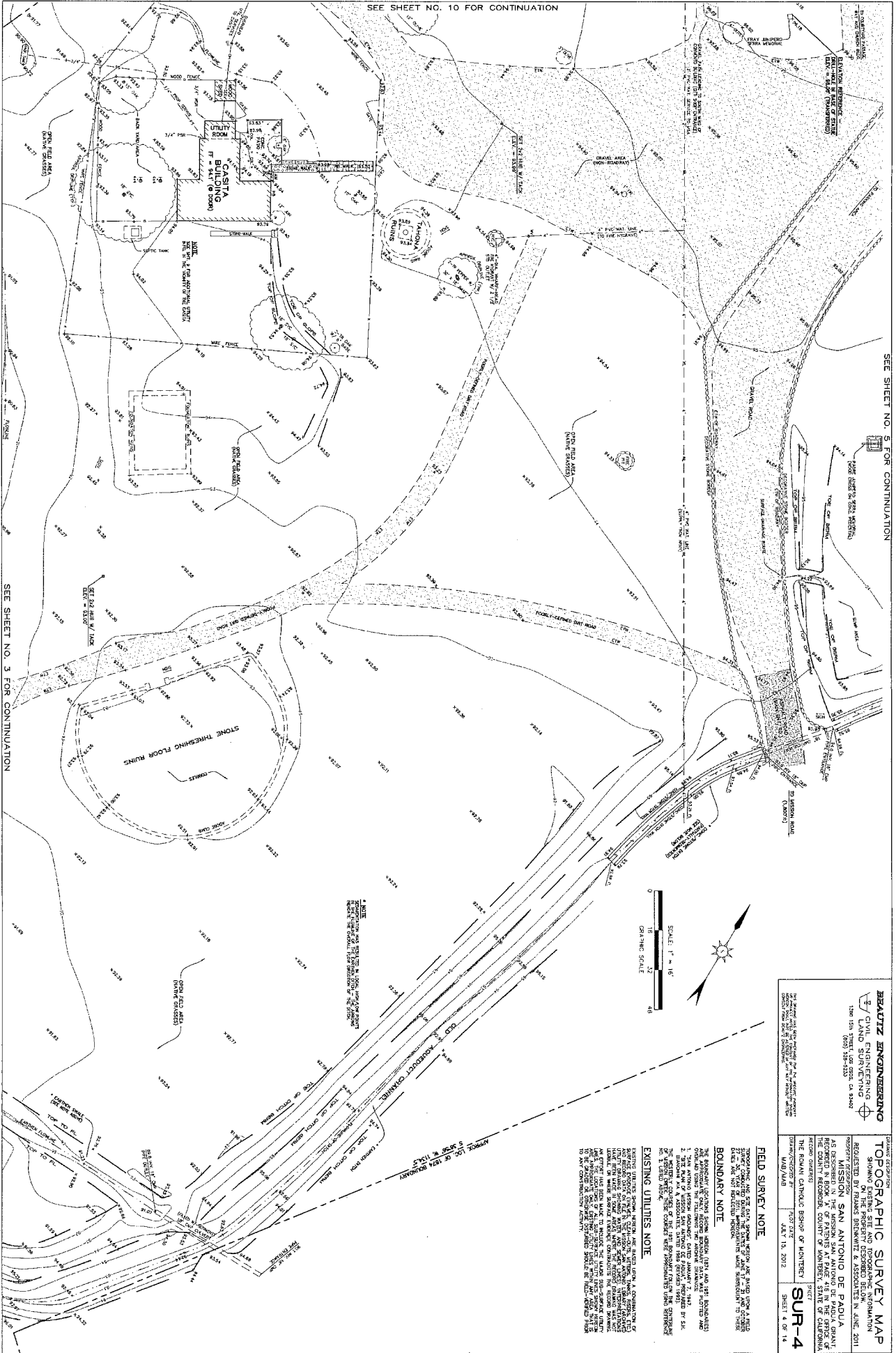
BOUNDARY NOTE
 THE BOUNDARY LOCATIONS SHOWN HEREON ARE BASED UPON A FIELD SURVEY CONDUCTED BY THE SURVEYOR AND HIS ASSISTANTS IN THE PRESENCE OF THE CLIENT'S REPRESENTATIVE ON THE DATE AND AT THE LOCATION INDICATED ON THIS MAP. THE SURVEYOR HAS NOT CONDUCTED ANY INVESTIGATION TO DETERMINE THE EXISTENCE OF ANY SUBSURFACE UTILITIES OR OBSTRUCTIONS. THE SURVEYOR HAS NOT BEEN ADVISED OF ANY SUCH UTILITIES OR OBSTRUCTIONS. THE SURVEYOR HAS NOT CONDUCTED ANY INVESTIGATION TO DETERMINE THE EXISTENCE OF ANY SUCH UTILITIES OR OBSTRUCTIONS. THE SURVEYOR HAS NOT BEEN ADVISED OF ANY SUCH UTILITIES OR OBSTRUCTIONS.

EXISTING UTILITIES NOTE
 THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE SITE AND HAS NOT CONDUCTED ANY INVESTIGATION TO DETERMINE THE EXISTENCE OF ANY SUBSURFACE UTILITIES OR OBSTRUCTIONS. THE SURVEYOR HAS NOT BEEN ADVISED OF ANY SUCH UTILITIES OR OBSTRUCTIONS. THE SURVEYOR HAS NOT CONDUCTED ANY INVESTIGATION TO DETERMINE THE EXISTENCE OF ANY SUCH UTILITIES OR OBSTRUCTIONS. THE SURVEYOR HAS NOT BEEN ADVISED OF ANY SUCH UTILITIES OR OBSTRUCTIONS.

SEE SHEET NO. 10 FOR CONTINUATION

SEE SHEET NO. 5 FOR CONTINUATION

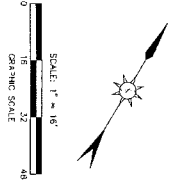
SEE SHEET NO. 3 FOR CONTINUATION



BEAULTZ ENGINEERING
 CIVIL ENGINEERING
 1300 15th STREET, LOS ANGELES, CA 90026
 (818) 328-9333

TOPOGRAPHIC SURVEY MAP
 REQUESTED BY FRANKS SHERKWITH & ASSOCIATES IN JUNE, 2011
 PROJECT: MISSION SAN ANTONIO DE PADUA GRANT
 THE COUNTY RECREATION COUNTY OF MONTEREY, STATE OF CALIFORNIA
 THE ROMAN CATHOLIC BISHOP OF MONTEREY

DATE: JULY 15, 2012
 SHEET 4 OF 14



FIELD SURVEY NOTE
 TOPOGRAPHIC SURVEY OF THE SITE, BEAULTZ ENGINEERING AND ASSOCIATES (BEAULTZ) HAS CONDUCTED A SURVEY OF THE SITE AND THE ADJACENT AREAS. THE SURVEY WAS CONDUCTED ON JULY 15, 2012. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE SURVEYING ACTS AND REGULATIONS OF THE STATE OF CALIFORNIA. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE SURVEYING ACTS AND REGULATIONS OF THE STATE OF CALIFORNIA. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE SURVEYING ACTS AND REGULATIONS OF THE STATE OF CALIFORNIA.

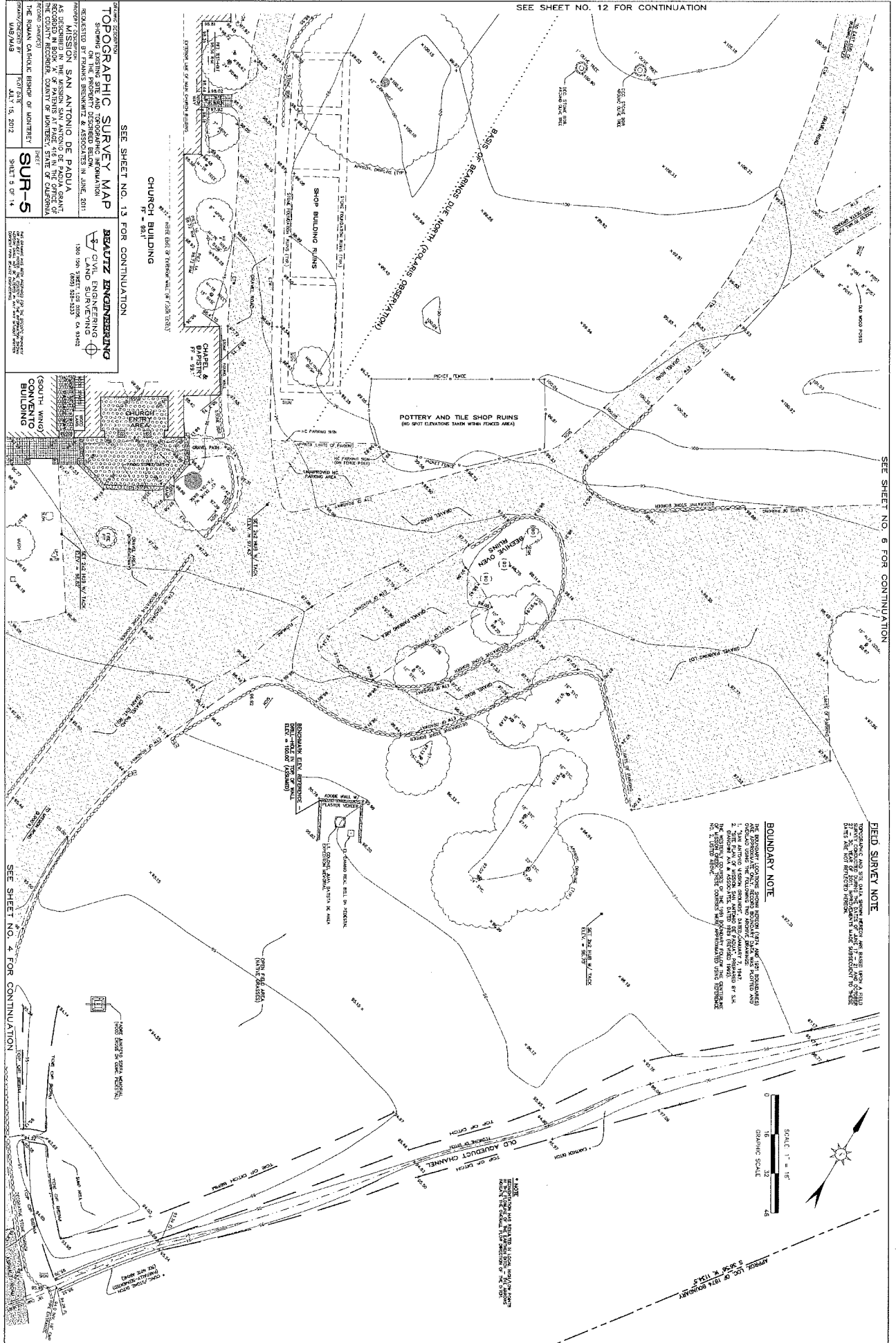
BOUNDARY NOTE
 THE BOUNDARY LINES SHOWN ARE BASED UPON A FIELD SURVEY CONDUCTED BY BEAULTZ ENGINEERING AND ASSOCIATES (BEAULTZ) ON JULY 15, 2012. THE BOUNDARY LINES SHOWN ARE BASED UPON A FIELD SURVEY CONDUCTED BY BEAULTZ ENGINEERING AND ASSOCIATES (BEAULTZ) ON JULY 15, 2012. THE BOUNDARY LINES SHOWN ARE BASED UPON A FIELD SURVEY CONDUCTED BY BEAULTZ ENGINEERING AND ASSOCIATES (BEAULTZ) ON JULY 15, 2012.

EXISTING UTILITIES NOTE
 THE EXISTING UTILITIES SHOWN ARE BASED UPON A FIELD SURVEY CONDUCTED BY BEAULTZ ENGINEERING AND ASSOCIATES (BEAULTZ) ON JULY 15, 2012. THE EXISTING UTILITIES SHOWN ARE BASED UPON A FIELD SURVEY CONDUCTED BY BEAULTZ ENGINEERING AND ASSOCIATES (BEAULTZ) ON JULY 15, 2012. THE EXISTING UTILITIES SHOWN ARE BASED UPON A FIELD SURVEY CONDUCTED BY BEAULTZ ENGINEERING AND ASSOCIATES (BEAULTZ) ON JULY 15, 2012.

NOTE
 THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE SURVEYING ACTS AND REGULATIONS OF THE STATE OF CALIFORNIA. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE SURVEYING ACTS AND REGULATIONS OF THE STATE OF CALIFORNIA. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE SURVEYING ACTS AND REGULATIONS OF THE STATE OF CALIFORNIA.

SEE SHEET NO. 12 FOR CONTINUATION

SEE SHEET NO. 6 FOR CONTINUATION



TOPOGRAPHIC SURVEY MAP
 SHOWING EXISTING SITE AND GEODESIC INFORMATION
 REGISTERED ON THE PROPERTY RECORDS IN JUNE, 2011
 REQUESTED BY: BEAULTZ ENGINEERING
 PROJECT: MISION SAN ANTONIO DE PADUA
 AS SHOWN IN BOOK # OF PATENTS AT PAGE #16 IN THE OFFICE OF
 THE COUNTY RECORDER, COUNTY OF DUVENY, STATE OF CALIFORNIA.
 THE SCALE OF THIS MAP IS AS SHOWN IN THE
 DRAWING OF THE PROPERTY RECORDS IN JUNE, 2011
 SHEET # OF 14
 SUR-5
 DATE: JULY 15, 2012
 DRAWN BY: [Signature]

BEAULTZ ENGINEERING
 CIVIL ENGINEERING
 LAND SURVEYING
 1300 19th STREET, 1ST FLOOR, CA 94042
 (415) 251-2525

CHURCH BUILDING
 F# 9811

SHOP BUILDING REMAINS

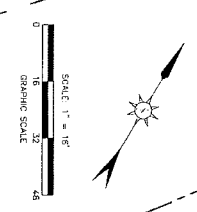
POTTERY AND TILE SHOP RUINS
 (NO SOOT CLIMBERS TAKEN FROM THESE AREAS)

CONVENT BUILDING
 (SOUTH WING)

OLD AQUEDUCT CHANNEL

DRAINAGE CANALS

SEE SHEET NO. 4 FOR CONTINUATION



FIELD SURVEY NOTE

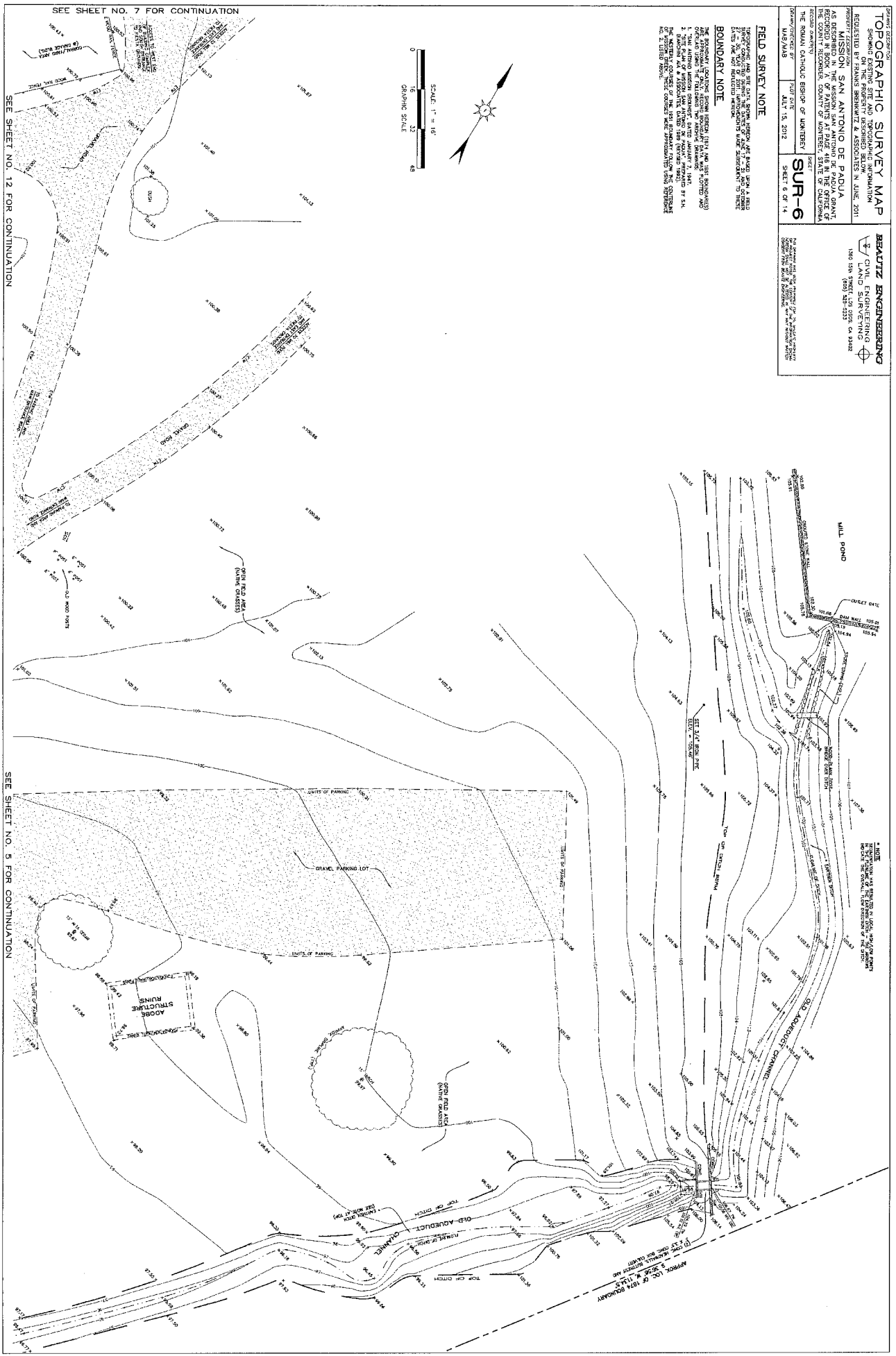
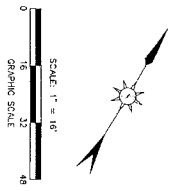
THIS SURVEY WAS FIELD SURVEYED BY THE SURVEYOR AND ASSISTANT SURVEYORS
 ON THE PROPERTY DESCRIBED ABOVE
 ON THE DATE OF JULY 11 AND 12, 2012

BOUNDARY NOTE

THE BOUNDARY LOCATIONS SHOWN HEREON (1874 AND 1881 BOUNDARIES)
 WERE DETERMINED BY THE SURVEYOR AND ASSISTANT SURVEYORS
 FROM A STUDY OF THE RECORDS OF THE COUNTY RECORDER, COUNTY OF MONTEREY,
 STATE OF CALIFORNIA AND FROM THE RECORDS OF THE COUNTY RECORDER,
 COUNTY OF MONTEREY, STATE OF CALIFORNIA AND FROM THE RECORDS OF THE
 COUNTY RECORDER, COUNTY OF MONTEREY, STATE OF CALIFORNIA AND FROM THE
 RECORDS OF THE COUNTY RECORDER, COUNTY OF MONTEREY, STATE OF CALIFORNIA
 AND FROM THE RECORDS OF THE COUNTY RECORDER, COUNTY OF MONTEREY,
 STATE OF CALIFORNIA.

BEAUTZ ENGINEERING
 CIVIL ENGINEERING
 1840 18th STREET, SUITE 200, SAN JOSE, CA 95131
 (408) 242-2233

THIS SURVEY WAS FIELD SURVEYED BY THE SURVEYOR AND ASSISTANT SURVEYORS
 ON THE PROPERTY DESCRIBED ABOVE
 ON THE DATE OF JULY 11 AND 12, 2012



SEE SHEET NO. 7 FOR CONTINUATION

SEE SHEET NO. 12 FOR CONTINUATION

SEE SHEET NO. 5 FOR CONTINUATION

TOPOGRAPHIC SURVEY MAP

SHOWING EXISTING SITE AND TOPOGRAPHIC INFORMATION
 REQUESTED BY: UNIVERSITY OF CALIFORNIA, SAN ANTONIO DE PADUA
 PROJECT LOCATION: SAN ANTONIO DE PADUA
 AS SHOWN IN BOOK OF PLATS AT PAGE 1418 IN THE OFFICE OF THE COUNTY CLERK, COUNTY OF MARIETTA, STATE OF CALIFORNIA
 THE ROMAN CATHOLIC CHURCH OF MARIETTA
 PROJECT NUMBER: 240718
 DATE: JULY 15, 2012
 SHEET 7 OF 14
SUR-7

BEAUTZ ENGINEERING

CIVIL ENGINEERING
 LAND SURVEYING
 1306 15th STREET, LOS ANGELES, CA 90012
 (213) 481-2800
 WWW.BEAUTZENGINEERING.COM

EXISTING UTILITIES NOTE

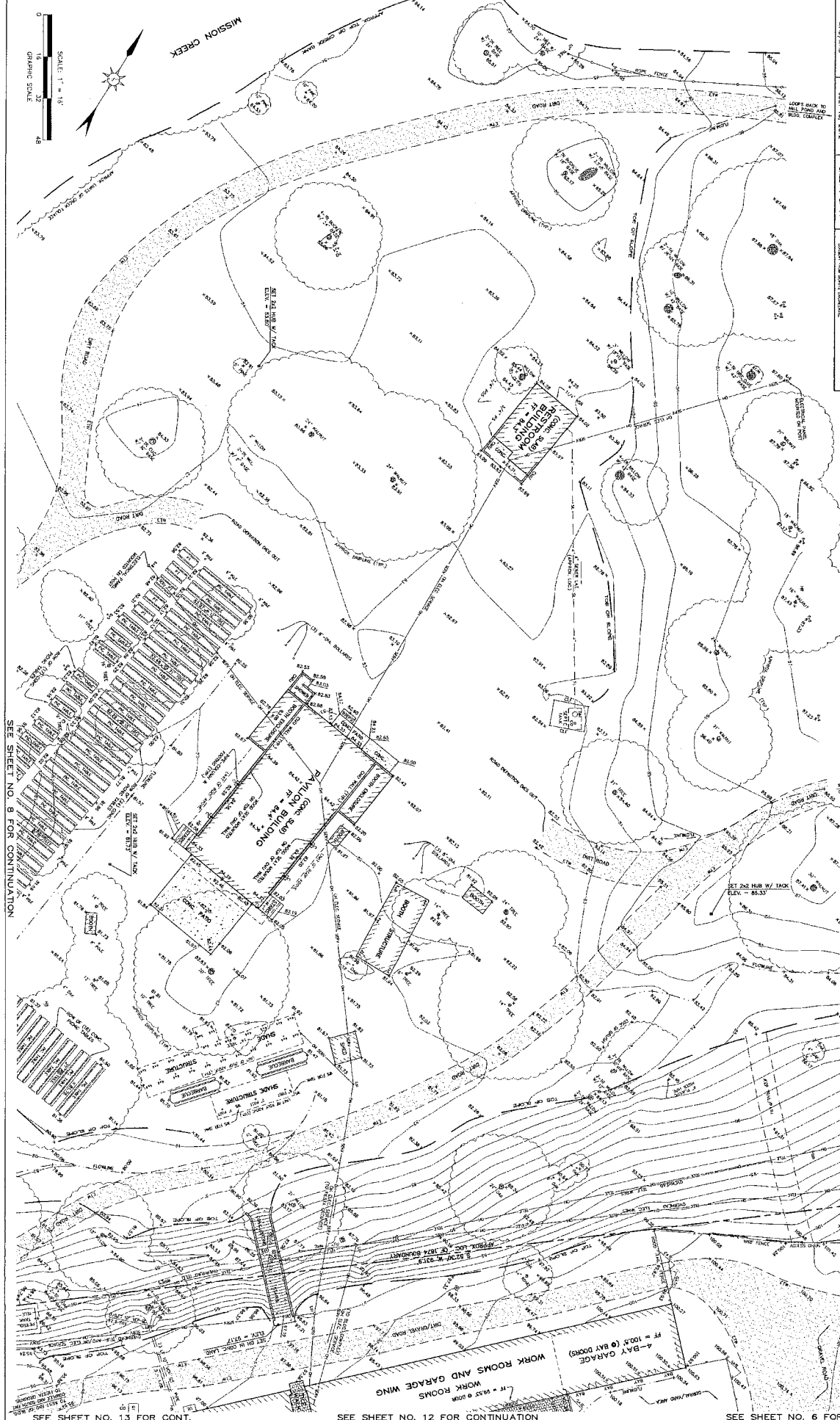
EXISTING UTILITIES SHOWN HEREON ARE BASED UPON A COMPARISON OF THE RECORD DRAWINGS AND FIELD SURVEY DATA. THE LOCATION AND DEPTH OF UTILITIES ARE NOT GUARANTEED. THE USER OF THIS MAP SHOULD VERIFY THE LOCATION AND DEPTH OF UTILITIES PRIOR TO CONSTRUCTION. THE USER OF THIS MAP SHOULD BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES. THE USER OF THIS MAP SHOULD BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.

