

## MONTEREY COUNTY ZONING ADMINISTRATOR

<b>Meeting:</b> March 31, 2011 Time: 1:50 P.M.	<b>Agenda Item No.:</b>
<b>Project Description:</b> Continued From March 10, 2011. A Combined Development Permit consisting of: 1) a Use Permit for Accessory Structures and uses prior to establishment of main use or structure; 2) an Administrative Permit for the construction of a two-story 9,304 square foot single family main residence with an attached 943 square foot garage, and a 3,265 square foot single-story second residential unit with a 1,647 square foot garage and storage area, in a Site Plan Review District, and 3) A Use Permit for Development on Slopes in Excess of 25%; and a Design Approval. Grading is approximately 20,700 cubic yards (10,350 cut and 10,350 cubic yards fill). The property is located at 27545 La Quintana, Carmel Valley (Assessor's Parcel Number 185-052-018-000), Carmel Valley Master Plan.	
<b>Project Location:</b> 27545 La Quintana, Carmel Valley	<b>APN:</b> 185-052-018-000
<b>Planning File Number:</b> PLN100424	<b>Owner:</b> Gibco Partners, LLC <b>Agent:</b> Cynthia Spellacy, Stocker & Allaire, Inc.
<b>Planning Area:</b> Carmel Valley Master Plan	<b>Flagged and staked:</b> Yes
<b>Zoning Designation:</b> "LDR/5-D-S-RAZ" Low Density Residential/five acres per unit-Design Control and Site Plan districts, Residential Allocation District	
<b>CEQA Action:</b> Categorically Exempt pursuant Section 15303 (a) Class 3, new construction of one single family residence or a second dwelling unit in a residential zone.	
<b>Department:</b> RMA - Planning Department	

### RECOMMENDATION:

Staff recommends that the Zoning Administrator adopt a resolution (**Exhibit C**) to:

- 1) Categorically exempt the project from environmental review pursuant to CEQA Guidelines Section 15303; and
- 2) Approve PLN100424, based on the findings and evidence and subject to the conditions of approval (**Exhibit C**):

### PROJECT OVERVIEW:

The project was originally noticed for the March 10, 2011 Planning Commission and was continued to revise the project description to include development on slopes of 25% and to renotice the project.

The project includes a main residence, to be constructed as phase two, and a second residential unit as phase one which requires a Use Permit to construct prior to the main unit. The two residences are constructed as two separate complexes. The second unit is almost entirely below grade, ranging from 0 to eight feet in height. Development on 25%-30% slopes is the minimum necessary and there are no feasible alternatives that would allow development on slopes less than 25% and provide driveway access to the two proposed residences. The project is not a ridgeline development and the two residences are sited into the natural land form to minimize visibility, particularly from Laureles Grade resulting in the large quantity of soil excavation. See Discussion in Exhibit B for more detail.

### CEQA Review

The project is Categorically Exempt pursuant Section 15303 (a) Class 3, new construction of one single family residence or a second dwelling unit in a residential zone. The two residences are designed to fit into the natural land form and utilize the topography to partially screen the development. The footprint of the second dwelling unit will be almost entirely below grade, built GIBCO (PLN100424)

into the hillside with a “green” turf roof. The below grade design blends into the surrounding topography and minimizes any potential visual impact to views from the nearest public road.

**OTHER AGENCY INVOLVEMENT:** The following agencies and departments reviewed this project:

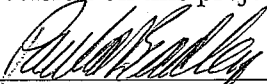
- ✓ RMA - Public Works Department
- ✓ Environmental Health Bureau
- ✓ Water Resources Agency
- ✓ Monterey Regional/Carmel Valley Fire Protection District

Agencies that submitted comments are noted with a check mark (“✓”). Conditions recommended by Water Resources Agency, Environmental Health Bureau, RMA – Public Works, and the Monterey County Regional/Carmel Valley Fire Protection District have been incorporated into the Condition Compliance/Mitigation Monitoring and Reporting Plan attached as Exhibit 1 to the draft resolution (**Exhibit C**).

### **CARMEL VALLEY LUAC**

The project was referred to the Carmel Valley Land Use Advisory Committee (LUAC) for review on November 1, 2010, because the project is in a visually sensitive area off Laureles Grade. The LUAC members voted (5-0-0) to support the project as proposed, no concerns noted.

Note: The decision on this project is appealable to the Planning Commission



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March 18, 2011

cc: Front Counter Copy; Zoning Administrator; Monterey Regional/Carmel Valley Fire Protection District; RMA - Public Works Department; Environmental Health Bureau; Water Resources Agency; Taven Kinison Brown, Planning Services Manager; Paula Bradley, MCP, AICP, Project Planner; Carol Allen, Senior Secretary; Gibco Partners, LLC, Owner; Cynthia Spellacy, Stocker & Allaire, Inc. Agent; Tony Lombardo, Lombardo & Gilles LP; Planning File PLN100424

Attachments:	Exhibit A	Project Data Sheet
	Exhibit B	Project Discussion
	Exhibit C	Draft Resolution, including:
		1. Conditions of Approval
		2. Site Plans, Floor Plans and Elevations
	Exhibit D	Vicinity Map, Assessor's Parcel Map
	Exhibit E	Carmel Valley Advisory Committee Minutes (LUAC)

This report was reviewed by Taven Kinison Brown, Planning Services Manager



<b>Exhibit A</b> <b>Project Information for GIBCO PARTNERS LLC (File PLN100424)</b>
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<b>Project Title:</b> GIBCO PARTNERS, LLC	<b>Primary APN:</b> 185-052-018-000
<b>Location:</b> 27545 La Quintana, Carmel Valley	<b>Coastal Zone:</b> No
<b>Applicable Plan:</b> CVMP	<b>Zoning:</b> LDR/5-D-S-RAZ
<b>Permit Type:</b> CDP, UP, AP, DA	<b>Plan Designation:</b> RDR/5
<b>Environmental Status:</b> Exempt 15303(a)	<b>Final Action Deadline:</b> 2/17/11
<b>Advisory Committee:</b> None	

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**Project Site Data:**

<b>Lot Size:</b> 91.5 ac	<b>Coverage Allowed:</b> 25%
<b>Existing Structures (sf):</b> NONE	<b>Coverage Proposed:</b> <1%
<b>Proposed Structures (sf):</b> 10,247 main & 4,912 2nd du	<b>Height Allowed:</b> 30'
<b>Total Square Feet:</b> 10,247 & 4,912	<b>Height Proposed:</b> 28.5
	<b>FAR Allowed:</b> NA
	<b>FAR Proposed:</b> NA

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**Resource Zones and Reports**

<b>Environmentally Sensitive Habitat:</b> NO	<b>Erosion Hazard Zone:</b> HIGH
<b>Botanical Report #:</b> NA	<b>Soils/Geo. Report #</b> LIB110080
<b>Forest Mgt. Report #:</b> NA	<b>Geologic Hazard Zone:</b> IV
	<b>Geologic Report #:</b> NA
<b>Archaeological Sensitivity Zone:</b> HIGH NA	<b>Traffic Report #:</b> NA
<b>Fire Hazard Zone:</b> MODERATE	

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**Other Information:**

<b>Water Source:</b> Private well	<b>Sewage Disposal (method):</b> Septic system
<b>Water District/Company:</b> NA	<b>Sewer District Name:</b> NA
<b>Fire District:</b> Monterey Regional/CV Fire District	<b>Grading (cubic yds):</b> 20,700 (10,350 cy cut and 10,350 cy fill)
<b>Tree Removal (Count/Type):</b> 0	

## **Exhibit B**

### **Discussion**

#### **PROJECT DESCRIPTION AND SETTING**

The project includes: 1) a Use Permit for Accessory Structures and uses prior to establishment of main use or structure; 2) an Administrative Permit for the construction of a two-story 9,750 square foot single family dwelling with an attached 900 square foot three-car garage in a site Plan district, and 3) a Use Permit for Development on Slopes in Excess of 25%; and Design Approval. Grading is approximately 20,700 cubic yards (10,350 cut and 10,350 cubic yards fill). The 91.5 acre site is primarily grassland with a few clusters of oak trees to the west of Laureles Grade. The two residences are sited into the natural land form and partially below grade to minimize visibility, and enhance energy savings, resulting in the large quantity of soil excavation. There will be no exported soil; the excess soil will be utilized for the turf roof and landscape fill for the main house, and earth berms as needed for improving the existing driveway and ranch roads. Excavation for the driveways is balanced, excavation for the two residences will result in excess soil as the second dwelling unit is below grade and a portion of the main residence is below grade.

The main dwelling unit, will be constructed as phase two, the second dwelling unit will be phase one. The two residences are constructed as two separate complexes, built into the natural land form and utilizing the topography to partially screen the development. No tree removal or any vegetation removal other than grasses is proposed. The eastern most edge of the property is in an area designated as visually sensitive on the 2010 General Plan Resource Map. Neither residences will be visible from Laureles Grade or Carmel Valley Road although the driveway to the second unit would be visible. The owners did extensive surveying and site design so that that the second dwelling unit would not be a potential ridgeline development or be visible from Laureles Grade, a scenic road. The driveway to the second unit minimizes grading cut and fill and includes earth berms and revegetation with grasses to blend in with the natural surroundings to avoid visibility from Laureles Grade. The second unit height varies from 0 to a maximum of 8 feet based on average natural grade. The garage and storage areas will be excavated into the hillside and will feature a "green" turf roof. Water tanks will be located on the top of the hill near the oak tree cluster and accessed to the east of the second dwelling unit; all will be installed underground to avoid visibility from Laureles Grade.

#### Main residence

The project is designed so that it cannot be seen from a public road or common public viewing place. The main house has a total of 10,247 square feet including the three-car garage. It is sited in a semi "bowl" shaped area away from and separated by a hill from Laureles Grade, the nearest public road. The designs include gable roofs, plaster walls, clay tile roofing, wood doors (including garage doors) and shuttered windows, and natural weathered wood trellises and natural stone walls. Colors will be dark taupe/beige with dark wood tones weathered wood and natural stone to blend in with the natural topography. The main house has both one and two-story sections and is also partially below grade for reduced visibility and mass.

#### Second dwelling unit

The second dwelling unit including the garage will be almost entirely below grade, built into the hillside with a "green" turf roof for energy efficiency and decreased visibility and mass. Exterior wall finishes will be plaster with stone or plaster walls with painted wood doors and windows. Roof areas not covered in turf will have a standing seam zinc roof. Height is from 0 to a maximum of 8 feet. Extensive natural wood trellises, interior and exterior courtyards, with

hardscape and gravel terraces, and a pool. Low-water use landscaping close to the structures will include trees for shade and energy efficiency along with native type trees. Portions of the driveway to the second unit and below grade water tanks may be visible from Laureles Grade and will be required to incorporate earth berms and revegetation with grasses to ensure a natural appearance, avoiding the appearance of a road cut to blend in with the natural topography.

The owners intend to incorporate “green” building features to achieve a LEED rating for the project, with low-water use, and solar power to be 100% off the grid. The applicant has a water distribution system permit from the MPWMD.

#### Development on Slopes in Excess of 25%

Title 21, Section 21.64.230, Regulations for Development on Slopes in Excess of 30%, states that such development can be allowed with a Use Permit. The Monterey County General Plan, adopted October 26, 2010, states that development on slopes in excess of 25% shall be prohibited; however, it may be permitted if one or two of the following findings can be made: 1) there is no feasible alternative that would allow development to occur on slopes of less than 25%, or 2) the proposed development better achieves the goals, policies and objectives of the Monterey County General Plan and accompanying area plan than other development alternatives. The development on 25% slopes is located along the existing ranch road that accesses the two residential building envelopes and a small area of new driveway to the main residence. Improving the existing road site instead of creating a new access road better meets the goals policies and objectives of the Monterey County General Plan than it were a new road cut. The plans were revised to reduce the area of driveways on 25% slope (improvements to the road to the water tank was removed from the project) and the quantity of grading reduced. The plans include erosion and drainage control measures, and revegetation and berms to minimize the visual impact to the hillside and grassland. A condition of approval requires dedication of a scenic easement on a slope exceeding twenty five percent (25%).

#### **CONCLUSION**

The project is consistent with the County policies and Plans, as well as Title 21 Zoning Code regulations. The development on 25%-30% slopes is designed to be the minimum necessary and there are no feasible alternatives that would allow development on slopes less than 25% and provide driveway access to the two proposed residences. The project is not a ridgeline development and the two residences are sited into the natural land form and partially below grade to minimize visibility, particularly from Laureles Grade resulting in the large quantity of soil excavation.

**EXHIBIT C**  
**DRAFT RESOLUTION**

**Before the Zoning Administrator in and for the  
County of Monterey, State of California**

In the matter of the application of:

GIBCO PARTNERS, LLC (PLN100424)

**RESOLUTION NO. ----**

Resolution by the Monterey County Zoning  
Administrator:

- 1) Categorically exempting the project from environmental review pursuant to CEQA Guidelines Section 15303; and
- 2) Approving a Combined Development Permit consisting of a: 1) a Use Permit for Accessory Structures and uses prior to establishment of main use or structure; 2) an Administrative Permit for the construction of a two-story 9,304 square foot single family main residence with an attached 943 square foot garage, and a 3,265 square foot single-story second residential unit with a 1,647 square foot garage and storage area, in a Site Plan Review District, and 3) A Use Permit for Development on Slopes in Excess of 25%; and a Design Approval. Grading is approximately 20,700 cubic yards (10,350 cut and 10,350 cubic yards fill).

(PLN100424, GIBCO PARTNERS, LLC, 27545 La Quintana, Carmel Valley, Carmel Valley Master Plan Area (APN: 185-052-018-000)).

The Combined Development Permit and Design Approval application (PLN100424) came on for public hearing before the Monterey County Zoning Administrator on March 31, 2011. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

**FINDINGS**

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

**EVIDENCE:** a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:

- 2010 Monterey County General Plan,
- Carmel Valley Master Plan Area,
- Monterey County Zoning Ordinance (Title 21)

No conflicts were found to exist. No communications were received

during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) The project is consistent with the following 2010 Monterey County General Plan policies:

Land Use LU-1.7 Clustering of residential development to those portions of the property which are most suitable for development and where appropriate infrastructure to support that development exists or can be provided shall be strongly encouraged.

*The two residences are constructed as two separate complexes, built into the natural land form and utilizing the topography to partially screen the development and do not require removal of trees or any vegetation other than grasses. The project is sited so that it cannot be seen from a public road. The main residence is sited in a semi "bowl" shaped area away from and separated by a hill from Laureles Grade, the nearest public road. The footprint of the second dwelling unit will be almost entirely below grade, built into the hillside with a "green" turf roof.*

Land Use LU-1.13 All exterior lighting shall be unobtrusive and constructed or located so that only the intended area is illuminated, long range visibility is reduced of the lighting source, and off-site glare is fully controlled. Criteria to guide the review and approval of exterior lighting shall be developed by the County in the form of enforceable design guidelines, which shall include but not be limited to guidelines for the direction of light, such as shields, where lighting is allowed.

