

MONTEREY COUNTY ZONING ADMINISTRATOR

Meeting: July 29, 2010	Time: 1:30 P.M.	Agenda Item No.: 6
Project Description: Coastal Administrative Permit to allow the construction of a 2,224 square foot manufactured dwelling, a 1,984 square foot metal storage building, two (2) 5,000 gallon water storage tanks, and a septic disposal system.		
Project Location: 19191 Karner Road, Castroville		APN: 131-073-034-000
Planning File Number: PLN090409		Owner: John Whitten Agent: Ray Schmitt
Planning Area: North County Land Use Plan		Flagged and staked: Yes
Zoning Designation: Rural Density Residential, 5 acres per unit, Coastal Zone (RDR/5(CZ))		
CEQA Action: Categorically Exempt per Section 15303		
Department: RMA - Planning Department		

RECOMMENDATION:

Staff recommends that the Zoning Administrator adopt a resolution (**Exhibit B**) to:

- 1) Categorically exempt the project from environmental review pursuant to Section 15303 of the CEQA Guidelines; and
- 2) Approve PLN090409, based on the findings and evidence and subject to the conditions of approval (**Exhibit B**):

PROJECT OVERVIEW:

The subject property is located at 19191 Karner Road, Castroville and is zoned Rural Density Residential, 5 acres per unit, Coastal Zone (RDR/5(CZ)). Currently, there are four plastic covered greenhouses on the property and an existing agricultural well which will be used to provide water to the proposed single family dwelling.

The project was noticed for an Administrative Hearing on June 30, 2010. However, a neighboring property owner requested a public hearing based on concerns with water usage and the purpose of the two proposed water storage tanks and the metal storage building.

Water quality and quantity for the project was reviewed by the Environmental Health Bureau and no issues or concerns were identified. The proposed single family dwelling will be served by an existing onsite well (Well Permit No. W1174). It was found that the existing well is located in an area know to have a high water yield. Therefore, no issues were identified and conditions of approval were required.

The two 5,000 gallon water storage tanks will be used to hold an emergency water supply as required by the North County Rural Fire Protection District (see Condition No. 17). The accessory structure is proposed for personal and private use, which is consistent with the requirements of the zoning district.

Based on resource information contained in the North County Land Use Plan, the North County Coastal Implementation Plan, the Monterey County Zoning Ordinance (Title 20), the Monterey County Geographic Information System, application materials and site visits, staff finds that this project has no issues remaining. The project is consistent with the North County Land Use Plan, the North County Coastal Implementation Plan, and Title 20.

OTHER AGENCY INVOLVEMENT: The following agencies and departments reviewed this project:

- √ RMA - Public Works Department
- √ Environmental Health Division
- √ Water Resources Agency
- √ North County Fire Protection District
- California Coastal Commission

Agencies that submitted comments are noted with a check mark ("√"). Conditions recommended by RMA-Public Works Department, Water Resources Agency, and the North County Fire Protection District have been incorporated into the Condition Compliance/Mitigation Monitoring and Reporting Plan attached as Exhibit 1 to the draft resolution (**Exhibit C**).

The project was not referred to the North County Coastal Land Use Advisory Committee (LUAC) for review. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors per Resolution No. 08-338, this application did not warrant referral to the LUAC because the project does not involve a variance, it does not require a Design Approval subject to the approval of the Zoning Administrator or Planning Commission, and the project is exempt from CEQA.

Note: The decision on this project is appealable to the Board of Supervisors.

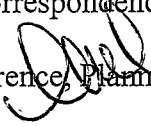


Anna V. Quenga, Assistant Planner
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July 13, 2010

cc: Front Counter Copy; Zoning Administrator; North County Fire Protection District; Public Works; Coastal Commission; Environmental Health Division; Water Resources Agency; Anna V. Quenga, Planner; Laura Lawrence, Planning Services Manager; John Whitten, Property Owner; Ray Schmitt, Representative; James Valenzuela, Neighboring Property Owner; Project File PLN090409

Attachments: Exhibit A Project Data Sheet
 Exhibit B Draft Resolution, including:
 1. Conditions of Approval
 2. Site Plan, Floor Plan and Elevations
 Exhibit C Vicinity Map
 Exhibit D Project Correspondence

This report was reviewed by Laura Lawrence, Planning Services Manager



**EXHIBIT A
PROJECT DATA SHEET**

Project Title: Whitten	Primary APN: 131-073-034-000
Location: 19191 Karner Road, Castroville	Coastal Zone: Yes
Applicable Plan: North County Land Use Plan	Zoning: RDR/5(CZ)
Permit Type: Coastal Administrative Permit	Plan Designation: Rural Density Residential
Environmental Status: Exempt per 15303	Final Action Deadline: 08/14/2010
Advisory Committee: N/A	

Project Site Data:

Lot Size: 10 Acres	Coverage Allowed: 25%
Existing Structures (sf): 7,672 sq ft	Coverage Proposed: 2.7%
Proposed Structures (sf): 4,208 sq ft	Height Allowed: 30'
Total Square Feet: 11,880 sq ft	Height Proposed: 13' 9"
	FAR Allowed: N/A
	FAR Proposed: N/A

Resource Zones and Reports

Environmentally Sensitive Habitat: N/A	Erosion Hazard Zone: Moderate
Botanical Report #: N/A	Soils/Geo. Report #: N/A
Forest Mgt. Report #: N/A	Geologic Hazard Zone: VI
Archaeological Sensitivity Zone: High	Geologic Report #: N/A
Archaeological Report #: LIB100134	Traffic Report #: N/A
Fire Hazard Zone: Agricultural	

Other Information:

Water Source: Well	Sewage Disposal (method): Septic Disposal System
Water District/Company: N/A	Sewer District Name: N/A
Fire District: N. County Rural	Grading (cubic yds): Less than 100 yds ³
Tree Removal (Count/Type): N/A	

**EXHIBIT B
DRAFT RESOLUTION**

**Before the Zoning Administrator
in and for the County of Monterey, State of California**

In the matter of the application of:

WHITTEN (PLN090409)

RESOLUTION NO.

Resolution by the Monterey County Zoning
Administrator:

- 1) Categorically exempt the project from environmental review pursuant to Section 15303 of the CEQA Guidelines; and
- 2) Approving the Coastal Administrative Permit to allow the construction of a 2,224 square foot manufactured dwelling, a 1,984 square foot metal storage building, two (2) 5,000 gallon water storage tanks, and a septic disposal system.

(PLN090409, Whitten, 19191 Karner Road, Castroville, North County Land Use Plan (APN: 131-073-034-000))

The Coastal Administrative Permit applications (PLN090409) came on for public hearing before the Monterey County Zoning Administrator on July 29, 2010. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Monterey County Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the Monterey County General Plan,
 - North County Land Use Plan,
 - North County Coastal Implementation Plan,
 - Monterey County Zoning Ordinance (Title 20)Correspondence was received by a member of the public who mentions conflicts were found to exist and the project is inconsistent with the text, policies, and regulations in these documents.
b) The property is located at 19191 Karner Road, Castroville (Assessor's Parcel Number 131-073-034-000), North County Land Use Plan. The parcel is zoned Rural Density Residential, 5 acres per unit, Coastal Zone (RDR/5(CZ), which allows the construction of a single family dwelling and accessory structures accessory to any principal use provided that a Coastal Administrative Permit is first obtained. The project application and materials include the request for a Coastal Administrative Permit.