FIELD SURVEY NOTE

TOPOGRAPHIC AND SITE DATA SHOWN HEREON ARE BASED UPON A FIELD SURVEY CONDUCTED BY BEAUTZ ENGINEERING, INC. ON JULY 15, 2012. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE SURVEYING ACTS AND REGULATIONS OF THE STATE OF CALIFORNIA. THE USER OF THIS MAP SHOULD BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.

BOUNDARY NOTE

THE BOUNDARY LOCATIONS SHOWN HEREON ARE BASED UPON RECORD DRAWINGS AND FIELD SURVEY DATA. THE BOUNDARY IS NOT GUARANTEED. THE USER OF THIS MAP SHOULD VERIFY THE LOCATION AND DEPTH OF UTILITIES PRIOR TO CONSTRUCTION. THE USER OF THIS MAP SHOULD BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE APPROPRIATE AGENCIES.

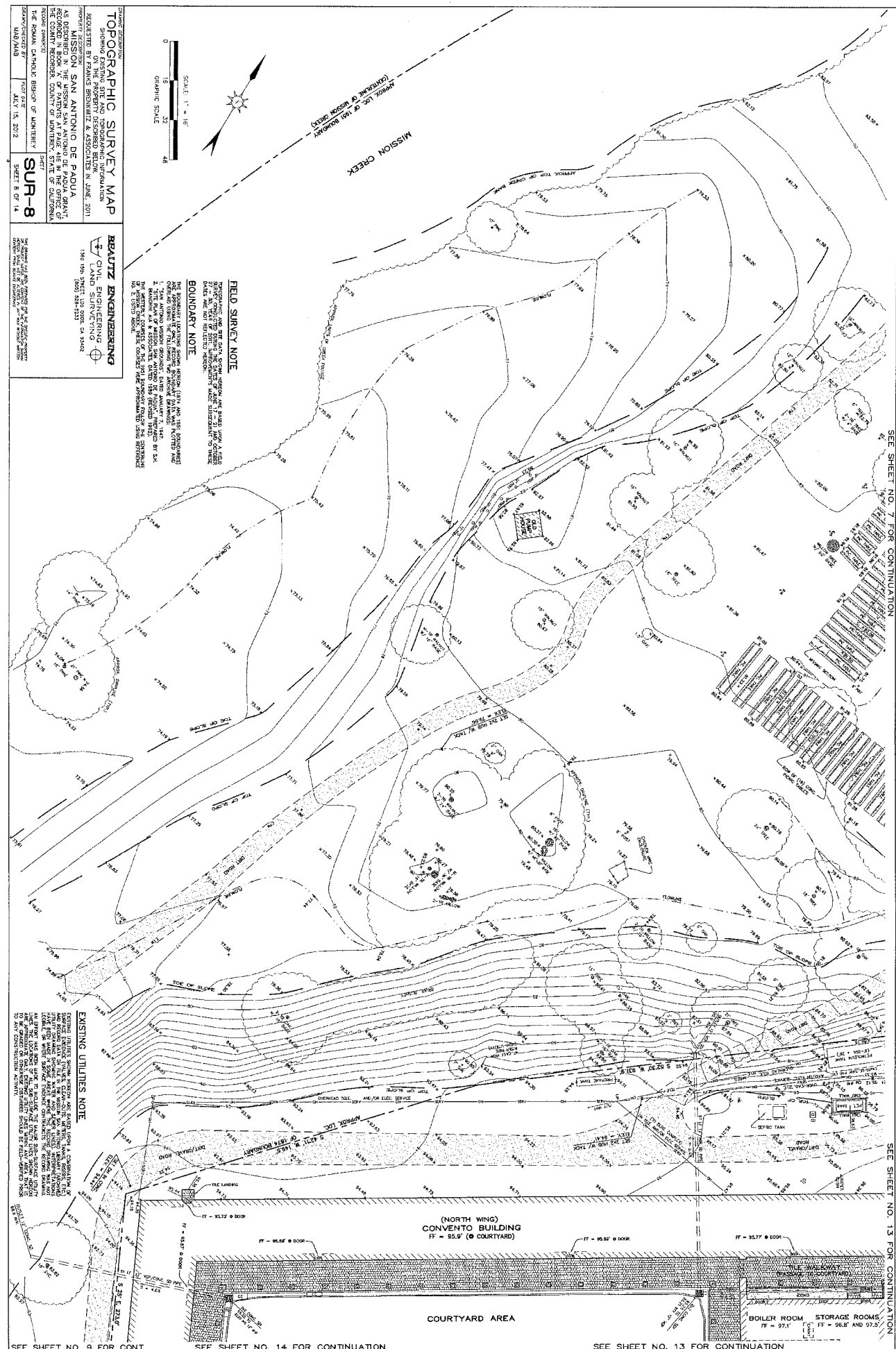


SEE SHEET NO. 8 FOR CONTINUATION

SEE SHEET NO. 13 FOR CONT.

SEE SHEET NO. 12 FOR CONTINUATION

SEE SHEET NO. 6 FOR CONT.



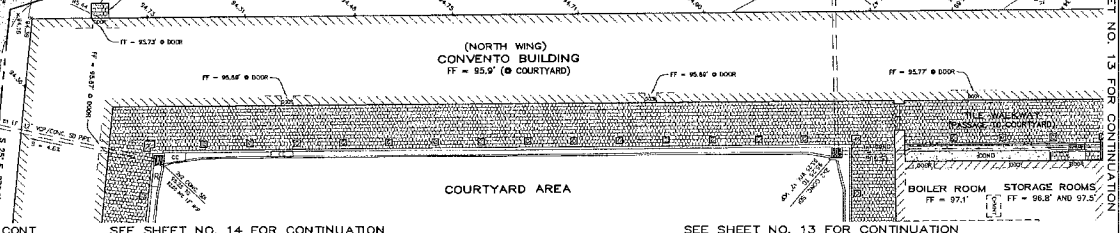
TOPOGRAPHIC SURVEY MAP
 SHOWING EXISTING SITE AND TOPOGRAPHIC INFORMATION
 REGISTERED AS PUBLIC DOCUMENT NO. 2011-000001
 REGISTERED ON THE PROPERTY DESCRIBED BELOW IN JUNE, 2011
 MISSISSIPPI COUNTY RECORDS
MISSION SAN ANTONIO DE PADUA
 AS SHOWN IN BOOK 77 OF PATENTS AT PAGE 446 IN THE OFFICE OF
 THE COUNTY RECORDER, COUNTY OF MONTEREY, STATE OF CALIFORNIA
 THE ROMAN CATHOLIC BISHOP OF MONTEREY
 DRAWN/ENGINEER BY: MAB/MAB
 PROJECT DATE: JULY 15, 2012
 SHEET 9 OF 14
SUR-8

SCALE: 1" = 100'
 GRAPHIC SCALE
 0 10 20 30 40

FIELD SURVEY NOTE
 THIS SURVEY WAS CONDUCTED BY THE ENGINEER AND HIS STAFF ON THE PROPERTY DESCRIBED ABOVE IN ACCORDANCE WITH THE SURVEYING ACTS AND REGULATIONS OF THE STATE OF CALIFORNIA. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE PROFESSIONAL STANDARDS AND ETHICS OF THE SURVEYING PROFESSION. THE SURVEY WAS CONDUCTED ON THE DATE(S) AND AT THE LOCATION(S) INDICATED ON THESE PLANS. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE PROFESSIONAL STANDARDS AND ETHICS OF THE SURVEYING PROFESSION.

BOUNDARY NOTE
 THE BOUNDARY LOCATIONS SHOWN HEREON ARE BASED UPON A COMPARISON OF THE SURVEY DATA WITH THE SURVEY DATA OF THE ADJACENT PROPERTY OWNERS. THE BOUNDARY LOCATIONS SHOWN HEREON ARE BASED UPON THE SURVEY DATA OF THE ADJACENT PROPERTY OWNERS. THE BOUNDARY LOCATIONS SHOWN HEREON ARE BASED UPON THE SURVEY DATA OF THE ADJACENT PROPERTY OWNERS.

EXISTING UTILITIES NOTE
 EXISTING UTILITIES SHOWN HEREON ARE BASED UPON A COMPARISON OF THE SURVEY DATA WITH THE SURVEY DATA OF THE ADJACENT PROPERTY OWNERS. THE UTILITIES SHOWN HEREON ARE BASED UPON THE SURVEY DATA OF THE ADJACENT PROPERTY OWNERS. THE UTILITIES SHOWN HEREON ARE BASED UPON THE SURVEY DATA OF THE ADJACENT PROPERTY OWNERS.



SEE SHEET NO. 7 FOR CONTINUATION

SEE SHEET NO. 13 FOR CONTINUATION

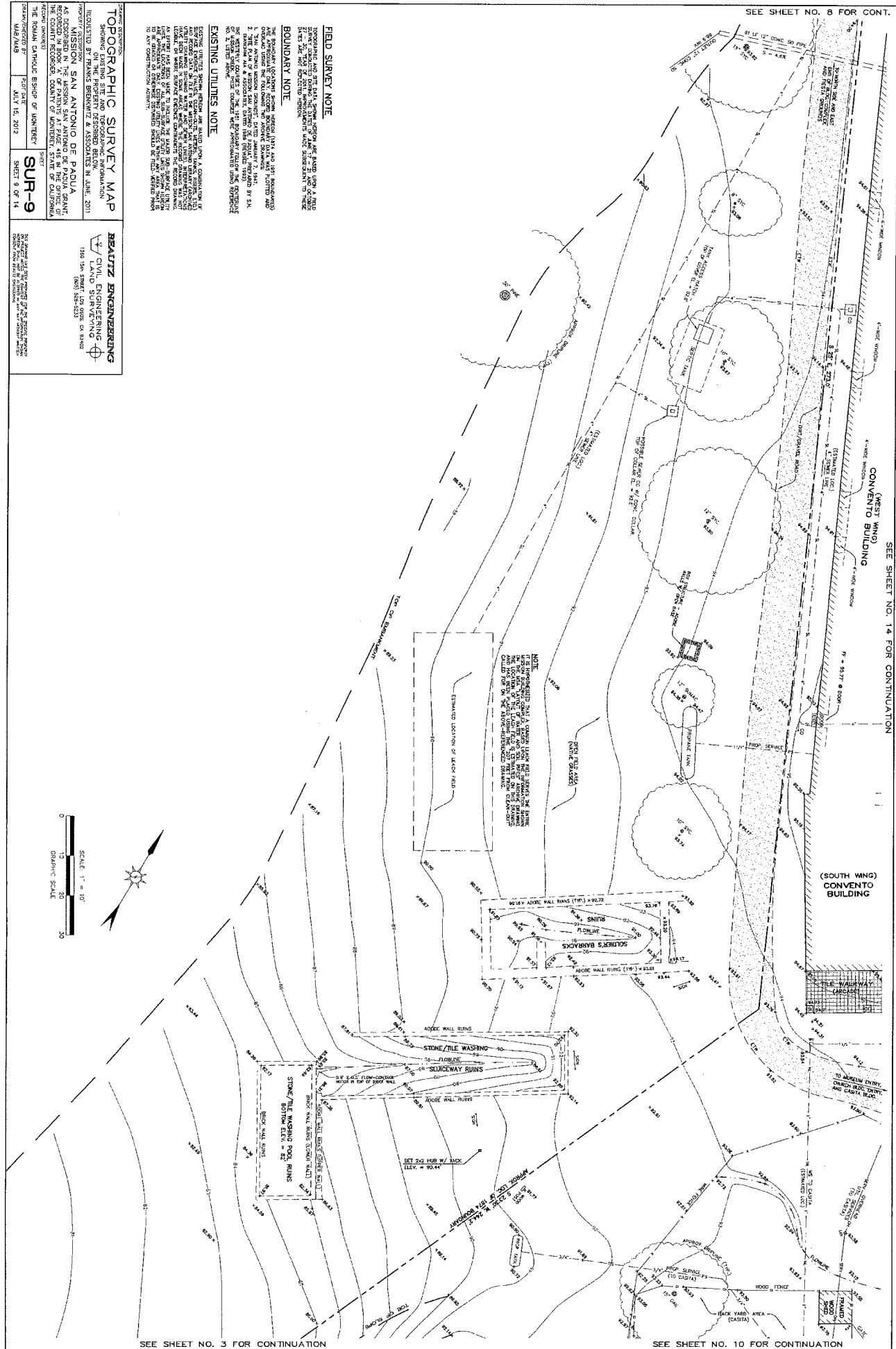
SEE SHEET NO. 9 FOR CONT.

SEE SHEET NO. 14 FOR CONTINUATION

SEE SHEET NO. 13 FOR CONTINUATION

SEE SHEET NO. 8 FOR CONT.

SEE SHEET NO. 14 FOR CONTINUATION



FIELD SURVEY NOTE
 TOPOGRAPHIC AND SITE DATA, GENERAL NOTES ARE SHOWN UPON A COMBINATION OF PHOTOGRAPHIC AND FIELD DATA. GENERAL NOTES ARE SHOWN UPON A COMBINATION OF PHOTOGRAPHIC AND FIELD DATA. GENERAL NOTES ARE SHOWN UPON A COMBINATION OF PHOTOGRAPHIC AND FIELD DATA.

BOUNDARY NOTE
 THE BOUNDARY LINES SHOWN ABOVE ARE SHOWN UPON A COMBINATION OF PHOTOGRAPHIC AND FIELD DATA. GENERAL NOTES ARE SHOWN UPON A COMBINATION OF PHOTOGRAPHIC AND FIELD DATA.

EXISTING UTILITIES NOTE
 EXISTING UTILITIES SHOWN ABOVE ARE SHOWN UPON A COMBINATION OF PHOTOGRAPHIC AND FIELD DATA. GENERAL NOTES ARE SHOWN UPON A COMBINATION OF PHOTOGRAPHIC AND FIELD DATA.

TOPOGRAPHIC SURVEY MAP
 SHOWING EXISTING SITE AND TOPOGRAPHIC INFORMATION
 REGISTERED BY THE STATE OF TEXAS IN JUNE, 2011

MISSION SAN ANTONIO DE PADUA
 AS SHOWN IN BOOK 17 OF PATENTS PAGE 418 IN THE OFFICE OF THE COUNTY RECORDS, COUNTY OF BARRANTS, STATE OF CALIFORNIA

THE ROMAN CATHOLIC BISHOP OF LUNENBURG

BEALTZ ENGINEERING
 CIVIL ENGINEERING
 LAND SURVEYING
 150 15th STREET, LOS ANGELES, CA 90015
 (805) 554-2233

PROJECT DESCRIPTION:
 TOPOGRAPHIC SURVEY MAP
 SHEET 9 OF 14

DATE:
 JULY 15, 2012

SCALE:
 1" = 30'

GRAPHIC SCALE:
 0 10 20 30

SEE SHEET NO. 3 FOR CONTINUATION

SEE SHEET NO. 10 FOR CONTINUATION

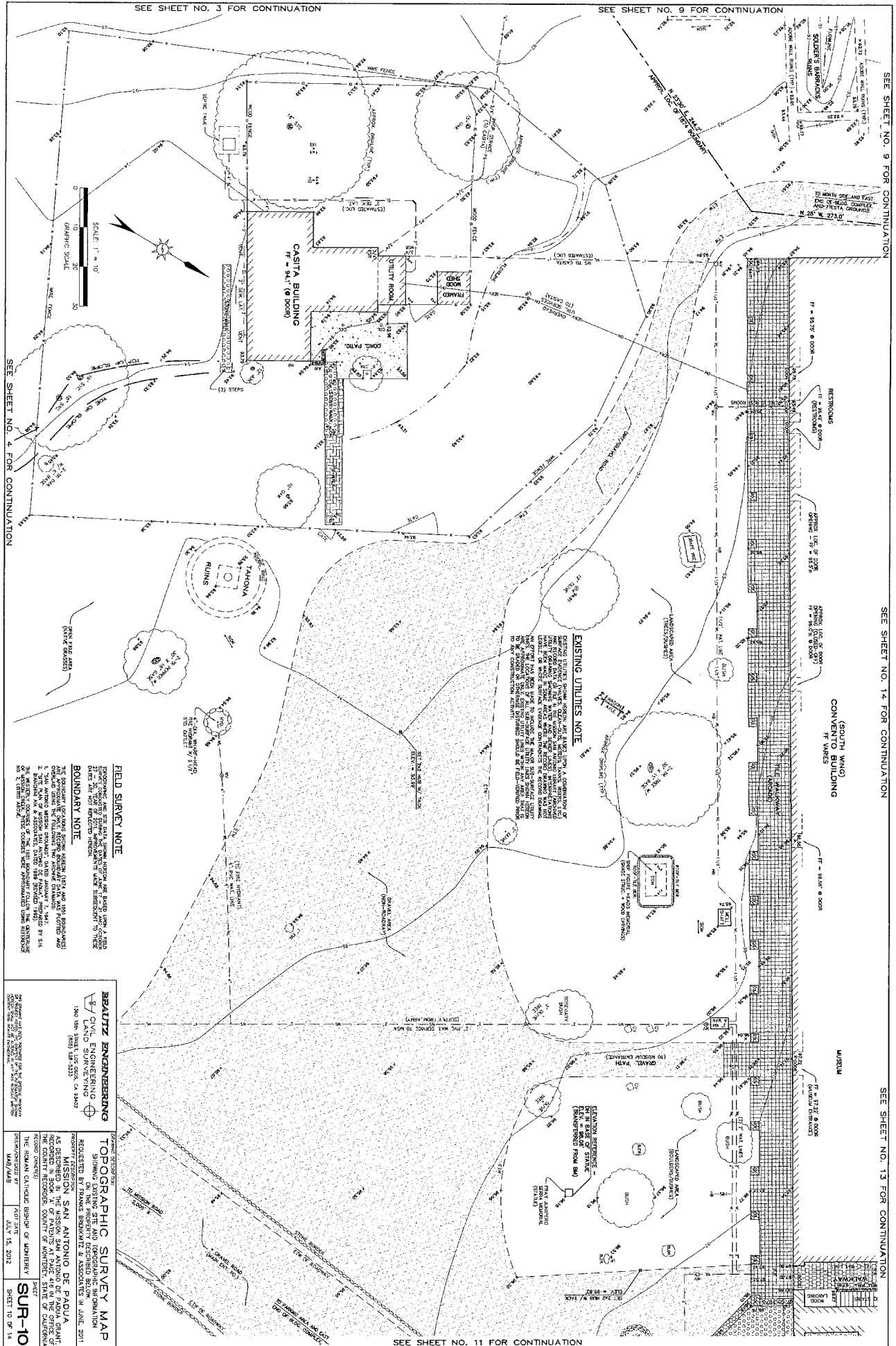
SEE SHEET NO. 3 FOR CONTINUATION

SEE SHEET NO. 9 FOR CONTINUATION

SEE SHEET NO. 9 FOR CONTINUATION

SEE SHEET NO. 14 FOR CONTINUATION

SEE SHEET NO. 13 FOR CONTINUATION



EXISTING UTILITIES NOTE

EXISTING UTILITIES SHOWN HEREON ARE BASED UPON A COMPARISON OF RECORD DRAWINGS AND FIELD SURVEY DATA. THE LOCATION AND DEPTH OF UTILITIES SHOWN ARE APPROXIMATE AND SHOULD BE VERIFIED BY FIELD SURVEY PRIOR TO ANY CONSTRUCTION ACTIVITY.

FIELD SURVEY NOTE

THIS SURVEY WAS CONDUCTED BY BEAULTZ ENGINEERING & SURVEYING, INC. ON 05/15/2012. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE STANDARD PRACTICES OF THE SURVEYING PROFESSION IN THE STATE OF CALIFORNIA. THE SURVEY WAS CONDUCTED USING THE FOLLOWING EQUIPMENT AND METHODS: GPS SURVEYING, TOTAL STATION, AND LEVELING. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE STANDARD PRACTICES OF THE SURVEYING PROFESSION IN THE STATE OF CALIFORNIA. THE SURVEY WAS CONDUCTED USING THE FOLLOWING EQUIPMENT AND METHODS: GPS SURVEYING, TOTAL STATION, AND LEVELING.

BOUNDARY NOTE

THE BOUNDARY LOCATIONS SHOWN HEREON ARE BASED UPON RECORD DRAWINGS AND FIELD SURVEY DATA. THE BOUNDARY LOCATIONS SHOWN HEREON ARE APPROXIMATE AND SHOULD BE VERIFIED BY FIELD SURVEY PRIOR TO ANY CONSTRUCTION ACTIVITY.