*A standard condition of approval requires exterior lighting to be unobtrusive, down lit and shielded with no off-site glare.*

Open Space OS-1.1 Voluntary restrictions to the development potential of property located in designated visually sensitive areas shall be encouraged.

AND

Open Space OS-1.2 Development in designated visually sensitive areas shall be subordinate to the natural features of the area.

*The project will not create potential impacts to visual resources in Carmel Valley and was designed to avoid ridgeline development. It was sited and flagged and staked to ensure it would not be visible or create a substantially adverse visual impact from Laureles Grade and Carmel Valley Road. The two residences are constructed as two separate complexes, built into the natural land form and utilizing the topography to partially screen the development and do not require removal of trees or any vegetation other than grasses. The project is sited so that it cannot be seen from a public road. The main residence is sited in a semi "bowl" shaped area away from and separated by a hill from Laureles Grade, the nearest public road. The footprint of the second dwelling unit will be almost entirely below grade, built into the hillside with a "green" turf roof.*

Policy OS-3.1: Requires Best Management Practices (BMPs) implemented to prevent and repair erosion damage. Measures to repair erosion damage require planning and building permits and include compliance with conditions of approval to achieve consistency with this policy.

*An erosion control and drainage plan is required for the project as a standard condition of approval incorporating BMPS to prevent erosion.*

Open Space OS-3.5 The County shall regulate activity on slopes to reduce impacts to water quality and biological resources:

1) Non-Agricultural.

- a) Development on slopes in excess of twenty five percent (25%) shall be prohibited except as stated below; however, such development may be allowed pursuant to a discretionary permit if one or both of the following findings are made, based upon substantial evidence:
  - 1. there is no feasible alternative which would allow development to occur on slopes of less than 25%;
  - 2. the proposed development better achieves the resource protection objectives and policies contained in the Monterey County General Plan, accompanying Area Plans, and all applicable master plans.
- b) Development on slopes greater than 25-percent (25%) or that contain geologic hazards and constraints shown on the County's GIS Geologic (*Policy S-1.2*) or Hydrologic (*Policy PS-2.6*) Hazard Databases shall require adequate special erosion control and construction techniques and the discretionary permit shall:
  - 1. evaluate possible building site alternatives that better meet the goals and policies of the general plan;
  - 2. identify development and design techniques for erosion control, slope stabilization, visual mitigation, drainage, and construction techniques; and
  - 3. minimize development in areas where potentially unstable slopes, soil and geologic conditions, or sewage disposal pose substantial risk to public health or safety.
- c) Where proposed development impacting slopes in excess of twenty five percent (25%) does not exceed ten percent (10%), or 500 square feet of the total development footprint (whichever is less), a discretionary permit shall not be required.

*The proposed development on 25%-30% slopes is designed to be the minimum necessary and there are no feasible alternatives that would allow development on slopes less than 25% and provide driveway access to the two proposed residences. The development on 25% slopes is located on the existing ranch road that accesses the two residential building envelopes. The residences do not require development on 25% slopes. The plans were revised to reduce the area of driveways on 25% slope (improvements to the road to the water tank was removed from the*



*project) and the quantity of grading reduced. Improving the existing road site instead of creating a new access road better meets the goals policies and objectives of the Monterey County General Plan than if it were a new road cut. The plans include erosion and drainage control measures and revegetation and berms to minimize the visual impact to cut and fill areas disturbed the hillsides and grassland.*

*It is the general policy of the County to require dedication of a scenic easement on a slope exceeding twenty five percent (25%). A condition of approval is included requiring dedication of a scenic easement. Also see Finding No. 6).*

- c) Carmel Valley CV-1.1 All policies, ordinances, and decisions regarding Carmel Valley shall be consistent with the goal of preserving Carmel Valley's rural character. In order to preserve the rural character of Carmel Valley, development shall follow a rural architectural theme with design review.

*The architectural design of the homes is consistent with the rural character of Carmel Valley. Both homes are partially below grade with both one- and two-story sections, and variation in roof forms and articulation to reduce the mass and scale of the structures. The designs include gable roofs, weathered brown color clay tile and standing metal seam roof materials, tan color plaster walls, wood doors (including garage doors) and shuttered windows, natural weathered wood trellises and natural stone walls.*

CV-1.9 Structures proposed in open grassland areas that would be highly visible from Carmel Valley Road or Laureles Grade shall be minimized in number and be clustered near existing natural or man-made vertical features.

*The two residences are sited and designed so they would not be visible from Laureles Grade or Carmel Valley Road. The two residences are constructed as two separate complexes, built into the natural land form utilizing the topography to partially screen the development. There will be no removal of trees or any vegetation other than grasses.*

Carmel Valley CV-3.4 Alteration of hillsides and natural landforms caused by cutting, filling, grading, or vegetation removal shall be minimized through sensitive siting and design of all improvements and maximum feasible restoration including botanically appropriate landscaping. Where cut and fill is unavoidable on steep slopes, disturbed areas shall be revegetated.

*To minimize visibility of the driveway to the second unit and the access road to the water tanks (Road D) from Laureles Grade the grading plans are required to be revised to minimize grading, cut and fill, and required to incorporate earth berms and revegetation with grasses to avoid the appearance of a road cut, and to blend in with the natural topography. This is required by a condition of approval for the grading and erosion control plans and the landscape plans. The large grading*

*quantity (22,700 cubic yards) is necessary to construct part of the main residence and almost the entire footprint of the second dwelling unit below grade. The second unit height varies from 0 to a maximum of 8 feet based on average natural grade. The garage and storage areas will be excavated into the hillside and will feature a "green" turf roof. Water tanks will be installed underground near the top of the hill and the oak tree cluster so they won't be visible.*

*An area of the driveway between the main residence and the second dwelling unit crosses an area of 25% slope. There is an existing road cut in this area which will be improved with grading to meet the fire requirements and resurfaced installation of asphalt or decomposed granite. A condition of approval requires dedication of a scenic easement on a slope exceeding twenty five percent (25%).*

Carmel Valley CV 1.20 - Design ("D") and site control ("S") overlay district designations shall be applied to the Carmel Valley area. Design review for all new development throughout the Valley, including proposals for existing lots of record, utilities, heavy commercial, and visitor accommodations, but excluding minor additions to existing development where those changes are not conspicuous from outside of the property.

*A Design Approval is required and an Administrative Permit for the Site Plan district was required to ensure visual compatibility with the area. The architectural design of the homes is consistent with the rural character of Carmel Valley. Although large homes, both homes are partially below grade with both one- and two-story sections, and variation in roof forms and articulation to reduce the mass and scale of the structures. The designs include gable roofs, weathered brown color clay tile and standing metal seam roof materials tan color plaster walls, wood doors (including garage doors) and shuttered windows, natural weathered wood trellises and natural stone walls. Extensive natural wood trellises, interior and exterior courtyards, with hardscape and gravel terraces, and a pool. The bulk, mass and height of the structures is reduced by siting the structures partially below grade minimizes the visual impact, particularly from Laureles Grade. The second unit height varies from 0 to a maximum of 8 feet based on average natural grade. Development, including road cuts as well as structures, are located in a manner that minimizes disruption of views from existing homes and are required to be to incorporate earth berms and revegetated to blend in with the natural land form.*

CV 3.3 Development (including buildings, fences, signs, and landscaping) shall not be allowed to significantly block views of the viewshed, the river, or the distant hills as seen from key public viewing areas such as Garland Ranch Regional Park, along Carmel Valley Road, and along Laureles Grade Road.

*The project will not create potential impacts to visual resources in Carmel Valley and was designed to avoid ridgeline development. It was*

*sited and flagged and staked to ensure it would not be visible or create a substantially adverse visual impact from Laureles Grade and Carmel Valley Road. Also see evidence above.*

CV 3.4 Alteration of hillsides and natural landforms caused by cutting, filling, grading, or vegetation removal shall be minimized through sensitive siting and design of all improvements and maximum feasible restoration including botanically appropriate landscaping. Where cut and fill is unavoidable on steep slopes, disturbed areas shall be revegetated.

*The two residences are built into the natural land form utilizing the topography to partially screen the development, No removal of trees or any vegetation other than grasses is included in the project. Both residences are partially below grade with both one- and two-story sections to reduce the mass and scale of the project. Development, including road cuts as well as structures, are sited to minimize disruption of views from existing homes and are required to incorporate earth berms and revegetation of any exposed soil to blend in with the natural land form. Grading for the driveway to the second unit shall be the minimum necessary, as required by a condition of approval.*

- d) The property is located at 27545 La Quintana, Carmel Valley (Assessor's Parcel Number 185-052-018-000, Carmel Valley Master Plan Area. The parcel is zoned "LDR/5-D-S-RAZ", which allows low density and intensity uses in the rural and suburban areas of the County to insure that allowable land uses are compatible to the area. Proposed is a residential use, compatible with the uses and density of the surrounding area, therefore, the project is an allowed land use for this site. It is a 91.5 acre parcel with site coverage of 0.29%. Section 21.14.050.T requires a Use Permit for Accessory Structures and uses prior to establishment of main use or structure.
- e) Design Approval Section 21.44.010, Design Control "D" district regulates the location, size, configuration, materials, and colors of new structures and fences to assure the protection of the public viewshed neighborhood character, to assure the visual integrity of the development without imposing undue restrictions.

*The two residences are constructed as two separate complexes, built into the natural land form and utilizing the topography to partially screen the development and do not require removal of trees or any vegetation other than grasses. The project is sited so that it cannot be seen from a public road. The main residence is sited in a semi "bowl" shaped area away from and separated by a hill from Laureles Grade, the nearest public road. The footprint of the second dwelling unit will be almost entirely below grade, built into the hillside with a "green" turf roof. The below grade design is to blend into the surrounding topography and minimize any potential visual impact and for energy savings. See above Finding No. 1.*

- f) Site Plan Control "S" District, Section 21.45.010 regulates the review of development in those areas of the County of Monterey where development by reason of its location has the potential to adversely

affect or be adversely affected by natural resources or site constraints, without imposing undue restrictions on private property. An Administrative Permit is required for development in a Site Plan Review Zoning District (Section 21.45.030).

*The project is visually compatible with the character of the valley and immediate surroundings. See evidence above.*

- g) Development of Slopes in Excess of 25%, Section 21.64.230, see Finding No. 6.
- h) The project planner conducted a site inspection on September 1, 2010 to verify that the project on the subject parcel conforms to the plans listed above.
- i) The project was referred to the Carmel Valley LUAC Land Use Advisory Committee (LUAC) for review. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors per Resolution No. 08-338, this application did warrant referral to the LUAC because the project is in a visually sensitive area off Laureles Grade, a designated scenic road. On November 1, 2010, the LUAC members voted (5-0-0) to support the project as proposed, no concerns noted.
- j) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN100424.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: RMA - Planning Department, Monterey County Regional/Carmel Valley Fire Protection District, RMA- Public Works, Environmental Health Bureau, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
  - b) The project was designed to avoid any potential impacts to visual resources and avoid ridgeline development. I was sited and flagged and staked to ensure it would not be visible or create a substantially adverse visual impact from Laureles Grade and Carmel Valley Road. The project is consistent with the County land use plan policies and zoning code regulations. Technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff independently reviewed these reports and concurs with their conclusions. The following report has been prepared:  
A "Geotechnical Investigation Report" (LIB No. LIB110080) by Soils Surveys, Inc., Salinas, CA, September 21, 2010.
  - c) Staff conducted a site inspection on September 1, 2010 to verify that the site is suitable for this use.
  - d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File

3. **FINDING: HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:** a) The project was reviewed by Water Resources Agency, Environmental Health Bureau, RMA – Public Works and the Monterey County Regional/Carmel Valley Fire Protection District. The respective departments/agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- b) Necessary public facilities are available such as power. The project is in a somewhat rural area and the water supply is a private well and an on-site septic systems. The project has an approved Water Distribution permit from the Monterey Peninsula Water Management District (MPWMD Permit #S09-23-L2).
- c) Preceding findings and supporting evidence for PLN100424 (Findings 1, and 2)

4. **FINDING: NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

- EVIDENCE:** a) Staff reviewed Monterey County RMA - Planning Department and Building Services Department records and is not aware of any violations existing on subject property.
- b) Staff conducted a site inspection on September 1, 2010 and researched County records to assess if any violation exists on the subject property.
- c) There are no known violations on the subject parcel.
- d) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN100424.

5. **FINDING: CEQA (Exempt):** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:** a) California Environmental Quality Act (CEQA) Guidelines Section 15303(a), Class 3, categorically exempts new construction of one single family residence or a second dwelling unit in a residential zone.
- b) The two residences are designed to fit into the natural land form and utilize the topography to partially screen the development. The footprint of the second dwelling unit will be almost entirely below grade, built into the hillside with a "green" turf roof. The below grade design blends into the surrounding topography and minimizes any potential visual impact to views from the nearest public road, as well as for energy savings. There is no removal of tree or vegetation other than

- grasses and no biological issues.
- c) No adverse environmental effects were identified during staff review of the development application and during a site visit on April 23, 2010
- d) CEQA Guidelines Section 15300.2 lists exceptions to categorical exemptions. None of the exceptions can be made because the project will not impact an environmental resource of hazardous or critical concern; the grading and construction of retaining walls and associated drainage systems will not create a cumulative impact; the project does not have any unusual circumstance; the project will not result in the damage of a scenic resource; the subject property is not a hazardous waste site; nor is there a structure to be removed designated as a historical resource. The disapproval of the project would result in negative environmental effects. The project will have a beneficial environmental effect to protect resources. Therefore, the proposed project is exempt from environmental review.
- e) See preceding and following findings and supporting evidence (Finding Nos. 1 and 2).

6. **FINDING:** **DEVELOPMENT ON SLOPE** – There is no feasible alternative which would allow development to occur on slopes of less than 25%.

AND

The proposed development better achieves the goals, policies and objectives of the Monterey County General Plan and Carmel Valley Master Plan and the Monterey County Zoning Ordinance (Title 21) than other development alternatives.

**EVIDENCE:** a) In accordance with the applicable policies of the Carmel Valley Master Plan and the Monterey County Zoning Ordinance (Title 21), a Use Permit is required and the authority to grant said permit has been met.

The proposed development on 25%-30% slopes is designed to be the minimum necessary and there are no feasible alternative that would allow development on slopes less than 25% and provide driveway access to the two proposed residences. The development on 25% slopes is located on the existing ranch road that accesses the two residential building envelopes. The residences do not require development on 25% slopes. The plans include erosion and drainage control measures and revegetation and berms to minimize the visual impact to cut and fill areas disturbed the hillsides and grassland.

Improving the existing road instead of creating a new access road better meets the goals policies and objectives of the Monterey County General Plan than a new road cut. A condition of approval requires dedication of a scenic easement on a slope exceeding twenty five percent (25%). The Monterey County General Plan, (Open Space and Conservation Element) also includes policies restricting activity on 25% slopes to prevent soil erosion, conserve soils and enhance water quality. Also see above Finding No. 1 for detailed discussion of land use policies including development on 25% slope.

