MONTEREY COUNTY ZONING ADMINISTRATOR

Meeting: February 12, 2009 Time: 1:30 P.M	Agenda-Item-No.: /				
Project Description:					
Use Permit to allow the installation of a "Nitrate Treatment Ion Exchange Unit" consisting of: 1)					
salt holding tank; 2) primary and secondary brine tanks; 3) nitrate treatment system; 4) bag filter;					
and 5) miscellaneous piping, pumps and controls all to be located in the southern western portion					
of the parcel. The property is located northead	st of the intersection of Rogge Road and				
Bollenbacher Drive, Salinas, Bolsa Knolls Area.					
Project Location:	APN: 211-181-003-000				
Northeast of the intersection of Rogge Road and					
Bollenbacher Drive, Salinas					
Planning File Number: PLN080134	Name: California Water Service Company,				
ranning the Number. 1 ENV60154	Property Owner; Mike Jones, Agent				
Plan Area: Greater Salinas Area Plan	Flagged and staked: No				
Zoning Designation: : "MDR/5" (Medium Density Residential, 5 units per acre)					
CEQA Action: Categorically Exempt per Section 15	301 (b)				
Department: RMA - Planning Department					

RECOMMENDATION:

Staff recommends that the Zoning Administrator approve the Use Permit based on the Findings and Evidence (Exhibit B) and subject to the recommended Conditions (Exhibit C).

PROJECT OVERVIEW:

The project site is a 0.23 acre parcel located north east of the intersection of Rogge Road and Bollenbacher Drive the Bolsa Knolls area, north of the City of Salinas. The site contains an existing well, which is used to service the existing residential community in the area. Section 21.12.050.L of the Monterey County Zoning Code (Title 21) allows water system facilities including wells and storage tanks serving more than fifteen or more service connections in "MDR" zoned areas. This project would upgrade the existing water system facility.

The applicant requests approval of a Use Permit to allow the installation and operation of a nitrate ion exchange and treatment system, which would allow California Water Service Company to meet water "maximum contaminant levels" (MCL) for nitrates. The current well consistently tests above the MCL. The proposed facility consists of a new salt holding tank, new primary and secondary brine tanks, new bag filter and miscellaneous piping, pumps and controls, all to be located in the north eastern portion of the parcel. New chlorine room and panel board will be located in the northern eastern portion of the parcel. New asphalt driveway and pad will be installed replacing the current pad and driveway.

No visual impacts are associated with this project, as the existing landscaping will continue to provide adequate screening for all new development.

OTHER AGENCY INVOLVEMENT:

OTHER AGENCY INVOLVEMENT:

- ✓ Salinas Rural Fire Protection District
- ✓ Public Works Department
- ✓ Environmental Health Division
- ✓ Water Resources Agency

The above checked agencies and departments have reviewed this project. Conditions recommended by Environmental Health, Salinas Rural Fire Protection District, Public Works, and the RMA – Planning Department have been incorporated into the condition compliance reporting plan (Exhibit C).

The project was not referred to a Land Use Advisory Committee (LUAC) for review, as no LUAC exists for this area of the county.

Note: The decision on this project is appearable to the Planning Commission.

David J. R. Mack, Assistant Planner

(831) 755-5096, mackd@co.monterey.ca.us

January 30, 2009

cc: Front Counter Copy; Zoning Administrator; Salinas Rural Fire Protection District; Public Works Department; Environmental Health Division; Water Resources Agency; Luis Osorio, Planning Services Manager; David J. R. Mack, Planner; Carol Allen, Hearing Clerk, California Water Service Company, Applicant/Owner; Mike Jones, Agent; Planning File PLN080134.

Attachments: Exhibit A Project Data Sheet

Exhibit B Recommended Findings and Evidence Exhibit C Recommended Conditions of Approval

Exhibit D Vicinity Map

Exhibit E Site Plan, Floor Plan and Elevations

This report was reviewed by Luis Osorio, Planning Services Manager.

EXHIBIT A PROJECT DATA SHEET

Project Information for PLN080134

Project Title: BULSA KNULLS WATER CUMPARY

Location: ROGGERD SALINAS Primary APN: 211-181-003-000

Applicable Flant: Greater Salinas Area Plan Casastal Zone: No

Pennit Type: Use Permit Zoning: MDR/5

Environmental Status: Exempt Flan Designation: MED DENSITY RES

Advisory Committee: N/A Final Action Deadline (884): 3/7/2009

Project Site Data:

Lot size: 8833 Coverage Allowed: 35%

Coverage Proposed: 5%
Estating Structures (st): 9 Height Allowed: 30

Proposed Structures (sf): 435 Height Proposed:

Total Sq. Pt.: 444

FAR Allowed: N/A

FAR Proposed: N/A

Brylronmentally sensitive Habitat: No Bryslen Hazard Zene: LOW

Biological Report#: N/A Solls Report#: N/A

Forest Management Ept. #: M/A

Archaeological Sensitivity Zone: LOW Geologic Hazard Zone: II

Archaeological Report#: N/A Geologic Report#: N/A

Hre Hazard Zone: N/A Traffic Report#: N/A

Other Information:

Resource Zones and Reports:

Water Source: WELL Sewage Eksposal (method): N/A

Water Datico: CALIFORIA WATER COMP Sever Datict Name: N/A

Fire District: SALINAS RURAL FIRE Grading (cubic yds.): 40.0

Tree Removal: N/A

EXHIBIT B RECOMMENDED FINDINGS AND EVIDENCE

- 1. FINDING: CONSISTENCY The project, as described in Condition No. 1 and as conditioned, conforms to the policies, requirements, and standards of the Monterey County General Plan, Greater Salinas Area Plan, Greater Salinas Area Plan Inventory and Analysis, and the Monterey County Zoning Ordinance (Title 21), which designates this area as appropriate for development.
 - **EVIDENCE:** (a) The text, policies, and regulations in the above referenced documents have been evaluated during the course of review of applications. No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
 - (b) The property is located at near the intersection of Rogge Road and Bollenbacher Drive (Assessor's Parcel Number 211-181-003-000), Greater Salinas Area Plan. The parcel is zoned Medium Density Residential, 5 units per acre ("MDR/5") which allows water system facilities including wells and storage tanks serving fifteen or more service connections subject to acquisition of a Use Permit, pursuant to Section 21.12.050.L of Monterey County Zoning Ordinance Title 21. Therefore, the project is consistent with the zoning of the subject parcel.
 - (c) The Monterey County Environmental Health Department (EHD) reviewed the project proposal and has recommended conditions of approval to ensure compliance with all applicable county and state regulations. Condition 6 requires an amendment to the existing public water system permit from California Department of Public Health (CDPH). Condition 7 requires that an up-to-date Business Response Plan be maintained which regard to chemical material storage.
 - (d) The project planner conducted a site inspection on January 7, 2009 to verify that the project on the subject parcel conforms to the plans listed above.
 - (e) The project was not referred to a Land Use Advisory Committee (LUAC) for review, as no LUAC exists for this area of the county.
 - (f) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA Planning Department for the proposed development found in Project File PLN080134.
- 2. **FINDING:** SITE SUITABILITY The site is physically suitable for the use proposed.
 - EVIDENCE: (a) The project has been reviewed for site suitability by the following departments and agencies: RMA Planning Department, Salinas Rural Fire Protection District, Public Works, Environmental Health Division, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
 - (b) Staff conducted a site inspection on January 7, 2009 to verify that the site is suitable for this use.
 - (c) Materials in Project File PLN081034.

- 3. **FINDING:** CEQA (Exempt): The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
 - EVIDENCE: (a) California Environmental Quality Act (CEQA) Guidelines Section 15301(b), categorically exempts minor alteration(s) of existing facilities of both investor and publicly-owned utilities used to provide electric power, natural gas, sewerage, or other public utility services, involving negligible or no expansion of use.
 - (b) No adverse environmental effects were identified during staff review of the development application during a site visit on January 7, 2009.
 - (c) Staff evaluated additional environmental considerations, including existing vegetation, storage of chemicals, as well as noise and traffic concerns. No potential impacts were found.
 - (c) See preceding and following findings and supporting evidence.
- 4. **FINDING:** USE PERMIT FINDINGS In order to grant the Use Permit to allow development the Zoning Administrator shall make the following findings:
 - 1. Pursuant to Section 21.74.050.B.1 of the Zoning Ordinance, the establishment, maintenance, or operation of the use or structure applied for, will not, under the circumstances of the particular case, be detrimental to health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use; or be detrimental or injurious to property and improvement in the neighborhood; or to the general welfare of the County.
 - 2. Pursuant to Section 21.74.050.B.2 of the Zoning Ordinance, the subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of this Title and any zoning violation abatement costs have been paid
 - EVIDENCE: (a) The project as described in the application and accompanying materials was reviewed by the Planning Department, Salinas Rural Fire Protection District, Public Works Department, Environmental Health Division, and Water Resources Agency. The respective departments have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood; or the county in general.
 - (b) The application, plans, and related support materials were reviewed during the Inter-Departmental Review (IDR) period from December 18, 2008 to January 5, 2009.
 - (c) See Finding No. 6, Health and Safety.
- 5. **FINDING: NO VIOLATIONS** The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property. Zoning violation abatement costs, if any, have been paid.
 - **EVIDENCE:** (a) Staff reviewed Monterey County RMA Planning Department and Building Services Department Monterey County records and is not aware of any violations existing on subject property.

6. **FINDING: HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

EVIDENCE: (a) Preceding findings and supporting evidence.

7. **FINDING: APPEALABILITY** - The decision on this project is appealable to the Planning Commission.

EVIDENCE: Section 21.80.040.B of the Monterey County Zoning Ordinance (Title 21).

EXHIBIT C

Monterey County Resource Management Agency Planning Department

Condition Compliance and/or Mitigation Monitoring Reporting Plan Project Name: BOLSA KNOLLS WATER (CALIFORNIA WATER)

File No: PLN080134

APNs: <u>211-181-003-000</u>

Approved by: Zoning Administrator

Date: February 12, 2009

*Monitoring or Reporting refers to projects with an EIR or adopted Mitigated Negative Declaration per Section 21081.6 of the Public Resources Code.

Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted:	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
1.		PD001 - SPECIFIC USES ONLY This Use Permit (PLN080134) allows the installation of a nitrate treatment ion exchange unit. The facilities will consist of a new salt holding tank; new primary and secondary brine tanks; new nitrate treatment system; new bag filter; and miscellaneous piping, pumps and controls all to be located in the southern western portion of the parcel. New chlorine room and panel board will be located in the northern eastern portion of the parcel. New asphalt driveway and pad will be installed replacing the current pad and driveway. Existing landscaping and fencing will remain. The property is located north east of the intersection of Rogge Road and Bollenbacher Drive, Salinas, Bolsa Knolls area. (Assessor's Parcel Number 211-181-003-000), Greater Salinas Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the following terms and conditions. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of the RMA - Planning Department. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation	Adhere to conditions and uses specified in the permit.	Owner/ Applicant	Ongoing unless otherwise stated	

Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
		of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning Department)				
2.		PD002 - NOTICE-PERMIT APPROVAL The applicant shall record a notice which states: "A Use Permit (Resolution PLN080134) was approved by the Zoning Administrator for Assessor's Parcel Number 211-181-003-000 on February 12, 2009. The permit was granted subject to 11 conditions of approval which run with the land. A copy of the permit is on file with the Monterey County RMA - Planning Department." Proof of recordation of this notice shall be furnished to the Director of the RMA - Planning Department prior to issuance of building permits or commencement of the use. (RMA - Planning Department)	Proof of recordation of this notice shall be furnished to the RMA - Planning Department.	Owner/ Applicant	Prior to the issuance of grading and building permits or commence -ment of use.	
3.		PD003(A) – CULTURAL RESOURCES – NEGATIVE ARCHAEOLOGICAL REPORT If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. The Monterey County RMA - Planning Department and a qualified archaeologist (i.e., an archaeologist registered with the Society of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted,	Stop work within 50 meters (165 feet) of uncovered resource and contact the Monterey County RMA - Planning Department and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.	Owner/ Applicant/ Archaeo- logist	Ongoing	

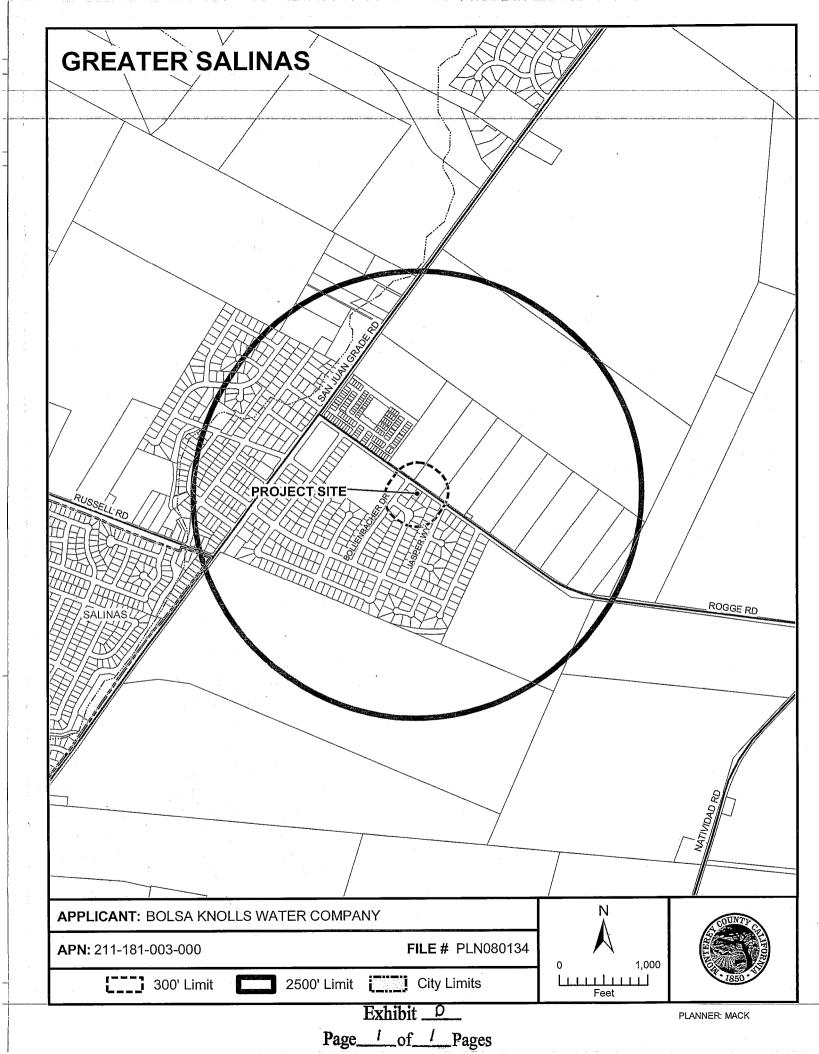
Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
		the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery. (RMA - Planning Department)				
4.		PD004 - INDEMNIFICATION AGREEMENT The property owner agrees as a condition and in consideration of the approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the county for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, filing of the final map, whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the county harmless. (RMA - Planning Department)	Submit signed and notarized Indemnification Agreement to the Director of RMA – Planning Department for review and signature by the County. Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to the RMA – Planning Department.	Owner/ Applicant	Upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, filing of the final map, whichever occurs first and as applicable	