BEAULTZ ENGINEERING & SURVEYING, INC.
 CIVIL ENGINEERING
 1940 19th STREET, SUITE 200, CA 94040
 (415) 435-2333

TOPOGRAPHIC SURVEY MAP
 REQUESTED BY FRANCIS BRONKOWITZ & ASSOCIATES IN JUNE, 2011
 MISION SAN ANTONIO DE PADUA
 AS DESCRIBED IN THE MISION SAN ANTONIO DE PADUA GRANT
 THE COUNTY RECORDER, COUNTY OF MONTEREY, STATE OF CALIFORNIA
 RECORD DRAWING(S)
 THE NORMAL CALIFORNIA SETBACK OF MONTEREY
 SHEET
 SUR-10
 SHEET 10 OF 14

SEE SHEET NO. 11 FOR CONTINUATION

SEE SHEET NO. 10 FOR CONTINUATION

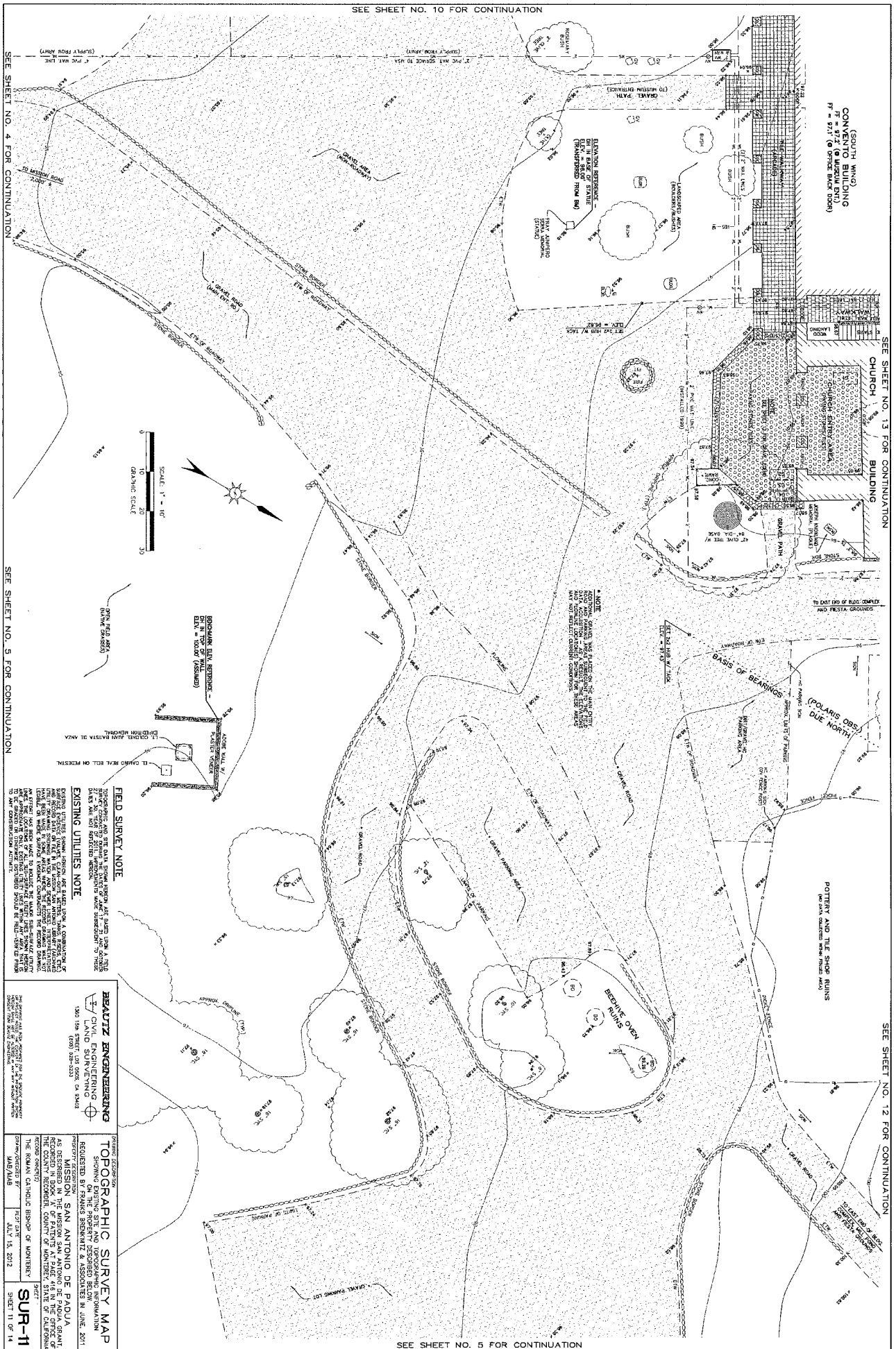
SEE SHEET NO. 4 FOR CONTINUATION

(SOUTH WING)
CONVENT BUILDING
F = 57.1' (6 SPICE BARK TREE)

SEE SHEET NO. 13 FOR CONTINUATION

SEE SHEET NO. 12 FOR CONTINUATION

SEE SHEET NO. 5 FOR CONTINUATION



FIELD SURVEY NOTE
 TOPOGRAFC AND SITE DATA SURVEY WERE MADE USING A TRIP
 SURVEYING INSTRUMENT AND A TOTAL STATION. THE SURVEY
 WAS CONDUCTED IN ACCORDANCE WITH THE SURVEYING
 CODES AND REGULATIONS OF THE STATE OF CALIFORNIA.
EXISTING UTILITIES NOTE
 EXISTING UTILITIES SHOWN HEREON ARE BASED UPON A COMPARISON OF
 THE SURVEY DATA WITH THE RECORD DRAWINGS AND FIELD SURVEY
 DATA. THE SURVEYOR HAS MADE A VISUAL INSPECTION OF THE
 AREA AND HAS FOUND NO UTILITIES. THE SURVEYOR HAS MADE
 A VISUAL INSPECTION OF THE AREA AND HAS FOUND NO UTILITIES.
 ANY UTILITIES NOT SHOWN HEREON ARE THE RESPONSIBILITY OF THE
 USER OF THIS MAP. THE SURVEYOR HAS MADE A VISUAL INSPECTION
 OF THE AREA AND HAS FOUND NO UTILITIES. ANY UTILITIES NOT
 SHOWN HEREON ARE THE RESPONSIBILITY OF THE USER OF THIS MAP.

BEAULTZ ENGINEERING
 CIVIL ENGINEERING
 LAND SURVEYING
 1905 19th STREET, SUITE 200, SAN JOSE, CA 95131
 (408) 298-2000

TOPOGRAPHIC SURVEY MAP
 SHOWING EXISTING SITE AND PROPOSED DEVELOPMENT
 REQUESTED BY: MESSIEN SAN ANTONIO DE PADUA
 PROJECT LOCATION: 1905 19th STREET, SUITE 200, SAN JOSE, CA 95131
 DATE OF SURVEY: JUNE 2011
 AS ORDERED BY: THE ROMAN CATHOLIC BISHOP OF MONTREY
 DRAWN/DESIGNED BY: MVA/MB
 JULY 15, 2012
SUR-11
 SHEET 11 OF 14

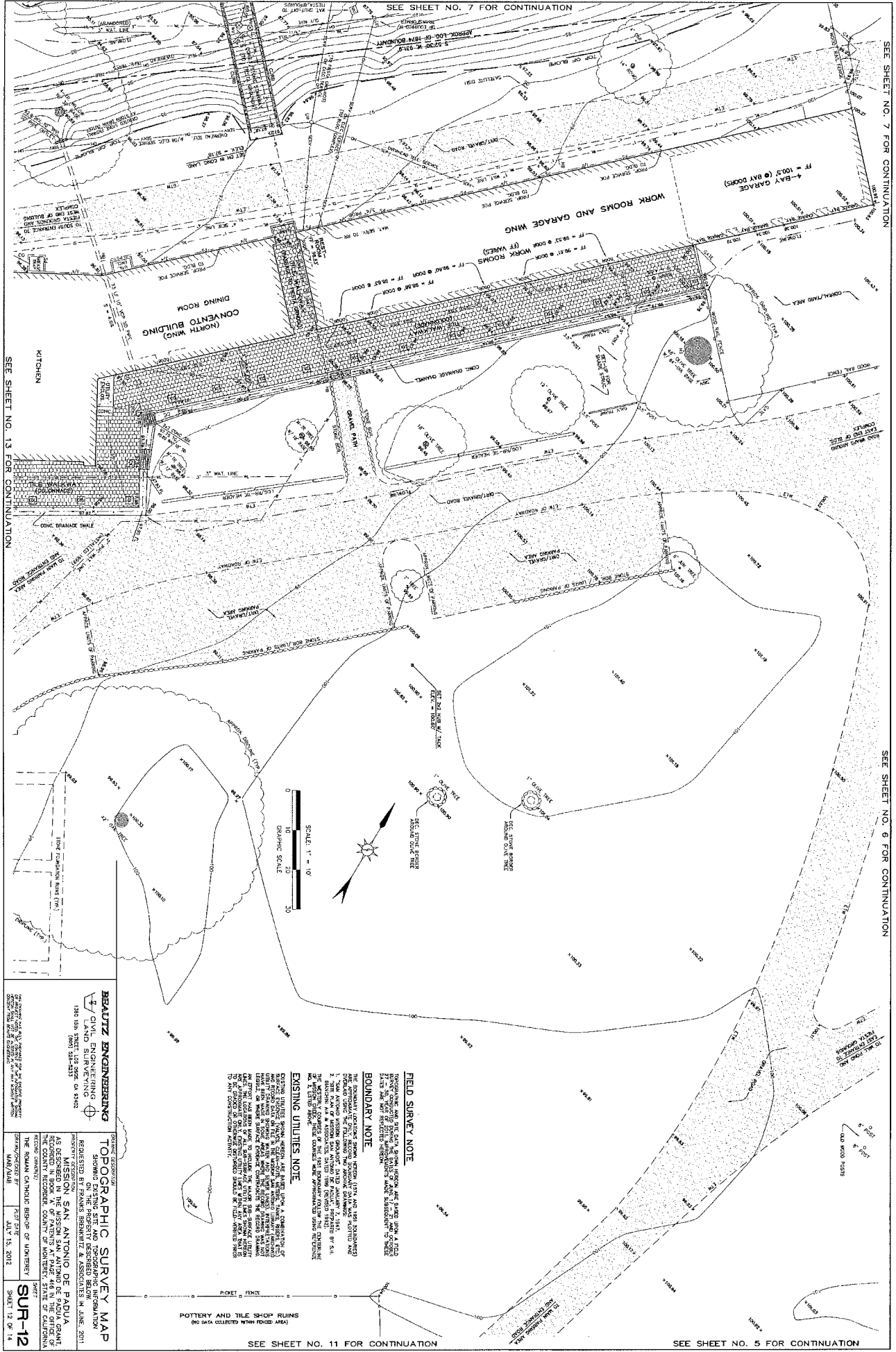
SEE SHEET NO. 5 FOR CONTINUATION

SEE SHEET NO. 7 FOR CONTINUATION

SEE SHEET NO. 7 FOR CONTINUATION

SEE SHEET NO. 13 FOR CONTINUATION

SEE SHEET NO. 6 FOR CONTINUATION



BEAULTZ ENGINEERING
 CIVIL ENGINEERING
 LAND SURVEYING
 1385 18th Street, Los Angeles, CA 90015
 (800) 541-8333

TOPOGRAPHIC SURVEY MAP
 SHOWING EXISTING SET AND SCOPING INFORMATION
 REPORTED BY FRANKS, ROBERTS & ASSOCIATES, INC. DATE 2011

MISSION SAN ANTONIO DE PADUA
 AS A PARISH OF THE ARCHDIOCESE OF SAN ANTONIO, TEXAS
 RECORDING BOOK OF PATENTS AT PAGE 46 IN THE OFFICE OF
 THE COUNTY RECORDER, COUNTY OF MONTEREY, STATE OF CALIFORNIA

DATE OF SURVEY JULY 15, 2012
BY MAB/MBB

SUR-12
 SHEET 12 OF 14

FIELD SURVEY NOTE
 INVESTIGATION AND SETTING OF STATION FROM A FIELD SURVEY OF THE PROPERTY DESCRIBED IN THE REPORT OF FRANKS, ROBERTS & ASSOCIATES, INC. DATED 2011.

BOUNDARY NOTE
 THE BOUNDARY LOCATIONS SHOWN HEREON (FF) ARE NOT ASSUMED TO BE THE BOUNDARY LOCATIONS SHOWN ON THE REPORT OF FRANKS, ROBERTS & ASSOCIATES, INC. DATED 2011. THE BOUNDARY LOCATIONS SHOWN HEREON (FF) ARE THE BOUNDARY LOCATIONS SHOWN ON THE REPORT OF FRANKS, ROBERTS & ASSOCIATES, INC. DATED 2011.

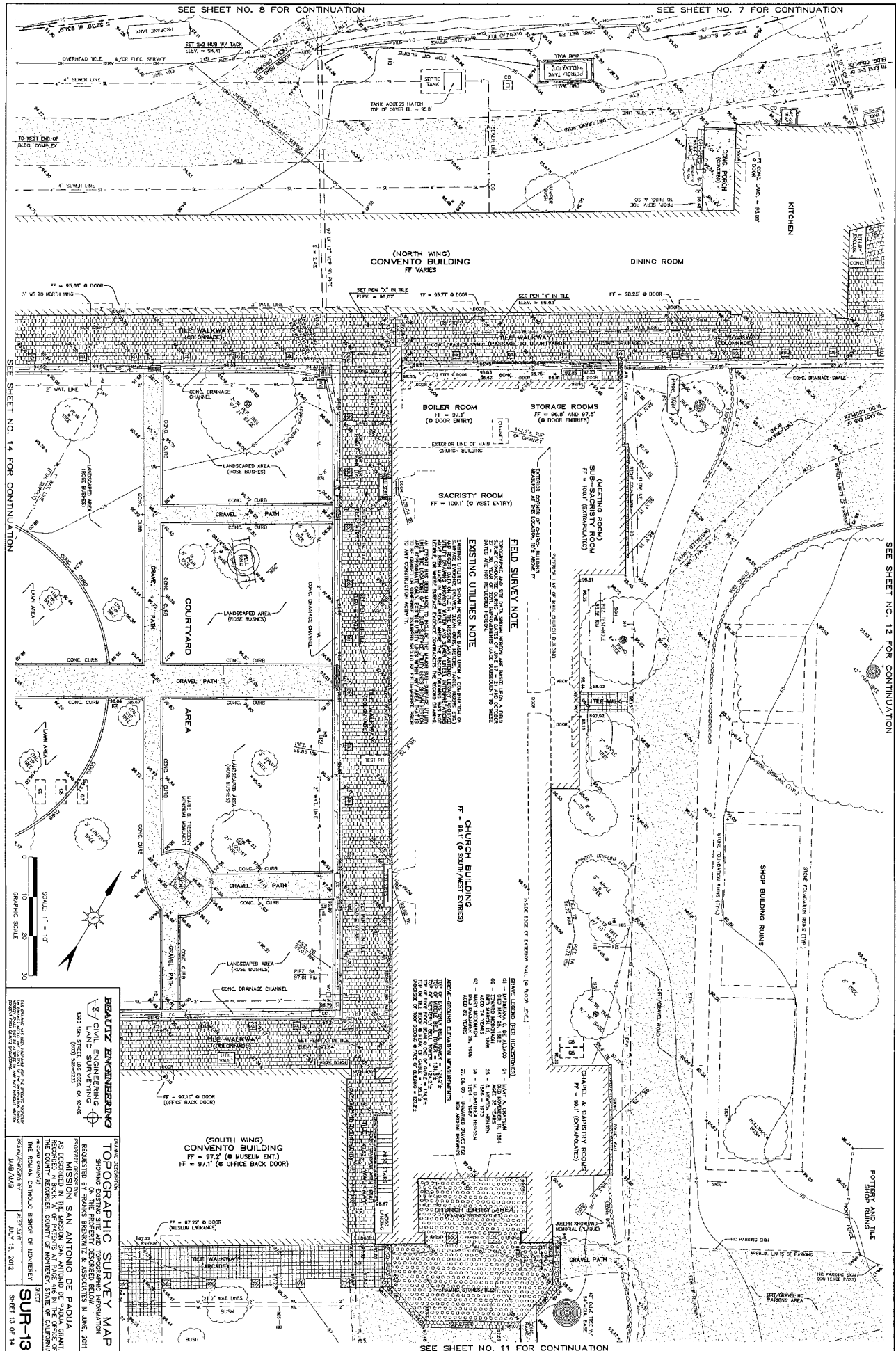
EXISTING UTILITIES NOTE
 EXISTING UTILITIES SHOWN HEREON ARE BASED UPON A COMPARISON OF THE REPORT OF FRANKS, ROBERTS & ASSOCIATES, INC. DATED 2011 AND THE REPORT OF FRANKS, ROBERTS & ASSOCIATES, INC. DATED 2011. THE BOUNDARY LOCATIONS SHOWN HEREON (FF) ARE THE BOUNDARY LOCATIONS SHOWN ON THE REPORT OF FRANKS, ROBERTS & ASSOCIATES, INC. DATED 2011.

SEE SHEET NO. 11 FOR CONTINUATION

SEE SHEET NO. 5 FOR CONTINUATION

SEE SHEET NO. 8 FOR CONTINUATION

SEE SHEET NO. 7 FOR CONTINUATION



SEE SHEET NO. 12 FOR CONTINUATION

(NORTH WING)
CONVENTO BUILDING
FF VARS

DINING ROOM

KITCHEN

BOILER ROOM
FF = 97.1' (Ø DOOR ENTRY)

STORAGE ROOMS
FF = 96.8' AND 97.5' (Ø DOOR ENTRIES)

SACRISTY ROOM
FF = 100.1' (Ø WEST ENTRY)

SUB-SACRISTY ROOM
(MEETING ROOM)
FF = 100.0' (Ø EXHAUSTED)

FIELD SURVEY NOTE

THIS SURVEY WAS CONDUCTED IN PART BY THE TEXAS A&M UNIVERSITY SURVEYING AND MAPPING CENTER. THE SURVEY WAS CONDUCTED IN PART BY THE TEXAS A&M UNIVERSITY SURVEYING AND MAPPING CENTER. THE SURVEY WAS CONDUCTED IN PART BY THE TEXAS A&M UNIVERSITY SURVEYING AND MAPPING CENTER. THE SURVEY WAS CONDUCTED IN PART BY THE TEXAS A&M UNIVERSITY SURVEYING AND MAPPING CENTER.

EXISTING UTILITIES NOTE

EXISTING UTILITIES WERE IDENTIFIED THROUGH THE COURSE OF THIS SURVEY. THE UTILITIES WERE IDENTIFIED THROUGH THE COURSE OF THIS SURVEY. THE UTILITIES WERE IDENTIFIED THROUGH THE COURSE OF THIS SURVEY. THE UTILITIES WERE IDENTIFIED THROUGH THE COURSE OF THIS SURVEY.

CHURCH BUILDING
FF = 94.1' (Ø SOUTH/WEST EXTERIOR)

SHED LEGEND (SEE ILLUSTRATIONS)

01 - 2' x 4' x 6' WOOD
02 - 2' x 4' x 8' WOOD
03 - 2' x 4' x 10' WOOD
04 - 2' x 4' x 12' WOOD
05 - 2' x 4' x 14' WOOD
06 - 2' x 4' x 16' WOOD
07 - 2' x 4' x 18' WOOD
08 - 2' x 4' x 20' WOOD
09 - 2' x 4' x 22' WOOD
10 - 2' x 4' x 24' WOOD
11 - 2' x 4' x 26' WOOD
12 - 2' x 4' x 28' WOOD
13 - 2' x 4' x 30' WOOD
14 - 2' x 4' x 32' WOOD
15 - 2' x 4' x 34' WOOD
16 - 2' x 4' x 36' WOOD
17 - 2' x 4' x 38' WOOD
18 - 2' x 4' x 40' WOOD
19 - 2' x 4' x 42' WOOD
20 - 2' x 4' x 44' WOOD
21 - 2' x 4' x 46' WOOD
22 - 2' x 4' x 48' WOOD
23 - 2' x 4' x 50' WOOD
24 - 2' x 4' x 52' WOOD
25 - 2' x 4' x 54' WOOD
26 - 2' x 4' x 56' WOOD
27 - 2' x 4' x 58' WOOD
28 - 2' x 4' x 60' WOOD
29 - 2' x 4' x 62' WOOD
30 - 2' x 4' x 64' WOOD
31 - 2' x 4' x 66' WOOD
32 - 2' x 4' x 68' WOOD
33 - 2' x 4' x 70' WOOD
34 - 2' x 4' x 72' WOOD
35 - 2' x 4' x 74' WOOD
36 - 2' x 4' x 76' WOOD
37 - 2' x 4' x 78' WOOD
38 - 2' x 4' x 80' WOOD
39 - 2' x 4' x 82' WOOD
40 - 2' x 4' x 84' WOOD
41 - 2' x 4' x 86' WOOD
42 - 2' x 4' x 88' WOOD
43 - 2' x 4' x 90' WOOD
44 - 2' x 4' x 92' WOOD
45 - 2' x 4' x 94' WOOD
46 - 2' x 4' x 96' WOOD
47 - 2' x 4' x 98' WOOD
48 - 2' x 4' x 100' WOOD

(SOUTH WING)
CONVENTO BUILDING
FF = 97.2' (Ø MUSEUM ENT.)
FF = 97.1' (Ø OFFICE BACK DOOR)

BEAULTZ ENGINEERING
CIVIL ENGINEERING
LAND SURVEYING

1500 N. LOOP WEST, SUITE 200, DALLAS, TEXAS 75201
PHONE: (214) 450-4222
WWW.BEAULTZENGINEERING.COM

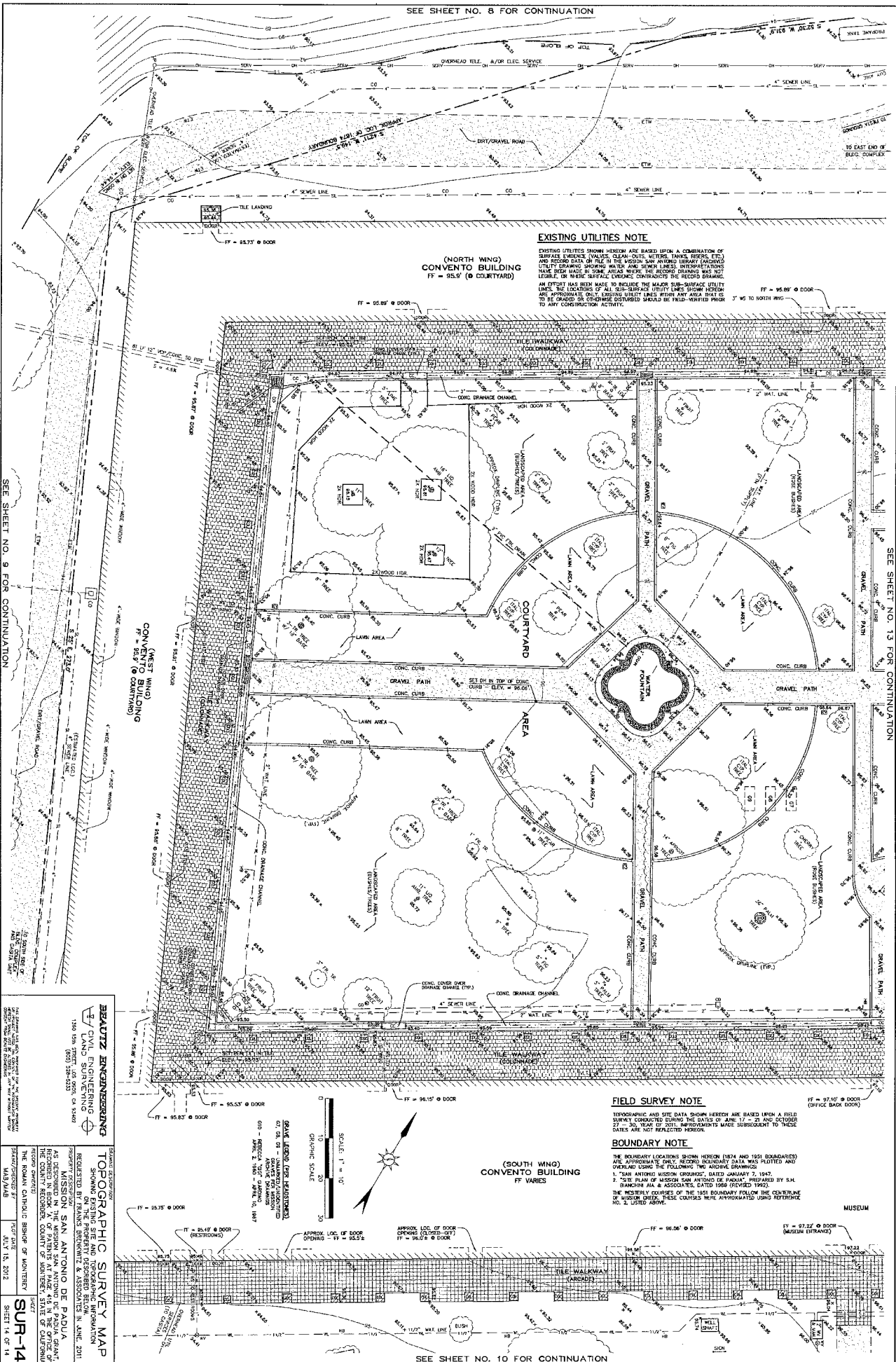
TOPOGRAPHIC SURVEY MAP
SHOWING EXISTING SITE AND TOPOGRAPHIC INFORMATION
REQUESTED BY: FRANKS, BRUNNEN & ASSOCIATES, L.P. JUNE 2011

MISSION SAN ANTONIO DE PADUA
AS A FEDERAL MONUMENT AND HISTORIC LANDMARK
RECORDED IN BOOK 17 OF PATENTS AT PAGE 416 IN THE OFFICE OF
THE COUNTY RECORDER, COUNTY OF MONTESSA, STATE OF CALIFORNIA
THE ROMAN CATHOLIC BISHOP OF JOHANNESBY
JANUARY 15, 2012

DATE OF SURVEY: JANUARY 15, 2012
SHEET 13 OF 14

SEE SHEET NO. 11 FOR CONTINUATION

SEE SHEET NO. 8 FOR CONTINUATION



EXISTING UTILITIES NOTE

EXISTING UTILITIES SHOWN HEREON ARE BASED UPON A COMBINATION OF SURFACE EVIDENCE, VALVES, CLEAN-OUTS, METER BOXES, RECORDS, ETC. AND RECORD DATA ON FILE IN THE MISSOURI ARCHIVE DRAWINGS (ARCHIVED RECORDS). FIELD SURVEY HAS BEEN MADE IN SOME AREAS WHERE THE RECORD DRAWINGS WERE NOT AVAILABLE OR WHERE SURVEY CONTRACTORS' RECORDS WERE AVAILABLE. AN EFFORT HAS BEEN MADE TO INCLUDE THE MAJOR SUB-SURFACE UTILITY LINES. THE LOCATIONS OF THE SUB-SURFACE UTILITY LINES SHOWN HEREON ARE APPROXIMATE. ONLY EXISTING UTILITY LINES ARE SHOWN AND IT IS TO BE UNDERSTOOD THAT UNIDENTIFIED UTILITIES SHOULD BE FIELD-VERIFIED PRIOR TO ANY CONSTRUCTION ACTIVITY.