- Therefore, the project is an allowed land use for this site.
- c) The project does not include a request for any additional uses which are conditional uses, or is the subject property located within an area where exempt development would be considered non-exempt.
 - d) The project planner conducted a site inspection on March 18, 2010 to verify that the project on the subject parcel conforms to the plans listed above.
 - e) A letter by a member of the public, James Valenzuela, dated June 28, 2010, was received by staff (see Exhibit E of the July 29, 2010 Zoning Administrator staff report). Mr. Valenzuela has concerns with the proposed project and how it will affect the quantity and quality of the water already available to the neighboring property owners. In addition, he would like to know the “purpose of the 1,984 square foot metal storage facility” and the “need for the two 5,000 gallon water storage tanks.” Mr. Valenzuela has requested a public hearing; therefore, pursuant to Section 20.76.060.A.5 of the Monterey County Zoning Ordinance, the project was referred to the Zoning Administrator. Water quality and quantity for the project was reviewed by the Environmental Health Bureau and no issues or concerns were identified (see Finding No. 3, Evidence c). The two 5,000 gallon water storage tanks will be used to hold an emergency water supply as required by the North County Rural Fire Protection District (see Condition No. 17). The accessory structure is proposed for personal and private use, which is consistent with the requirements of the zoning district.
 - f) The project was not referred to the North County Coastal Land Use Advisory Committee (LUAC) for review. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors per Resolution No. 08-338, this application did not warrant referral to the LUAC because the project does not involve a variance, it does not require a Design Approval subject to the approval of the Zoning Administrator or Planning Commission, and the project is exempt from CEQA (See Finding No. 5).
 - g) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN090409.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: RMA - Planning Department, North County Rural Fire Protection District, Public Works, Environmental Health Bureau, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
 - b) Staff identified potential impacts to Archaeological Resources. Consistent with Section 20.144.B.1.a of the North County Coastal Implementation Plan requires that any development within a High Archaeological Sensitivity Zone shall require the submittal of an archaeological survey. The Monterey County Geographic Information

System indicates that the subject property is located within a high archaeological sensitivity zone. Since the project falls under the definition of development within Section 20.06.310 of the Monterey County Zoning Ordinance (Title 20), a technical report by an outside consultant was submitted with the application. The report indicates that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff independently reviewed these reports and concurs with their conclusions. The following reports have been prepared:

- *"Preliminary Cultural Resources Reconnaissance" (LIB100134) prepared by Lynne H. Mounday Archaeologist, Salinas, Ca., January 24, 2010).*

- c) Staff conducted a site inspection on March 18, 2010 to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN090409.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by the North County Rural Fire Protection District, Public Works, Environmental Health Bureau, and Water Resources Agency. The respective departments/agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities are available and will be provided.
 - c) The proposed single family dwelling will be served by an existing onsite well (Well Permit No. W1174). The Environmental Health Bureau has reviewed the proposed project and has found that the existing well is located in an area know to have a high water yield. Therefore, no issues were identified and conditions of approval were required.
 - d) The Environmental Health Bureau has reviewed the proposed project as well as the proposed wastewater disposal system. Due to the clay soils found on the site, a standard shallow septic trench would not be feasible. However, sandy material which is suitable for disposal was found 25 feet beneath the clay. In addition, the civil engineer, Grice Engineering, bored to a depth of 75 feet and no ground water was encountered. Therefore, the applicant proposes a seepage pit disposal system. The Environmental Health Bureau has reviewed the preliminary plans for the seepage pit disposal system and found no issues, nor were conditions of approval required.
 - e) Preceding findings and supporting evidence for PLN090409.

4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.
- EVIDENCE:** a) Staff reviewed Monterey County RMA - Planning Department and Building Services Department Monterey County records and is not aware of any violations existing on subject property.
- b) Staff conducted a site inspection on March 18, 2010 and researched County records to assess if any violation exists on the subject property.
- c) There are no known violations on the subject parcel.
- d) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN090409.
5. **FINDING:** **CEQA (Exempt)** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:** a) California Environmental Quality Act (CEQA) Guidelines Section 15303, categorically exempts construction of one single family dwelling and accessory structures.
- b) No adverse environmental effects were identified during staff review of the development application during a site visit on March 18, 2010.
- c) CEQA Guidelines Section 15300.2 lists exceptions to categorical exemptions. None of the exceptions can be made because the project will not impact an environmental resource of hazardous or critical concern; the project will not create a cumulative impact on the environment; the project does not have any unusual circumstance; the project will not result in the damage of a scenic resource; the subject property is not a hazardous waste site; nor is their a historical resource on the property. Therefore, the proposed project is exempt from environmental review.
- d) See preceding and following findings and supporting evidence.
6. **FINDING:** **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and Local Coastal Program, and does not interfere with any form of historic public use or trust rights.
- EVIDENCE:** a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.144.150 of the Monterey County Coastal Implementation Plan can be demonstrated.
- b) The subject property is not described as an area where the Local Coastal Program requires public access (Figure 6 in the North County Land Use Plan).
- c) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
- d) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN090409.
- e) The project planner conducted a site inspection on March 18, 2010.

7. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors.
- EVIDENCE:** a) Section 20.86.030.A Monterey County Zoning Ordinance (Board of Supervisors).
- b) Section 20.86.080.A Monterey County Zoning Ordinance (Coastal Commission). The project not subject to appeal by/to the California Coastal Commission because the subject property is not located between the sea and the first public road; the subject property is not located on tidelands, submerged lands, public trust lands, within 100 feet of any wetland, estuary, stream or within 300 feet of the top of the seaward face of any coastal bluff; nor does the project include any uses which are conditional uses.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

- A. Find the project categorically exempt from environmental review pursuant to Section 15303 of the CEQA Guidelines; and
- B. Approve the Coastal Administrative Permit to allow the construction of a 2,224 square foot manufactured dwelling, a 1,984 square foot metal storage building, two (2) 5,000 gallon water storage tanks, and a septic disposal system, in general conformance with the attached sketch (**Exhibit 2**) and subject to the conditions (**Exhibit 1**), both exhibits being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 29th day of July, 2010.