- b) The Zoning Administrator shall require such conditions and changes in the development as it may deem necessary to assure compliance with Section 21.64.230 MCC

- c) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN100424.
- d) The project planner conducted a site inspection on September 1, 2010.
- e) The subject project minimizes development on slopes exceeding 25% in accordance with the applicable goals and policies of the applicable area plan and zoning codes.

7. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Planning Commission

**EVIDENCE:** a) Section 21.80.040.B Monterey County Zoning Ordinance (Planning Commission).

### **DECISION**

**NOW, THEREFORE**, based on the above findings and evidence, the Zoning Administrator does hereby:

- A. Categorically exempt the project from environmental review pursuant to CEQA Guidelines Section 15303; and
- B. Approve a Combined Development Permit consisting of a: 1) a Use Permit for Accessory Structures and uses prior to establishment of main use or structure; 2) an Administrative Permit for the construction of a two-story 9,304 square foot single family main residence with an attached 943 square foot garage, and a 3,265 square foot single-story second residential unit with a 1,647 square foot garage and storage area, in a Site Plan Review District, and 3) A Use Permit for Development on Slopes in Excess of 25%; and a Design Approval. Grading is approximately 20,700 cubic yards (10,350 cut and 10,350 cubic yards fill), in general conformance with the attached sketch (**Exhibit 2**) and subject to the conditions (**Exhibit 1**), both exhibits being attached hereto and incorporated herein by reference.

**PASSED AND ADOPTED** this 31st day of March, 2011 upon motion of xxxx, seconded by xxxx, by the following vote:

\_\_\_\_\_  
Mike Novo, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE [DATE]

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

## NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning Department and Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.



<b>RESOLUTION ### - EXHIBIT 1</b> <b>Monterey County Resource Management Agency</b> <b>Planning Department</b> <b>Condition Compliance and/or Mitigation Monitoring</b> <b>Reporting Plan</b>	<b>Project Name:</b> <u>Gibco Partners, LLC</u> <b>File No:</b> <u>PLN100424</u> <b>APNs:</b> <u>185-052-018-000</u> <b>Approved by:</b> <u>Zoning Administrator</u> <b>Date:</b> <u>March 31, 2011</u>
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*\*Monitoring or Reporting refers to projects with an EIR or adopted Mitigated Negative Declaration per Section 21081.6 of the Public Resources Code.*

Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
<b>RMA – Planning Department</b>						
1.		<b>PD001 - SPECIFIC USES ONLY</b> This Combined Development Permit (PLN100424) allows a: 1) a Use Permit for Accessory Structures and uses prior to establishment of main use or structure; 2) an Administrative Permit for the construction of a two-story 9,304 square foot single family main residence with an attached 943 square foot garage, and a 3,265 square foot single-story second residential unit with a 1,647 square foot garage and storage area, in a Site Plan Review District, and 3) A Use Permit for Development on Slopes in Excess of 25%; and a Design Approval. Grading is approximately 20,700 cubic yards (10,350 cut and 10,350 cubic yards fill). The property is located at 27545 La Quintana, Carmel Valley (Assessor's Parcel Number 185-052-018-000), Carmel Valley Master Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the following terms and conditions. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation	Adhere to conditions and uses specified in the permit.  Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of the RMA - Planning Department.  To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled.	Owner/ Applicant  RMA - Planning  WRA  RMA - Planning	Ongoing unless otherwise stated	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. <b>(RMA-Planning Department)</b>				
2.		<b>PD002 - NOTICE-PERMIT APPROVAL</b> The applicant shall record a notice which states: "A permit (Resolution _____) was approved by the <b>Zoning Administrator</b> for Assessor's Parcel Number 185-052-018-000 on March 31, 2011. The permit was granted subject to <b>30</b> conditions of approval which run with the land. A copy of the permit is on file with the Monterey County RMA - Planning Department." <b>(RMA-Planning Department)</b>	Obtain appropriate form from the RMA-Planning Department.  The applicant shall complete the form and furnish proof of recordation of this notice to the RMA - Planning Department.	Owner/ Applicant  RMA-Planning	Prior to the issuance of grading and building permits or commencement of use.	
3.		<b>PD032(A) - PERMIT EXPIRATION</b> The permit shall be granted for a time period of 3 years, to expire on March 11, 2014 unless use of the property or actual construction has begun within this period. <b>(RMA – Planning Department)</b>	The applicant shall obtain a valid grading or building permit and/or commence the authorized use to the satisfaction of the Director of Planning. Any request for extension must be received by the Planning Department at least 30 days prior to the expiration date.	Owner/ Applicant	As stated in the conditions of approval	
4.		<b>PD004 - INDEMNIFICATION AGREEMENT</b> The property owner agrees as a condition and in consideration of the approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided	Submit signed and notarized Indemnification Agreement to the Director of RMA – Planning Department for review and signature by the County.  Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to the RMA – Planning Department.	Owner/ Applicant	Upon demand of County Counsel or concurrent with the issuance of building permits, use of the property,	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the county for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, filing of the final map, whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the county harmless. <b>(RMA - Planning Department)</b>			whichever occurs first and as applicable	
5.		<b>PD007 - GRADING-WINTER RESTRICTION</b> No land clearing or grading shall occur on the subject parcel between October 15 and April 15 unless authorized by the Director of RMA - Building Services Department. <b>(RMA – Planning Department and Building Services Department)</b>	Obtain authorization from the Director of RMA - Building Services Department to conduct land clearing or grading between October 15 and April 15.	Owner/ Applicant	Ongoing	
6.		<b>PD009 - GEOTECHNICAL CERTIFICATION</b> Prior to final inspection, the geotechnical consultant shall provide certification that all development has been constructed in accordance with the geotechnical report. <b>(RMA – Planning Department and Building Services Department)</b>	Submit certification by the geotechnical consultant to the RMA – Building Services Department showing project's compliance with the geotechnical report.	Owner/ Applicant/ Geotech- nical Consultant	Prior to final inspection	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
7.		<b>PDSP001 - EROSION CONTROL PLAN AND SCHEDULE (NON-STANDARD)</b> The approved development shall incorporate the recommendations of the Erosion Control Plan as reviewed by the Director of RMA – Planning and Director of Building Services. The grading for the driveway to the second unit and the water tanks, visible from Laureles Grade, shall be the minimum necessary. All cut and/or fill slopes exposed during the course of construction be covered, seeded, or otherwise treated to control erosion during the course of construction, subject to the approval of the Director of RMA - Planning and Director of RMA - Building Services. The improvement and grading plans shall include an implementation schedule of measures for the prevention and control of erosion, siltation and dust during and immediately following construction and until erosion control planting becomes established. This program shall be approved by the Director of RMA - Planning and Director of RMA - Building Services.	An Erosion Control Plan shall be submitted to the RMA - Planning Department and the RMA - Building Services Department prior to issuance of building and grading permits.	Owner/ Applicant	Prior to the issuance of grading and building permits	
		The grading and erosion plan shall incorporate earth berms and revegetation with grasses for road grading and cut and fill areas, to blend in with the natural surroundings to minimize the visual impact, particularly the driveway to the second unit. Revegetation and erosion control planting shall be established prior to occupancy. <b>(RMA - Planning Department and RMA - Building Services Department)</b>	Comply with the recommendations of the Erosion Control Plan during the course of construction until project completion as approved by the Director of RMA - Planning and Director of RMA - Building Services.	Owner/ Applicant	Prior to occupancy and Ongoing	
8.		<b>PD011 – TREE AND ROOT PROTECTION</b> Trees which are located close to the construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective	Submit evidence of tree protection to the RMA - Planning Department for review and approval.	Owner/ Applicant	Prior to the issuance of grading and/or building permits	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by a certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of the RMA – Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by a certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits.(RMA - Planning Department)	Submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.	Owner/ Applicant/ Arborist	During Construc- tion	
			Submit photos of the trees on the property to the RMA – Planning Department after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.	Owner/ Applicant	Prior to final inspection	
9.		<b>PDSP002(E) - LANDSCAPE PLAN AND MAINTENANCE - MONTEREY PENINSULA WATER MANAGEMENT DISTRICT (OTHER THAN SINGLE FAMILY DWELLING) NON-STANDARD)</b> The site shall be landscaped. Prior to issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of the RMA - Planning Department. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping and shall include an irrigation plan. The landscaping shall be installed and inspected prior to occupancy. All landscaped areas and/or fences shall be continuously maintained by the applicant and all plant	Submit landscape plans and contractor's estimate to the RMA - Planning Department for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."	Owner/ Applicant/ Licensed Landscape Contractor / Licensed Landscape Architect	Prior to issuance of Building Permits	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.  The landscape plan shall incorporate earth berms and revegetation with grasses for road grading and cut and fill areas, to blend in with the natural surroundings to minimize the visual impact, particularly the driveway to the second unit and the access road to the water tanks. <b>(RMA – Planning Department)</b>	Submit one (1) set landscape plans of approved by the RMA – Planning Department, Maximum Applied Water Allowance (MAWA) calculation, and a completed “ <u>Non-Residential</u> Water Release Form and Water Permit Application” to the Monterey Peninsula Water Management District for review and approval.	Owner/ Applicant/ Licensed Landscape Contractor / Licensed Landscape Architect	Prior to issuance of Building Permits	
			Submit an approved water permit from the MPWMD to the RMA – Building Permit	Owner/ Applicant/ Licensed Landscape Contractor	Prior to issuance of Building Permits	
			The landscaping shall be installed and inspected.	Owner/ Applicant/ Licensed Landscape Contractor / Licensed Landscape Architect	Prior to Occupancy	
			All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.	Owner/ Applicant	Ongoing	
10.		<b>PD014(A) – LIGHTING – EXTERIOR LIGHTING PLAN</b> All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site	Submit three copies of the lighting plans to the RMA - Planning Department for review and approval. Approved lighting plans shall be incorporated into final building plans.	Owner/ Applicant	Prior to the issuance of building permits.	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		glare is fully controlled. The applicant shall submit 3 copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations, Title 24, Part 6. The exterior lighting plan shall be subject to approval by the Director of the RMA - Planning Department, prior to the issuance of building permits. <b>(RMA – Planning Department)</b>	The lighting shall be installed and maintained in accordance with the approved plan.	Owner/ Applicant	Prior to Occupancy / Ongoing	
11.		<b>PD016 – NOTICE OF REPORT</b> Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states: "A "Geotechnical Investigation Report" report has been prepared for this parcel by Soils Surveys, Inc., dated September 21, 2010 and is on record in the Monterey County RMA - Planning Department , Library No. 110080. All development shall be in accordance with this report." <b>(RMA – Planning Department)</b>	Proof of recordation of this notice shall be furnished to the RMA - Planning Department.	Owner/ Applicant	Prior to the issuance of grading and building permits.	
			Submit proof that all development has been implemented in accordance with the report to the RMA - Planning Department for review and approval.	Owner/ Applicant	Prior to Occupancy	
12.		<b>PDSP 023 – EASEMENT - SCENIC (SLOPE) (NON-STANDARD)</b> A scenic easement shall be conveyed to the County over those portions of the property where the slope exceeds 25% percent. The easement document shall be developed in consultation with a certified professional. A scenic easement deed shall be submitted to, and approved by, the Director of the RMA - Planning Department prior to issuance of grading or building permits. <b>(RMA – Planning Department)</b>	Submit the scenic easement deed and corresponding map, developed in consultation with a certified professional, to the RMA - Planning Department for review and approval.	Owner/ Applicant	Prior to the filing the parcel map	
			Record the deed and map showing the approved scenic easement. Submit a copy of the recorded deed and map to the RMA – Planning Department.	Owner/ Applicant	Prior to or concurrently with filing the parcel map	

Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
13.		<b>PD041 – HEIGHT VERIFICATION (NON-STANDARD)</b> For both phase one and phase two, the applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of the RMA- Building Services Department for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. <b>(RMA – Planning Department and Building Services Department)</b>	1) The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection	Owner/ Applicant	Prior to the issuance of grading or building permits for each phase	
			2) The applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of the RMA- Building Services Department for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.	Owner/ Applicant	Prior to the foundation pre-pour inspection	
<b>RMA – Public Works Department</b>						
14.		<b>PW0006 – CARMEL VALLEY</b> The Applicant shall pay the Carmel Valley Master Plan Area Traffic Mitigation fee pursuant to the Board of Supervisors Resolution NO. 95-140, adopted September 12, 1995 (Fees are updated annually based on CCI). <b>(RMA - Public Works)</b>	Applicant shall pay to PBI the required traffic mitigation fee.	Owner/ Applicant	Prior to Building Permits Issuance	
15.		<b>PW0043 – REGIONAL DEVELOPMENT IMPACT FEE</b> Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule. <b>(RMA - Public Works)</b>	Applicant shall pay Monterey County Building Services Department the traffic mitigation fee.	Owner/ Applicant	Prior to issuance of Building Permits	



Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
16.		<b>PW0044 – CONSTRUCTION MANAGEMENT PLAN</b> The applicant shall submit a Construction Management Plan (CMP) to the RMA-Planning Department and the Department of Public Works for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project and shall provide the following information: Duration of the construction, hours of operation, an estimate of the number of truck trips that will be generated, truck routes, number of construction workers, parking areas for both equipment and workers, and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project. <b>(RMA- Public Works)</b>	Applicant shall prepare a CMP and shall submit the CMP to the RMA-Planning Department and the Department of Public Works for review and approval.	Owner/ Applicant/ Contractor	Prior to issuance of the Grading Permit or Building Permit.	
			The approved measures shall be implemented during the construction/grading phase of the project.	Owner/ Applicant/ Contractor	Ongoing through construction phases	
<b>Health Department Environmental Health Bureau</b>						
17.		<b>EHSP001 DEED NOTIFICATION: FAMILY ONLY WATER SYSTEM EXEMPTION (NON-STANDARD)</b> The Environmental Health Bureau (EHB) has determined that as long as a family member lives in the second unit on this property and use the existing well, the property is exempt form Chapter 15.04 of the Monterey County Code, Titles 17 and 22 of the California Code of Regulations and is not required to become a permitted water system. The applicant shall submit a completed “Family-Only Water System Exemption” Deed Notification form (available from EHB), signed before a Notary Public and recorded with	<ul style="list-style-type: none"><li>Obtain form from EHB.</li><li>Record notarized Family Only Water System Exemption Deed Notification.</li><li>Submit evidence of recordation to EHB.</li></ul>	Owner/ Applicant	Prior to issuance of building permit.	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		the County of Monterey Recorder's Office. In the event a non-family member lives in the second unit on this property a water system permit shall be required from EHB. <b>(Environmental Health Bureau)</b>				
18.		<b>EHSP002 ON-SITE WASTEWATER TREATMENT SYSTEM DESIGN (NON-STANDARD)</b> Environmental Health has determined that adequate area exists for onsite wastewater disposal for the proposed development. Submit onsite wastewater treatment system plans for review and approval indicating the location, design layout and size specifications that meets standards found in Monterey County Code Chapter 15.20, Sewage Disposal Ordinance, and the Central Coast Basin Plan, Regional Water Quality Control Board. <b>(Environmental Health Bureau)</b>	Submit onsite wastewater treatment system design plans for review and approval by the Environmental Health Bureau. Applicant shall obtain a permit to install the onsite wastewater treatment system from Environmental Health.	Owner/ Applicant	Prior to issuance of building permit.	
<b>Monterey County Water Resources Agency</b>						
19.		<b>WR0002 STORMWATER CONTROL (WR)</b> Prior to issuance of any grading or building permits, the applicant shall provide the Water Resources Agency a drainage plan prepared by a registered civil engineer or architect addressing on-site and off-site impacts. Storm water runoff from impervious surfaces shall be dispersed at multiple points, away from and below any septic leach fields, over the least steep available slopes, with erosion control at outlets. Drainage improvements shall be constructed in accordance with plans approved by the Water Resources Agency. <b>(Water Resources Agency)</b>			Prior to issuance of Grading and/or Building Permits	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
20.	21.	<b>WR0043 WATER AVAILABILITY CERTIFICATION (WR)</b> Prior to issuance of any building permits, the applicant shall obtain from the Monterey County Water Resources Agency, proof of water availability on the property, in the form of an approved Monterey Peninsula Water Management District Water Release Form. <b>(Water Resources Agency)</b>			Prior to issuance of Grading and/or Building Permits	
<b>Fire Agency (Monterey County Regional/Carmel Valley Fire Protection District)</b>						
22.		<b>FIRE007 - DRIVEWAYS</b> Driveways shall not be less than 12 feet wide unobstructed, with an unobstructed vertical clearance of not less than 15 feet. The grade for all driveways shall not exceed 15 percent. Where the grade exceeds 8 percent, a minimum structural roadway surface of 0.17 feet of asphaltic concrete on 0.34 feet of aggregate base shall be required. The driveway surface shall be capable of supporting the imposed load of fire apparatus (22 tons), and be accessible by conventional-drive vehicles, including sedans. For driveways with turns 90 degrees and less, the minimum horizontal inside radius of curvature shall be 25 feet. For driveways with turns greater than 90 degrees, the minimum horizontal inside radius curvature shall be 28 feet. For all driveway turns, an additional surface of 4 feet shall be added. All driveways exceeding 150 feet in length, but less than 800 feet in length, shall provide a turnout near the midpoint of the driveway. Where the driveway exceeds 800 feet, turnouts shall be provided at no greater than 400-foot intervals. Turnouts shall be a minimum of 12 feet wide and 30 feet long with a minimum of 25-foot taper at both ends. Turnarounds shall be required on	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection.	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		driveways in excess of 150 feet of surface length and shall long with a minimum 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall be located within 50 feet of the primary building. The minimum turning radius for a turnaround shall be 40 feet from the center line of the driveway. If a hammerhead/T is used, the top of the "T" shall be a minimum of 60 feet in length. <b>(Monterey County Regional/Carmel Valley Fire Protection District)</b>				
23.		<b>FIRE008 - GATES</b> All gates providing access from a road to a driveway shall be located at least 30 feet from the roadway and shall open to allow a vehicle to stop without obstructing traffic on the road. Gate entrances shall be at least the width of the traffic lane but in no case less than 12 feet wide. Where a one-way road with a single traffic lane provides access to a gated entrance, a 40-foot turning radius shall be used. Where gates are to be locked, the installation of a key box or other acceptable means for immediate access by emergency equipment may be required. <b>(Monterey County Regional/Carmel Valley Fire Protection District)</b>	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection.	
24.		<b>FIRE011 - ADDRESSES FOR BUILDINGS</b> All buildings shall be issued an address in accordance with Monterey County Ordinance No. 1241. Each occupancy, except accessory buildings, shall have its own permanently posted address. When multiple occupancies exist within a single building, each individual occupancy shall be separately identified by its own address. Letters, numbers and symbols for addresses shall be a minimum of 4-inch height, 1/2-inch stroke, contrasting with the background color of the sign, and shall be Arabic. The sign and numbers shall be reflective and made of a noncombustible material.	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		Address signs shall be placed at each driveway entrance and at each driveway split. Address signs shall be and visible from both directions of travel along the road. In all cases, the address shall be posted at the beginning of construction and shall be maintained thereafter. Address signs along one-way roads shall be visible from both directions of travel. Where multiple addresses are required at a single driveway, they shall be mounted on a single sign. Where a roadway provides access solely to a single commercial occupancy, the address sign shall be placed at the nearest road intersection providing access to that site. Permanent address numbers shall be posted prior to requesting final clearance ( <b>Monterey County Regional/Carmel Valley Fire Protection District</b> )				
25.		<b>FIRE014 - EMERGENCY WATER STANDARDS - FIRE PROTECTION WATER SUPPLY - (SINGLE PARCEL)</b> For development of structures totaling less than 3,000 square feet on a single parcel, the minimum fire protection water supply shall be 4,900 gallons. For development of structures totaling 3,000 square feet or more on a single parcel, the minimum fire protection water supply shall be 9,800 gallons. For development of structures totaling more than 10,000 square feet on a single parcel, the reviewing authority may require additional fire protection water supply. Other water supply alternatives, including ISO Rural Class 8 mobile water systems, may be permitted by the fire authority to provide for the same practical effect. The quantity of water required by this condition shall be in addition to the domestic demand and shall be permanently and immediately available. ( <b>Monterey County Regional/Carmel Valley Fire Protection District</b> )..	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
26.		<b>FIRE015 - FIRE HYDRANTS/FIRE VALVES</b> A fire hydrant or fire valve is required. The hydrant or fire valve shall be 18 inches above grade, 8 feet from flammable vegetation, no closer than 4 feet nor further than 12 feet from a roadway, and in a location where fire apparatus using it will not block the roadway. The hydrant serving any building shall be not less than 50 feet and not more than 1000 feet by road from the building it is to serve. Minimum hydrant standards shall include a brass head and valve with at least one 2 1/2 inch National Hose outlet supplied by a minimum 4 inch main and riser. More restrictive hydrant requirements may be applied by the Reviewing Authority. Each hydrant/valve shall be identified with a reflectorized blue marker, with minimum dimensions of 3 inches, located on the driveway address sign, non-combustible post or fire hydrant riser. If used, the post shall be within 3 feet of the hydrant/valve, with the blue marker not less than 3 feet or greater than 5 feet above the ground, visible from the driveway. On paved roads or driveways, reflectorized blue markers shall be permitted to be installed in accordance with the State Fire Marshal's Guidelines for Fire Hydrant Markings Along State Highways and Freeways, May 1988. (Monterey County Regional/Carmel Valley Fire Protection District)	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	
27.		<b>FIRE020 - DEFENSIBLE SPACE REQUIREMENTS (HAZARDOUS CONDITIONS)</b> Manage combustible vegetation within a minimum of 10 feet of structures (or to the property line). Limb trees 6 feet up from ground. Remove limbs within 10 feet of chimneys. Additional fire protection or firebreaks	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		approved by the Reviewing Authority may be required to provide reasonable fire safety. Environmentally sensitive areas may require alternative fire protection, to be determined by Reviewing Authority and the Director of Planning and Building Inspection. <b>(Monterey County Regional/Carmel Valley Fire Protection District)</b>	Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	
28.		<b>FIRE022 - FIRE PROTECTION EQUIPMENT &amp; SYSTEMS - FIRE SPRINKLER SYSTEM - (HAZARDOUS CONDITIONS)</b> The building(s) and attached garage(s) shall be fully protected with automatic fire sprinkler system(s). Installation shall be in accordance with the applicable NFPA standard. A minimum of four (4) sets of plans for fire sprinkler systems must be submitted by a California licensed C-16 contractor and approved prior to installation. This requirement is not intended to delay issuance of a building permit. A rough sprinkler inspection must be scheduled by the installing contractor completed prior to requesting a framing inspection. Due to substandard access, or other mitigating factors, small bathroom(s) and open attached porches, carports, and similar structures shall be protected with fire sprinklers. <b>(Monterey County Regional/Carmel Valley Fire Protection District)</b>	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	
			Applicant shall schedule fire dept. rough sprinkler inspection	Applicant or owner	Prior to framing inspection	
			Applicant shall schedule fire dept. final sprinkler inspection	Applicant or owner	Prior to final building inspection	
29.		<b>FIRE028 - ROOF CONSTRUCTION - (CARMEL VALLEY FPD)</b> All new structures, and all existing structures receiving new roofing over 50 percent or more of the existing roof surface within a one-year period, shall require a minimum of ICBO Class A roof construction. <b>(Monterey County Regional/Carmel Valley Fire Protection District)</b>	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
30.		<b>FIRE030 – OTHER NON-STANDARD CONDITIONS</b> Driveway for second dwelling unit must be 16' wide from the fire truck turn around to the building. This 16' driveway must meet FIRE007 conditions in regards to structural roadway surfaces. <b>(Monterey County Regional/Carmel Valley Fire Protection District)</b>	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	