FIELD SURVEY NOTE

TOPOGRAPHIC AND SITE DATA SHOWN HEREON ARE BASED UPON A FIELD SURVEY CONDUCTED DURING THE DATES OF JUNE 17 - 21 AND OCTOBER 22 - 30, 2011. IMPROVEMENTS MADE SUBSEQUENT TO THESE DATES ARE NOT REFLECTED HEREON.

BOUNDARY NOTE

THE BOUNDARY LOCATIONS SHOWN HEREON (1874 AND 1951 BOUNDARIES) ARE APPROXIMATE. ONLY RECORD BOUNDARY DATA WAS PLOTTED AND OVERLAIN USING THE FOLLOWING TWO ARCHIVE DRAWINGS:
 1. "SAN ANTONIO MISION DRAWINGS", DATED JANUARY 7, 1847.
 2. "SITE PLAN OF MISSION SAN ANTONIO DE PADUA", PREPARED BY S.M. SHAWNEER, JR. & ASSOCIATES, DATED 1959 (REVISED 1962).
 THE WESTERLY COURSES OF THE 1951 BOUNDARY FOLLOW THE CENTERLINE OF MISSION DRIVE. THESE COURSES WERE APPROXIMATED USING REFERENCE NO. 2, 1951 ARCHIVE.

(NORTH WING)
CONVENTO BUILDING
FF = 95.5' @ DOOR

(WEST WING)
CONVENTO BUILDING
FF = 95.9' @ DOOR

(SOUTH WING)
CONVENTO BUILDING
FF VARIES

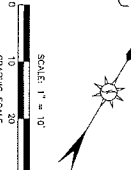
SEE SHEET NO. 9 FOR CONTINUATION

SEE SHEET NO. 13 FOR CONTINUATION

SEE SHEET NO. 10 FOR CONTINUATION

BEAUTZ ENGINEERING
 CIVIL ENGINEERING
 LAND SURVEYING
 1340 15th Street, Suite 200, St. Louis, MO 63103
 (314) 241-4333
 www.beautzeng.com

TOPOGRAPHIC SURVEY MAP
 SHOWING EXISTING SET AND TOPOGRAPHIC INFORMATION
 ON THE PROPERTY DESCRIBED BELOW.
 REGULATORY BOARD OF SURVEYORS & ASSOCIATES, INC. 2011
 PROJECT ASSIGNED TO: MISSOURI ARCHIVE DRAWINGS
 MISSOURI ARCHIVE DRAWINGS
 45. MISSION SAN ANTONIO DE PADUA
 AS SHOWN IN RECORD "1" OF PATENTS AT PAGE 41-5 IN THE OFFICE OF
 THE COUNTY RECORDS, COUNTY OF MONTEREY, STATE OF CALIFORNIA.
 THE BOARD OF CIVIL ENGINEERS OF MONTEREY
 REGISTERED PROFESSIONAL ENGINEER
 M.A./M.B.
 JULY 15, 2012
 SHEET SUR-14
 OF 14



GRAVEL LEGEND (PER ARCHIVE DRAWINGS)
 02.04.05 - SAND/GRAVEL MIXTURE
 010 - GRAVEL
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 098 - GRAVEL
 099 - GRAVEL
 100 - GRAVEL

1 1"=50' SITE PLAN SHOWING SURVEYED / ARCHAEOLOGICAL AREAS



— THIS SITE PLAN IS A COMPILATION OF A LAND SURVEY BY
 MATT SEAUTZ IN JUNE OF 2012, ALONG WITH A
 3-5-93 PLAN DRAWN BY SCARBOROUGH, BARKER WHICH WAS
 IN AND OF ITSELF A COMPOSITE OF MULTIPLE SOURCES.



OF 44 SHEETS

A-11

SHEET NO.

SCALE: 1"=50'

REVISION:

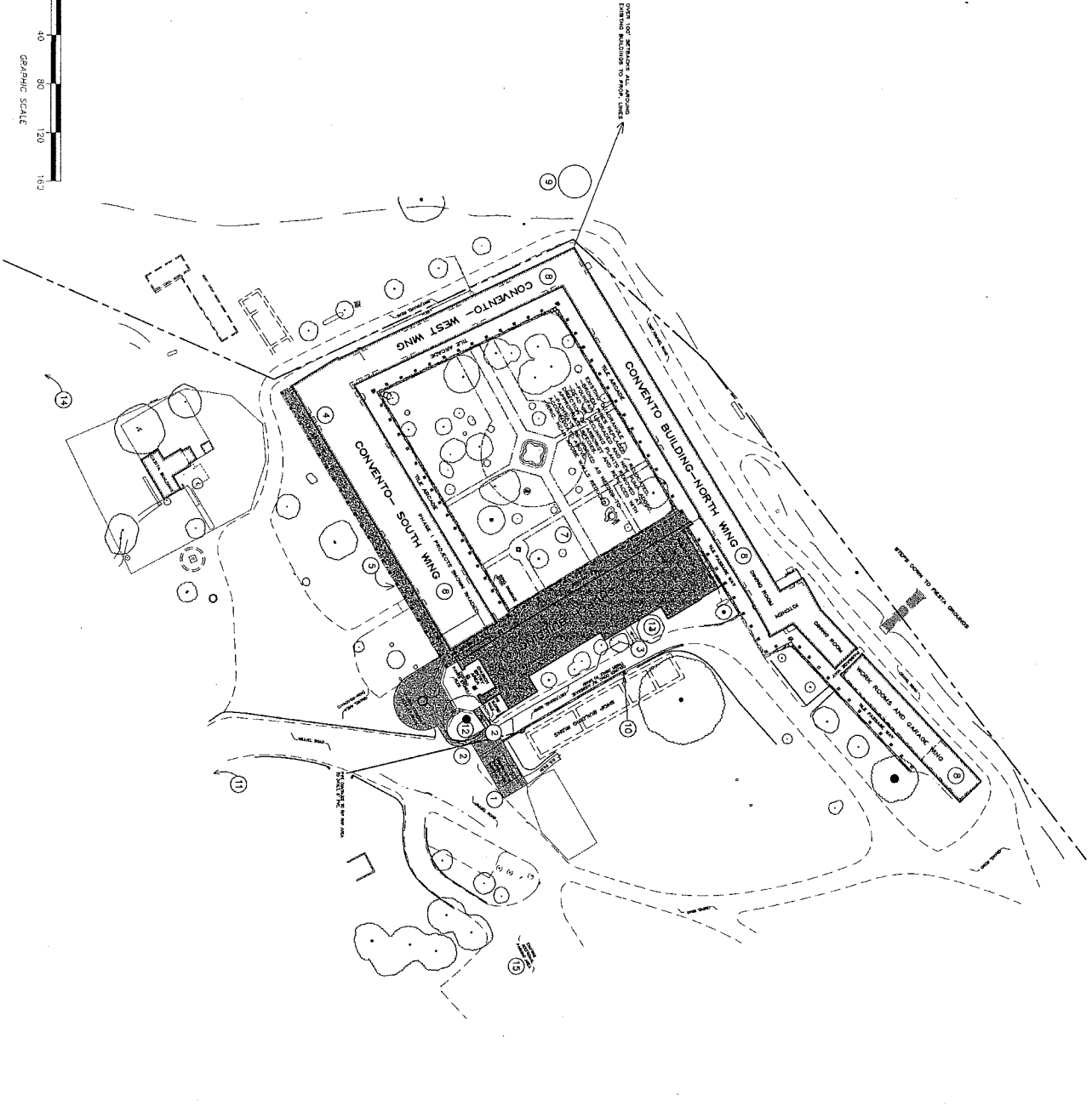
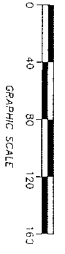
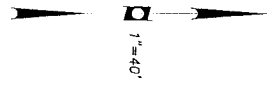
DATE: 9-7-12

SITE PLAN SHOWING SURVEYED /
 ARCHAEOLOGICAL AREAS

MISSION SAN ANTONIO de PADUA

Franks Brenkwitz & Associates
 Architecture + Planning + Historical

P.O. BOX 597 APTOS, CA. 95001
 (831) 662-8800



KEYED NOTES

- 1 ACCESSIBLE PARKING: REMOVE EXIST. AREA PER CODE. ALL PAVING MATERIALS / LAYOUT TO BE APPROVED BY PRESERVATION ARCHITECT.
- 2 ACCESSIBLE PATH OF TRAVEL (MAY INCLUDE FRONT HARDSCAPE AREA)
- 3 ACCESSIBLE PATH OF TRAVEL FOR STAFF
- 4 EXIST. REST ROOMS RENOVATED FOR ACCESSIBILITY-PHASE 1
- 5 PHASE 1 SEISMIC UPGRADE TO ELEC., PLUMB., MECH. SYSTEMS
- 6 PHASE 1 SEISMIC UPGRADE CHURCH-SHAPED
- 7 QUADRANGLE
- 8 FUTURE PHASES SEISMIC UPGRADES-INCLUDES INTERIOR REMODEL (E.G. MAKING TOILET ROOMS ACCESSIBLE IN RETREAT ROOMS OF CONVENTO)
- 9 RAINWATER STORAGE
- 10 DRAINAGE IMPROVEMENTS: INSTALL UNDERGROUND PIPE W/ BURN INLETS TO OVERLAP ST. W/ ROAD
- 11 NEW SIGNAGE ALONG ROAD AS NEEDED
- 12 PROTECT TREE DURING CONSTRUCTION
- 13 REMOVE TREE TO BE REMOVED DUE TO PROXIMITY AND POTENTIAL DAMAGE TO CHURCH.
- 14 NATIVE AMERICAN BURIAL GROUND WALLS TO BE RESTORED BY OTHERS
- 15 PARKING FOR CONST. VEHICLES AND MATERIAL STORAGE / DELIVERY

GENERAL NOTES

-AN AUTOMATIC FIRE SUPPRESSION SYSTEM MAY BE INSTALLED BY OWNER-WHICH MAY ENTAIL ON-SITE WATER STORAGE

-THE PROJECT HAS BEEN DESIGNED IN CONFORMANCE WITH THE SEVERITY OF THE IMPACTS FOR THE TREATMENT OF HISTORIC PROPERTIES

-THE SITE PLAN DEPICTS EXISTING CONDITIONS. CHANGES TO EXISTING ARE NOTED.

-TO REDUCE THE DAMAGED CAUSED BY RAIN WATER TO THE EXISTING ABOVE CONST., NEW GUTTERS AND DOWN SPOUTS SHALL BE ADDED. ALL DRAINAGE TO BE DIRECTED TO EXISTING PATHWAYS.

-AREAS OF INCOMPATIBLE PORTLAND CEMENT PLASTER SHALL BE REMOVED IN PART OR WHOLE PER THE SPECIFICATIONS FOR THE PROJECT.

-THE TILE ROOFING MATERIAL SHALL BE REMOVED ORDER TO HAVE ACCESS TO THE TOP OF THE WALLS FOR THE SEISMIC RETROFITS TO OCCUR. THE EXISTING TILES SHALL THEN BE RE-USED. BROKEN TILES SHALL BE REPLACED WITH MATCHING ONES.

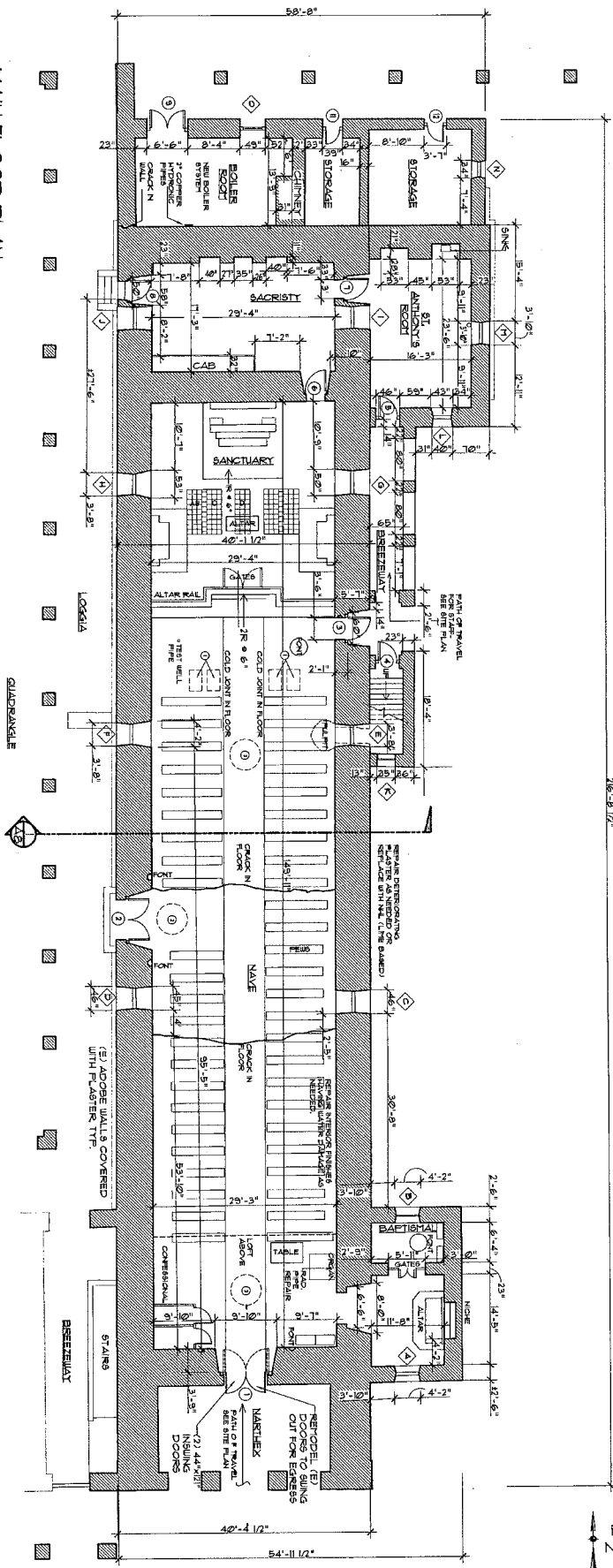
-CONSTRUCTION MANAGEMENT PLAN:

- 1) HOURS OF CONST. TO BE 8 AM TO 6 PM M-SAT.
- 2) TYPES OF CONST. VEHICLES TO INCLUDE CONC. TRUCKS AND WORKER VEHICLES. APPROX. 30-50 VEHIC. TRIPS/ DAY
- 3) AMOUNT OF GRADING: TO CU VOS FOR RE-SLOPING
- 4) DATES: SPRING 2013 TO FALL 2013 FOR PHASE 1
- 5) SITE CONTACT: JOYAN STEELE, MISSION ADMINISTRATOR

831-385-4478 EXT 19

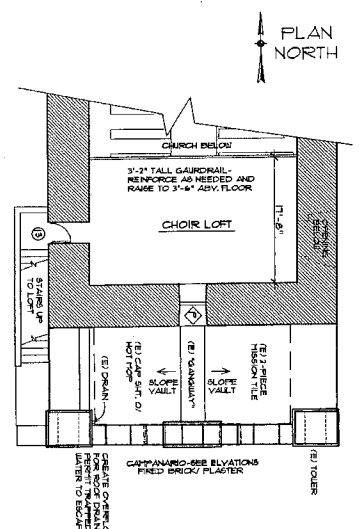
<p>OF 4 SHEETS</p> <p>A-2</p>	<p>MASTER SITE PLAN SHOWING DRAINAGE, HARDSCAPE, AND CONST. MANAGEMENT PLAN</p>	<p>MISSION SAN ANTONIO de PADUA REHABILITATION PROJECT</p>	<p>Franks Brenkwitz & Associates Architecture + Planning + Historical P.O. BOX 597 APTOS, CA. 95001 (831) 662-8800</p>
<p>SCALE: SEE DWG</p>	<p>REVISION:</p>	<p>DATE: 9-7-12</p>	<p>SHEET NO.</p>

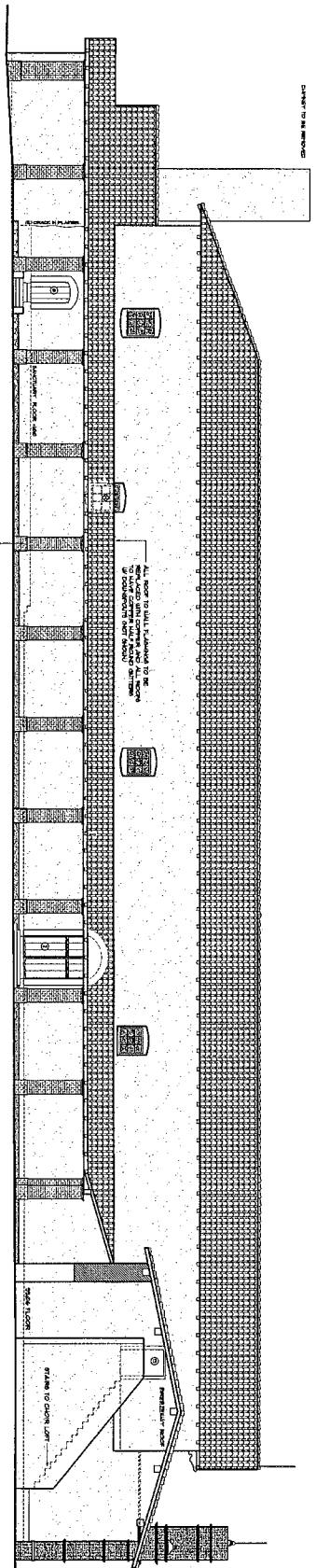
MAIN FLOOR PLAN



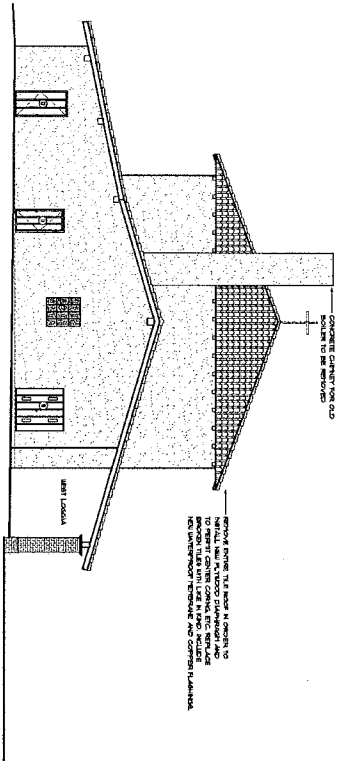
- NOTES**
1. REPAIR OR REPLACE ALL EXISTING MASONRY WORK TO (E) ABOVE FINISH LINE.
 2. REPAIR OR REPLACE ALL EXISTING MASONRY WORK TO (E) ABOVE FINISH LINE.
 3. REPAIR OR REPLACE ALL EXISTING MASONRY WORK TO (E) ABOVE FINISH LINE.
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 19. REPAIR OR REPLACE ALL EXISTING MASONRY WORK TO (E) ABOVE FINISH LINE.
 20. REPAIR OR REPLACE ALL EXISTING MASONRY WORK TO (E) ABOVE FINISH LINE.

CHOIR LOFT FLOOR PLAN

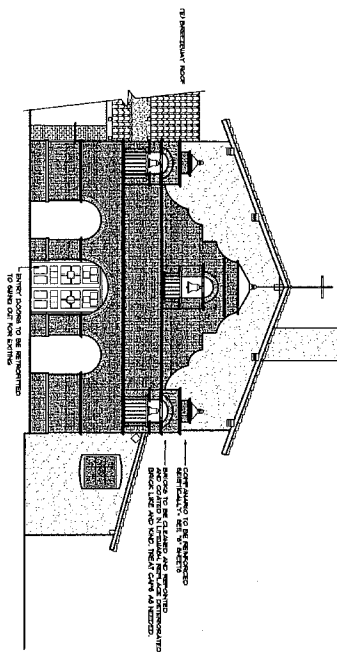




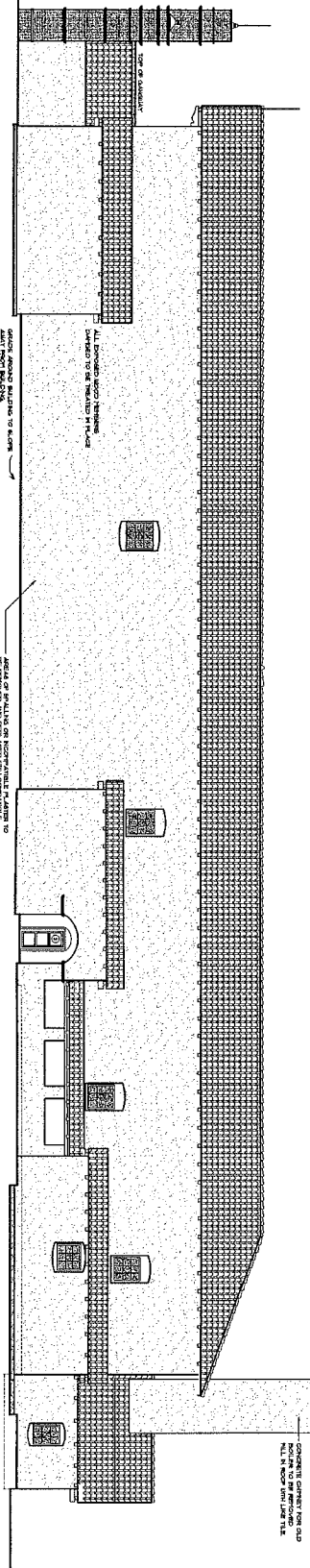
1 | 1/8" = 1'-0" WEST ELEVATION



1 | 1/8" = 1'-0" NORTH ELEVATION



1 | 1/8" = 1'-0" SOUTH ELEVATION



1 | 1/8" = 1'-0" EAST ELEVATION

ELEVATIONS

MISSION SAN ANTONIO de PADUA
REHABILITATION PROJECT

Franks Brenkwitz & Associates
Architecture + Planning + Historical
P.O. BOX 597 APTOS, CA. 95001
(831) 662-8900