Mike Novo, Monterey County Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning Department and Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

RESOLUTION - EXHIBIT 1
Monterey County Resource Management Agency
Planning Department
Condition Compliance and/or Mitigation Monitoring
Reporting Plan

Project Name: Whitten
File No: PLN090409 **APNs:** 131-073-034-000
Approved by: Zoning Administrator **Date:** July 29, 2010

**Monitoring or Reporting refers to projects with an EIR or adopted Mitigated Negative Declaration per Section 21081.6 of the Public Resources Code.*

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
RMA - Planning Department						
1.		<p>PD001 - SPECIFIC USES ONLY This Coastal Administrative Permit (PLN090409) allows the construction of a 2,224 square foot manufactured dwelling, a 1,984 square foot metal storage building, two (2) 5,000 gallon water storage tanks, and a septic disposal system. The property is located at 19191 Karner Road, Castroville (Assessor's Parcel Number 131-073-034-000), North County Land Use Plan area, Coastal Zone. This permit was approved in accordance with County ordinances and land use regulations subject to the following terms and conditions. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. (RMA-Planning Department)</p>	<p>Adhere to conditions and uses specified in the permit.</p> <p>Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of the RMA - Planning Department.</p> <p>To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled.</p>	<p>Owner/ Applicant</p> <p>RMA - Planning</p> <p>WRA RMA - Planning</p>	<p>Ongoing unless otherwise stated</p>	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
2.		PD002 - NOTICE-PERMIT APPROVAL The applicant shall record a notice which states: "A permit (Resolution) was approved by the Zoning Administrator for Assessor's Parcel Number 131-073-034-000 on July 29, 2010. The permit was granted subject to 22 conditions of approval which run with the land. A copy of the permit is on file with the Monterey County RMA - Planning Department." (RMA-Planning Department)	Obtain appropriate form from the RMA-Planning Department. The applicant shall complete the form and furnish proof of recordation of this notice to the RMA - Planning Department.	Owner/ Applicant RMA- Planning	Prior to the issuance of grading and building permits or commencement of use	
3.		PD032(A) - PERMIT EXPIRATION The permit shall be granted for a time period of 3 years, to expire on July 29, 2013 unless use of the property or actual construction has begun within this period. (RMA – Planning Department)	The applicant shall obtain a valid grading or building permit and/or commence the authorized use to the satisfaction of the Director of Planning. Any request for extension must be received by the Planning Department at least 30 days prior to the expiration date.	Owner/ Applicant	As stated in the conditions of approval	
4.		PD003(A) – CULTURAL RESOURCES – NEGATIVE ARCHAEOLOGICAL REPORT If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. The Monterey County RMA - Planning Department and a qualified archaeologist (i.e., an archaeologist registered with the Society of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery. (RMA - Planning Department)	Stop work within 50 meters (165 feet) of uncovered resource and contact the Monterey County RMA - Planning Department and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.	Owner/ Applicant/ Archaeologist	Ongoing	

Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
5.		<p>PD010 - EROSION CONTROL PLAN AND SCHEDULE</p> <p>The approved development shall incorporate the recommendations of the Erosion Control Plan as reviewed by the Director of RMA – Planning and Director of Building Services. All cut and/or fill slopes exposed during the course of construction be covered, seeded, or otherwise treated to control erosion during the course of construction, subject to the approval of the Director of RMA - Planning and Director of RMA - Building Services. The improvement and grading plans shall include an implementation schedule of measures for the prevention and control of erosion, siltation and dust during and immediately following construction and until erosion control planting becomes established. This program shall be approved by the Director of RMA - Planning and Director of RMA - Building Services. (RMA - Planning Department and RMA - Building Services Department)</p>	<p>An Erosion Control Plan shall be submitted to the RMA - Planning Department and the RMA - Building Services Department prior to issuance of building and grading permits.</p> <p>Comply with the recommendations of the Erosion Control Plan during the course of construction until project completion as approved by the Director of RMA - Planning and Director of RMA - Building Services.</p> <p>Evidence of compliance with the Implementation Schedule shall be submitted to the RMA - Planning Department and the RMA - Building Services Department</p>	<p>Owner/ Applicant</p> <p>Owner/ Applicant</p> <p>Owner/ Applicant</p>	<p>Prior to the issuance of grading and building permits</p> <p>Ongoing</p> <p>Prior to final inspection</p>	
6.		<p>PD012(H) - LANDSCAPING PLAN - NORTH COUNTY COASTAL NATIVE</p> <p>The site shall be landscaped. The use of native species consistent with and found in the project area shall be required in all landscaping plans as a condition of project approval. A list of appropriate native plant species identified in Attachment #2 and #3 in the North County Implementation Plan Development Regulations is available in brochure form (<i>Suggested Native Species Landscaping List - North County Coastal Zone</i>) from the RMA - Planning Department. (RMA – Planning Department)</p>	<p>Submit landscape plans and contractor’s estimate to RMA - Planning Department for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable.</p>	<p>Owner/ Applicant/ Licensed Landscape Contractor/ Licensed Landscape Architect</p>	<p>Prior to issuance of Building Permits</p>	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
7.		PD014(A) – LIGHTING – EXTERIOR LIGHTING PLAN All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The applicant shall submit 3 copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations, Title 24, Part 6. The exterior lighting plan shall be subject to approval by the Director of the RMA - Planning Department, prior to the issuance of building permits. (RMA – Planning Department)	Submit three copies of the lighting plans to the RMA - Planning Department for review and approval. Approved lighting plans shall be incorporated into final building plans.	Owner/ Applicant	Prior to the issuance of building permits	
			The lighting shall be installed and maintained in accordance with the approved plan.	Owner/ Applicant	Prior to Occupancy / Ongoing	
8.		PD035 - UTILITIES - UNDERGROUND All new utility and distribution lines shall be placed underground. (RMA - Planning Department; Public Works)	Install and maintain utility and distribution lines underground.	Owner/ Applicant	Ongoing	
9.		PD038 - WATER TANK APPROVAL The water tank shall be painted an earth tone color to blend into the area and landscaped (including land sculpturing and fencing, where appropriate), subject to the approval of the Director of the RMA - Planning Department, prior to the issuance of building permits. (RMA – Planning Department)	Submit proposed color of water tank and landscaping plans to the RMA - Planning Department for review and approval.	Owner/ Applicant	Prior to the issuance of grading or building permits	
			Provide evidence to the Director of the RMA - Planning Department that the water tank has been painted and the landscaping has been installed according to the plans approved by the RMA - Planning Department.	Owner/ Applicant	Prior to the final inspection or occupancy	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
			All landscaped areas and fences shall be continuously maintained; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.	Owner/ Applicant	On-going	
RMA – Public Works Department						
10.		PW0005 – ENCROACHMENT (STD DRIVEWAY) Obtain an encroachment permit from the Department of Public Works and construct a standard driveway connection to Karner Road.(Public Works)	Applicant shall obtain an encroachment permit from DPW prior to issuance of building permits and complete improvement prior to occupancy or commencement of use. Applicant is responsible to obtain all permits and environmental clearances.	Owner/ Applicant	Prior to issuance of building/grading permits	
11.		PW0043 – REGIONAL DEVELOPMENT IMPACT FEE Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule. (Public Works)	Applicant shall pay Monterey County Building Services Department the traffic mitigation fee.	Owner/ Applicant	Prior to issuance of building/grading permits	
Monterey County Water Resources Agency						
12.		WR8 - COMPLETION CERTIFICATION The applicant shall provide the Water Resources Agency certification from a registered civil engineer or licensed contractor that stormwater detention/retention facilities have been constructed in accordance with approved plans. (Water Resources Agency)	Submit a letter to the Water Resources Agency, prepared by a registered civil engineer or licensed contractor, certifying compliance with approved drainage plan.	Owner/ Applicant/ Engineer/ Contractor	Prior to final inspection	