**END OF CONDITIONS**

Rev. 08/25/2010





## GIBSON RESIDENCE

CARMEL VALLEY, CALIFORNIA  
PLANNING SUBMITTAL  
SEPTEMBER 27, 2010

PROJECT DATA	CONSULTANTS AND CONTACTS	VICINITY MAP	SHEET INDEX
<p><b>PROJECT ADDRESS:</b> 2764 VIA BUNTING, CARMEL, CALIFORNIA 93923</p> <p><b>ASSESSORS' PARCEL NO.:</b> 186-052-010</p> <p><b>CONSTRUCTION TYPE:</b> TYPE V-AR</p> <p><b>OCCUPANCY GROUP:</b> R-3 SINGLE FAMILY RESIDENCE</p> <p><b>STORIES:</b> MAIN HOUSE: TWO STORY SECOND DWELLING UNIT: ONE STORY</p> <p><b>SQUARE FOOTAGES:</b> SITE: 91.5 ACRES = 3,957,400 SF MAIN HOUSE: 10,247 SF FIRST FLOOR: 5,660 SF SECOND FLOOR: 2,764 SF GARAGE: 943 SF GARAGE ATTIC STORAGE: 674 SF SECOND DWELLING UNIT: 4817 SF FIRST FLOOR: 2,265 SF GARAGE / MECHANICAL: 1,047 SF</p> <p><b>LOT COVERAGE:</b> MAIN HOUSE: 0.17% SECOND DWELLING UNIT: 0.12% TOTAL: 0.29%</p> <p><b>FLOOR AREA RATIO:</b> MAIN HOUSE: 0.28% SECOND DWELLING UNIT: 0.17% TOTAL: 0.28%</p> <p><b>IMPERVIOUS COVERAGE:</b> ALL STRUCTURES: 0.25% ALL IMPERVIOUS SURFACES: 2.30%</p> <p><b>PARKING:</b> MAIN HOUSE: 5 SPACES SECOND DWELLING UNIT: 4 SPACES</p> <p><b>HEIGHT ALLOWANCE:</b> MAIN HOUSE: 20 FEET SECOND DWELLING UNIT: 16 FEET</p> <p><b>WELL:</b> EXISTING ON-SITE WELL FOR PRIVATE WATER SYSTEM</p> <p><b>SEPTIC:</b> NEW ON-SITE SEPTIC SYSTEM</p>	<p><b>ARCHITECT:</b> BAR ARCHITECTS 543 HOWARD ST. SAN FRANCISCO, CA 94105 T 415 383 5700 F 415 383 5701 CONTACT: RICHARD BEARD/LISA VICTOR</p> <p><b>OWNER/CLIENT:</b> JOHN AND MONA GIBSON 144 LAKE ROAD FAIR HILLS, NJ 07891 708.221.3676 CONTACT: JOHN GIBSON</p> <p><b>CONTRACTOR:</b> STOCKER AND ALLIANCE 21 MANDEVILLE COURT MONTREY, CA 92040 T 651-316-1890 650.244.8500 CONTACT: DAVID STOCKER</p> <p><b>SURVEYOR:</b> CENTRAL COAST SURVEYORS 11 HARRIS COURT, SUITE H-11 MONTREY, CA 92040 T 831-284-4000 F 831-284-4001 CONTACT: DAVID GIBSON</p> <p><b>LANDSCAPE ARCHITECT:</b> BERNARD TRAMER AND ASSOCIATES 177 CENTRAL AVENUE PACIFIC GROVE, CA 93950 T 805-855-1414 805.849.0400 CONTACT: BERNARD TRAMER/MICHAEL BESS</p> <p><b>CIVIL ENGINEER:</b> BOLLMAN ASSOCIATES, INC. 220 YORK STREET, #114 SAN FRANCISCO, CA 94110 T 415 587-2000 415.587.2000 CONTACT: AVI BENJAMINI</p> <p><b>GEOTECHNICAL ENGINEER:</b> SOIL SURVEYS INC. 103 CHURCH ST. SALINAS, CA 93901 T 831-767-2772 831.767.2772 CONTACT: RICHARD DANTE</p>		<p><b>GENERAL</b></p> <ul style="list-style-type: none"> <li>G.01 - PROJECT INFORMATION</li> </ul> <p><b>CIVIL</b></p> <ul style="list-style-type: none"> <li>C.01 - PROJECT INFORMATION AND NOTES</li> <li>C.10 - SITE PLAN</li> <li>C.11 - PARTIAL SITE PLAN 1 OF 3</li> <li>C.12 - PARTIAL SITE PLAN 2 OF 3</li> <li>C.13 - PARTIAL SITE PLAN 3 OF 3</li> <li>C.20 - SITE SECTIONS</li> <li>C.21 - DRIVEWAY PROFILE 1 OF 2</li> <li>C.22 - DRIVEWAY PROFILE 2 OF 2</li> <li>C.23 - DETAILS</li> <li>C.30 - EROSION CONTROL PLAN</li> <li>C.31 - EROSION CONTROL DETAILS AND NOTES</li> </ul> <p><b>LANDSCAPE</b></p> <ul style="list-style-type: none"> <li>L.01 - LANDSCAPE HARDSCAPE PLAN (MAIN HOUSE)</li> <li>L.02 - LANDSCAPE HARDSCAPE PLAN (SECOND DWELLING UNIT)</li> </ul> <p><b>ARCHITECTURAL</b></p> <ul style="list-style-type: none"> <li>A.00 - ARCHITECTURAL SITE PLAN</li> <li>A.10 - FLOOR PLAN - MAIN HOUSE - 1ST FLOOR</li> <li>A.10E - FLOOR PLAN - MAIN HOUSE - 2ND FLOOR</li> <li>A.10F - FLOOR PLAN - MAIN HOUSE - 3RD FLOOR</li> <li>A.10G - FLOOR PLAN - MAIN HOUSE - 4TH FLOOR</li> <li>A.10H - FLOOR PLAN - MAIN HOUSE - 5TH FLOOR</li> <li>A.10I - FLOOR PLAN - MAIN HOUSE - 6TH FLOOR</li> <li>A.10J - FLOOR PLAN - MAIN HOUSE - 7TH FLOOR</li> <li>A.10K - FLOOR PLAN - MAIN HOUSE - 8TH FLOOR</li> <li>A.10L - FLOOR PLAN - MAIN HOUSE - 9TH FLOOR</li> <li>A.10M - FLOOR PLAN - MAIN HOUSE - 10TH FLOOR</li> <li>A.10N - FLOOR PLAN - MAIN HOUSE - 11TH FLOOR</li> <li>A.10O - FLOOR PLAN - MAIN HOUSE - 12TH FLOOR</li> <li>A.10P - FLOOR PLAN - MAIN HOUSE - 13TH FLOOR</li> <li>A.10Q - FLOOR PLAN - MAIN HOUSE - 14TH FLOOR</li> <li>A.10R - FLOOR PLAN - MAIN HOUSE - 15TH FLOOR</li> <li>A.10S - FLOOR PLAN - MAIN HOUSE - 16TH FLOOR</li> <li>A.10T - FLOOR PLAN - MAIN HOUSE - 17TH FLOOR</li> <li>A.10U - FLOOR PLAN - MAIN HOUSE - 18TH FLOOR</li> <li>A.10V - FLOOR PLAN - MAIN HOUSE - 19TH FLOOR</li> <li>A.10W - FLOOR PLAN - MAIN HOUSE - 20TH FLOOR</li> <li>A.10X - FLOOR PLAN - MAIN HOUSE - 21ST FLOOR</li> <li>A.10Y - FLOOR PLAN - MAIN HOUSE - 22ND FLOOR</li> <li>A.10Z - FLOOR PLAN - MAIN HOUSE - 23RD FLOOR</li> <li>A.10AA - FLOOR PLAN - MAIN HOUSE - 24TH FLOOR</li> <li>A.10AB - FLOOR PLAN - MAIN HOUSE - 25TH FLOOR</li> <li>A.10AC - FLOOR PLAN - MAIN HOUSE - 26TH FLOOR</li> <li>A.10AD - FLOOR PLAN - MAIN HOUSE - 27TH FLOOR</li> <li>A.10AE - FLOOR PLAN - MAIN HOUSE - 28TH FLOOR</li> <li>A.10AF - FLOOR PLAN - MAIN HOUSE - 29TH FLOOR</li> <li>A.10AG - FLOOR PLAN - MAIN HOUSE - 30TH FLOOR</li> <li>A.10AH - FLOOR PLAN - MAIN HOUSE - 31ST FLOOR</li> <li>A.10AI - FLOOR PLAN - MAIN HOUSE - 32ND FLOOR</li> <li>A.10AJ - FLOOR PLAN - MAIN HOUSE - 33RD FLOOR</li> <li>A.10AK - FLOOR PLAN - MAIN HOUSE - 34TH FLOOR</li> <li>A.10AL - FLOOR PLAN - MAIN HOUSE - 35TH FLOOR</li> <li>A.10AM - FLOOR PLAN - MAIN HOUSE - 36TH FLOOR</li> <li>A.10AN - FLOOR PLAN - MAIN HOUSE - 37TH FLOOR</li> <li>A.10AO - FLOOR PLAN - MAIN HOUSE - 38TH FLOOR</li> <li>A.10AP - FLOOR PLAN - MAIN HOUSE - 39TH FLOOR</li> <li>A.10AQ - FLOOR PLAN - MAIN HOUSE - 40TH FLOOR</li> <li>A.10AR - FLOOR PLAN - MAIN HOUSE - 41ST FLOOR</li> <li>A.10AS - FLOOR PLAN - MAIN HOUSE - 42ND FLOOR</li> <li>A.10AT - FLOOR PLAN - MAIN HOUSE - 43RD FLOOR</li> <li>A.10AU - FLOOR PLAN - MAIN HOUSE - 44TH FLOOR</li> <li>A.10AV - FLOOR PLAN - MAIN HOUSE - 45TH FLOOR</li> <li>A.10AW - FLOOR PLAN - MAIN HOUSE - 46TH FLOOR</li> <li>A.10AX - FLOOR PLAN - MAIN HOUSE - 47TH FLOOR</li> <li>A.10AY - FLOOR PLAN - MAIN HOUSE - 48TH FLOOR</li> <li>A.10AZ - FLOOR PLAN - MAIN HOUSE - 49TH FLOOR</li> <li>A.10BA - FLOOR PLAN - MAIN HOUSE - 50TH FLOOR</li> <li>A.10BB - FLOOR PLAN - MAIN HOUSE - 51ST FLOOR</li> <li>A.10BC - FLOOR PLAN - MAIN HOUSE - 52ND FLOOR</li> <li>A.10BD - FLOOR PLAN - MAIN HOUSE - 53RD FLOOR</li> <li>A.10BE - FLOOR PLAN - MAIN HOUSE - 54TH FLOOR</li> <li>A.10BF - FLOOR PLAN - MAIN HOUSE - 55TH FLOOR</li> <li>A.10BG - FLOOR PLAN - MAIN HOUSE - 56TH FLOOR</li> <li>A.10BH - FLOOR PLAN - MAIN HOUSE - 57TH FLOOR</li> <li>A.10BI - FLOOR PLAN - MAIN HOUSE - 58TH FLOOR</li> <li>A.10BJ - FLOOR PLAN - MAIN HOUSE - 59TH FLOOR</li> <li>A.10BK - FLOOR PLAN - MAIN HOUSE - 60TH FLOOR</li> <li>A.10BL - FLOOR PLAN - MAIN HOUSE - 61ST FLOOR</li> <li>A.10BM - FLOOR PLAN - MAIN HOUSE - 62ND FLOOR</li> <li>A.10BN - FLOOR PLAN - MAIN HOUSE - 63RD FLOOR</li> <li>A.10BO - FLOOR PLAN - MAIN HOUSE - 64TH FLOOR</li> <li>A.10BP - FLOOR PLAN - MAIN HOUSE - 65TH FLOOR</li> <li>A.10BQ - FLOOR PLAN - MAIN HOUSE - 66TH FLOOR</li> <li>A.10BR - FLOOR PLAN - MAIN HOUSE - 67TH FLOOR</li> <li>A.10BS - FLOOR PLAN - MAIN HOUSE - 68TH FLOOR</li> <li>A.10BT - FLOOR PLAN - MAIN HOUSE - 69TH FLOOR</li> <li>A.10BU - FLOOR PLAN - MAIN HOUSE - 70TH FLOOR</li> <li>A.10BV - FLOOR PLAN - MAIN HOUSE - 71ST FLOOR</li> <li>A.10BW - FLOOR PLAN - MAIN HOUSE - 72ND FLOOR</li> <li>A.10BX - FLOOR PLAN - MAIN HOUSE - 73RD FLOOR</li> <li>A.10BY - FLOOR PLAN - MAIN HOUSE - 74TH FLOOR</li> <li>A.10BZ - FLOOR PLAN - MAIN HOUSE - 75TH FLOOR</li> <li>A.10CA - FLOOR PLAN - MAIN HOUSE - 76TH FLOOR</li> <li>A.10CB - FLOOR PLAN - MAIN HOUSE - 77TH FLOOR</li> <li>A.10CC - FLOOR PLAN - MAIN HOUSE - 78TH FLOOR</li> <li>A.10CD - FLOOR PLAN - MAIN HOUSE - 79TH FLOOR</li> <li>A.10CE - FLOOR PLAN - MAIN HOUSE - 80TH FLOOR</li> <li>A.10CF - FLOOR PLAN - MAIN HOUSE - 81ST FLOOR</li> <li>A.10CG - FLOOR PLAN - MAIN HOUSE - 82ND FLOOR</li> <li>A.10CH - FLOOR PLAN - MAIN HOUSE - 83RD FLOOR</li> <li>A.10CI - FLOOR PLAN - MAIN HOUSE - 84TH FLOOR</li> <li>A.10CJ - FLOOR PLAN - MAIN HOUSE - 85TH FLOOR</li> <li>A.10CK - FLOOR PLAN - MAIN HOUSE - 86TH FLOOR</li> <li>A.10CL - FLOOR PLAN - MAIN HOUSE - 87TH FLOOR</li> <li>A.10CM - FLOOR PLAN - MAIN HOUSE - 88TH FLOOR</li> <li>A.10CN - FLOOR PLAN - MAIN HOUSE - 89TH FLOOR</li> <li>A.10CO - FLOOR PLAN - MAIN HOUSE - 90TH FLOOR</li> <li>A.10CP - FLOOR PLAN - MAIN HOUSE - 91ST FLOOR</li> <li>A.10CQ - FLOOR PLAN - MAIN HOUSE - 92ND FLOOR</li> <li>A.10CR - FLOOR PLAN - MAIN HOUSE - 93RD FLOOR</li> <li>A.10CS - FLOOR PLAN - MAIN HOUSE - 94TH FLOOR</li> <li>A.10CT - FLOOR PLAN - MAIN HOUSE - 95TH FLOOR</li> <li>A.10CU - FLOOR PLAN - MAIN HOUSE - 96TH FLOOR</li> <li>A.10CV - FLOOR PLAN - MAIN HOUSE - 97TH FLOOR</li> <li>A.10CW - FLOOR PLAN - MAIN HOUSE - 98TH FLOOR</li> <li>A.10CX - FLOOR PLAN - MAIN HOUSE - 99TH FLOOR</li> <li>A.10CY - FLOOR PLAN - MAIN HOUSE - 100TH FLOOR</li> </ul>

GIBSON RESIDENCE

CARMEL VALLEY, CALIFORNIA

PROJECT INFORMATION

BAR ARCHITECTS

543 Howard Street, San Francisco, CA 94105, T: 415 383 5700, F: 415 383 5701 WWW.BARARCH.COM

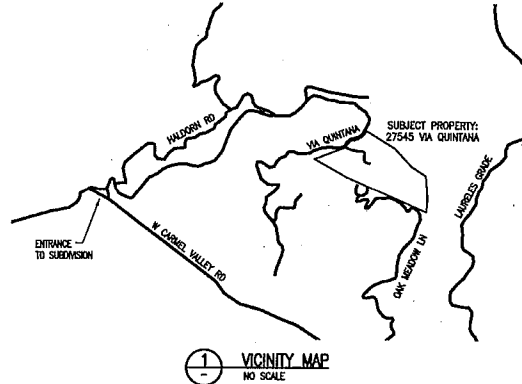
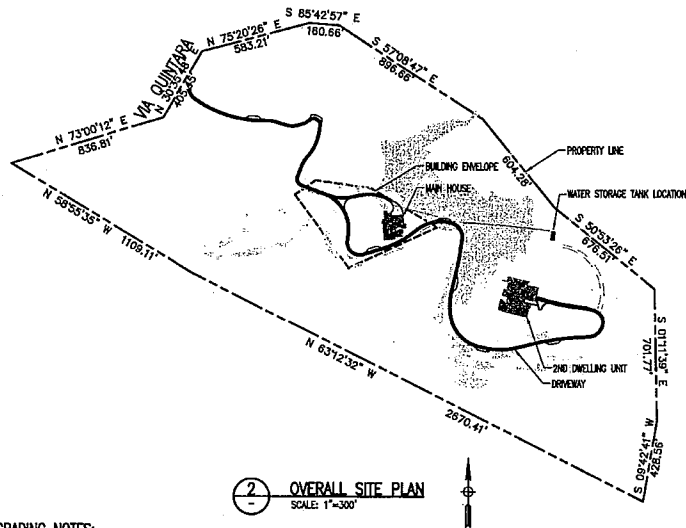


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10/14/10

PLANNING SUBMITTAL

G.01



#### GRADING NOTES:

1. ALL WORK SHALL CONFORM TO RECOMMENDATIONS SPECIFIED IN THE GEOTECHNICAL REPORT.
2. ALL GRADING SHALL CONFORM TO THE MONTEREY COUNTY GRADING ORDINANCE #2535 AND EROSION CONTROL ORDINANCE #2806.
3. THE CONTRACTOR OR ANY SUBCONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT ONE CALL PROGRAM 48 HOURS IN ADVANCE OF PERFORMING EXCAVATION WORK BY CALLING THE TOLL-FREE NUMBER 800-227-2800. EXCAVATION IS DEFINED AS BEING 18 OR MORE INCHES IN DEPTH BELOW THE EXISTING GROUND.
4. ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL. THE AREA SHALL BE PLANTED TO CONTROL EROSION. SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4 INCHES IN DEPTH.
5. EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY, BETWEEN OCTOBER 15 AND APRIL 15.
6. CONTRACTOR SHALL NOTIFY THE COUNTY 48 HOURS PRIOR TO THE INTENTION TO COMMENCE WORK.
7. A COPY OF ALL FIELD REPORTS/COMPACTION TESTS, AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY AT SCHEDULED INSPECTIONS.
8. CUT AND FILL SLOPES SHALL BE NO STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL.
9. DRAINAGE WILL BE A MINIMUM OF SIX INCHES AWAY FROM THE HOUSE FOR A MINIMUM OF 10 FEET.
10. POLYVINYL CHLORIDE PIPE SHALL CONFORM WITH ASTM D 3034, SDR 35 OR EQUIVALENT.
11. CONTRACTOR SHALL SUPPLY ALL EQUIPMENT, LABOR AND MATERIALS NECESSARY TO PERFORM THE WORK SHOWN ON THIS PLAN.
12. THE CONTRACTOR SHALL REMOVE ALL OBSTRUCTIONS, BOTH ABOVE GROUND AND UNDERGROUND AS NECESSARY FOR THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
13. THE CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
14. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND SHALL NOTIFY THE ENGINEER OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
15. ANY DISCREPANCIES OR OMISSIONS FOUND IN THE CONTRACT DOCUMENTS SHALL BE REPORTED TO THE DESIGN ENGINEER IMMEDIATELY. THE DESIGN ENGINEER WILL CLARIFY DISCREPANCIES OR OMISSIONS, IN WRITING, WITHIN A REASONABLE TIME.
16. CONTRACTOR SHALL MINIMIZE THE VOLUME OF RECYCLABLE MATERIALS SENT TO AREA LANDFILLS.
17. THE EXPORTED SOILS FROM THIS SITE SHALL BE REMOVED AND DISPOSED OF IN A MANNER AND LOCATION ACCEPTABLE TO THE COUNTY OF MONTEREY FOLLOWING THE REQUIREMENTS OF ALL APPLICABLE COUNTY, STATE, AND FEDERAL LAWS OR ORDINANCES.
18. SOIL COMPACTION SHALL BE A MINIMUM OF 90% RELATIVE COMPACTION.
19. RETAINING WALLS REQUIRE A SEPARATE BUILDING PERMIT.
20. PAD ELEVATION/S SHALL BE CERTIFIED TO 0.1 FEET, PRIOR TO DIGGING ANY FOOTINGS OR SCHEDULING ANY INSPECTIONS.
21. THE GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY THE REMOVAL OF TOPSOIL AND OTHER UNSUITABLE MATERIALS AS DETERMINED BY THE SOILS ENGINEER.
22. THE GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, NONCONFORMING PLYWOOD FILL, TOPSOIL AND OTHER UNSUITABLE MATERIALS SCRAPING TO PROMOTE A BOND WITH THE NEW FILL.
23. NO ORGANIC MATERIAL SHALL BE PERMITTED IN FILLS EXCEPT AS TOPSOIL USED FOR SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4 INCHES IN DEPTH (16.08.310 E)

#### WINTER GRADING NOTES (OCT 15 - APR 15):

1. DISTURBED SURFACES NOT INVOLVED IN THE MAINTENANCE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
2. ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
3. RUNOFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
4. DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS. (MONTEREY COUNTY GRADING/EROSION CONTROL ORD. 2806 - 16.12.040)

#### DRAINAGE NOTES:

1. ALL PIPES SHALL BE HDPE OR SDR-35 TYPE.
2. ALL FOOTING SHALL HAVE 6" PERFORATED DRAIN.
3. ALL SURFACE DRAIN PIPES SHALL BE MIN 6" SOLID PIPE.
4. CONTRACTOR SHALL INSTALL CLEANOUTS AT ENDS AND BENDS WHERE APPLICABLE.
5. POLYVINYL CHLORIDE PIPE SHALL CONFORM WITH ASTM D 3034, SDR 35 OR EQUIVALENT.
6. CATCH BASINS SHALL BE CHRISTY V24 OR APPROVED EQUIVALENT.
7. TRENCH DRAINS SHALL BE ZURB Z885 OR APPROVED EQUIVALENT.