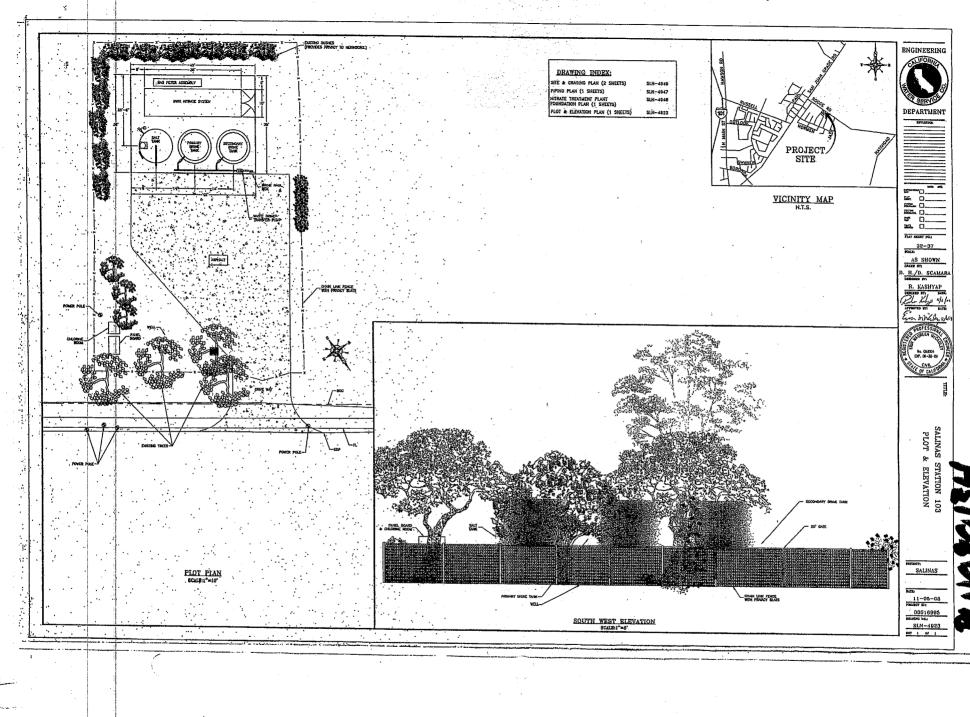
Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
5.		PDSP001 - WATER TANK APPROVAL AND EXISTING LANDSCAPING (NON-STANDARD) All tanks (salt holding tank, primary and secondary brine tanks) shall be painted an earth tone color to blend into the area, subject to the approval of the Director of the RMA -	Submit proposed color of water tank to the RMA - Planning Department for review and approval.	Owner/ Applicant	Prior to the issuance of grading or building permits	
	Planning Department, prior to the issuance of building permits. All existing landscaping shall remain onsite, and be continuously maintained in a litter-free, weed-free, healthy growing condition. (RMA – Planning Department) All continuously maintained in a litter-free weed-free weed-free healthy growing condition.	Provide evidence to the Director of the RMA - Planning Department that the water tank has been painted according to the plans approved by the RMA - Planning Department.	Owner/ Applicant	Prior to the final inspection or occupancy.		
		All landscaped areas and fences shall be continuously maintained; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.	Owner/ Applicant	On-going		
6.		EHSP001- AMEND STATE WATER SYSTEM PERMIT (NON-STANDARD) The California Water Service Company is classified as a public Community Water System, regulated by the California Department of Public Health (CDPH). Modification to the existing water system requires an amendment to the existing public water system permit from CDPH, pursuant to Title 22 of the California Code of Regulations. (Environmental Health)	Submit evidence to the Environmental Health Division that the water system permit has been amended.	Owner/ Applicant	Prior to final inspection.	
7.		EHSP002 – HAZARDOUS MATERIALS BUSINESS RESPONSE PLAN (NON-STANDARD) The applicant shall maintain an up-to-date Business Response Plan that meets the standards found in the California Code of Regulations, Title 19, Division 2, Chapter 4 (Hazardous Materials Release Reporting, Inventory, and Response Plans) and the California Health and Safety Code, Division 20, Chapter 6.95 (Hazardous Material Release Response Plans and Inventory). (Environmental Health)	Submit the signed Business Response Plan – Memorandum of Understanding (from available from EHD) that specifies an approved Business Response Plan must be on file with Hazardous Materials Management Services prior to bringing materials on site and/or commencement of operation.	Owner/ Applicant	Prior to issuance of building permits Continuous	

Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required/for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
			Once approved, the applicant shall maintain an up-to-date Business Response Plan.			
8.		PW0005 – ENCROACHMENT (STD DRIVEWAY) Obtain an encroachment permit from the Department of Public Works and construct a standard driveway connection to Rogge Road. (Public Works)	Applicant shall obtain an encroachment permit from DPW prior to issuance of building permits and complete improvement prior to occupancy or commencement of use. Applicant is responsible to obtain all permits and environmental clearances.	Owner/ Applicant	Prior to Building/ Grading Permits Issuance	
9.		FIRE011 - ADDRESSES FOR BUILDINGS All buildings shall be issued an address in accordance with Monterey County Ordinance No. 1241. Each occupancy, except accessory buildings, shall have its own permanently posted address. When multiple	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	
		occupancies exist within a single building, each individual occupancy shall be separately identified by its own address. Letters, numbers and symbols for addresses shall be a minimum of 4-inch height, 1/2-inch stroke, contrasting with the background color of the sign, and shall be Arabic. The sign and numbers shall be reflective and made of a noncombustible material. Address signs shall be placed at each driveway entrance and at each driveway split. Address signs shall be and	Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	
		visible from both directions of travel along the road. In all cases, the address shall be posted at the beginning of construction and shall be maintained thereafter. Address signs along one-way roads shall be visible from both directions of travel. Where multiple addresses are required at a single driveway, they shall be mounted on a single sign. Where a roadway provides access solely to a single commercial occupancy, the address sign shall				

Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
		be placed at the nearest road intersection providing access to that site. Permanent address numbers shall be posted prior to requesting final clearance. (Salinas Rural Fire Protection District)				
10.		FIRE019 - DEFENSIBLE SPACE REQUIREMENTS - (STANDARD) Remove combustible vegetation from within a minimum of 30 feet of structures. Limb trees 6 feet up from ground. Remove limbs within 10 feet of chimneys. Additional and/or alternate fire protection or firebreaks	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	
	approved by the fire authority may be required to provide reasonable fire safety. Environmentally sensitive areas may require alternative fire protection, to be determined by Reviewing Authority and the Director of Planning and Building Inspection. (Salinas Rural Fire Protection District)	Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection		
11.	11. FIRE030 - OTHER NON-STANDARD CONDITIONS		Applicant shall ensure that all on-site chorline storage complies with applicable Fire Code.	Applicant/ Owner	Continuous	

END OF CONDITIONS





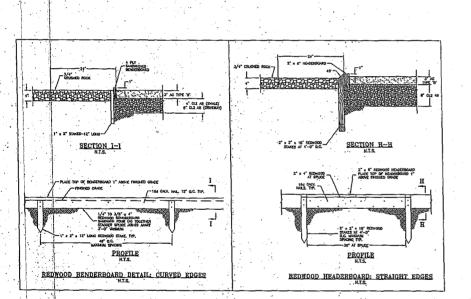
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Exhibit 571



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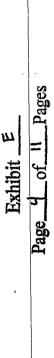
AND SALINAS STATION 103 SITE & GRADING PLAN, DETAILS, D STORM WATER MANAGEMENT NOTES

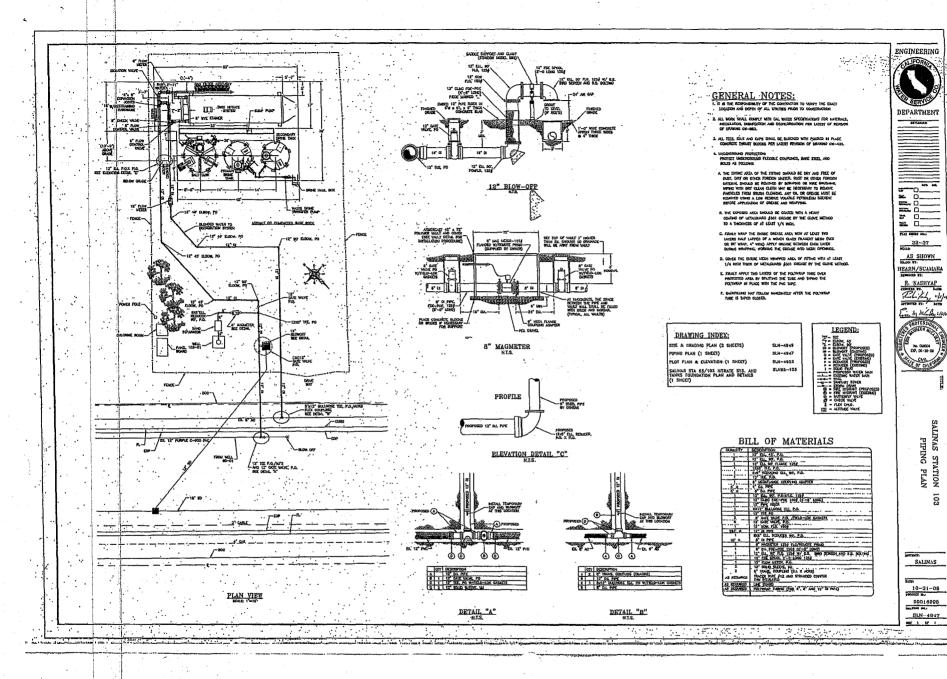
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SPECIFICATIONS FOR INSTALLATION OF DUCTILE IRON AND POLYVINYL CHLORIDE PRESSURE PIPE AND APPURTENANCES

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Sand is defined as material tree from organic matter and day with a sieve prodution by weight as follows:

<u>Value Chainers and Comers A</u> value cooling with cover shall be installed for road gold value. Deliverly value, 2° that self at secondly of which produces the produce of the produce of the plants or for the latter routine of despity of the 130. The production of the plants or for the latter from the order of the 130. The produces of the 130 second of 130 sec

Sources, and Mater Roses: Services and maker boxes that its bredship on them of the ficial resident of decode DW-155 in the service of the ficial resident of decode DW-155 in the service of the first service of the first service of the CW evening for like him service. The 1° and 2° between the like the first service of the CW evening for like him service. The 1° and 2° between the like the like the first service of a depth of 20° or more than 10° between the like the

All meter has localities must be apparent by the Company and the bases thresh be located than him firstend grade of the numerically area of the materials of the same than the same of the materials of the materi

Saddles and saddle topping are required for at service connections made on PVC pipe, When making this type

Conception to Extrino Sertion:
The Contractor shock furnish to the Company the necessary littings values, pipe, and joint material required to connect the new main; to the estation system. The Contractor must adjust from the nominal line and grafa to match the existion localities.

not be find the too de-took as the print around down should be printed the printed by printed by the printed by

<u>Distribution of Marina</u> All make that are installed by the Contractor shall be distributed by the Contractor in coor with the "Spartitudiene for Distribution of the Marina"

beneatier: The Campany reserves the right of occess to the second of these for the purpose of expecting and the make of the purpose of expecting and the make of the control that the purpose of expecting and the make of the control that the control that the purpose is trade or the purpose of the purpose of

Circle Un: Upon completion of the work, the Contractor shott

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ÀBLE IB			
VITOWNSHE TEXX	AGE PER 1000 FT. O		INE.
Average Test.	Nominal Pipe	Diameter - Inches	
Pressure		8.	12
(62t) · .	GALLONS PER	HOUR (GPH) *	
200	-57	0,78	1.15
150	.50	0,66	.99