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13.		WRSP001 – DRAINAGE PLAN (NON-STANDARD) The applicant shall provide the Water Resources Agency a drainage plan addressing on-site and off-site impacts. The plan shall include retention/percolation facilities to mitigate the impact of impervious surface stormwater runoff. Drainage improvements shall be constructed in accordance with plan approved by the Water Resources Agency. (Water Resources Agency)	Submit 3 copies of the drainage plan to the Water Resources Agency for review and approval.	Owner/ Applicant	Prior to issuance of building/grading permits	
North County Rural Fire Protection District						
14.		FIRE002 - ROADWAY ENGINEERING The grade for all roads shall not exceed 15 percent. Where road grades exceed 8 percent, a minimum structural roadway surface of 0.17 feet of asphaltic concrete on 0.34 feet of aggregate base shall be required. The length of vertical curves in roadways, exclusive of gutters, ditches and drainage structures designed to hold or divert water, shall not be less than 100 feet. No roadway turn shall have a horizontal inside radius of less than 50 feet. A roadway turn radius of 50 to 100 feet is required to have an additional 4 feet of roadway surface. A roadway turn radius of 100 to 200 feet is required to have an additional 2 feet of roadway surface. Roadway turnarounds shall be required on dead-end roads in excess of 150 feet of surface length. The minimum turning radius for a turnaround shall be 40 feet from the center line of the road. If a hammerhead/T is used, the top of the "T" shall be a minimum of 60 feet in length. (North County Rural Fire Protection District)	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit	
			Applicant shall schedule fire dept. clearance inspection for each phase of development.	Applicant or owner	Prior to final building inspection	

Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
15.		<p>FIRE007 - DRIVEWAYS Driveways shall not be less than 12 feet wide unobstructed, with an unobstructed vertical clearance of not less than 15 feet. The grade for all driveways shall not exceed 15 percent. Where the grade exceeds 8 percent, a minimum structural roadway surface of 0.17 feet of asphaltic concrete on 0.34 feet of aggregate base shall be required. The driveway surface shall be capable of supporting the imposed load of fire apparatus (22 tons), and be accessible by conventional-drive vehicles, including sedans. For driveways with turns 90 degrees and less, the minimum horizontal inside radius of curvature shall be 25 feet. For driveways with turns greater than 90 degrees, the minimum horizontal inside radius curvature shall be 28 feet. For all driveway turns, an additional surface of 4 feet shall be added. All driveways exceeding 150 feet in length, but less than 800 feet in length, shall provide a turnout near the midpoint of the driveway. Where the driveway exceeds 800 feet, turnouts shall be provided at no greater than 400-foot intervals. Turnouts shall be a minimum of 12 feet wide and 30 feet long with a minimum of 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall long with a minimum 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall be located within 50 feet of the primary building. The minimum turning radius for a turnaround shall be 40 feet from the center line of the driveway. If a hammerhead/T is used, the top of the "T" shall be a minimum of 60 feet in length. (North County Rural Fire Protection District)</p>	<p>Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.</p>	Applicant or owner	Prior to issuance of grading and/or building permit	
			<p>Applicant shall schedule fire dept. clearance inspection</p>	Applicant or owner	Prior to final building inspection	

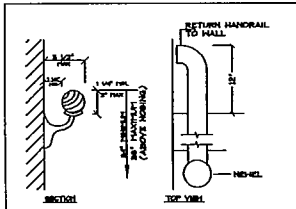
<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
16.		<p>FIRE011 - ADDRESSES FOR BUILDINGS All buildings shall be issued an address in accordance with Monterey County Ordinance No. 1241. Each occupancy, except accessory buildings, shall have its own permanently posted address. When multiple occupancies exist within a single building, each individual occupancy shall be separately identified by its own address. Letters, numbers and symbols for addresses shall be a minimum of 4-inch height, 1/2-inch stroke, contrasting with the background color of the sign, and shall be Arabic. The sign and numbers shall be reflective and made of a noncombustible material. Address signs shall be placed at each driveway entrance and at each driveway split. Address signs shall be and visible from both directions of travel along the road. In all cases, the address shall be posted at the beginning of construction and shall be maintained thereafter. Address signs along one-way roads shall be visible from both directions of travel. Where multiple addresses are required at a single driveway, they shall be mounted on a single sign. Where a roadway provides access solely to a single commercial occupancy, the address sign shall be placed at the nearest road intersection providing access to that site. Permanent address numbers shall be posted prior to requesting final clearance. (North County Rural Fire Protection District)</p>	<p>Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.</p>	Applicant or owner	Prior to issuance of building permit	
			<p>Applicant shall schedule fire dept. clearance inspection</p>	Applicant or owner	Prior to final building inspection	
17.		<p>FIRE014 - EMERGENCY WATER STANDARDS - FIRE PROTECTION WATER SUPPLY - (SINGLE PARCEL) For development of structures totaling less than 3,000 square feet on a single parcel, the minimum fire</p>	<p>Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.</p>	Applicant or owner	Prior to issuance of grading and/or building permit	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		protection water supply shall be 4,900 gallons. For development of structures totaling 3,000 square feet or more on a single parcel, the minimum fire protection water supply shall be 9,800 gallons. For development of structures totaling more than 10,000 square feet on a single parcel, the reviewing authority may require additional fire protection water supply. Other water supply alternatives, including ISO Rural Class 8 mobile water systems, may be permitted by the fire authority to provide for the same practical effect. The quantity of water required by this condition shall be in addition to the domestic demand and shall be permanently and immediately available. (North County Rural Fire Protection District)	Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	
18.		FIRE017 - DISPOSAL OF VEGETATION AND FUELS Disposal, including chipping, burying, or removal to a landfill site approved by the local jurisdiction, of vegetation and debris caused by site development and construction, road and driveway construction, and fuel modification shall be completed prior to final clearance of the related permit. (North County Rural Fire Protection District)	Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	
19.		FIRE019 - DEFENSIBLE SPACE REQUIREMENTS Manage combustible vegetation within a minimum of 100 feet of structures (or to the property line). Limb trees 6 feet up from ground. Remove limbs within 10 feet of chimneys. Additional and/or alternate fire protection or firebreaks approved by the fire authority may be required to provide reasonable fire safety. Environmentally sensitive areas may require alternative fire protection, to be determined by Reviewing Authority and the Director of Planning and Building Inspection. (North County Rural Fire Protection District)	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	

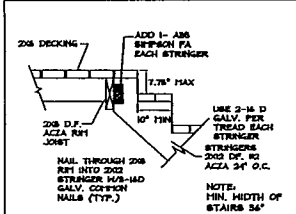
<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		District)				
20.		FIRE021 - FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM (STANDARD) The building(s) and attached garage(s) shall be fully protected with automatic fire sprinkler system(s). Installation shall be in accordance with the applicable NFPA standard. A minimum of four (4) sets of plans for fire sprinkler systems must be submitted by a California licensed C-16 contractor and approved prior to installation. This requirement is not intended to delay issuance of a building permit. A rough sprinkler inspection must be scheduled by the installing contractor and completed prior to requesting a framing inspection. (North County Rural Fire Protection District)	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit	
			Applicant shall schedule fire dept. rough sprinkler inspection	Applicant or owner	Prior to framing inspection	
			Applicant shall schedule fire dept. final sprinkler inspection	Applicant or owner	Prior to final building inspection	
21.		FIRE025 - SMOKE ALARMS – (SINGLE FAMILY DWELLING) Where a household fire warning system or combination fire/burglar alarm system is installed in lieu of single-station smoke alarms required by the Uniform Building Code the alarm panel shall be required to be placarded as permanent building equipment. (North County Rural Fire Protection District)	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit	
			Applicant shall schedule fire alarm system acceptance test.	Applicant or owner	Prior to final building inspection	
22.		FIRE026 - ROOF CONSTRUCTION (STANDARD) All new structures, and all existing structures receiving new roofing over 50 percent or more of the existing roof surface within a one-year period, shall require a minimum of ICBO Class B roof construction. (North County Rural Fire Protection District)	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit	