DATE: 8-1-12

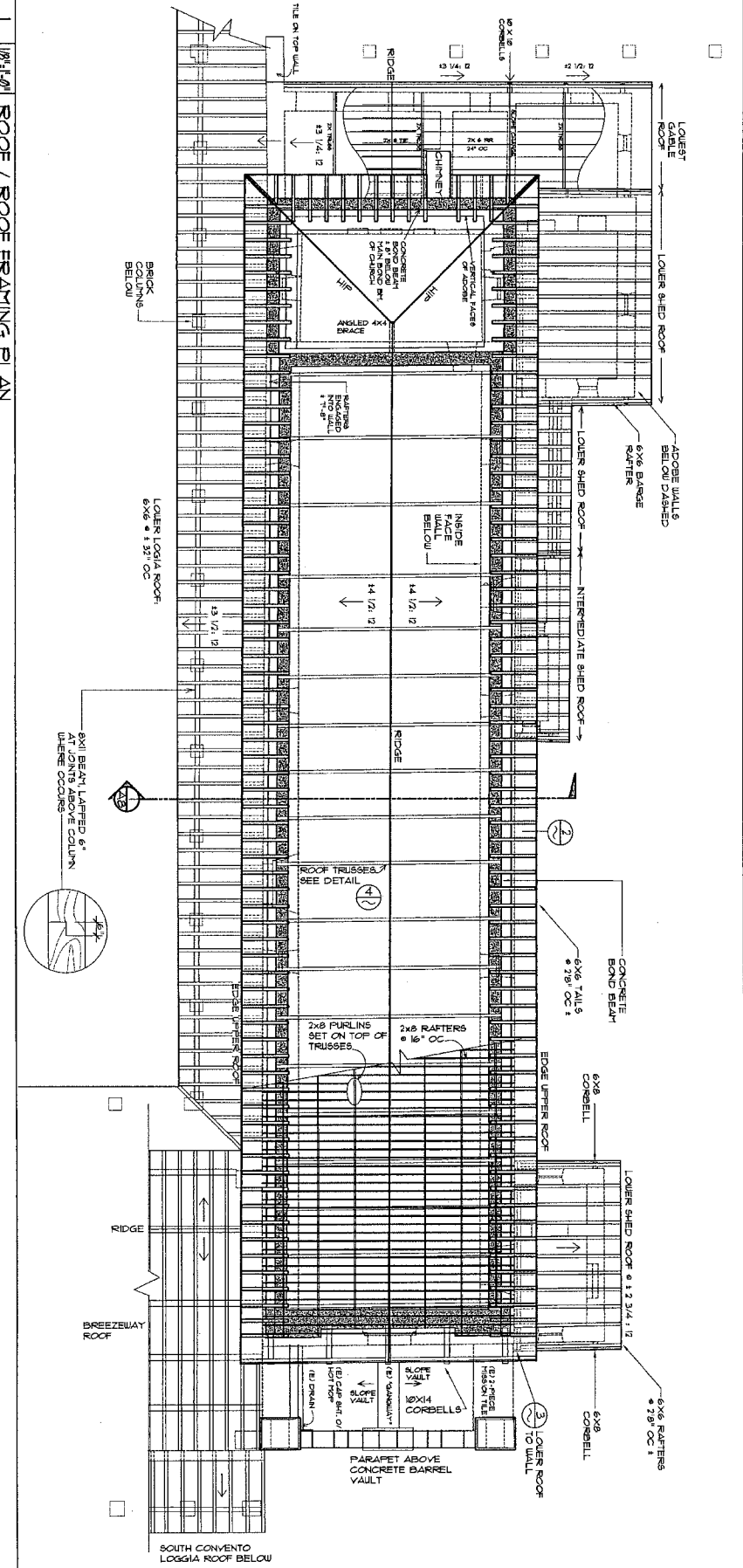
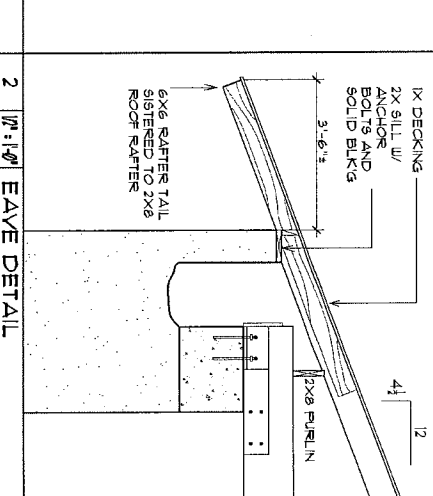
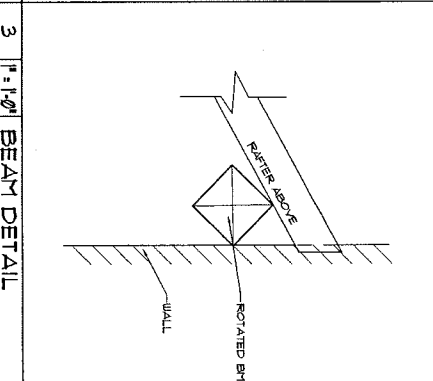
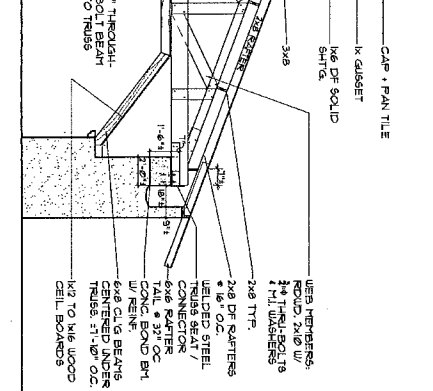
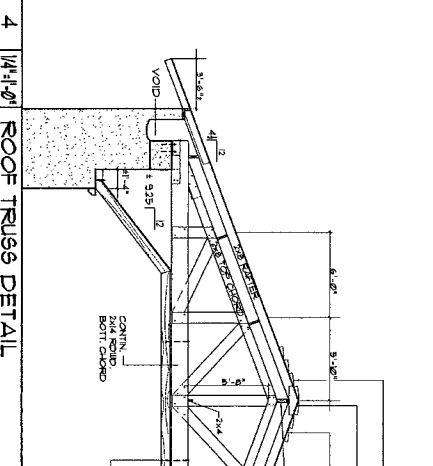
REVISION:

SCALE: SEE DWG

SHEET NO.

A-4

OF 44 SHEETS



1 1/8" = 1'-0" ROOF / ROOF FRAMING PLAN

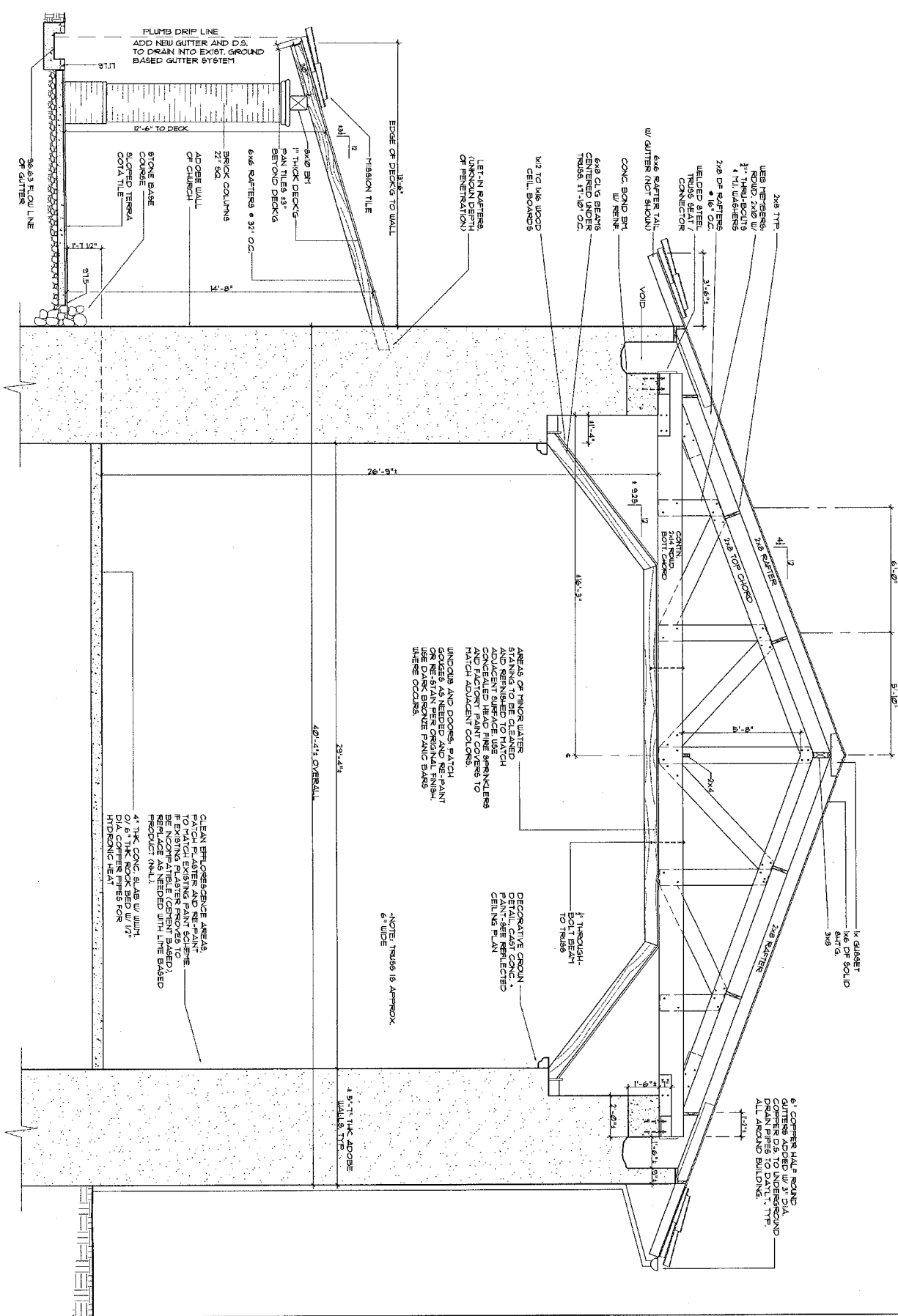
DATE: 7-12	REVISION:
SHEET NO. A-5	SCALE: SEE DWG
0/4 SHEETS	REVISED:

MISSION SAN ANTONIO DE PADUA

REHABILITATION PROJECT

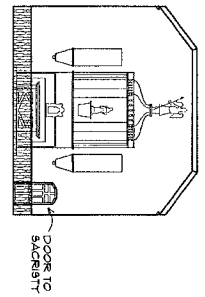
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P.O. BOX 597 APTOS, CA. 95001
(831) 662-8800

1/2"=1'-0" EXISTING BUILDING SECTION



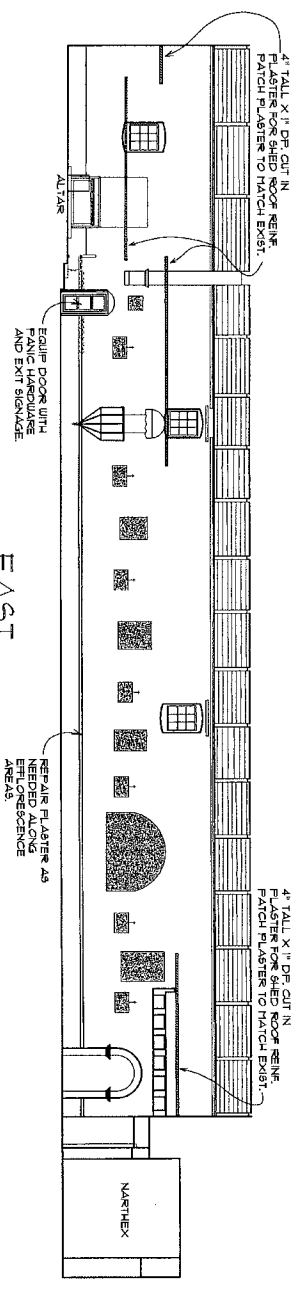
<p>OF 4148-SHEETS</p>	<p>A-8</p>	<p>SHEET NO.</p>	<p>SCALE: 1/2"=1'-0"</p>	<p>REVISION:</p>	<p>DATE: 11-1-8</p>	<p>BUILDING SECTION</p>	<p>MISSION SAN ANTONIO de PADUA REHABILITATION PROJECT</p>	<p>Franks Brenkwitz & Associates Architecture + Planning + Historical P.O. BOX 597 APTOS, CA. 95001 (831) 662-8800</p>
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NORTH



DOOR TO SACRISTY

EAST



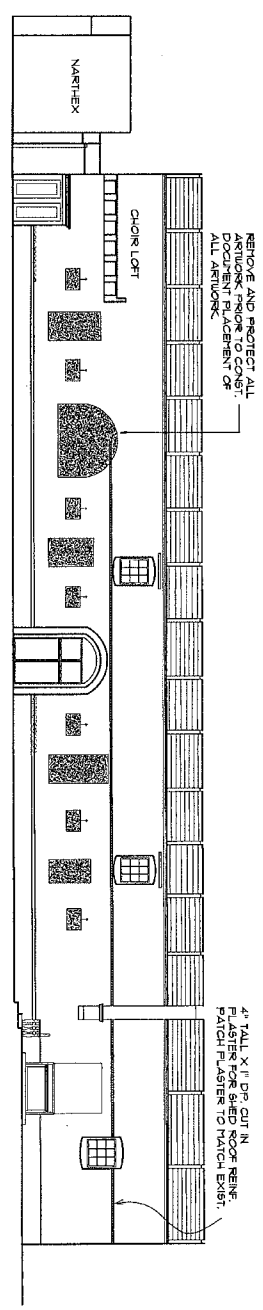
EQUIP DOOR WITH PAVING HARDWARE AND EXIT SIGNAGE

REPAIR PLASTER AS NEEDED ALONG REAR ESCAPE AREAS

4" TALL X 1" DEE CUT IN PASTER WORK SHED TO MATCH EXIST. PATCH PLASTER TO MATCH EXIST.

4" TALL X 1" DEE CUT IN PASTER WORK SHED TO MATCH EXIST. PATCH PLASTER TO MATCH EXIST.

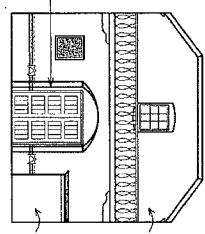
WEST



REMOVE AND PROTECT ALL ARTWORK PRIOR TO CONSTRUCTION. DOCUMENT PLACEMENT OF ALL ARTWORK.

4" TALL X 1" DEE CUT IN PASTER WORK SHED TO MATCH EXIST. PATCH PLASTER TO MATCH EXIST.

SOUTH



REMODEL EXIST. DOORS TO FRONT OF CHAIRS TO PROVIDE PAVING BARS AND SIGNAGE.

CHOIR LOFT WITH GUARDRAIL - ADD RAIL ON TOP TO RAISE TO 42" TALL.

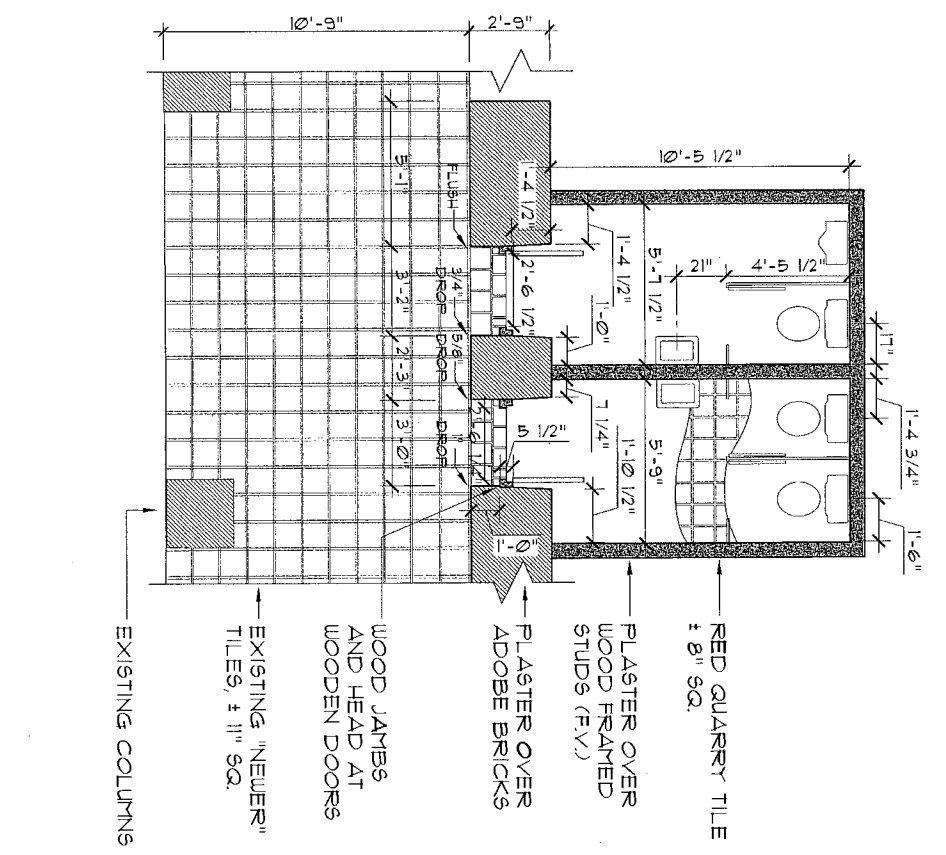
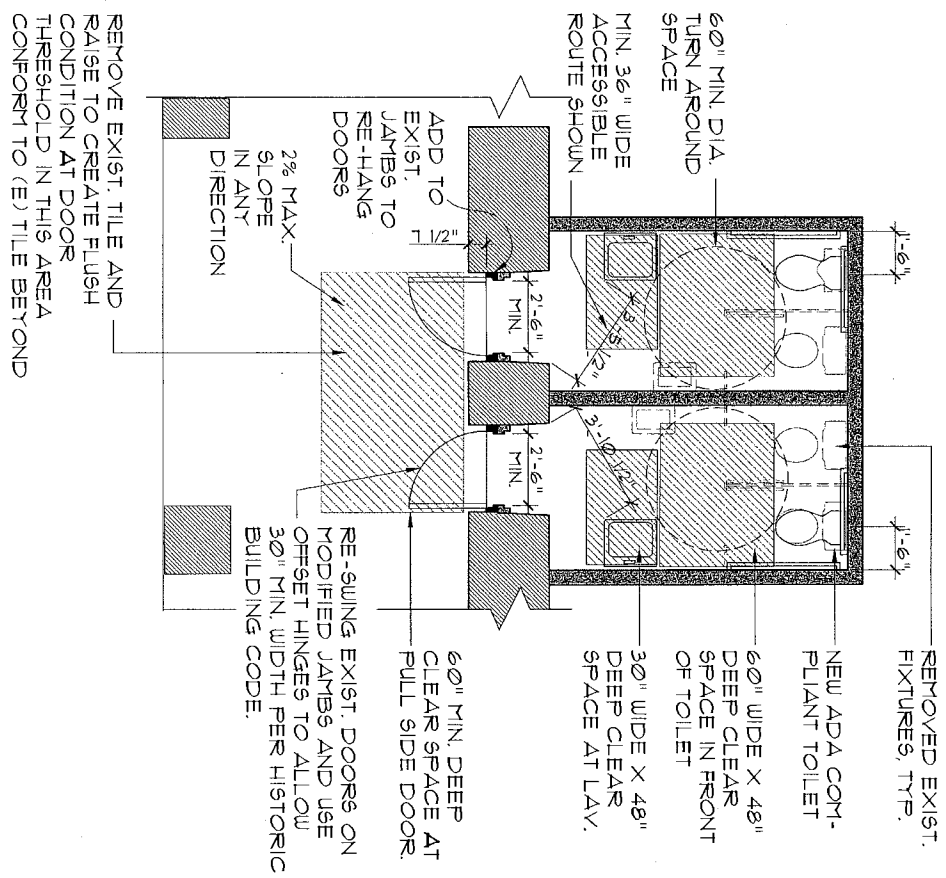
CONGRESSIONAL

INTERIOR ELEVATIONS

MISSION SAN ANTONIO de PADUA
REHABILITATION PROJECT

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(831) 662-8800

DATE: 4-7-02
REVISION:
SCALE: 1/8" = 1'-0"
SHEET NO. A-9
OF 4 SHEETS

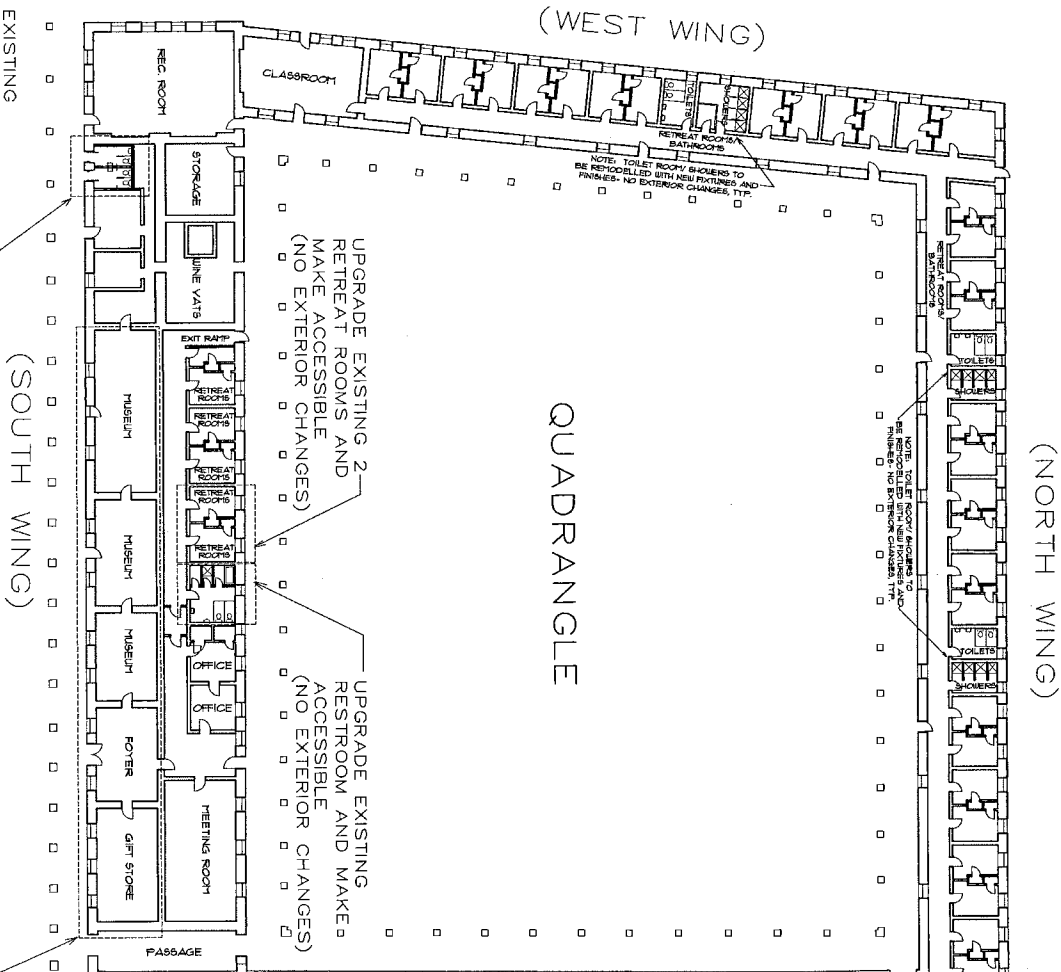


2 1/4"=1'-0" PROPOSED UNISEX (SINGLE ACCOMMODATION) TOILET ROOMS

1 1/4"=1'-0" EXISTING MEN'S AND WOMEN'S TOILET ROOMS

<p>Franks Brenkwitz & Associates Architecture + Planning + Historical P.O. BOX 597 APTOS, CA. 95001 (831) 662-8800</p>	<p>MISSION SAN ANTONIO de PADUA REHABILITATION PROJECT</p>	<p>TOILET ROOM FLOOR PLANS ACCESSIBILITY UPGRADE</p>	<p>DATE: 9-11-18 REVISION: SCALE: 1/2"=1'-0" SHEET NO. A-10 OF 14 SHEETS</p>
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UPGRADE EXISTING TOILET ROOMS AND MAKE ACCESSIBLE--SEE SHEET A-10 FOR DETAIL.



REMODEL EXISTING GIFT STORE / MUSEUM AND INCLUDE INTERPRETIVE DISPLAYS

UPGRADE EXISTING RESTROOM / CLO. AND MAKE (1) ACCESSIBLE TOILET ROOM. WIDEN EXIST. DOOR & PROVIDE RAMPED ENTRY.