App the labeline, using one of the methods described under "Disprise Application Nethods." A Colfornia Notice Service Company Aspector is to measure the Abbetic according to the Service Service Company Aspector is to measure the Abbetic according to the Service Service

A MDDL with a series that because the series of the series of the series in the series of the public letter or problem. If you can be public that or problem. If you can be series of the series of th

felled No. 1 - WYH. Tablet Wellad

This method works will for short jobs and for smot distinctor pipe of any kind, it cannot be used where transh exter poe entered the maje. The main content be dust-poe entered the maje, The main content be dust-port to distinction, so the method requires that the poet be kept joten during toying the content of the maje of the ma Use Permeter (Locilie) Form-A-Goslat No. 1 Section (Permotes (Locilie) Cotolog No. 50001), to factor the received number of MITA (abula 'Gee Tables IA and M) to the op of each length of pipe. H.I.H. tobrits may be ovel or round, must be MSF copposed, and hown SSS first otherins.

When using Sanble couplings, apply HSF-grade sodium hypochlorise with a spray bottle method, or phose admicral HTML granules in the enrusar space between the coupling and the play.

ù p∉				H.T.H., Round T Number of Toblets
		$\neg \neg$		
7	18	Z4		Lion to 1
PH)	• • • • • • • • • • • • • • • • • • • •			Section Commission Commission
亡	1.91	2.55		18 1 210 1 95
-	1.79	2.38		20: 1 200 1 65
	1.66	2.20		30 1 130 1 10
	ers. th			Melbod No. 2 - 12.5% Model
_				This method is general in ecos
				on existing motin. It may also
WE			,	and every 500 fast thereofter.
			Į	This method consists of fetrods
	12			used to fill voter main. The
			l	parchased through several veno
Г	1.1		1	Procedure:
_	- 31	7	1	
			1	1. 1. Calculate the 16101 volume (

SPECIFICATIONS FOR DISINFECTION OF NEW MAINS BASED ON THE PROCEDURES OUTLINED IN THE LATEST REVISION OF ANSI/ANNA C651

3. When the male is left unattended, even for a short time, the ends shall be prevent the entrance of foreign majorial or erood animats.

Salary dicitas: Ordicals lability and solutions should be handed with core, as they or danguage to the syst, firstling to the sile, and will domest whose sood debulge. Minimize your exposure by restored and horizon but \$10,000, employed about on the should not himself to the should not have the should not have tring on the sale size by wing respirators, protective clothing and other protective engineers.

Till the pipe very above and persons controlled sources the "Green's indirections", III. On the Indirection of Indirection of

TABLE IIB
Toblet Method No. 1 of Waln Chloringlia
s Specified for Disinfection of at least

lucks a 12.5% chlorine solution into water which to being 12.5% chloring entition must be NSF coproved and can be

1. Calculate the folial returns (ounces or golians) of 12.5% hypochlorite edution needed, based on the pipe diameter and section length (See Table III and the example base Table III)

4. It is recommended to use a matering pump, a contraded vacuum excelental device to introduce the 12.28 typochonic solution into its role. The feed device and method must be approved by the Compor-mon. Adjust the feed device to the dose ruis, introduce the solution occi, been full, or service, connection, at or shoot of the left and of the feed of the contradiction of the shoot of the left and of the feed of the feed of the feed of the feed of the left and of the feed of the section of the feed of th 5. After Distring the main thereuphly, adjust the litting rate by measuring the time re

2. Case to Time of the Control of th

SPECIFICATIONS FOR DECHLORINATION OF FLUSHED WATER Safety lister: While II is writing that these proceedings will produce a hazardous registron, employers should proceed with condien when working with critical this relate, kinning your empourse by modify and howing the 12.312, consider should an emergency cone. Token the principles for producting yoursel, esting your regardors when it does not by writing on the you's wish by using respectors, protective celebility and other personal protective.

Prepare a Copier solution for motar coolsining the following shieten reviews.
 I. Less than 1 mg/L1 odd 2 caps of Copier to 23 options of water. This will destribute a \$5.000 options of water with a calorine reviews of 1mg/L or se 2, 1 to 50+ mg/L1 live straight \$000 Cepter solution.

2. I to 2004 regy(2 loss streph) 2005 cepture sociolom.

Cociolomb to selection of the sociolomb in gations as influence
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(Note the choice residual of the sterm drain high. If there is a chief-lacrose the feed rate of the Copier solution until you can no longer drain there is no chloric residual of the storm drain bein make use that the not being greatly over applied by story decreasing the freed rate used this host soling greatly over applied by story decreasing the freed rate used tolk these story immedia the feed rate applied that collabora is decided. 3. Best Honogeneut Provides must be used when disthictions noter into a str his disthicts when the City e/County's NPDCS parallel. He sedements shall be distanced feel as bloom disthi.

6. The instaling contractor shall follow the voter questy objects
pil v 6.5 to 8.5 Chlorine v ages detect
Concentration of latel automated solds c25 mg/L If you find that the water naturally deciderinates itself by the time it math deals likely, there is no need to add the Captar equition. DEPARTMENT

ENGINEERING

More correction.