END OF CONDITIONS

Rev. 05/18/2010



1 HAND RAIL DETAIL
NTS



2 TYP. STAIR/DECK CONN.
NTS

DOOR & LANDING REQUIREMENTS

LANDING AT DOOR NOT REQUIRED ON INTERIOR FLIGHT IN DOUBLE OR WALK-IN DOOR (EXCEPT SCREEN DOORS) DOES NOT SPAN OVER THE STAIRS. (2003.4.10.1 & 2003.4.10.2)

THERE SHALL BE A FLOOR OR A LANDING AT EACH STAIRWAY OR STAIR RUN. LANDINGS SHALL HAVE A MIN. CLEARANCE OF TRAVEL OF AT LEAST 36\"/>

STEP DOWN FROM DOORWAY - TOP OF THRESHOLD 7/8\"/>

MAX. 2 1/2\"/>

MIN. 3/4\"/>

SOLID RAILS OR TRAY OF WIRE - 4\"/>

STAIR FRAME

- ALL FRAMES TO BE PTED (ACIA)
- ALL FASTENERS & HANGERS TO BE GALVANIZED
- NAILS & BOLTS TO BE STEEL (BLACK) - MATCH SORT.
- 2x6 RAILS, BRACKETS (ALUM.)

GUARDRAILS

DESIGNED WITH FORCE THAN 30\"/>

ALL UNENCLOSED FLOOR AND ROOF OPENINGS, OPEN AND GLAZED SIDES OF LANDINGS AND RAFTERS, BALCONIES OR PORCHES HANDS ARE MORE THAN 30 INCHES ABOVE GRADE, OR THE FLOOR BELCH, AND ROOF USED FOR OTHER THAN SERVICE OF BUILDING SHALL BE PROTECTED BY A GUARDRAIL.

GUARDRAILS SHALL NOT BE LESS THAN 42\"/>

RAILS THAT MAY BE 36\"/>

ALL GUARDRAILS AND STAIR BALDERS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4 INCHES IN DIAMETER CANNOT PASS THROUGH. (SEC. 2003.10)

HANDRAILS (H/RAIL)

NOT REQUIRED ON A CONTINUOUS RUN LESS THAN FOUR RISES. (2003.10.2)

STAIRWAYS SHALL HAVE AT LEAST ONE HANDRAIL, AND HANDRAILS SHALL BE INSTALLED ON OPEN SIDES OF STAIRWAYS. THE TOP OF HANDRAILS SHALL BE PLACED NOT LESS THAN 34 INCHES OR MORE THAN 38 INCHES ABOVE THE FINISH FLOOR OR TREADS. THE FULL LENGTH OF THE HANDRAIL SHALL BE RETURNED OR SHALL TERMINATE IN WELLS, POLES OR SAFETY TYPICALS.

HANDRAILS PROTECTED FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL. THE HAND PROTECTORS OF HANDRAILS SHALL NOT BE LESS THAN 1/4 INCHES OR MORE THAN 3 INCHES IN CROSS-SECTIONAL DIMENSION ON THE INSIDE FROM AN EQUIVALENT FINISH SURFACE.

THE HAND RAIL PORTION SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS.

NOTE: SEE SHT 1.11 FOR ADDITIONAL CODE COMPLIANT NOTES

TYPE OF CONSTRUCTION V-B

SITE INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ROOFING BY OWENS CORNING UL 790 CLASS A ASTM E 106, CLASS A

SEE SHT. 2 FOR GARAGE ELEC.

NOTE:

HALL CONSTRUCTION SHALL COMPLY WITH CBC TABLE 2504.9.1 (FOR CONVENTIONAL CONSTRUCTION.)

NAILING TO BE IN COMPLIANCE WITH CBC TABLE 2504.9.1

SITE INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ROOFING BY OWENS CORNING UL 790 CLASS A ASTM E 106, CLASS A

NOTE:

BOLTS IN WOOD SHALL CONFORM TO ASTM A-307. BOLT HOLES SHALL BE DRILLED 1/4\"/>

EXCLUDING INTERIOR WALLS SHALL BE APPROVED SILICON BRONZE OR COPPER, STAINLESS STEEL OR HOT-DIPPED ZINC-COATED STEEL. (2007 CBC SECTION 2504.4.5)

ANCHOR BOLTS SHALL BE MIN. 1/2\"/>

ANCHOR BOLTS SHALL BE MIN. 7\"/>

ONE BOLT LOCATED NOT MORE THAN 12\"/>

PLATE WASHERS FOR ANCHOR BOLTS, MIN. 3\"/>

HOLD DOWN HARDWARE MUST BE SECURED IN PLACE PRIOR TO FOUNDATION INSPECTION AND SHALL BE RE-TIGHTENED AT COMPLETION OF PROJECT, OR IMMEDIATELY BEFORE FINISHING OF CONSTRUCTION WHICH WILL TAKE THEIR FULL LOADS.

ALL FASTENERS EMBEDDED IN CONCRETE SHALL BE ATTACHED TO, OR HOOKED AROUND, REINFORCING STEEL OR OTHERWISE TERMINATED TO EFFECTIVELY TRANSFER FORCES TO THE REINFORCING STEEL. (2007 CBC SECTIONS 2506.3.3.)

AT THE TIME CONCRETE IS PLACED, REINFORCEMENT SHALL BE FREE FROM MUD, OIL, OR OTHER NONMETALLIC COATINGS THAT DECREASE BOND. (2007 CBC SECTION 2506.3.3.)