1 1/8"=1'-0" CONVENTO FLOOR PLAN

<p>DATE: 9-1-12</p> <p>REVISION:</p> <p>SCALE: 1/8"=1'-0"</p> <p>SHEET NO.</p> <p>A-11</p> <p>OF 14 SHEETS</p>	<p>CONVENTO FLOOR PLAN WITH CHANGES</p> <p>MISSION SAN ANTONIO de PADUA</p> <p>Franks Brenkwitz & Associates Architecture + Planning + Historical P.O. BOX 597 APTOS, CA. 95001 (831) 662-8800</p>
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GENERAL NOTES

GENERAL

- 1) THE WORK SHALL CONFORM TO THE 1991 CALIFORNIA STATE BUILDING CODE AND THE 1991 CALIFORNIA STATE ELECTRICAL CODE AND THE 1991 CALIFORNIA STATE MECHANICAL CODE AND THE 1991 CALIFORNIA STATE PLUMBING CODE AND THE 1991 CALIFORNIA STATE FIRE CODE AND THE 1991 CALIFORNIA STATE CODE OF REGULATIONS OF THE CALIFORNIA BOARD OF ARCHITECTURE AND THE 1991 CALIFORNIA BOARD OF ARCHITECTURE'S REGULATIONS.
- 2) THE WORK SHALL COMPLY WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC MONUMENTS.
- 3) THE WORK SHALL CONFORM TO THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC MONUMENTS.
- 4) VERIFY THE EXISTING CONDITIONS AND DIMENSIONS BEFORE BEGINNING THE WORK, AND IN THE COURSE OF THE WORK NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCY INVOLVING A DISCREPANCY ON THE DRAWINGS WITHOUT DELAY.
- 5) ALTERNATIVE PRODUCTS TO THOSE SPECIFIED ON THESE DRAWINGS MAY BE PROPOSED, SUBJECT TO THE ARCHITECT'S APPROVAL. THE ARCHITECT WILL BE PROVIDED WITH ALL OTHER TECHNICAL DATA INDICATING EQUIVALENCE TO THE SPECIFIED PRODUCTS. THE ARCHITECT WILL BE PROVIDED WITH ALL TECHNICAL DATA INDICATING EQUIVALENCE TO THE SPECIFIED PRODUCTS. THE ARCHITECT WILL BE PROVIDED WITH ALL TECHNICAL DATA INDICATING EQUIVALENCE TO THE SPECIFIED PRODUCTS.
- 6) SUBJECT TO THE ARCHITECT'S CERTIFICATE, THE MATERIALS SPECIFIED ON THESE DRAWINGS SHALL BE USED. THE ARCHITECT'S CERTIFICATE HAS BEEN ACCEPTED AND APPROVED IN WRITING BY THE ARCHITECT.
- 7) COORDINATE WITH THE ARCHITECT FOR STRUCTURAL OBSERVATION VISITS BY THE ENGINEER AT THE FOLLOWING TIMES:
 - WHEN ROOF AND ROOF SHEATHING HAS BEEN REMOVED AS REQUIRED FOR CONSTRUCTION ACCESS.
 - AT THE COMPLETION OF DRAINAGE, ROOF AND INSTALLATION OF ROOF SHEATHING.
 - AT COMPLETION OF ROOF AND CEILING FINISHES.
 - AT COMPLETION OF ROOF AND CEILING FINISHES.
 - AT COMPLETION OF ROOF AND CEILING FINISHES.
 - AT COMPLETION OF ROOF AND CEILING FINISHES.
- 8) A STRUCTURAL CONDITION ASSESSMENT OF THE EXISTING STRUCTURE IS REQUIRED IN THE MISSION SAN ANTONIO DE PADUA, JANUARY 2000.
- 9) CONT. IS TO PROVIDE A MEANS FOR COVERING UP THE EXISTING STRUCTURE. THE ARCHITECT WILL BE PROVIDED WITH ALL TECHNICAL DATA INDICATING EQUIVALENCE TO THE SPECIFIED PRODUCTS. THE ARCHITECT WILL BE PROVIDED WITH ALL TECHNICAL DATA INDICATING EQUIVALENCE TO THE SPECIFIED PRODUCTS.

FOUNDATION AND EXCAVATION

- 1) THERE IS NO FOUNDATION DEFICIENCY HAS BEEN OBSERVED.
- 2) DO NOT PROCEED WITH EXCAVATION OF ANY KIND UNTIL NOTIFIED BY THE ARCHITECT. EXCAVATION SHALL BE DONE FOR ANY REASON SHALL BE COVERED BY THE PROJECT ARCHITECT. NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCY INVOLVING A DISCREPANCY ON THE DRAWINGS WITHOUT DELAY.

LIKENES AND PLUMBING

- 1) PRESERVATIVE TREATMENT:
 - PLUMBING SHALL BE TREATED ON ALL SURFACES WITH BORAX CORPORATION (LUMBER PRESERVATIVE) APPLIED IN COMPLIANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
 - MAIN LATHERS SHALL BE TREATED WITH WATER-BORNE CI.
 - FIELD JOINT BROWN-CASE TO TREATED LATHERS FIELD JOINTS IN COMPLIANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
 - FOR ALL WOODS, USE PRESERVATIVE TREATED WOOD BASED ON THE MANUFACTURER'S INSTRUCTIONS.
 - PRESERVATIVE TREATED WOOD SHALL BE USED FOR ALL WOODS, USE PRESERVATIVE TREATED WOOD BASED ON THE MANUFACTURER'S INSTRUCTIONS.
 - PRESERVATIVE TREATED WOOD SHALL BE USED FOR ALL WOODS, USE PRESERVATIVE TREATED WOOD BASED ON THE MANUFACTURER'S INSTRUCTIONS.
- 2) ISOLATION OF PRESERVATIVE TREATED WOOD TO GALVANIZED IRON HANGERS:
 - REPAIR DAMAGED PRESERVATIVE TREATED WOOD HAVE RESULTED FROM CONTACT WITH GALVANIZED IRON HANGERS.
 - PRESERVATIVE TREATED WOOD SHALL BE USED FOR ALL WOODS, USE PRESERVATIVE TREATED WOOD BASED ON THE MANUFACTURER'S INSTRUCTIONS.
 - PRESERVATIVE TREATED WOOD SHALL BE USED FOR ALL WOODS, USE PRESERVATIVE TREATED WOOD BASED ON THE MANUFACTURER'S INSTRUCTIONS.
 - PRESERVATIVE TREATED WOOD SHALL BE USED FOR ALL WOODS, USE PRESERVATIVE TREATED WOOD BASED ON THE MANUFACTURER'S INSTRUCTIONS.
- 3) REPAIR OF THERMOPLASTIC DAMAGE:
 - THE DESIGN INTENT IS TO REPAIR DAMAGED WOOD THROUGHOUT IN EXPOSED WOOD THROUGHOUT TO MATCH EXISTING TREATMENT AT ALL PLACES.
 - REPAIR DAMAGED PRESERVATIVE TREATED WOOD HAVE RESULTED FROM CONTACT WITH GALVANIZED IRON HANGERS.
 - PRESERVATIVE TREATED WOOD SHALL BE USED FOR ALL WOODS, USE PRESERVATIVE TREATED WOOD BASED ON THE MANUFACTURER'S INSTRUCTIONS.
 - PRESERVATIVE TREATED WOOD SHALL BE USED FOR ALL WOODS, USE PRESERVATIVE TREATED WOOD BASED ON THE MANUFACTURER'S INSTRUCTIONS.

EXISTING CONSTRUCTION

- 1) DIRT NOT EXISTING ABOVE WALKWAY SHALL BE WASHED WITH WATER AND TOOL. IMPACT TOOLS SHALL NOT BE USED.
- 2) NON FINISHED SURFACES SHALL BE REFINISHED. PROVIDE SCHEDULE WITHOUT DAMAGE TO THE EXISTING CONSTRUCTION.
- 3) REPAIR FINISHED DAMAGED BY THE WORK, INCLUDING FINISHES, SHALL BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- 4) REPAIR DAMAGE TO NON-STRUCTURAL SYSTEMS (MECHANICAL, ELECTRICAL, PLUMBING, ETC.) SHALL BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- 5) REPAIR DAMAGE TO STRUCTURAL SYSTEMS SHALL BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- 6) REPAIRS OF EXISTING DAMAGED FINISHES AND REPLICATION OF EXISTING FINISHES SHALL BE AS SPECIFIED BY THE ARCHITECT.
- 7) ENVIRONMENTAL REQUIREMENTS:
 - PROVIDE TARPING OVER THE OUTSIDE OF THE WORK AREA TO PREVENT SOIL FROM BEING TRACKED ONTO THE DRIVEWAY, SIDEWALKS, AND LEAVES.
 - PROVIDE TARPING OVER THE OUTSIDE OF THE WORK AREA TO PREVENT SOIL FROM BEING TRACKED ONTO THE DRIVEWAY, SIDEWALKS, AND LEAVES.
 - PROVIDE TARPING OVER THE OUTSIDE OF THE WORK AREA TO PREVENT SOIL FROM BEING TRACKED ONTO THE DRIVEWAY, SIDEWALKS, AND LEAVES.
- 8) HOOK-UP:
 - HOOK-UPS OF REPAIR PROCEDURES SHALL BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
 - HOOK-UPS OF REPAIR PROCEDURES SHALL BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
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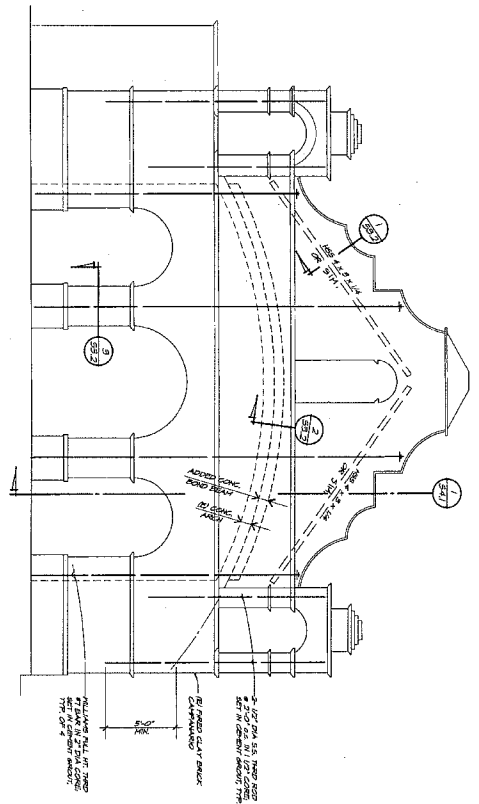
ESSENTIAL CONDITIONS

- 1) THE BUILDING SHALL NOT BE TEMPORARILY OCCUPIED UNDER THE FOLLOWING CONDITIONS:
 - REQUIRED EXITS ARE OBSTRUCTED.
 - REQUIRED FIRE-SAFETY DEVICES ARE NOT OPERATIONAL.
- 2) THE STAFFED SET OF DRAWINGS SHALL BE KEPT ON HAND AT ALL TIMES. THE ARCHITECT WILL BE PROVIDED WITH ALL TECHNICAL DATA INDICATING EQUIVALENCE TO THE SPECIFIED PRODUCTS. THE ARCHITECT WILL BE PROVIDED WITH ALL TECHNICAL DATA INDICATING EQUIVALENCE TO THE SPECIFIED PRODUCTS.
- 3) OBTAIN A SERVICE REPORT AS NEEDED FOR AND FOR ELECTRICAL AND / OR MECHANICAL VENTILATION WORK.
- 4) OBTAIN INSPECTIONS BEFORE BEGINNING THE WORK.

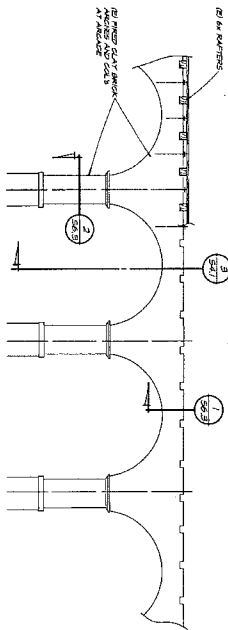
JOB-SITE SAFETY

- 1) CONSTRUCTION SAFETY FEATURES SHALL COMPLY WITH THE CALIFORNIA STATE SAFETY CODE AND THE CALIFORNIA STATE ELECTRICAL CODE AND THE CALIFORNIA STATE MECHANICAL CODE AND THE CALIFORNIA STATE PLUMBING CODE AND THE CALIFORNIA STATE FIRE CODE AND THE CALIFORNIA STATE CODE OF REGULATIONS OF THE CALIFORNIA BOARD OF ARCHITECTURE AND THE CALIFORNIA BOARD OF ARCHITECTURE'S REGULATIONS.
- 2) THE CONTRACTOR SHALL ASSURE THAT ALL WORK IS DONE IN ACCORDANCE WITH THE CALIFORNIA STATE SAFETY CODE AND THE CALIFORNIA STATE ELECTRICAL CODE AND THE CALIFORNIA STATE MECHANICAL CODE AND THE CALIFORNIA STATE PLUMBING CODE AND THE CALIFORNIA STATE FIRE CODE AND THE CALIFORNIA STATE CODE OF REGULATIONS OF THE CALIFORNIA BOARD OF ARCHITECTURE AND THE CALIFORNIA BOARD OF ARCHITECTURE'S REGULATIONS.

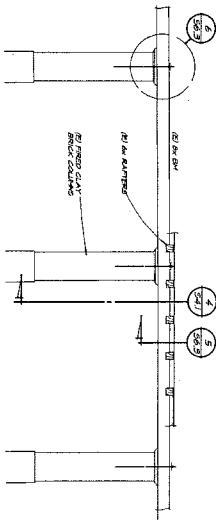
1) GENERAL NOTES



SAMPANARIO ELEVATION
1/2" = 1'-0" (S3.1)



PARTIAL ARCADE ELEVATION
1/2" = 1'-0" (S3.1)



PARTIAL ELEVATION
1/2" = 1'-0" (S3.1)



OF 4 SHEETS	S3.1	SHEET NO.	SCALE: 1/2" = 1'-0"	REVISION:	DATE: SEP 1, 2004	ELEVATIONS	MISSION SAN ANTONIO de PADUA REHABILITATION PROJECT	Franks Brenkwitz & Associates Architecture + Planning + Historical P.O. Box 597, Aptos, CA 95001 1831 662-8800
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GENERAL NOTES

1. CONF CONTRACTOR SHALL VERIFY ALL WORK SHALL CONFORM TO AND BE PERFORMED IN ACCORDANCE WITH CODES, STANDARDS, AND REGULATIONS OF THE BUILDING DEPARTMENT OF THE CITY OF SAN ANTONIO, TEXAS. ALL WORK SHALL BE SUBJECT TO THE INSPECTION AND APPROVAL OF THE BUILDING DEPARTMENT OF THE CITY OF SAN ANTONIO, TEXAS. ALL WORK SHALL BE SUBJECT TO THE INSPECTION AND APPROVAL OF THE BUILDING DEPARTMENT OF THE CITY OF SAN ANTONIO, TEXAS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SAN ANTONIO, TEXAS. ALL WORK SHALL BE SUBJECT TO THE INSPECTION AND APPROVAL OF THE BUILDING DEPARTMENT OF THE CITY OF SAN ANTONIO, TEXAS.
3. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING ELECTRICAL SYSTEMS IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM CODE (NFAC). ALL WORK SHALL BE SUBJECT TO THE INSPECTION AND APPROVAL OF THE BUILDING DEPARTMENT OF THE CITY OF SAN ANTONIO, TEXAS.
4. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM CODE (NFAC). ALL WORK SHALL BE SUBJECT TO THE INSPECTION AND APPROVAL OF THE BUILDING DEPARTMENT OF THE CITY OF SAN ANTONIO, TEXAS.
5. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM CODE (NFAC). ALL WORK SHALL BE SUBJECT TO THE INSPECTION AND APPROVAL OF THE BUILDING DEPARTMENT OF THE CITY OF SAN ANTONIO, TEXAS.

GENERAL DEMOLITION PLAN NOTES

- REFER TO ARCHITECTURAL DEMOLITION SHEETS FOR ADDITIONAL INFORMATION.
- EQUIPMENT TO BE REMOVED IS SHOWN FOR REFERENCE ONLY. INSPECTION WAS CONDUCTED FROM ORIGINAL BUILDING DRAWINGS AND LATEST FIELD INVESTIGATION AND MAY NOT REPRESENT ALL ELECTRICAL EQUIPMENT TO BE REMOVED. ALL ELECTRICAL EQUIPMENT TO BE REMOVED SHALL BE IDENTIFIED BY THE CONTRACTOR AND THE ARCHITECT. ALL ELECTRICAL EQUIPMENT TO BE REMOVED SHALL BE IDENTIFIED BY THE CONTRACTOR AND THE ARCHITECT.
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GENERAL LIGHTING PLAN NOTES

- REFER TO ARCHITECTURAL DEMOLITION SHEETS FOR ADDITIONAL INFORMATION.
- EQUIPMENT TO BE REMOVED IS SHOWN FOR REFERENCE ONLY. INSPECTION WAS CONDUCTED FROM ORIGINAL BUILDING DRAWINGS AND LATEST FIELD INVESTIGATION AND MAY NOT REPRESENT ALL ELECTRICAL EQUIPMENT TO BE REMOVED. ALL ELECTRICAL EQUIPMENT TO BE REMOVED SHALL BE IDENTIFIED BY THE CONTRACTOR AND THE ARCHITECT.
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GENERAL POWER PLAN NOTES

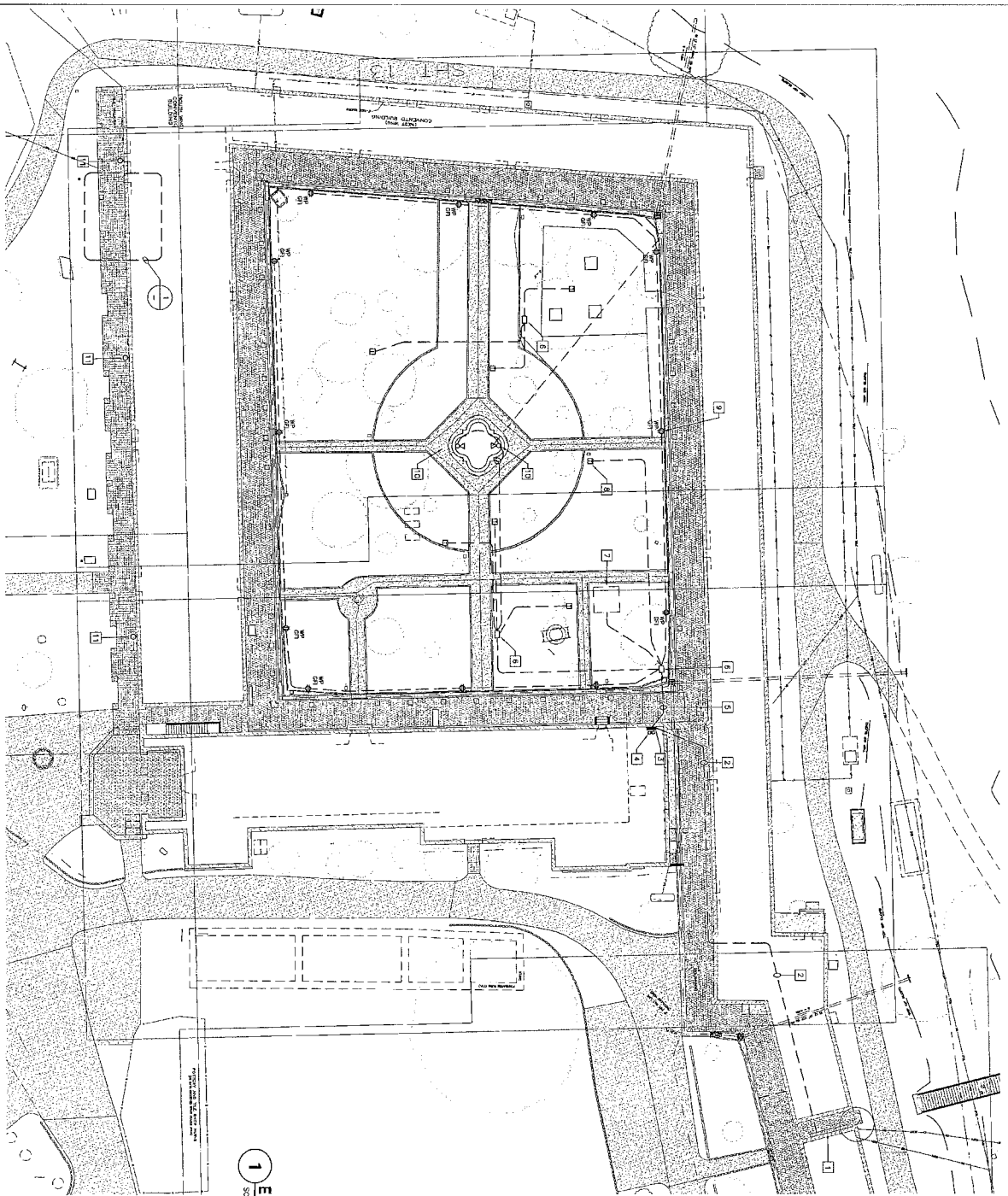
- REFER TO ARCHITECTURAL DEMOLITION SHEETS FOR ADDITIONAL INFORMATION.
- EQUIPMENT TO BE REMOVED IS SHOWN FOR REFERENCE ONLY. INSPECTION WAS CONDUCTED FROM ORIGINAL BUILDING DRAWINGS AND LATEST FIELD INVESTIGATION AND MAY NOT REPRESENT ALL ELECTRICAL EQUIPMENT TO BE REMOVED. ALL ELECTRICAL EQUIPMENT TO BE REMOVED SHALL BE IDENTIFIED BY THE CONTRACTOR AND THE ARCHITECT.
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LEGEND

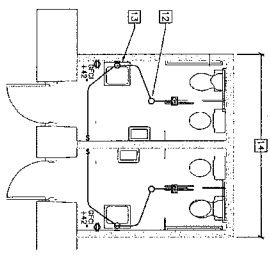
NOTE REFERRED TO IN COLUMN	CONDUIT/WIRE	ABBREVIATIONS
1	1-NH	A AIRPAC
2	1-UB	4 AIR FLEX CABLE
3	1-UB	4 AIR FLEX CABLE
4	1-UB	4 AIR FLEX CABLE
5	1-UB	4 AIR FLEX CABLE
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74	1-UB	4 AIR FLEX CABLE
75	1-UB	4 AIR FLEX CABLE
76	1-UB	4 AIR FLEX CABLE
77	1-UB	4 AIR FLEX CABLE
78	1-UB	4 AIR FLEX CABLE
79	1-UB	4 AIR FLEX CABLE
80	1-UB	4 AIR FLEX CABLE
81	1-UB	4 AIR FLEX CABLE
82	1-UB	4 AIR FLEX CABLE
83	1-UB	4 AIR FLEX CABLE
84	1-UB	4 AIR FLEX CABLE
85	1-UB	4 AIR FLEX CABLE
86	1-UB	4 AIR FLEX CABLE
87	1-UB	4 AIR FLEX CABLE
88	1-UB	4 AIR FLEX CABLE
89	1-UB	4 AIR FLEX CABLE
90	1-UB	4 AIR FLEX CABLE
91	1-UB	4 AIR FLEX CABLE
92	1-UB	4 AIR FLEX CABLE
93	1-UB	4 AIR FLEX CABLE
94	1-UB	4 AIR FLEX CABLE
95	1-UB	4 AIR FLEX CABLE
96	1-UB	4 AIR FLEX CABLE
97	1-UB	4 AIR FLEX CABLE
98	1-UB	4 AIR FLEX CABLE
99	1-UB	4 AIR FLEX CABLE
100	1-UB	4 AIR FLEX CABLE



OVERALL ELECTRICAL FLOOR PLAN
SCALE: 1"=20'-0"
NORTH



1
SCALE: 1/4"=1'-0"
ENLARGED PLAN AT REMODELED RESTROOM



REFERENCE NOTES

1. EXISTING MAIN DISTRIBUTION EQUIPMENT. REPLACE EXISTING DISCONNECT. SEE PERIOD 1 ON SHEET E-27.
2. EXISTING 2" FIBER CONDUIT (FIELD VERIFY ROUTING THROUGH ATTIC).
3. EXISTING PANEL TO BE REPLACED WITH NEW 200 AMP PANEL. NEW CIRCUITS (MUSIC, SIGNALS, TIME SWITCHES, IN COURTROOM, ETC.) TO CONTROL NEW LIGHTING/ROOF/FAN RIGS.
4. CROSS UNDER EXISTING WALKWAY (GENERALLY ROOMS/STAIRS/HALL, ETC.).
5. NEW 11/16" RIGS BOX FINISH IN GRADE FOR DISTRIBUTION OF NEW CIRCUITS. BRACKETS SHOULD BE SHOWN BY OTHERS.
6. NEW 1/2" PVC CONDUIT FOR TO CONNECT ELECTRICAL PANELS TO DISTRIBUTION POINTS.
7. LOW VOLTAGE TRANSFORMER FOR LAMPS/RECEPTACLES. (LOADS/QUANTITIES ARE AN ESTIMATE ONLY.) TYPICAL.
8. W/P/GRG RECEPTACLE WITH METALLIC "MIL-1-1/2" COVER. RECEPTACLE MOUNTED ON 4" x 8" SO. PRESSURE TREATED WOOD APPLICATION (SEE PERIOD 1 ON SHEET E-27).
9. EXISTING JOINT FIXTURE TO BE REPAIRS/REPLACED AND NEW SUBSTITUTED WITH LIGHT FIXTURES.
10. EXISTING JOINT FIXTURE TO BE REPAIRS/REPLACED AND NEW SUBSTITUTED WITH LIGHT FIXTURES.
11. EXISTING JOINT FIXTURE TO BE REPAIRS/REPLACED AND NEW SUBSTITUTED WITH LIGHT FIXTURES.
12. NEW DECORATIVE CEILING LUMINAIRE. (TYPICAL OF 2)
13. NEW DECORATIVE WALL LUMINAIRE AT LAVATORY. (TYPICAL OF 2)
14. RECONNECT/REMOVE EXISTING LAMING/ELECTRICAL IN EXISTING RESTROOMS.