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PLAT SWEET NO. -NONE

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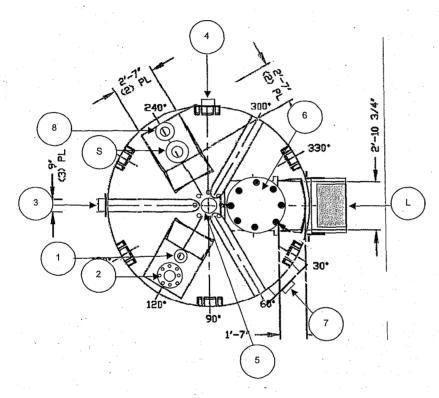
9/06 DELENIA NA CW-863~R5

ALL

Exhibit

Pages Page,

42.5 Ton BrineMaker Typical Orientation



Notes:

- Side Manway, Water Level Control, Aluminum Access Ladder and Salt Level Indication are optional features
- Fill tank to 36" with water before accepting first load of salt
- Ground salt fill line according to local requirements

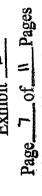
Customer	Date
Purchase Order Number	Project Reference/Location
Tank Identification	Tank Material of Construction
42.5 Ton BrineMaker	Crosslink Polyethylene
Tank Model Number	Design Specific Gravity
11009100110	1.35
Capacity (Gallons)	Design Temperature & Pressure
9100	100°F & Atmospheric
Dimensions (Diameter x Height)	Tank Color
12' x 12'11"	Natural/Translucent
Seismic Zone & Restraint Model Number	Chemical to be Stored .
Zone IV: #AC13-6/6	Salt Brine Solution

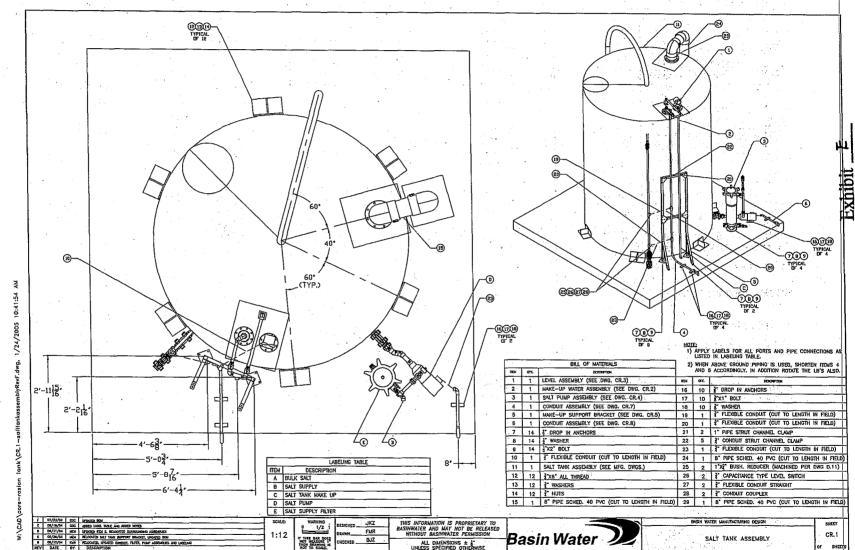
Mark	Degree	Radius	Height	Size	Description
1	120	Min		1.5"	Water Inlet #7504 SS-MPT w/Distribution Head
2	120	Max	1 1 1	8"	Vent Assembly #6240 PVC Fig #4746 ¾" XLPE Gskt, (8) #5012 SS Studs (8) #3209 EPDM Gskt
3	180		6"	2"	Brine Plenum #7507 SS-MPT w/PVC Manifold w/FRP Screen
4	270		6"	1.5"	Drain SS-MPT w/Diptube, Screen & Valve #7504/3125/3184/SP594
5	TDC			4"	Salt Inlet 4" Flg Pattern w/4.75" ID Hole & 11/16" Bolt Holes
6	0	30"		24"	Sealed Manway #3250
7	45		36"	24"	Side Manway – 304SS
8	240	Max		3"	Water Level Control PVC/FPT w/Downpipe#7122/3168/3197/3209
L	0				Aluminum Access Ladder w/Deck
S	Min.	24"		3"	Salt Level Indication PVC/FPT