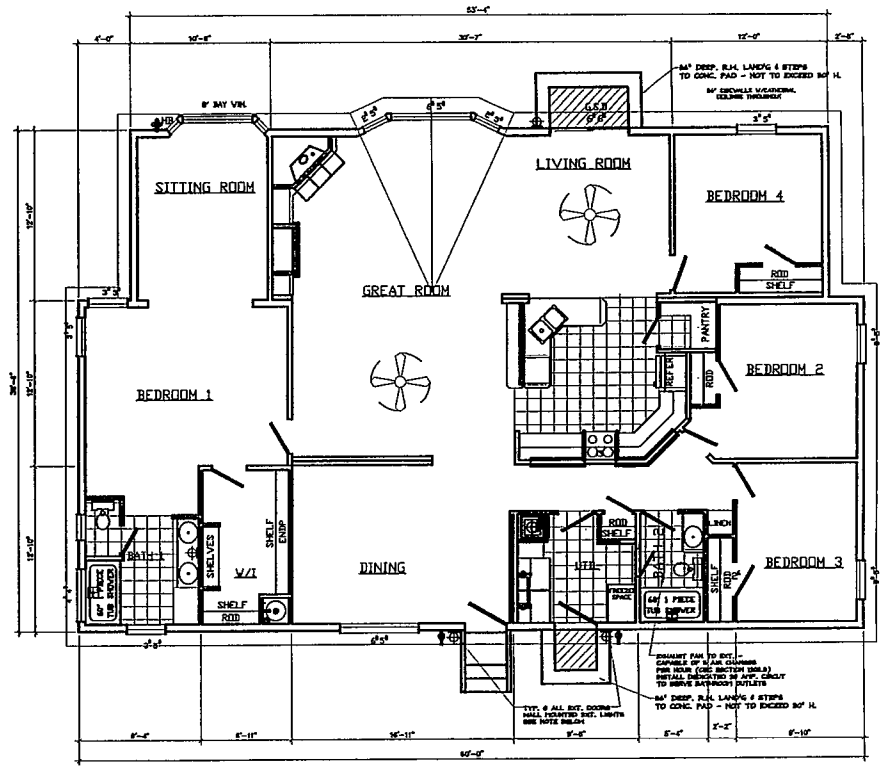
FASTENERS IN PRESERVATIVE-TREATED WOOD (ANCHOR BOLTS, NAILS, SCREWS, ETC.) - EXCLUDING INTERIOR WALLS SHALL BE APPROVED SILICON BRONZE OR COPPER, STAINLESS STEEL OR HOT-DIPPED ZINC-COATED STEEL. (2007 CBC SECTION 2504.4.5)

ANCHOR BOLTS SHALL BE MIN. 1/2\"/>

ANCHOR BOLTS SHALL BE MIN. 7\"/>

ONE BOLT LOCATED NOT MORE THAN 12\"/>

PLATE WASHERS FOR ANCHOR BOLTS, MIN. 3\"/>



GFI PROTECTION:

WHETHER ELECTRICAL CUTOFF SHALL HAVE A RECOGNIZABLE LABELING & SPEC PER NEC 250.52(4).

GFI PROTECTORS IN ELECTRICAL RACKS SHALL BE INSTALLED AT THE FRONT AND REAR OF THE RACK AS PER NEC 250.52(4).

PROVIDE CONCRETE ENCASED UPON GROUND, GFCI WATER RESISTANT TYPE (E) OR ENCASED RACK FOR MAIN SERVICE ENTRANCE. GFCI PROTECTORS IN ELECTRICAL RACKS SHALL BE INSTALLED AT THE FRONT AND REAR OF THE RACK AS PER NEC 250.52(4).

NOTE

30% MINIMUM ACCURACY MEASUREMENTS SHALL BE PROVIDED PRIOR TO COMMENCEMENT OF WORK.

THE LETTERS/NUMBERS FOR PERMANENT DIMENSIONS SHALL BE EXCLUDING SWAY AND OF A COLOR WHICH IS CONTRASTING TO BACKGROUND. IN NO CASE SHALL THE LETTERS/NUMBERS BE LESS THAN 4 INCHES IN HEIGHT WITH A MINIMUM 3/4\"/>

FROM THE CHECKER OF ACCUR.



FUDUA HOMES INC.
NO 1394D REV SHEET
FLOOR PLANS

E-1394D
2224 SQ. FT.

FLOOR PLANS

1/4" = 1'-0"

REVISIONS

APN: 151-075-054-000
CONTRACTOR # B814791
ADDRESS: 19191 KARNER
CASTROVILLE, CA. 95012
JOHN WHITTEN
(MODEL 1594D)

APPLICANT: RAY SCHMITT
CONTRACTOR # B814791
ADDRESS: 19191 KARNER
CASTROVILLE, CA. 95012
JOHN WHITTEN
(MODEL 1594D)

1ST & 2ND LEVEL
FLOOR PLAN
DECK & COVERED PATIO
FRAMG PLAN & DETAILS

Date: 11-10-09
Drawn: RS
Checked:
Scale: As Shown
Job:
Sheet:

2.1

ADDITIONAL GRADING & EROSION CONTROL NOTES

Design Standards - Fm

If slopes are to be constructed on natural slopes, the topsoil shall be one, unless a soil engineer or geologist determines a method of placement and soil testing is required. (16.06.310 B)

Slopes shall not be steeper than 2:1 unless a soil engineer or geologist determines a method of placement and soil testing is required. (16.06.310 B)

If slopes are to be constructed on fill, the fill shall be placed in layers not exceeding 12 inches in thickness and shall be compacted to a minimum of 90% of maximum density as determined by the 1993 USC, Standard Proctor. (16.06.310 B)

The slopes on all exterior walls shall be finished with a minimum of 1/2 inch of concrete or other approved material. (16.06.310 B)

The base under the base of a slope shall be one and one-half feet wide for every foot of slope. (16.06.310 B)

The area beyond the toe of a slope for a slope of 2:1 or 3:1 shall be provided. (16.06.310 B)

When fill is to be placed over a cut, the bench under the toe of fill shall be at least two feet wide but the cut must be made before placing fill and approved by the geotechnical engineer and an engineering geologist as suitable foundation for fill. (16.06.310 B)

Rock or boulders in an area that may be used as a fill. (16.06.310 B)

Fill Slopes. All excavated fill shall be placed in layers not exceeding 12 inches in thickness and shall be compacted to a minimum of 90% of maximum density as determined by the 1993 USC, Standard Proctor. (16.06.310 B)

Composition of Fill. All fill shall be compacted to a minimum of 90% of maximum density as determined by the 1993 USC, Standard Proctor. (16.06.310 B)

Grading and Terraces. Slopes provided in the area above fill slopes and the surface protection shall be graded and paved as required per Section 16.06.330. (16.06.310 B)

Leaves. Drains shall be approved by a Registered Civil Engineer who has been designated by the Dept. of Army Corps of Engineers, as published in that agency's Engineering Manual (EM 1110-3-1913). (16.06.310 B)

The following notes shall be followed:

Preparation of Ground for Fill. The ground surface shall be prepared to receive fill by the removal of topsoil and other unsuitable materials as determined by the soil engineer.

Preparation of the ground. The ground surface shall be prepared to receive fill by the removal of topsoil and other unsuitable materials as determined by the soil engineer.

Preparation of the ground. The ground surface shall be prepared to receive fill by the removal of topsoil and other unsuitable materials as determined by the soil engineer.