PROGRESS
LIOSMA
L. H. OSMA & ASSOCIATES
REGISTERED PROFESSIONAL ARCHITECTS
1000 N. GARDEN ST. SUITE 100
DALLAS, TEXAS 75202
PHONE: 214.750.1100
FAX: 214.750.1101
WWW.LIOSMA.COM

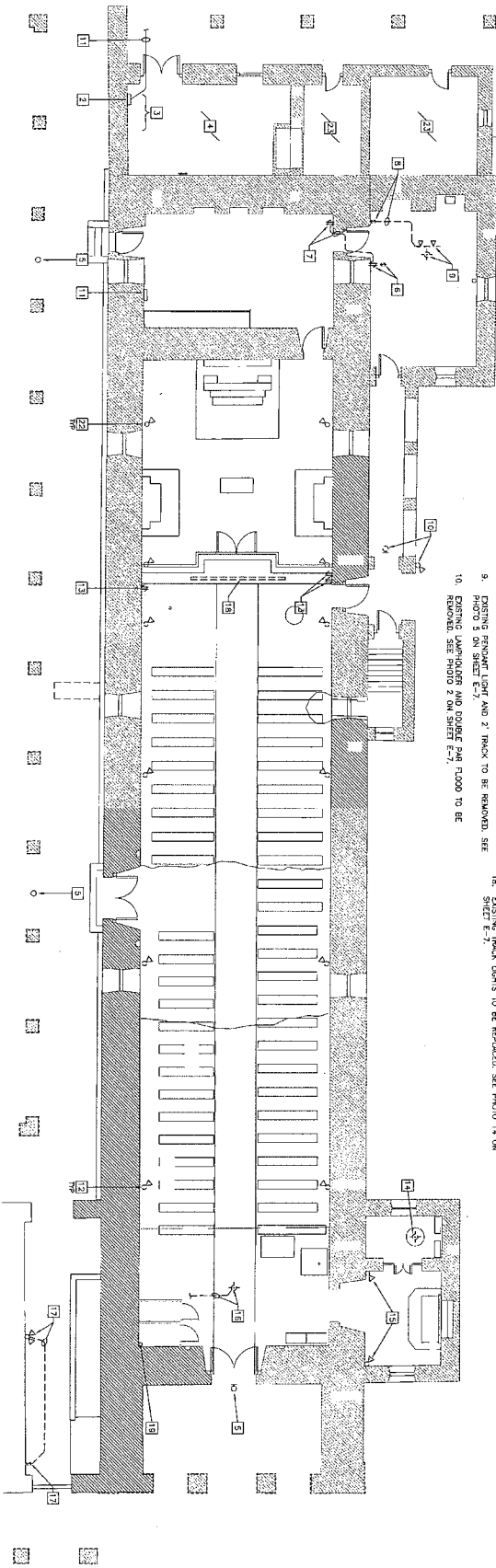
DATE: 4-1-12	REVISION:	SHEET NO. E-2
OVERALL ELECTRICAL FLOOR PLAN	SCALE: AS NOTED	OF 14 SHEETS

OVERALL ELECTRICAL FLOOR PLAN
MISSION SAN ANTONIO de PADUA

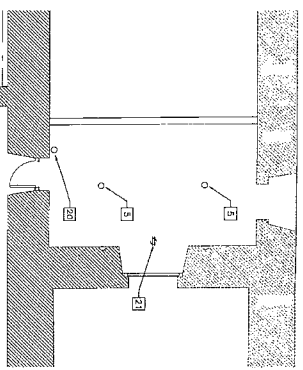
Franks Brenkwitz & Associates
Architecture + Planning + Historical
P.O. BOX 597 APTOS, CA. 95001
(831) 582-8800

REFERENCE NOTES

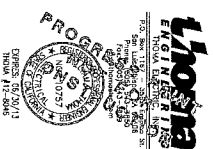
1. EXISTING 2" FEEDER CONDUIT TO BE REMOVED. SEE OVERALL PLAN.
2. EXISTING PANEL TO BE REPLACED WITH NEW. SEE PHOTO 2 ON SHEET E-7.
3. DISCONNECT/REMOVE ALL EXISTING ELECTRICAL CONNECTIONS, DISCONNECT PANEL AND LUMINAIR IN SEE PHOTO 2 ON SHEET E-7.
4. DISCONNECT/REMOVE ALL EXISTING ELECTRICAL BRANCH CIRCUITS IN USE.
5. EXISTING LIGHT FIXTURE TO BE REPLACED.
6. EXISTING SURFACE WIRELOAD RECEPTACLE AND SWITCH TO BE REMOVED.
7. EXISTING SURFACE WIRELOAD RECEPTACLE AND SWITCH TO BE REMOVED. RACEWAY/CONDUITING AROUND DOOR FRAME TO BE REMOVED. SEE PHOTOS 3 & 4 ON SHEET E-7.
8. EXISTING SURFACE WIRELOAD RACEWAY AND SWITCH TO BE REMOVED.
9. EXISTING PRODUCT LIGHT AND 2" TRACK TO BE REMOVED. SEE PHOTO 5 ON SHEET E-7.
10. REMOVAL. SEE PHOTO 2 ON SHEET E-7.
11. EXISTING SWITCHGEAR TO REMAIN AND BE REUSED.
12. EXISTING SWITCHGEAR FLOOR TO BE REMOVED. TRUCK OF (9).
13. EXISTING SURFACE RECEPTACLE(S) AND ASSOCIATED SURFACE RECEPTACLE(S) TO BE REMOVED. SEE PHOTOS 9, 9 & 10 ON SHEET E-7.
14. EXISTING PRODUCT LIGHT FIXTURE TO BE REMOVED AND RE-INSTALLED. SEE PHOTOS 11 & 12 ON SHEET E-7.
15. EXISTING SWITCHGEAR SPOT LIGHTS TO BE REPLACED WITH NEW LED.
16. EXISTING PRODUCT LIGHT FIXTURE TO BE REPLACED. REMOVE EXISTING SURFACE 300° CORD ALONG BEAM. SEE PHOTO 13 ON SHEET E-7.
17. EXISTING DOUBLE PAN FLOOR SURFACE CONDUIT AND SURFACE MOUNTED SWITCH TO BE REMOVED.
18. EXISTING TRACK LIGHTS TO BE REPLACED. SEE PHOTO 14 ON SHEET E-7.
19. EXISTING TRACK LIGHTS TO BE REPLACED. SEE PHOTO 14 ON SHEET E-7.
20. EXISTING SURFACE CONDUIT DROP TO CONFESSORIAL BOOTH TO BE REMOVED.
21. EXISTING LAMPHOLDER WITH INTERNAL ON/OFF SWITCH TO BE REMOVED.
22. EXISTING RECEPTACLE TO BE REMOVED.
23. EXISTING NONCONFESSORIAL FLOOR LIGHT TO BE REPLACED WITH NEW LED.
24. EXISTING SWITCHES AND LUMINAIRS IN THIS ROOM TO BE REMOVED.



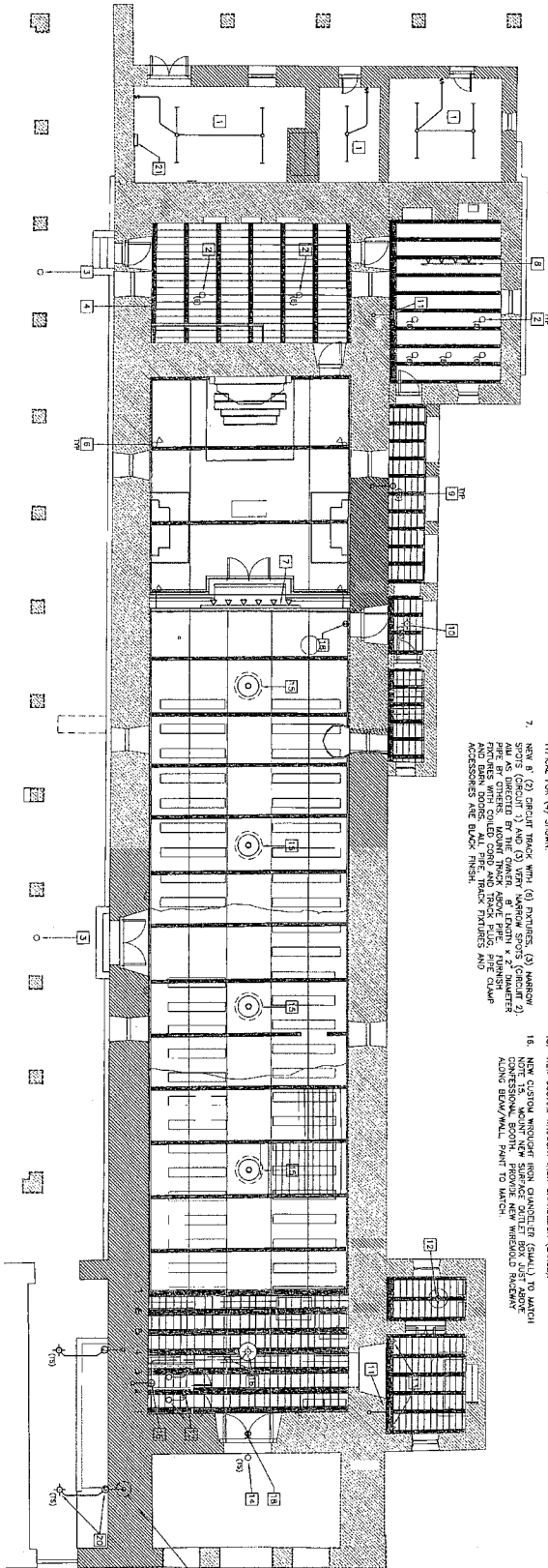
DEMOLITION FLOOR PLAN
SCALE: 1/8"=1'-0"
NORTH



DEMOLITION CHOIR LOFT PLAN
SCALE: 1/8"=1'-0"
NORTH

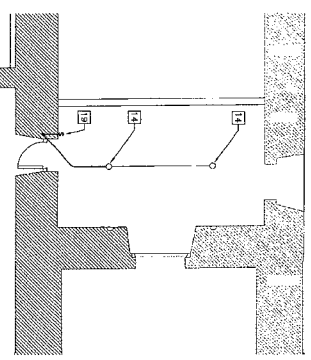


<p>Franks Brenkwitz & Associates Architecture + Planning + Historical P.O. BOX 597 APTOS, CA. 95001 (831) 552-8800</p>	<p>DEMOLITION FLOOR PLAN</p> <p>MISSION SAN ANTONIO de PADUA</p>	<p>DATE: 4-1-12</p> <p>REVISION:</p> <p>SCALE: AS NOTED</p> <p>SHEET NO. E-3</p> <p>OF 14 SHEETS</p>
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- REFERENCE NOTES**
1. NEW 8' x 12' LAMP FLUORESCENT LIGHTS WITH SWAYNE, REFLECTOR AND WIRE GUARD. CHAIN HANG TO 10' - 0" AFF. PROVIDE NEW SURFACE MOUNTED SWITCH.
 2. EXISTING FIXTURES TO REMAIN.
 3. NEW DECORATIVE WROUGHT IRON FIXTURE TO REPLACE EXISTING (SWITCHING TO REMAIN).
 4. EXISTING SINK/STOVE TO BE REUSED FOR NEW LIGHTING AND (NOT USED).
 5. NEW LED MEDIUM FLOOD TO REPLACE EXISTING. AIM AT ALDRE.
 6. NEW LED 100' (1) SPARK. WITH (2) FIXTURES. (3) MOUNTED ON WALL AS DIRECTED BY THE OWNER. AT LAMINATE 2" DIAMETER. FIXTURES WITH COILED CORD AND TRACK PLUG. FIRE CLAMP AND BURN BOMBS. ALL PER. TRACK FIXTURES AND ACCESSORIES PER OWNER'S DESIGN.
 7. NEW 8' (2) TRACK LIGHTS WITH (2) FIXTURES. (3) MOUNTED ON WALL AS DIRECTED BY THE OWNER. AT LAMINATE 2" DIAMETER. FIXTURES WITH COILED CORD AND TRACK PLUG. FIRE CLAMP AND BURN BOMBS. ALL PER. TRACK FIXTURES AND ACCESSORIES PER OWNER'S DESIGN.
 8. NEW 4' (1) SHORT TRACK TO REPLACE EXISTING.
 9. (1) MOUNTED "TUB" SWITCH. CONTROLLED.
 10. NEW DECORATIVE WROUGHT IRON PENDANT FIXTURE.
 11. NEW SWAYNE/BLACK.
 12. EXISTING PENDANT FIXTURE TO BE RESTORED/REINSTALLED.
 13. NEW LED SPOTS TO REPLACE EXISTING.
 14. NEW DECORATIVE WROUGHT IRON LIGHT FIXTURE TO REPLACE EXISTING.
 15. NEW CUSTOM WROUGHT IRON CHANDELER (LARGE).
 16. NEW CUSTOM WROUGHT IRON CHANDELER (SMALL) TO MATCH 15.
 17. PROVIDE LIGHT/BURNER IN EACH ROOM. RECONNECT EXISTING BRANCH CIRCUIT TO RECEPTACLES, "IN-USE" LIGHT, ETC.
 18. NEW SELF POWERED EXIT SIGN.
 19. NEW FLUSH OUTLET/DWNER TO CONTROL NEW LIGHTS.
 20. DECORATIVE WROUGHT IRON PENDANT LUMINAIRE WITH SURFACE CONDUIT TO BOX AT WALL. PERMITS/PLANNI EXPANDED AND BOX.
 21. NEW INVERTER TO POWER (3) NEW PENDANT CHANDELIERS (SEE NOTE #15).

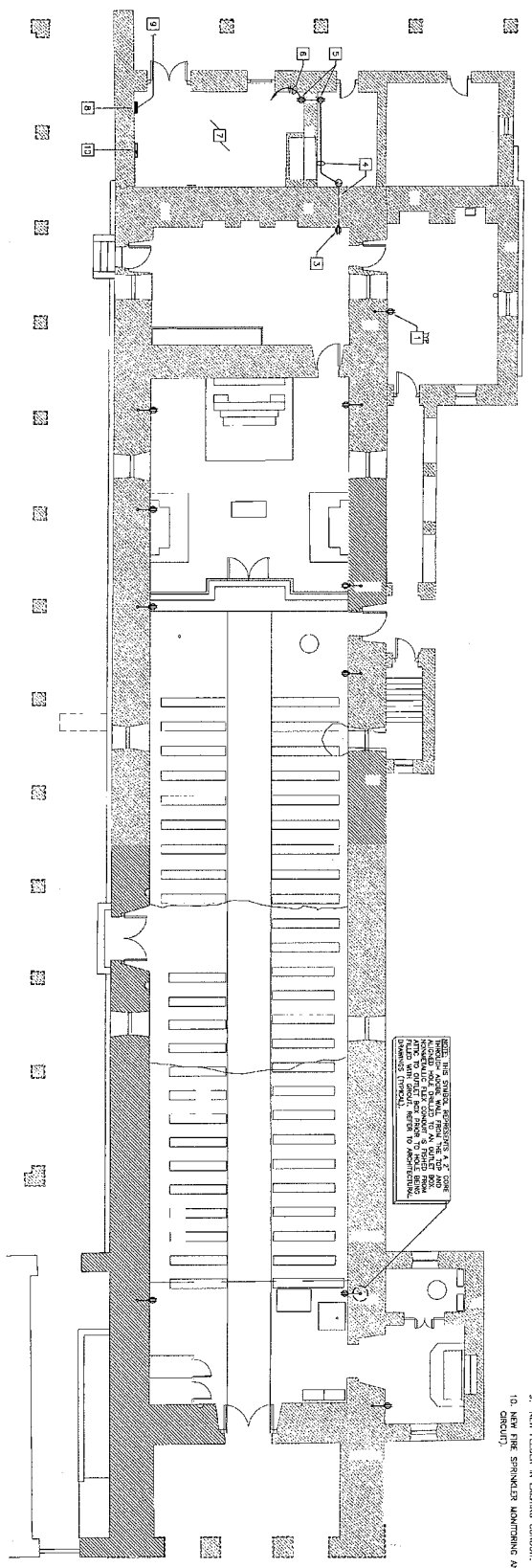
LIGHTING FLOOR PLAN
SCALE: 1/8"=1'-0"
NORTH



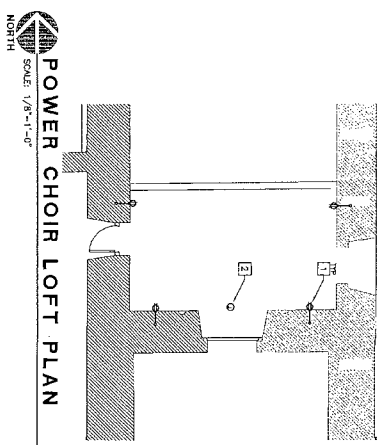
LIGHTING CHOIR LOFT PLAN
SCALE: 1/8"=1'-0"
NORTH

PROGRESS

 FRANKS BRENKWITZ & ASSOCIATES
 ARCHITECTURE + PLANNING + HISTORICAL
 12345 MAIN STREET
 SAN ANTONIO, TEXAS 78201
 DATE: 12/12/13
 DRAWN BY: J.B.K.
 CHECKED BY: J.B.K.



POWER FLOOR PLAN
SCALE: 1/8"=1'-0"
NORTH



POWER CHOIR LOFT PLAN
SCALE: 1/8"=1'-0"
NORTH

REFERENCE NOTES

1. NEW FLUSH MOUNTED RECEPTACLE IN EXISTING ADJACENT WALL. REFER TO ARCHITECT'S DETAIL (TYPICAL).
2. PROVIDE NEW BLANK PLATE AT EXISTING OUTLET BOX WHERE DEVICE WAS REMOVED (SEE DEAD PLAN).
3. NEW RECEPTACLE FLUSH IN ADJACENT WALL.
4. CORE THROUGH EXISTING WALL. INSTALL CONDUIT IN WALL TO A J-BOX IN EXISTING STORAGE ROOM. SURFACE MOUNT CONDUIT TO RECEPTACLE.
5. SURFACE MOUNT AT + 48" CORE THROUGH WALL BETWEEN RECEPTACLES.
6. TO NEW PANEL.
7. IN THIS ROOM, MAKE PROVISIONS TO CONNECT THE FOLLOWING MECHANICAL EQUIPMENT:
 - (3) BOILERS (120 VOLT CONTROL CIRCUIT)
 - (3) FROSTING HOT WATER PUMPS (208 VOLT, 1 PHASE, 1/2 HP)
 - (1) 800. AM HEATER (120 VOLT CIRCUIT)
 - (1) 800. AM CHIL. PUMP (208 VOLT CIRCUIT)
 - (1) PROPANE GAS DETECTOR (120 VOLT CIRCUIT)
 - (1) PROPANE GAS CONTROL PANEL (120 VOLT CIRCUIT).
 8. NEW 200 AMP PANEL.
 9. NEW FEEDER IN EXISTING CONDUIT.
 10. NEW FIRE SPRINKLER MONITORING AND ALARM PANEL (120 VOLT CIRCUIT).

SEE THE STUDY, REVISIONS & FOR ANCHORED AND FASTENERS TO AN UNALTERED SURFACE. PROVIDE NEW BLANK PLATE AT EXISTING OUTLET BOX WHERE DEVICE WAS REMOVED (SEE DEAD PLAN).