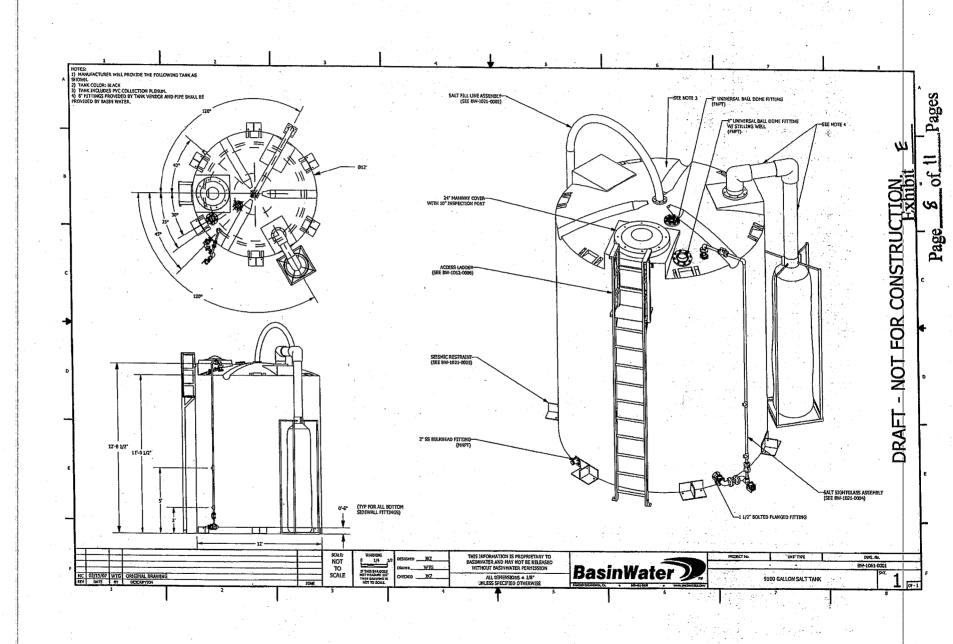


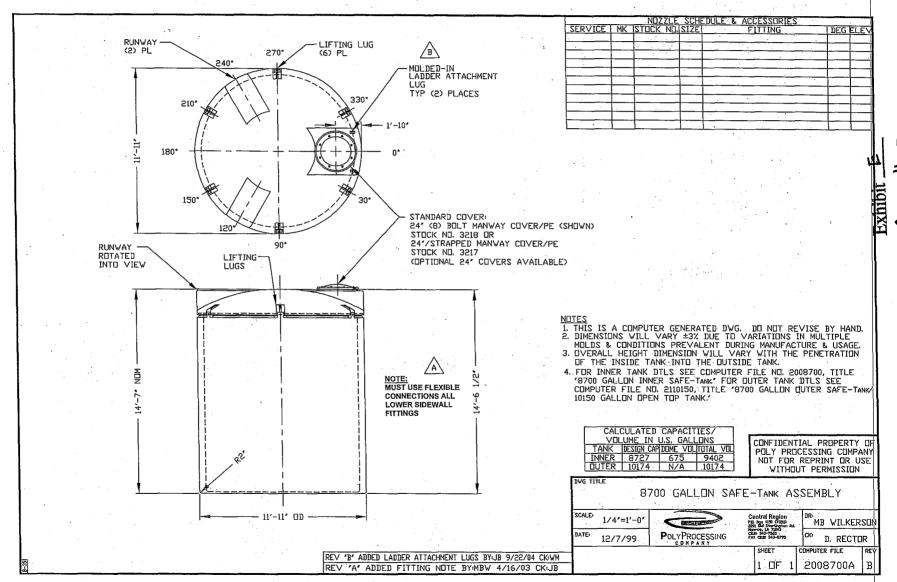
by Core-Rosion Products 3395 E.19th Street Signal Hill A 90755 562-986-5238 FAX 986-5246 info@core-rosion.com

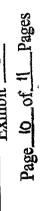
Drawing Number: 42.5 Ton BrineMaker

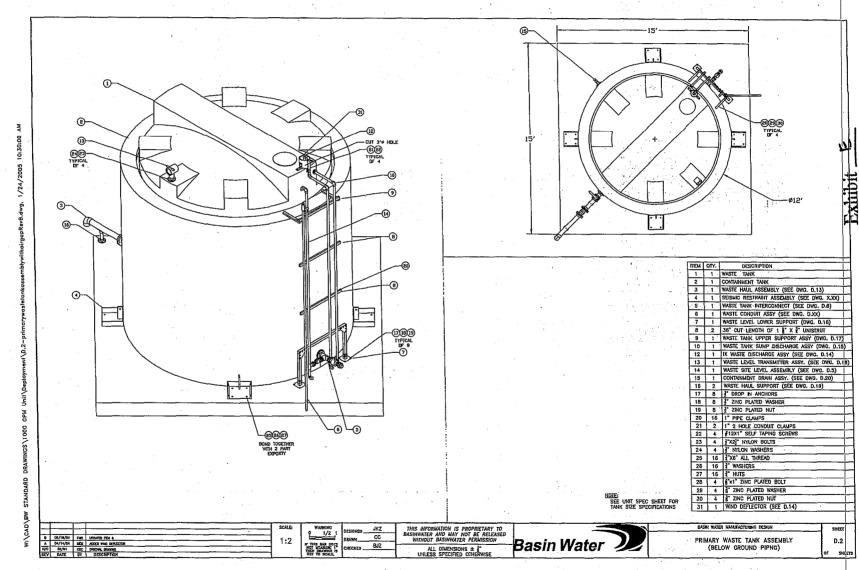


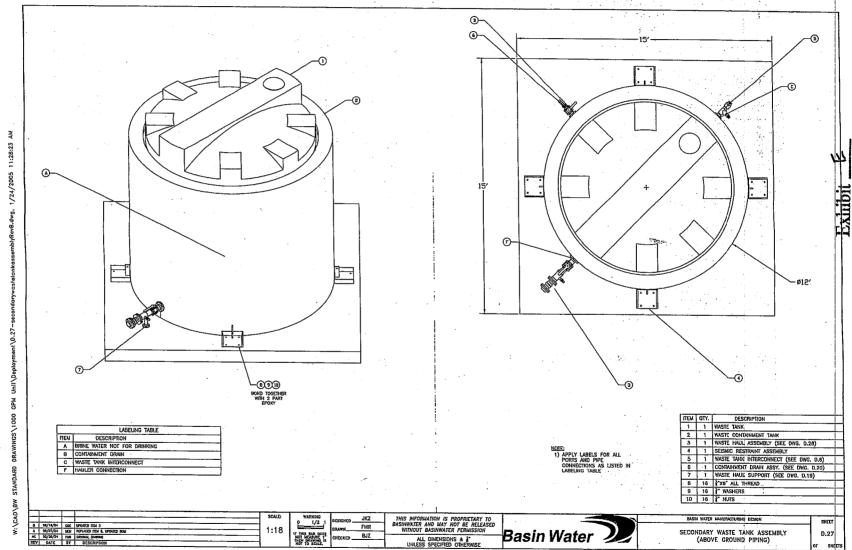












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