#### LEGEND & ABBREVIATIONS:

PROPERTY LINE	EROSION CONTROL OUTLET
NEW STRUCTURE	FTE FINISHED FLOOR ELEVATION
NEW AC	ROOF LEADER DOWNSPOUT
25%+ SLOPE	TO FINISHED GRADE
STORM DRAIN	OUT GRADE ELEVATION
PERF PIPE	TYP TYPICAL
EXISTING CONTOUR	DN BOTTOM OF WALL
NEW CONTOUR	TF TOP OF WALL
SURFACE FLOW	CO CLEANOUT
DRAIN INLET	AD AREA DRAIN
	EXISTING TREE

#### PROJECT INFORMATION:

PROJECT NAME:	GIBSON RESIDENCE
PROJECT ADDRESS:	27545 VIA QUINTANA CARMEL VALLEY, CALIFORNIA 93923
APN:	185-052-018
PURPOSE OF GRADING:	NEW DWELLING UNITS AND DRIVEWAY
APPLICANT:	STOCKER & ALLABE 211 MANDEVILLE COURT MONTEREY, CA 93940 PH 831.375.1890 FX 831.375.1460
GEOTECHNICAL ENGINEER:	SOILS SURVEY, INC 103 CHURCH ST SALINAS, CA 93901 PH 831.757.2172
CIVIL ENGINEER:	BENJAMINI ASSOCIATES, INC. 720 YORK STREET, #114 SAN FRANCISCO, CA 94110 PH 415.550.2800 FX 415.520.2005
STARTING DATE:	2011
COMPLETION DATE:	2012
HRS OF OPERATION:	7:30AM TO 5:30PM ON WEEKDAYS AND SATURDAYS.
DUST CONTROL:	CONTROLLED BY WATER
EQUIPMENT:	STANDARD EQUIPMENT FOR GRADING A SINGLE FAMILY RESIDENCE

#### SOILS REPORT:

ALL WORK TO COMPLY WITH THE RECOMMENDATIONS IN THE SOILS REPORT PREPARED BY SOILS SURVEY INC.

#### BENCHMARK:

TOP CENTER OF PLASTIC WATER  
TANK ACCESS PATCH COVER  
ELEVATION = 1177.45 FT

#### CIVIL SHEET INDEX:

SHT	DESCRIPTION	REV
C-01	PROJECT INFORMATION & NOTES	0
C1.0	SITE PLAN	0
C1.1	PARTIAL SITE PLAN 1 OF 3	0
C1.2	PARTIAL SITE PLAN 2 OF 3	0
C1.3	PARTIAL SITE PLAN 3 OF 3	0
C2.0	SITE SECTIONS	0
C2.1	DETAILS	0
C3.0	EROSION CONTROL PLAN	0
C3.1	EROSION CONTROL DETAIL & NOTES	0

#### GRADING QUANTITIES:

DRIVEWAY A:	CUT: 250 CY	MAIN HOUSE:
	FILL: 250 CY	CUT: 4900 CY
DRIVEWAY B:	CUT: 1900 CY	FILL: 4150 CY
	FILL: 1900 CY	2ND DWELLING UNIT:
DRIVEWAY C:	CUT: 300 CY	CUT: 3000 CY
	FILL: 50 CY	FILL: 4000 CY
TOTAL CUT = 10,350 CY		
TOTAL FILL = 10,350 CY		

#### GRADING IN A 25% SLOPE AREA

15,000 SF

UNDERGROUND SERVICE ALERT OF  
NORTHERN CALIFORNIA



DIAL TOLL FREE 1-800-227-2800 AT LEAST TWO  
DAYS BEFORE YOU DIG



GIBSON RESIDENCE

27545 VIA QUINTANA, CARMEL, CA 93923

PROJECT INFORMATION & NOTES

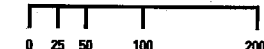
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San Francisco, California 94110  
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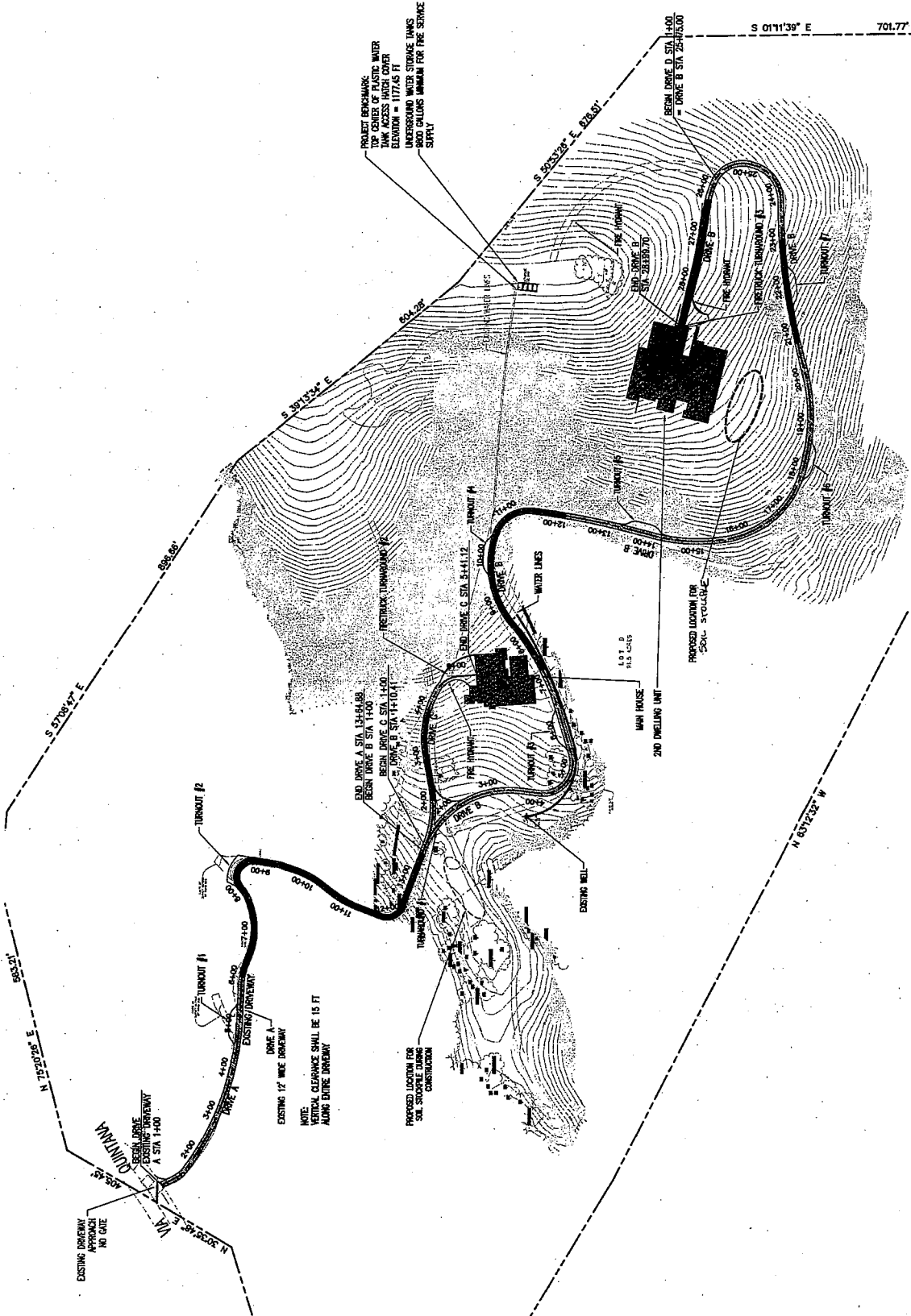


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**SHEET GENERAL NOTES**

1. GRADING ON SLOPES OF 25% SHALL NOT EXCEED 500 SQUARE FEET IN AREA FOR THE ENTIRE PROJECT.



**GIBSON RESIDENCE** | 27545 VIA QUINTANA, CARMEL, CA 93923

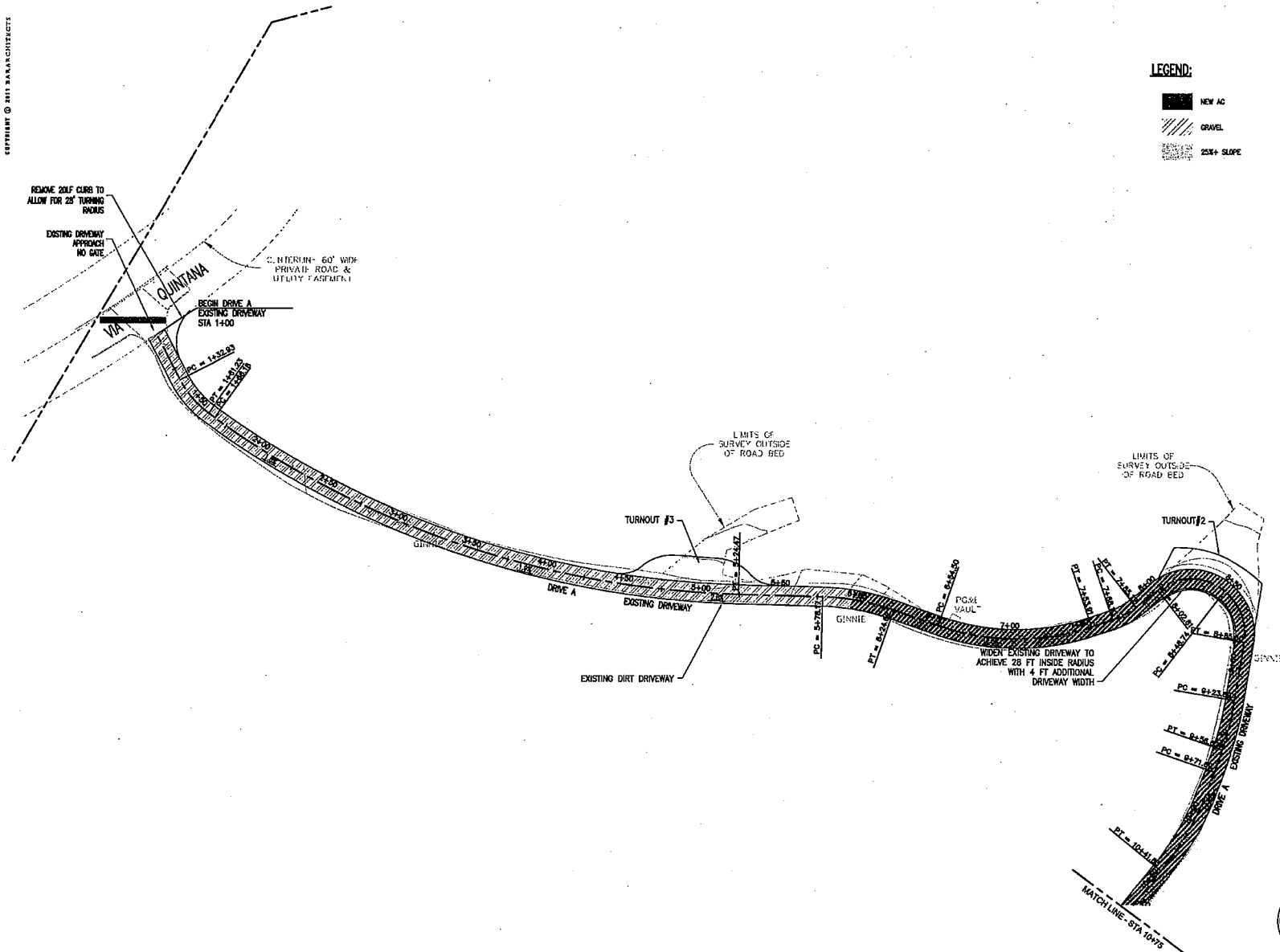
**SITE PLAN**

**BARARCHITECTS**  
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Benjamin J. Bararchi, Inc.  
720 York Street, #114  
San Francisco, California 94110  
Tel. 415.233.5700  
Fax 415.233.5701

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# SHEET GENERAL NOTES

## HORIZONTAL ALIGNMENT DATA

LINE	LENGTH	BEARING
L1	32.03	N87°21'17"W
L2	4.95	N54°23'14"W
L3	53.70	N86°38'05"W
L4	29.58	N70°31'40"W
L5	14.19	S71°10'06"W
L6	17.69	S51°40'04"W
L7	38.19	N08°30'15"E
L8	15.07	N18°24'22"E
L9	24.17	N38°00'03"E
L10	51.84	N20°38'28"E
L11	127.64	N89°30'26"W
L12	40.10	N06°37'39"E
L13	103.32	S74°02'20"W
L14	8.77	S60°18'06"W
L15	5.64	N74°18'50"W
L16	20.41	N07°18'02"E
L17	81.52	N13°44'40"E
L18	25.20	N78°00'59"W
L19	79.04	S75°43'52"W
L20	35.07	S87°58'10"W
L21	4.80	S16°24'37"W
L22	35.57	S02°28'24"E
L23	110.97	S77°00'00"E
L24	11.27	S03°37'41"W
L25	29.64	S31°18'35"E
L26	11.55	N88°41'49"E
L27	84.07	N78°14'18"E
L28	37.20	S04°06'00"E
L29	1.00	N52°37'08"W