PROGRESS

 THOMAS A. DELEON
 No. 10787
 State of California
 Mechanical Engineering

DATE: 4-1-12	REVISION:	SCALE: AS NOTED	SHEET NO. E-5
CF4/SHEETS			

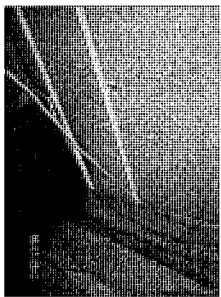
POWER FLOOR PLANS

MISSION SAN ANTONIO de PADUA

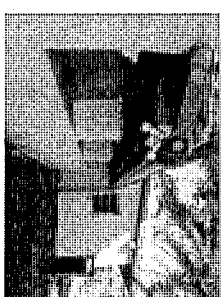
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 (831) 652-8800



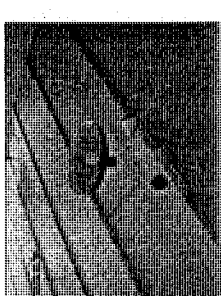
13 PHOTO 13
SCALE: VITS



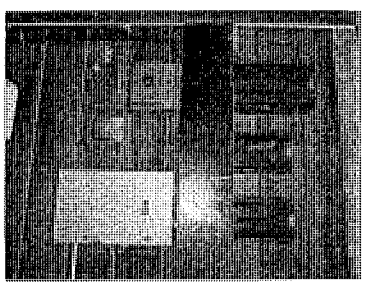
10 PHOTO 10
SCALE: VITS



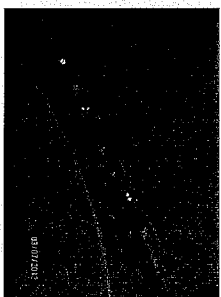
7 PHOTO 7
SCALE: VITS



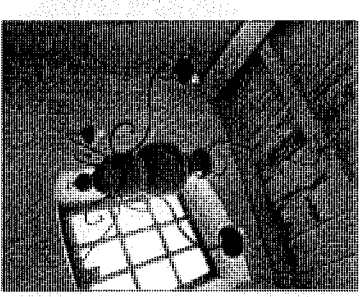
4 PHOTO 4
SCALE: VITS



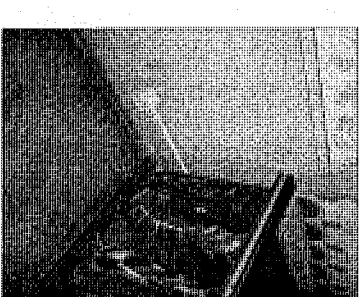
1 PHOTO 1
SCALE: VITS



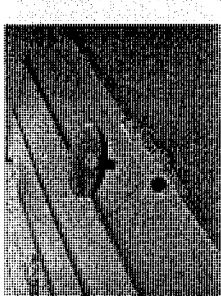
14 PHOTO 14
SCALE: VITS



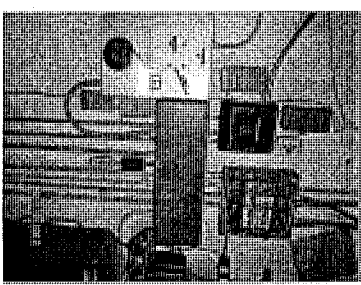
11 PHOTO 11
SCALE: VITS



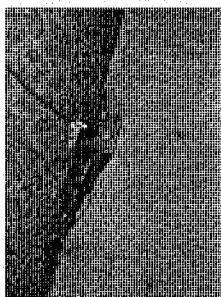
8 PHOTO 8
SCALE: VITS



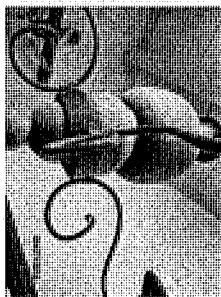
5 PHOTO 5
SCALE: VITS



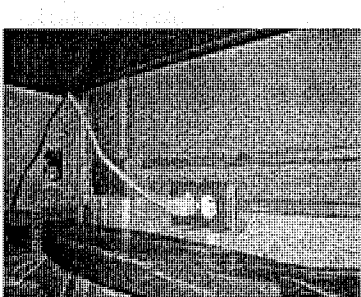
2 PHOTO 2
SCALE: VITS



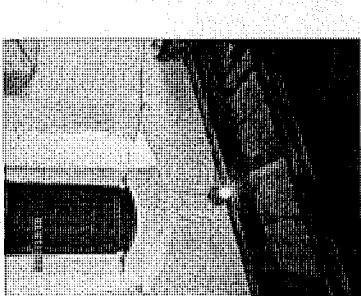
15 PHOTO 15
SCALE: VITS



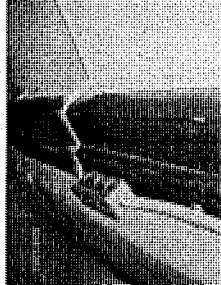
12 PHOTO 12
SCALE: VITS



9 PHOTO 9
SCALE: VITS



6 PHOTO 6
SCALE: VITS



3 PHOTO 3
SCALE: VITS



SITE PHOTOS

MISSION SAN ANTONIO de PADUA

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Architecture + Planning + Historical
P.O. BOX 597 APT08, CA. 95001
(831) 682-8800

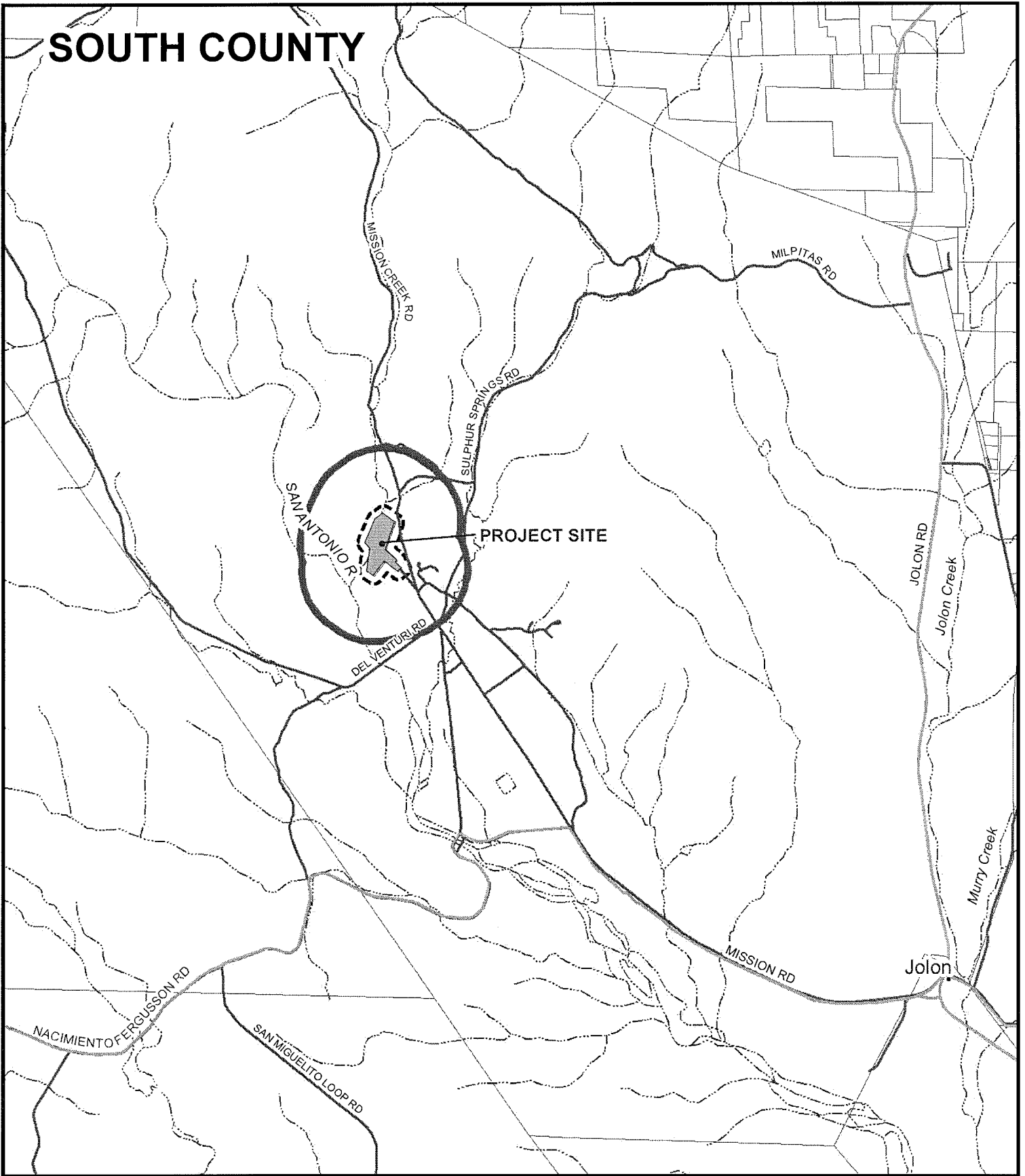
DATE: 4-17-10

REVISION:
SCALE: AS NOTED

SHEET NO.
E-7
OF 14 SHEETS

EXHIBIT D
Vicinity Map

SOUTH COUNTY

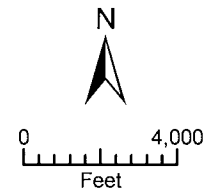


APPLICANT: ROMAN CATHOLIC BISHOP OF MONTEREY

APN: 201-021-002-000

FILE # PLN120417

Water 2500' Limit 300' Limit City Limits



PLANNER: MASON

EXHIBIT E

Advisory Committee Notes
(LUAC & HRRB)

Action by Land Use Advisory Committee Project Referral Sheet

Monterey County Planning Department
168 W Alisal St 2nd Floor
Salinas CA 93901
(831) 755-5025

Advisory Committee: **South County**

Please submit your recommendations for this application by: October 17, 2012

Project Title: ROMAN CATHOLIC BISHOP OF MTY
File Number: PLN120417
File Type: PC
Planner: MASON
Location: TERMINUS OF MISSION ROAD (FORT HUNTER LIGGETT) JOLON

Project Description:

Use Permit to allow the rehabilitation of existing structures at the Mission San Antonio de Padua to include seismic retrofits, infrastructure upgrades, ADA access improvements, drainage modifications, replacement of deceased landscaping vegetation and the removal of a non-protected redwood tree. The property is located within U.S. Army Garrison Fort Hunter Liggett, at the terminus of Mission Road, Jolon (Assessor's Parcel Number 201-021-002-000), South County Area Plan.

Was the Owner/Applicant/Representative Present at Meeting? Yes _____ No X

Was a County Staff/Representative present at meeting? Steve Mason (Name)

A basic presentation by Steve Mason, Monterey County Planner, regarding the nature of this project as well as the potential that it may be a number of years to complete due to funding requireents. He also addressed the integrity and ability of the consultants involved in the work.

PUBLIC COMMENT:

Name	Site Neighbor?		Issues / Concerns (suggested changes)
	YES	NO	
Janice Smith-Ramseier		X	Community resident attending in show of support for the project.

LUAC AREAS OF CONCERN

Concerns / Issues (e.g. site layout, neighborhood compatibility; visual impact, etc)	Policy/Ordinance Reference (If Known)	Suggested Changes - to address concerns (e.g. relocate; reduce height; move road access, etc)
None		

ADDITIONAL LUAC COMMENTS

It was suggested that when the initial permits are ‘‘pulled’’ for this project, that this project be granted a variance that would allow the project to remain under the requirements of the county Building Code that is in place at that time. Due to the length of time this project may take to complete, as well as the frequency that the County Building Code is revised, the variance would eliminate unnecessary additional costs associated with potential changes in the building code requirements.

RECOMMENDATION :

Motion by: Debbie Roberson (LUAC Member's Name)

Second by: Will Taylor (LUAC Member's Name)

Enthusiastically Support Project as proposed

Recommend Changes (as noted above)

Continue the Item

Reason for Continuance: _____

Continued to what date: _____

AYES: (4) Taylor, Martinez, Buntz, Roberson

NOES: (0)

ABSENT: (1) Melissa Duflock

ABSTAIN: (1) Bart Bartosh

*Before the Historic Resources Review Board in and for the
County of Monterey, State of California*

Resolution No. PLN120417 (Roman Catholic Bishop of Monterey/Mission San Antonio restoration)

Resolution by the Monterey County Historic Resources Review Board (HRRB) to recommend **approval of a Use Permit Request by the Roman Catholic Bishop of Monterey to allow the rehabilitation of existing on site buildings at the San Antonio Mission, including seismic retrofits, infrastructure upgrade, ADA access, drainage changes, removal and replacing of landscape including plants and tree removal. The property is located at the terminus of Mission Rd, Jolon (Assessor's Parcel Number 201-021-002-000) South County Land Use Plan.**

WHEREAS, this matter was heard by the Historic Resources Review Board (HRRB) of the County of Monterey on **September 6, 2012**, pursuant to the **zoning regulations for development in the "HR" (Historic Resource) Zoning District as contained in Chapter 21.54 of the Monterey County Code, the regulations for the Preservation of Historic Resources as contained in Chapter 18.25 of the Monterey County Code and the Secretary of the Interior's Standards for Rehabilitation.**

WHEREAS, the parcel is located at the terminus of Mission Road, Jolon, within an "HR" (Historic Resource) District (APN 201-021-002-000) of the County of Monterey. This building is listed on the National Register of Historic Places.

WHEREAS, Roman Catholic Bishop of Monterey (applicant) filed with the County of Monterey, an application for a Use Permit to allow the rehabilitation of existing on site buildings at the San Antonio Mission, including seismic retrofits, infrastructure upgrade, ADA access, drainage changes, removal and replacing of landscape including plants and tree removal.

WHEREAS, at the conclusion of the hearing, the matter was submitted to the HRRB for a recommendation. Having considered all the written and documentary information submitted, oral testimony, and other evidence presented before the HRRB, the HRRB rendered its decision to adopt findings and evidence to recommend **approval of the Use Permit**, subject to the following findings:

Finding: The proposed work is **consistent with Section 21.54 of the Monterey County Zoning Code (Regulations for Historic Resources Zoning Districts) and will neither** adversely affect the significant architectural features of the designated

resource nor adversely affect the character, historical, architectural, or aesthetic interest or value of the designated resource and its site.

Finding: The use and exterior of the new improvements, addition, building or structure upon a designated historic resource site will **neither adversely effect nor** be incompatible with the use and exterior of existing designated historical resources, improvements, buildings and natural features of the site.

Evidence: **1. Use Permit Application and other materials in file PLN120417**
 2. “HR” (Historic Resource) zoning regulations applicable to the site as found in Chapter 21.54 of the Monterey County Code.
 3. Secretary of the Interior’s Standards for the Treatment of Historic Properties.
 4. Oral testimony and HRRB discussion during the public hearing and the administrative record.

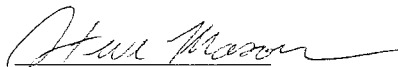
THEREFORE, it is the decision of the Monterey County Historic Resources Review Board to recommend **approval of the Roman Catholic Bishop of Monterey Use Permit subject to the following conditions:**

(TBD)

- 1.**
- 2.**

Passed and adopted on this **6th day of September, 2012**, upon motion of Judy MacClelland, seconded by Salvador Munoz, by the following vote:

AYES: Barbara Rainer, Sheila Lee Prader, John Scourkes, Judy MacClelland and Salvador Munoz
NOES: None
ABSENT: Kellie Morgantini
ABSTAIN: None

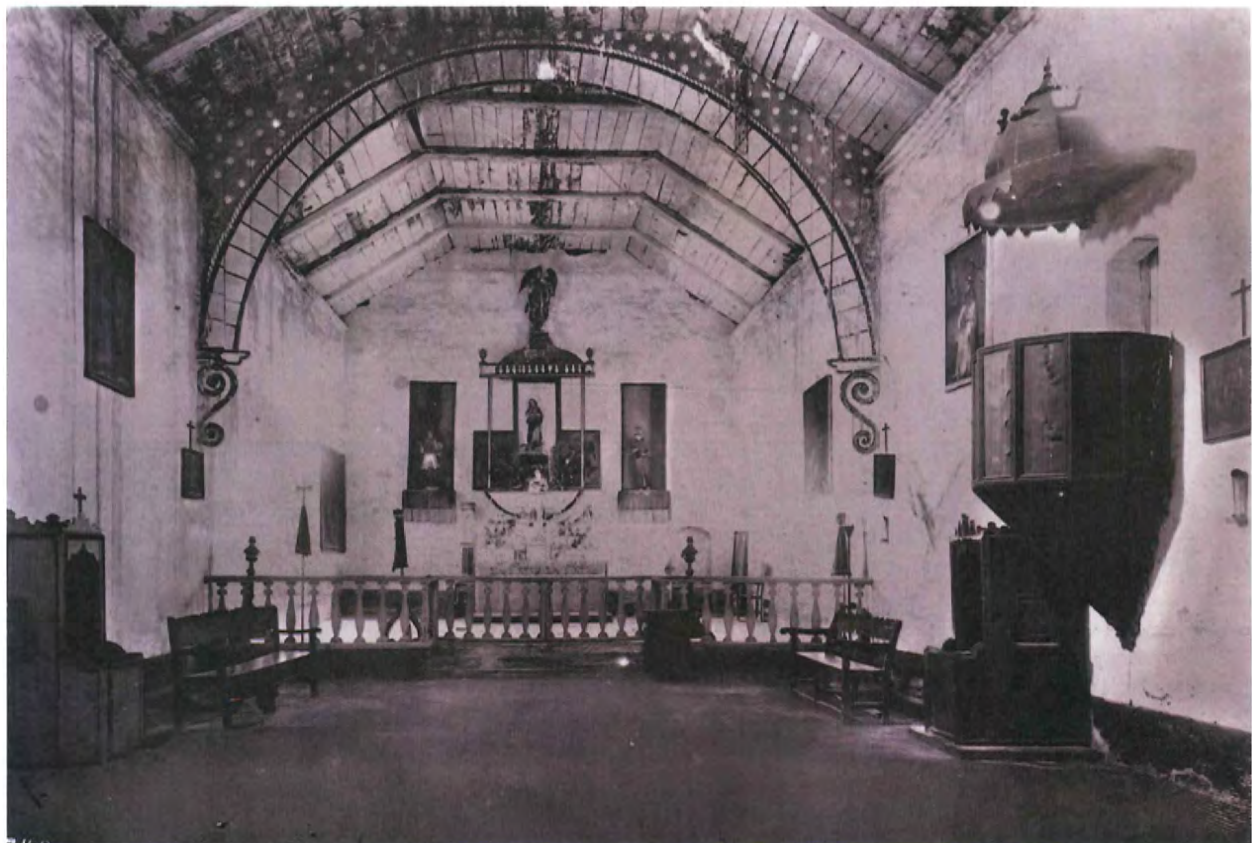


Attest
Steve Mason, Project Planner
February 13, 2013

EXHIBIT F
Historical Photographs
Site Photographs



Earliest known photograph of Mission San Antonio – circa 1870



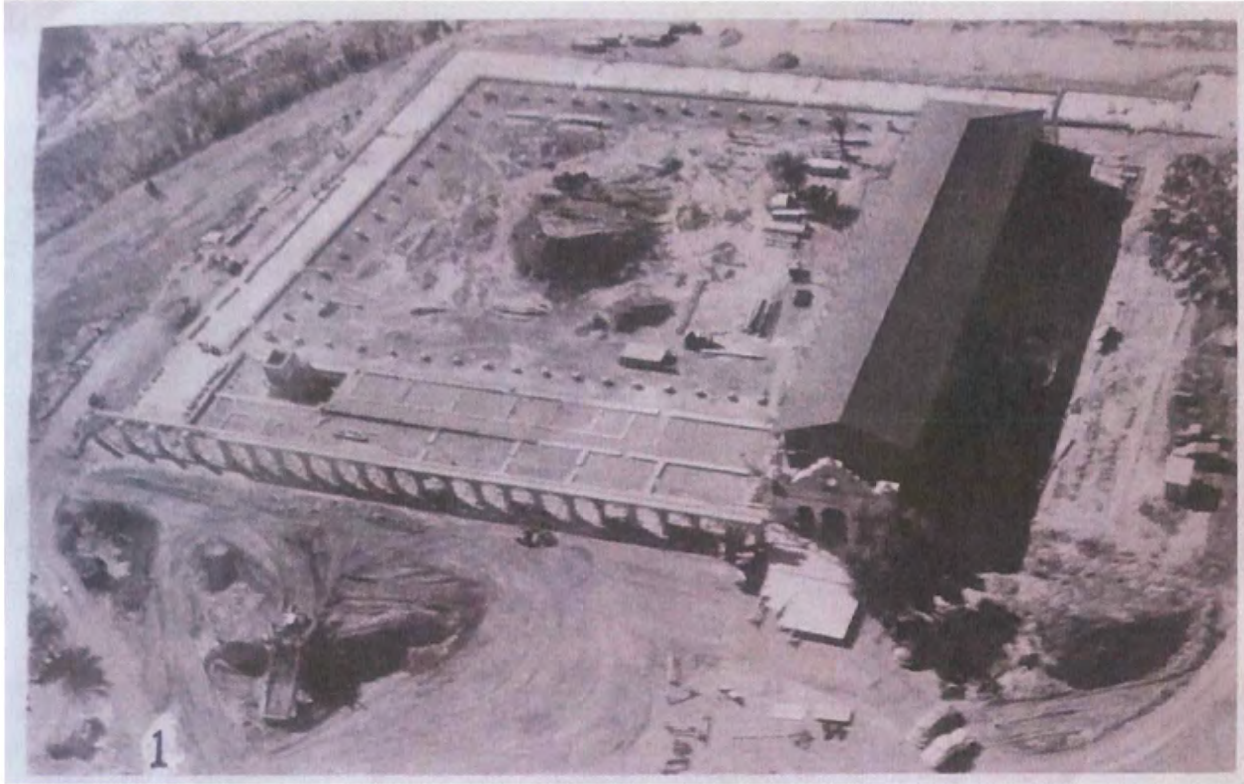
Chapel interior – early 1880s



Circa 1895 – The Mission after 12 years of abandonment



Circa 1911-1914 – Following restoration of main chapel and demolition of quadrangle wings



1949 – Beginning of restoration effort



Circa 1949 – Restoration construction



Northeast kitchen/garage wing added in 1949



September 2011 satellite photo showing the Mission in its current form



Diesel boiler chimney installed in late 1940's to be removed



Water-damaged cement – based plaster installed during late 1940s restoration to be removed and replaced with a lime-based plaster (for improved breathability) on an as-needed basis

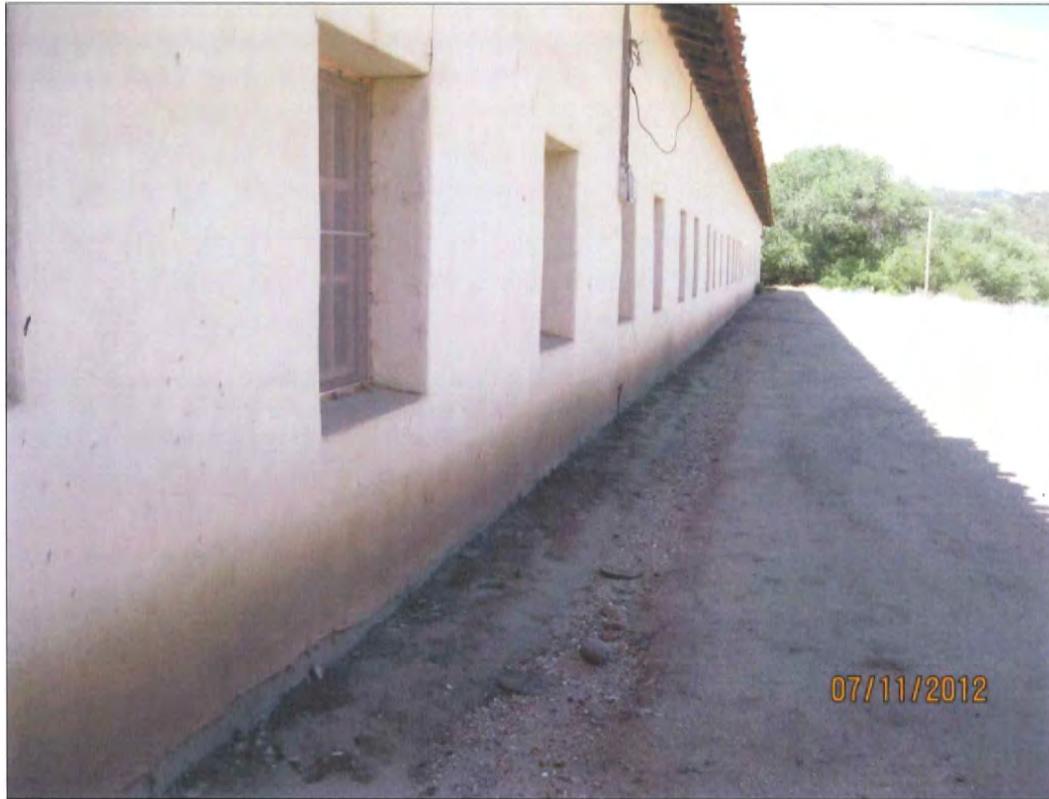


Photo illustrating rainwater/groundwater damage at north quadrangle wing - to be remedied throughout Mission with installation of copper half-pipe roof gutters and drainage improvements



Photo illustrating general “wear-and-tear” to be repaired

EXHIBIT G

Secretary of the Interior Standards
for Rehabilitation

**TITLE 36--PARKS, FORESTS, AND PUBLIC PROPERTY
CHAPTER I--NATIONAL PARK SERVICE, DEPARTMENT OF THE INTERIOR
PART 67--HISTORIC PRESERVATION CERTIFICATIONS UNDER THE INTERNAL
REVENUE CODE**

**Section 7--THE SECRETARY OF THE INTERIOR'S STANDARDS FOR
REHABILITATION:**

- 1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.**
- 2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.**
- 3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.**
- 4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.**
- 5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.**
- 6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.**
- 7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.**
- 8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.**
- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.**
- 10. New additions and adjacent or related new construction will be undertaken in a such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.**