Section 16.06.320 Cut and Fill Slope Backsets

The top and base of a cut and fill slope shall be set back from property boundaries as far as necessary for safety of the subject property and to prevent damage to the adjacent property. (16.06.320)

The top and base of a cut and fill slope shall be set back from structures as far as necessary for adequate foundation support and to prevent damage to the structure. (16.06.320)

Setbacks shall be as shown in Table B. Minimum County has been shown following table and is provided as a guide for the purpose of this regulation and is not intended to be construed as a minimum. (16.06.320)

Section 16.06.330 Draining Facilities and Terraces

Drainage Features. Drainage features shall be designed to carry runoff from roof surfaces, paved areas, or other drainage devices designed according to approved County design criteria, shall be constructed to convey the flow past the point of impoundment or diversion. (16.06.330 A)

The minimum slope shall be 1/2 percent in direction of flow. (16.06.330 A)

Only material meeting industry standards shall be used. (16.06.330 A)

Drainage. All drainage facilities shall be designed to carry runoff to the nearest permitted discharge area. Erosion of ground in the line of discharge shall be prevented by installation of erosion control devices or other devices. (16.06.330 B)

The top of all structures of material shall be kept above the highest water table at any stage and shall be designed to maintain drainage channels. (16.06.330 C)

Terraces. Terraces shall be constructed with a minimum of 30 feet vertical rise. Suitable erosion control devices shall be provided to prevent soil erosion. (16.06.330 D)

Swales or ditches shall have a minimum gradient of 1/2 percent and must be paved with finished concrete not less than 3 inches in thickness or an approved equivalent. They shall have a minimum width at the lowest point of 1 foot and a minimum grade width of 3 feet. (16.06.330 E)

A single row of bents or ditches shall not be spaced more than 100 feet apart and shall be designed to carry runoff from a 100-year return period storm. (16.06.330 F)

Section 16.06.340 Erosion Control

All disturbed surfaces resulting from grading shall be prepared and maintained to control erosion by effective planning such as tree pits, bays or terraces that are permanent. (16.06.340)

Check dams, ridges, mounds or other devices or methods shall be employed to control erosion. (16.06.340)

Disturbance from grading operations shall be controlled. (16.06.340)

Section 16.06.350 Private Road Standards

All private road construction or grading operations shall be subject to the following requirements: (16.06.350 A) Erosion: All private roads shall be constructed to a minimum of 12 feet in width. (16.06.350 B 1)

Accessway Grades. Minimum centerline grades shall be 2% for all private roads. (16.06.350 B 2)

Accessway Grades for all roads, 10% for all private roads and all other roads shall not exceed 25%. (16.06.350 B 3)

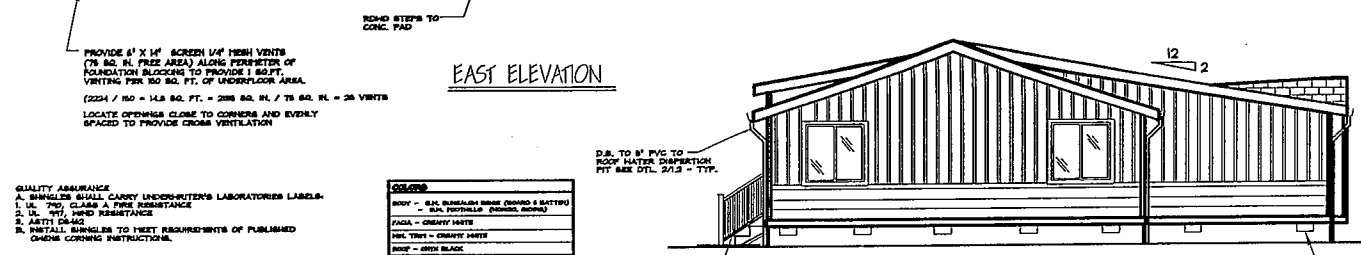
The structural section shall consist of a minimum of 4 inches of Class II Aggregate Base, set right where a minimum 10% slope is required to carry the load. (16.06.350 B 4)

Light bases are required where necessary to control erosion. Drainage shall be adequate to prevent water from accumulating on the road surface. (16.06.350 B 5)

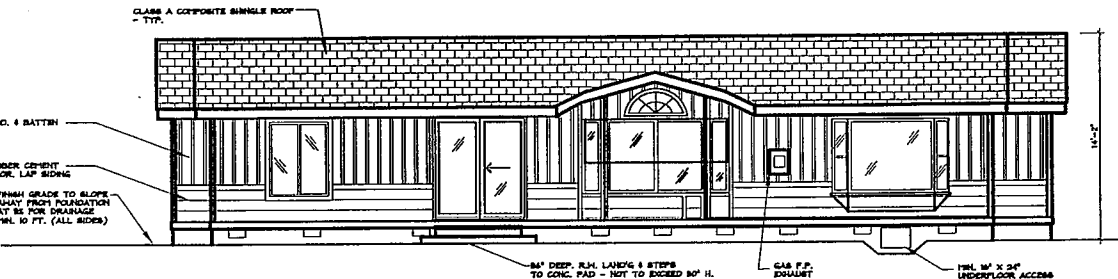
Terraces shall be provided at every 500 feet on the vertical height of the roadbed or less than 10 feet. (16.06.350 B 6)



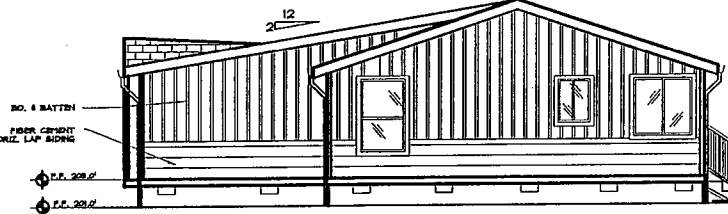
EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

EXTERIOR ELEVATIONS

1/8" = 1'-0"

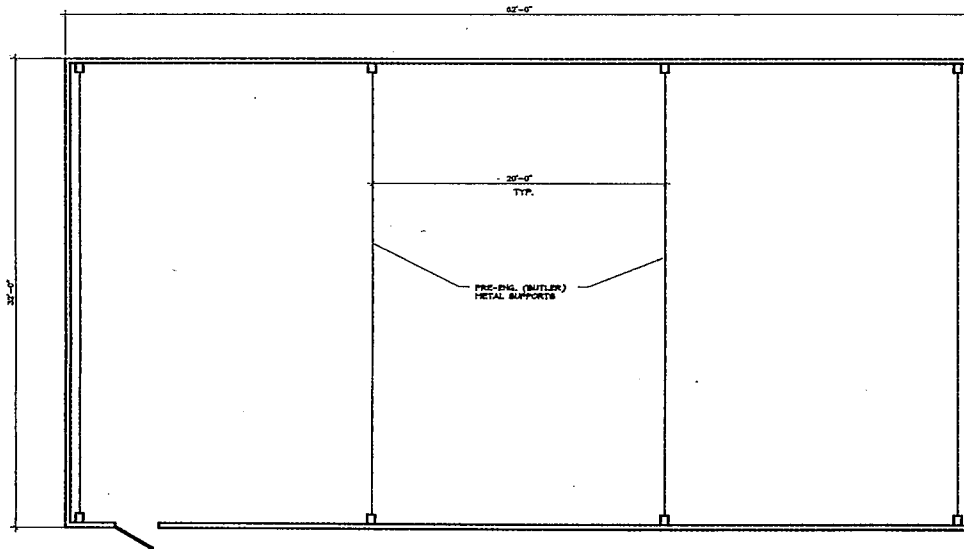
REVISIONS	BY

APN: 191-075-084-000
 ADDRESS: 19191 KARNER
 CASTROVILLE, CA. 95012
 JOHN WHITTEN
 (MODEL 1994D)