CURVE	DELTA	LENGTH	RADIUS
C1	27°01'57"	28.31	60.00
C2	24°12'59"	358.29	600.00
C3	17°44'28"	48.44	150.00
C4	17°56'14"	92.41	150.00
C5	19°30'02"	17.02	50.00
C6	75°42'48"	44.93	34.00
C7	62°07'23"	36.86	34.00
C8	8°24'14"	32.83	200.00
C9	20°05'34"	70.14	200.00
C10	18°24'37"	84.28	200.00
C11	50°16'22"	35.13	35.00
C12	78°17'35"	288.31	200.00
C13	113°33'19"	128.88	65.00
C14	22°46'14"	198.71	500.00
C15	54°23'52"	191.84	250.00
C16	82°07'57"	107.51	75.00
C17	8°36'37"	173.08	1500.00
C18	21°06'14"	132.97	380.00
C19	70°08'23"	246.85	200.00
C20	23°15'09"	178.30	400.00
C21	121°41'08"	256.32	1200.00
C22	71°28'13"	89.79	60.00
C23	87°01'47"	98.73	65.00
C24	12°47'42"	66.99	300.00
C25	5°38'26"	88.45	1000.00
C26	69°41'26"	72.85	59.89
C27	24°50'04"	40.89	85.00
C28	36°34'16"	128.87	200.00
C29	59°01'36"	180.29	175.00
C30	37°28'36"	133.98	256.45
C31	41°28'07"	148.50	200.00
C32	54°47'35"	87.38	80.00

GIBSON RESIDENCE

27545 VIA QUINTANA, CARMEL, CA 93923

PARTIAL SITE PLAN 1 OF 3

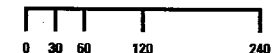
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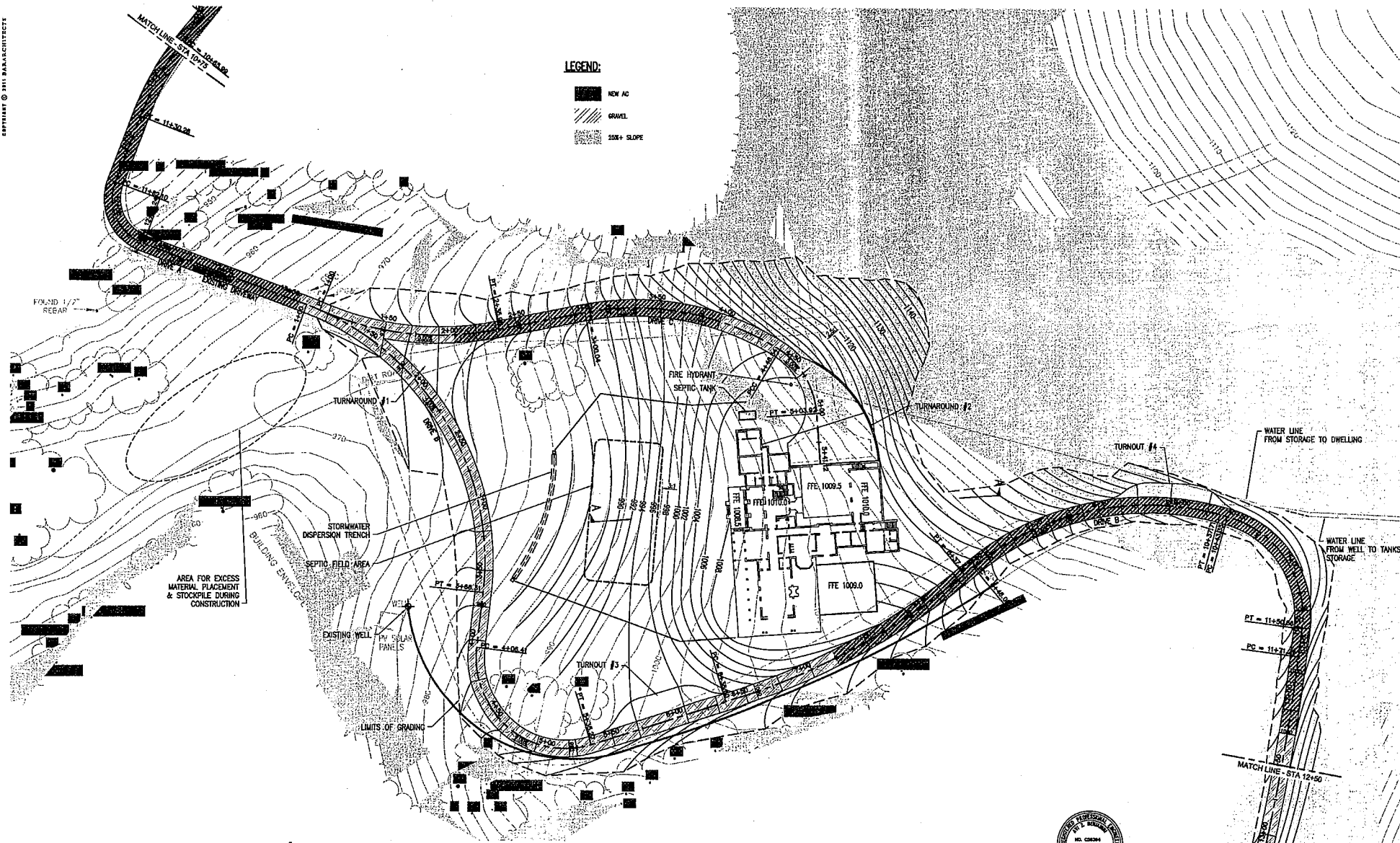
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PARTIAL SITE PLAN 2 OF 3

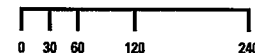
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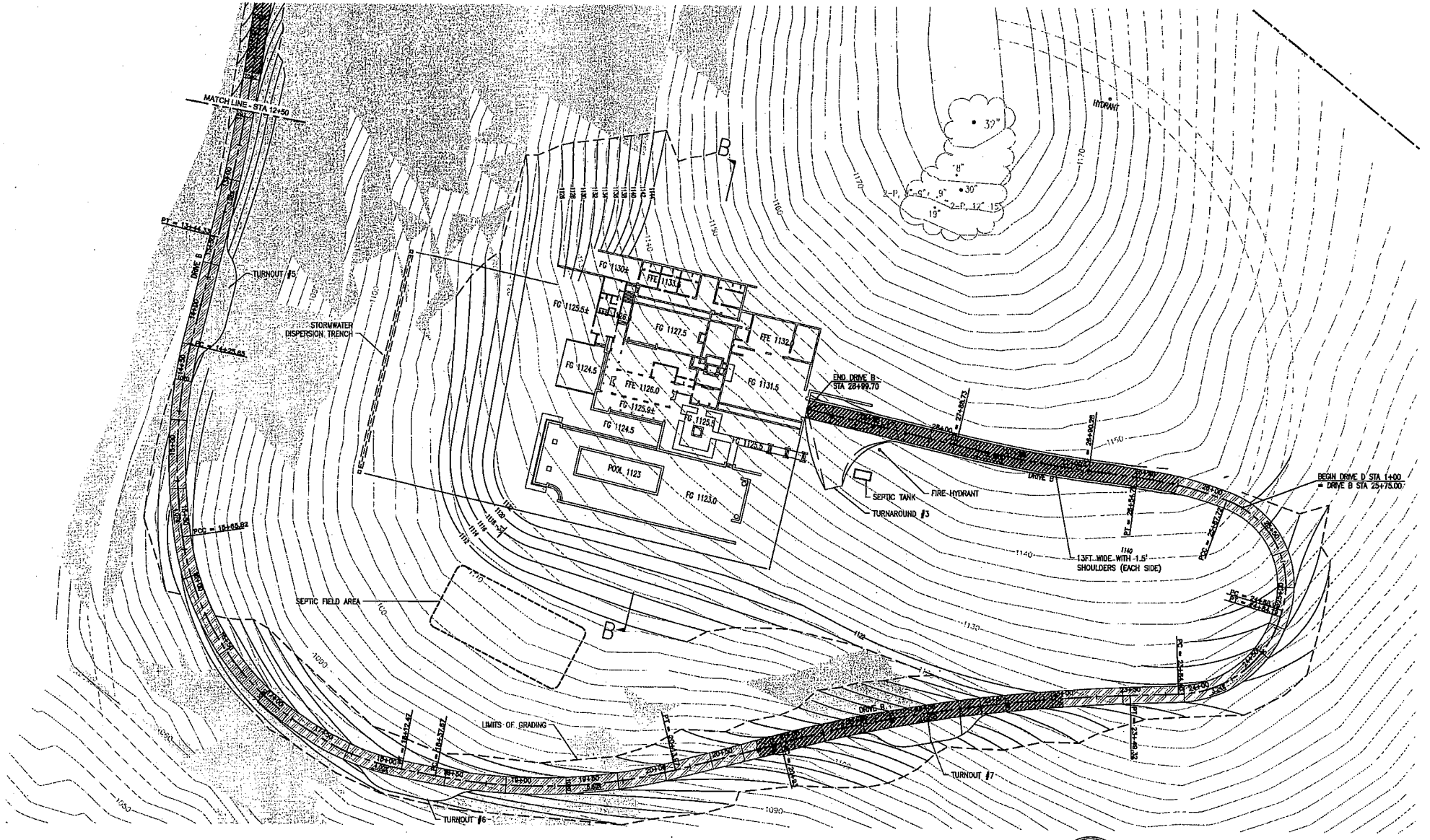
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PARTIAL SITE PLAN 3 OF 3

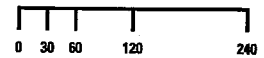
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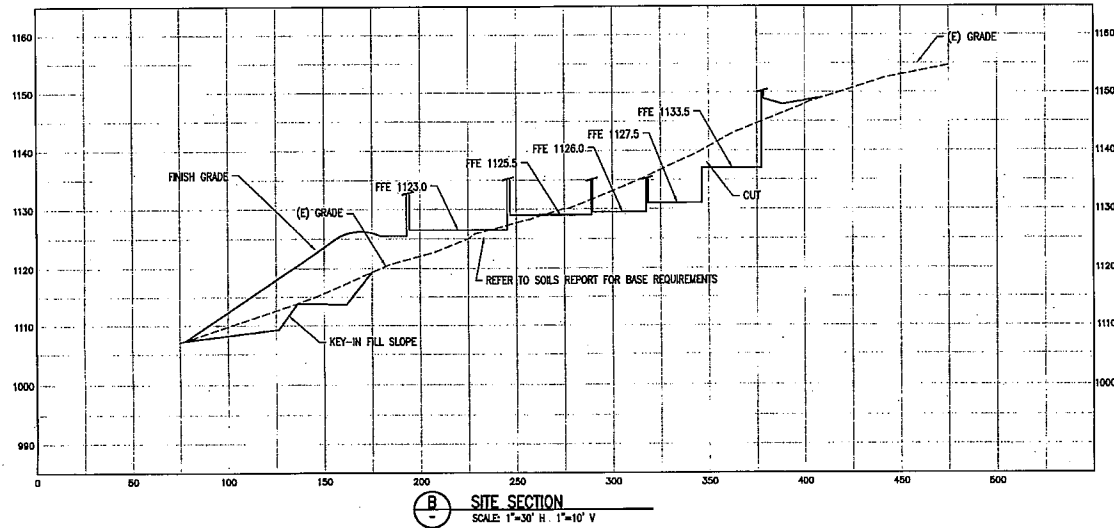
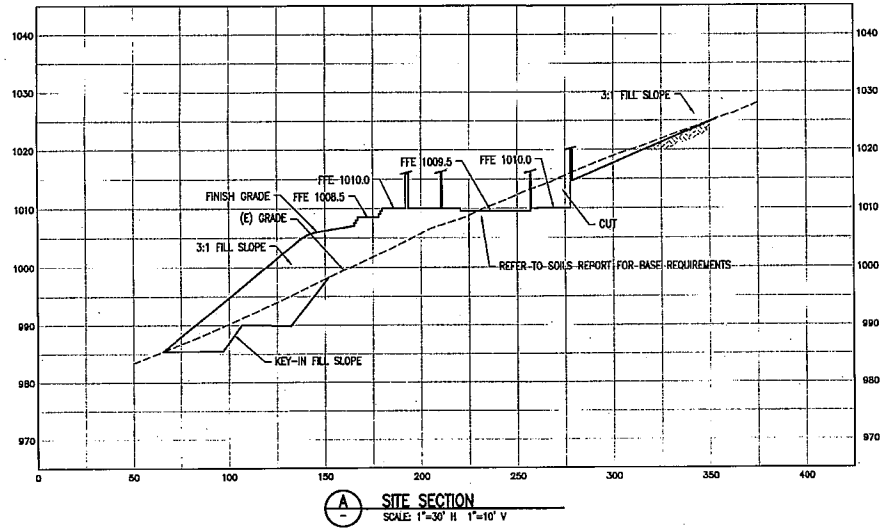
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SITE SECTIONS

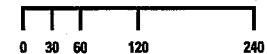
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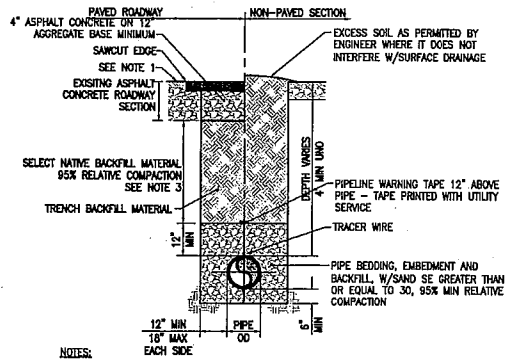
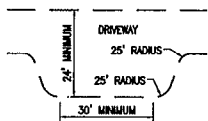
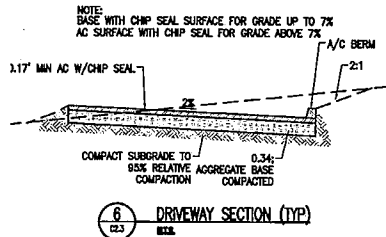
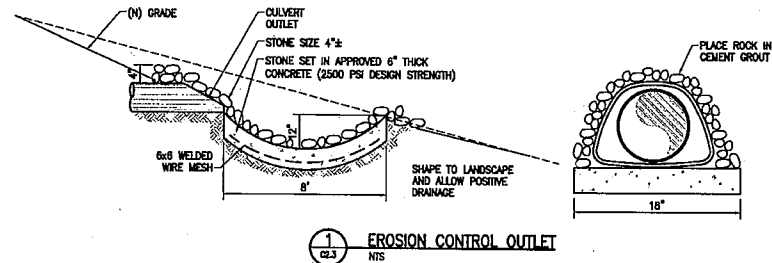
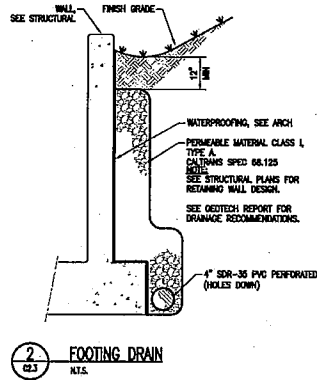
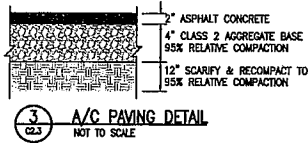
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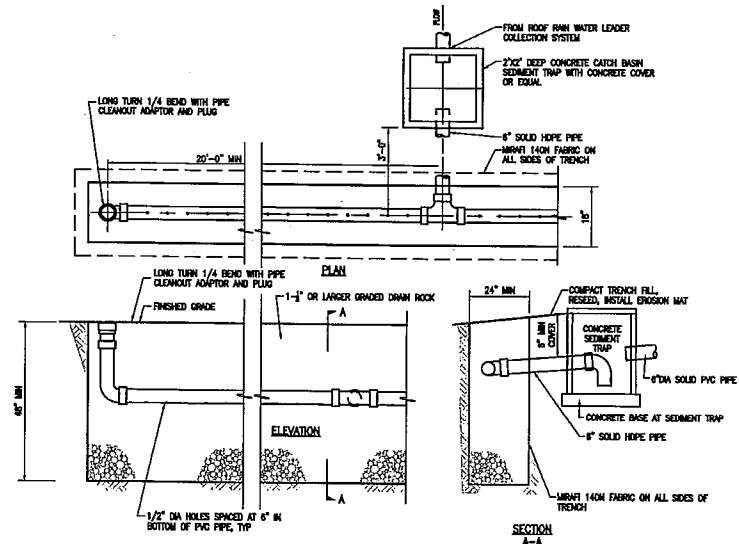


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NOTES:

1. OUTSIDE THE EDGE OF TRENCH REMOVE & REPLACE 6" SECTION MINIMUM, MATCH EXISTING FINISH GRADE AND MAINTAIN EXISTING FLOW. WHERE PAVEMENT HAS BEEN UNDERMINED, SAWCUT AND REMOVE. PAVEMENT TO PROVIDE 6" MINIMUM OF UNDISTURBED BASE SECTION.
2. MOISTURE CONDITION TO A MINIMUM 5% OVER OPTIMUM MOISTURE CONTENT.
3. NATIVE MATERIAL MAY BE USED AS TRENCH BACKFILL MATERIAL IF IT MEETS THE REQUIREMENTS FOR ENGINEERED FILL. WHERE NATIVE BACKFILL MATERIAL IS NOT SUITABLE FOR TRENCH BACKFILL USE IMPORTED SAND SE GREATER THAN OR EQUAL TO 30, COMPACT TO 95% RELATIVE COMPACTION, MINIMUM.