APPLICANT: RAY SCHMITT
 CONTRACTOR # B814791
 COASTAL HOME SOLUTIONS
 7850 MESSICK ROAD
 PRUNEDALE, CA. 95967
 (931) 665-1114 FAX (931) 665-1118

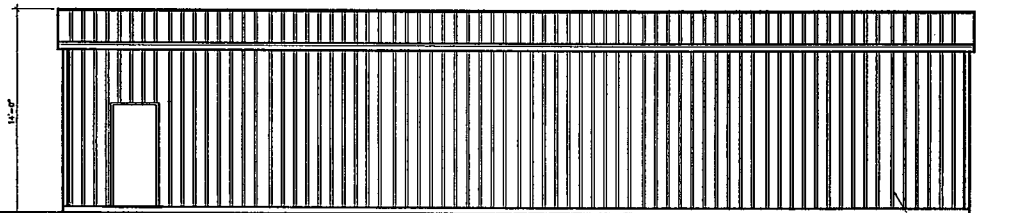
EXT. ELEVATIONS
 ADD. GRADING NOTES

Date: 11-10-09
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 Checked:
 Scale: As Shown
 Job:
 Sheet **3.1**



FLOOR PLAN

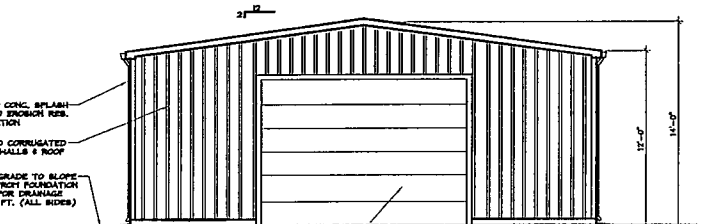
1/4" = 1'-0"



EAST ELEVATION

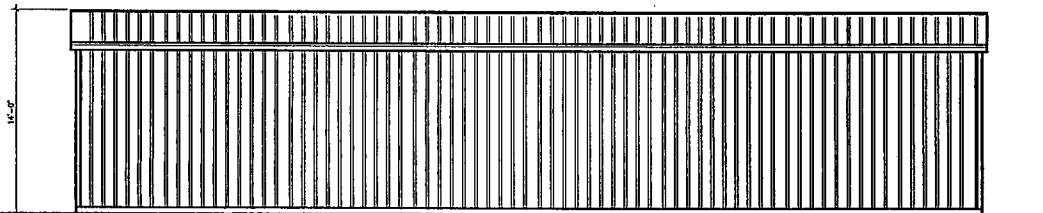
D.S. TO CONC. SPLASH
P.L.C. TO ENOUGH RES.
VEGETATION
PAINTED CORRUGATED
METAL WALLS & ROOF
FINISH GRADE TO SLOPE
AWAY FROM FOUNDATION
AT 2% FOR DRAINAGE
MIN. 10 FT. (ALL SIDES)

8 FT. H. X 7 FT. H.
METAL DOOR

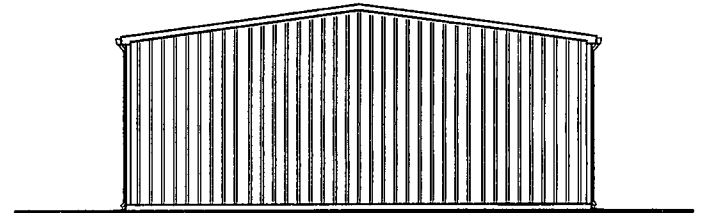


NORTH ELEVATION

14 FT. H. X 10 FT. H.
METAL ROLL-UP DOOR



WEST ELEVATION



SOUTH ELEVATION

EXTERIOR ELEVATIONS

1/4" = 1'-0"

REVISIONS	B

APN: 151-075-094-000
ADDRESS: 19191 KARNER
CASTROVILLE, CA. 95012
JOHN WHITTEN
(MODEL 1904D)

APPLICANT: RAY SCHMITT
CONTRACTOR # B514791
COASTAL HOME SOLUTIONS
7850 MESSICK ROAD
PRINEDALE, CA. 95007
(831) 663-1114 FAX (831) 663-1118

METAL (BUTLER) BUILDING
EXTERIOR ELEVATIONS &
FLOOR PLAN

Date: 11 - 10 - 09

Drawn RS

Checked:

Scale: As Shown

Job

Sheet

3.2

EXHIBIT C

NORTH COUNTY



APPLICANT: WHITTEN

APN: 131-073-034-000

FILE # PLN090409

2500' Limit
 300' Limit
 City Limits
 Water

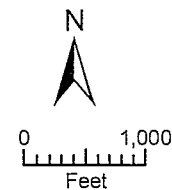
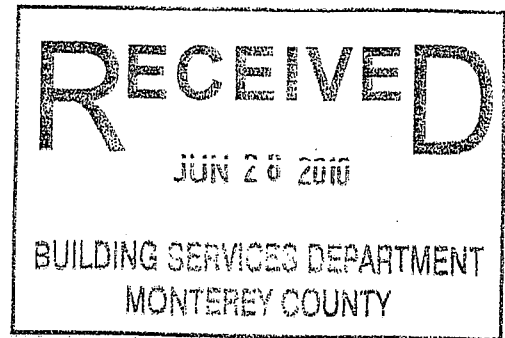


EXHIBIT D

James Valenzuela
83 Spring Point Road
Castroville, CA 95012

28 June 2010

Monterey County
Resource Management Agency
Planning Department
168 West Alisal Street, 2nd Floor
Salinas, CA 93901



SUBJECT: Request to Delay Coastal Administrative Permit
Project Title: Whitten, John L.
Project File Number: PLN090409
Project Location: 19191 Karner Road, Castroville, California

To Whom It May Concern:

We request a delay to approval of the above Coastal Administrative Permit until further research can be ascertain to insure the quality and quantity of the water available to adjacent landowners can be assured. For the past 17 years we have lived in the Castroville Community, here we have the following observations:

- 1) Fresh water quantity has diminished. Fresh water aquifers have not been able to replenish adequately due to overbuilding and over a decade of below normal rainfall. Water quality has gone down significantly. Our own well requires triple water filters just to filter out the sediment. Salt water intrusion is here in our community. Again excessive building and the lack of sustained rainfall the likely culprit.

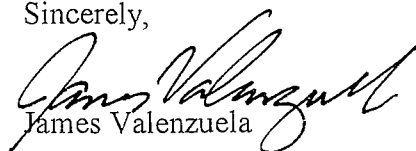
It is my understanding that the neighboring communities of Marina / Seaside are proposing an expensive desalinization plant to produce fresh water. My point is, "if our water quality and quantity is adequate, why are the communities of Marina / Seaside building a desalinization plant?" What is the Monterey County Planning Department's plan for sustained fresh water use within the area of this project?

Follow up questions particular to this project are:

- 1) What is the purpose of the 1984 square foot metal storage facility?
- 2) Why is there a need for two 5,000 gallon water storage tanks?

To this ends, I request a public hearing on this matter and to be advised in writing when and where said public hearing is to take place.

Sincerely,


James Valenzuela