NOTES:

1. DISPERSION PIPE SHALL BE LEVEL AND TRENCH SHALL BE PARALLEL TO SITE CONTOURS.
2. MIN 140N SHALL BE INSTALLED ON SIDES, ENDS, TOP AND BOTTOM OF TRENCH.
3. DISPERSION TRENCH SHALL BE A MINIMUM OF 20' FROM STRUCTURE.
4. DISPERSION TRENCH SHALL BE PLACED ON LEAST STEEP SLOPE AVAILABLE.
5. DISPERSION TRENCH SHALL BE PLACED AWAY FROM AND BELOW SEPTIC FIELDS.

GIBSON RESIDENCE

27545 VIA QUINTANA, CARMEL, CA 93923

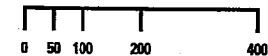
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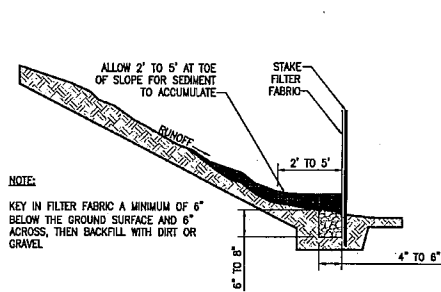
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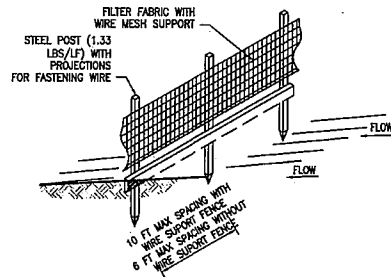
DETAILS

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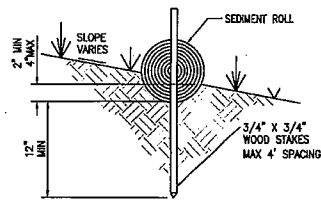




1 SILT FENCE PROFILE  
NOT TO SCALE



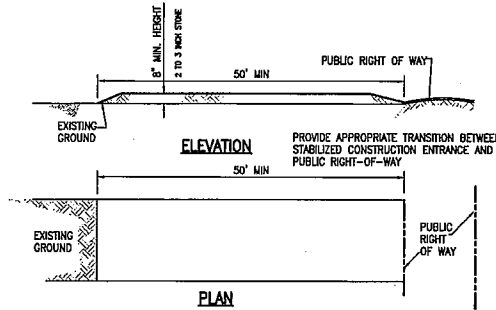
3 INSTALLATION OF SILT FENCE  
NOT TO SCALE



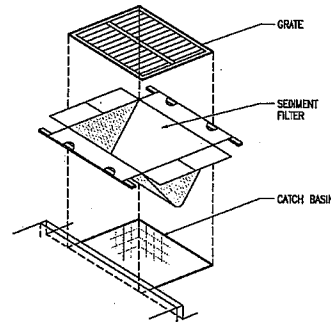
5 ENTRENCHMENT DETAIL IN SLOPED AREA  
NOT TO SCALE

NOTES

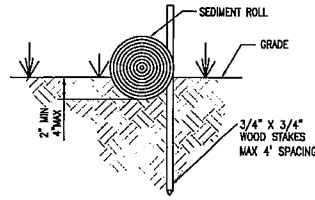
1. COIL ROLLS WRAPPED IN TUBULAR NETTING SUPPLIED IN 20'-25' ROLLS.
2. FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE FIBER ROLL IN A TRENCH, 2\"/>



2 STABILIZED CONSTRUCTION ENTRANCE  
NOT TO SCALE



4 INLET FILTER DETAIL  
NOT TO SCALE



6 ENTRENCHMENT DETAIL IN FLAT AREA  
NOT TO SCALE

EROSION AND SEDIMENT CONTROL NOTES:

ALL GRADING WORK SHALL BE WATERED PRIOR TO OCTOBER 15, BY PLACING APPROPRIATE SILT FENCING, SILT FENCE/STRAW BALE Dikes AND STRAW BALES IN A MANNER TO MINIMIZE EROSION AND COLLECT SEDIMENT AND ALSO BY HYDROSEEDING AREAS DISTURBED. SEE GRADING PLAN FOR SLOPE INFORMATION.

THIS PLAN IS INTENDED FOR EROSION CONTROL ONLY.

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND FILING ALL PLANS WITH THE RELATED AGENCIES ASSOCIATED WITH THEIR WORK. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: PERMITS FOR STORAGE OF HAZARDOUS MATERIALS, BUSINESS PLANS, PERMITS FOR STORAGE OF FLAMMABLE LIQUIDS, GRADING PERMITS, OR OTHER PLANS OR PERMITS REQUIRED BY CITY. ALL PROPERTY OWNERS, CONTRACTORS, OR SUBCONTRACTORS WORKING ON-SITE ARE INDIVIDUALLY RESPONSIBLE FOR OBTAINING AND SUBMITTING ANY BUSINESS PLANS OR PERMITS REQUIRED BY CITY, STATE OR LOCAL AGENCIES.

ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED, DURING THE RAINY SEASON (OCT. 15 TO MAY 15), UNTIL DISTURBED AREAS ARE STABILIZED. CHANGES TO THIS PLAN TO MEET FIELD CONDITIONS WILL BE MADE ONLY WITH THE APPROVAL OF, OR AT THE DIRECTION OF THE OWNER. CHANGES MADE TO SUIT FIELD CONDITIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CIVIL ENGINEER AND CITY FOR COMMENT AND APPROVAL.

ALL EROSION CONTROL FACILITIES MUST BE INSPECTED AND REPAIRED AS NECESSARY PRIOR TO COMMENCING WORK AND AT THE END OF EACH WORKING DAY, AFTER SIGNIFICANT RAIN OR DAILY DURING THE RAINY SEASON.

IF SIGNIFICANT SEDIMENT OR OTHER VISUAL SYMPTOMS OF IMPURITIES ARE NOTICED IN THE STORM WATER, CONTACT THE CIVIL ENGINEER IMMEDIATELY.

CONTRACTOR IS RESPONSIBLE FOR INSPECTION AND RESTORATION OF ALL ASPECTS OF THE EROSION CONTROL PLAN. SEDIMENT ON THE SIDEWALKS AND GUTTERS SHALL BE REMOVED BY SHOVEL, OR BROOM AND DISPOSED APPROPRIATELY.

ALL EMPLOYEES, CONTRACTORS, AND SUBCONTRACTORS ARE RESPONSIBLE FOR CONFORMING TO THE ELEMENTS SHOWN ON THIS PLAN AND RELATED DOCUMENTS.

CONTRACTOR TO EMPLOY BEST MANAGEMENT PRACTICES (BMP'S) IN ACCORDANCE WITH THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION.

ALL DUMPSTERS OR OTHER TRASH STORAGE ENCLOSURES SHALL BE UTILIZED SOLELY FOR NON-HAZARDOUS MATERIALS.

DURING THE RAINY SEASON, ALL PAVED AREAS WILL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO THAT A MINIMUM OF SEDIMENT-LOADED RUNOFF ENTERS THE STORM DRAIN SYSTEM. THESE PLANS SHALL REMAIN IN EFFECT UNTIL THE IMPROVEMENTS ARE ACCEPTED BY THE CITY AND ALL SLOPES ARE STABILIZED.

BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES TO THE SATISFACTION OF THE CITY.

REMOVE SPOILS PROMPTLY AND AVOID STOCKPILING OF FILL MATERIALS WHEN RAIN IS FORECAST. IF RAIN IS FORECAST OR APPARENT, STOCKPILED SOILS AND OTHER MATERIALS SHALL BE COVERED WITH PLASTIC OR A TARP, AT THE REQUEST OF THE CITY.

STORE, HANDLE AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES SO AS TO PREVENT THEIR ENTRY INTO THE STORM DRAIN SYSTEM. CONTRACTOR MUST NOT ALLOW CONCRETE, WASHWATERS, SLURRIES, PAINT OR OTHER MATERIALS TO ENTER THE CATCH BASINS, STORM DRAINAGE, OR ENTER SITE RUNOFF.

USE FILTRATION OR OTHER APPROVED MEASURES TO REMOVE SEDIMENT FROM DEWATERING EFFLUENT.

NO CLEANING, FUELING OR MAINTAINING VEHICLES ON SITE SHALL BE PERMITTED TO ALLOW DELETERIOUS MATERIALS FROM ENTERING THE CATCH BASINS, STORM DRAINAGE, OR ENTER SITE RUNOFF.

EROSION CONTROL MEASURES TO BE EMPLOYED PER "EROSION AND SEDIMENT CONTROL FIELD MANUAL", CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD CENTRAL COAST REGION.

GRADE AWAY FROM SEWER VENTS TO PREVENT SEDIMENT FROM ENTERING CULVERTS.

ALL GRADED AREAS, INCLUDING, BUT NOT LIMITED TO, CUT AND FILL SLOPES, STREETS, PARKING AREAS, AND BUILDING PADS SHALL BE HYDROSEEDING PER COUNTY'S REQUIREMENT. SUGGESTED MIX DESIGN FOLLOWS:

COMMON RYEGRASS	30 LBS/ACRE
WINTER BARLEY	10 LBS/ACRE
BIRDFOOT TREFOIL	5 LBS/ACRE
POPPY AND LUPIN (CALIFORNIA WILDFLOWER MIX)	3 LBS/ACRE
MAIZANTA	3 LBS/ACRE

ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION.

SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH APPROVED METHODS ESTABLISHED BY THE SOILS ENGINEER.

STABILIZE ALL GRADED AREAS WITH VEGETATION, CRUSHED STONE, RIPRAP, OR OTHER GROUND COVER AS SOON AS GRADING IS COMPLETED OR IF WORK IS INTERRUPTED FOR 21 WORKING DAYS OR MORE. USE MULCH TO STABILIZE AREAS TEMPORARILY WHERE FINAL GRADING MUST BE DELAYED.

APPLY SEED, FERTILIZER AND STRAW MULCH, THEN TRACK OR PUSH IN THE MULCH WITH AN APPROVED MECHANICAL MEANS OR BY HAND.

DISTURBANCE OF SURFACE VEGETATION DURING CONSTRUCTION SHALL BE KEPT TO A MINIMUM.

DISTURBED AREAS SHOULD BE SEED, FERTILIZED, AND MULCHED TO PREVENT EROSION DURING WINTER MONTHS. INSTALL STRAW BALE SILTATION BARRIER AS SHOWN ON PLAN.

CONTRACTOR SHALL WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE A DAY OR AS NEEDED TO PREVENT VISIBLE DUST PLUMES FROM BLOWING OFF-SITE.

CONTRACTOR SHALL USE TARPULINS OR OTHER EFFECTIVE COVERS FOR ON-SITE STORAGE PILES AND FOR HAUL TRUCKS THAT TRAVEL ON STREETS.

CONTRACTOR SHALL PAVE, APPLY WATER THREE TIMES DAILY, OR APPLY NON-TOXIC SOIL STABILIZERS ON ALL UNPAVED PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES, TO MINIMIZE DUST POLLUTION.

CONTRACTOR SHALL HYDROSEED OR APPLY NON-TOXIC SOIL STABILIZERS TO INACTIVE CONSTRUCTION AREAS (PREVIOUSLY GRADED AREAS INACTIVE FOR TEN DAYS OR MORE).

CONTRACTOR SHALL LIMIT TRAFFIC SPEEDS ON UNPAVED AREAS TO 15 MPH.

CONTRACTOR SHALL REPLANT VEGETATION IN-KIND IN DISTURBED AREAS AS GRADING IS COMPLETE.

CONTRACTOR SHALL INSTALL WHEEL WASHERS FOR ALL TRUCKS, OR WASH OFF THE TIRES OR TRACK OF ALL TRUCKS AND EQUIPMENT LEAVING THE SITE.

CONTRACTOR SHALL INSTALL WIND BREAKS TO PREVENT WIND FROM RAISING DUST.

CONTRACTOR SHALL SUSPEND EXCAVATION AND GRADING ACTIVITY WHEN WINDS (INSTANTANEOUS GUSTS) EXCEED 25 MPH.

CONTRACTOR SHALL SUBMIT HIS/HER SWPPP FOR REVIEW AND APPROVAL BY THE CITY PRIOR TO COMMENCING CONSTRUCTION OR STREET IMPROVEMENTS.

NO BURNING IS ALLOWED DURING CONSTRUCTION.

CONSTRUCTION WORK INVOLVING HEAVY EQUIPMENT AND/OR DIESEL ENGINE SHALL OPERATE BETWEEN THE HOURS OF 7:00AM & 7:00PM.

PREVENT SPILLAGE OF FUEL AND OIL. REFUELING OF VEHICLES SHALL BE CARRIED OUT OFFSITE.

CONTRACTOR WILL PROVIDE AND MAINTAIN A CALTRANS APPROVED CONCRETE WASH OUT. CONTRACTOR WILL PROVIDE AND MAINTAIN ACCESS TO WASH OUT FACILITIES.

GIBSON RESIDENCE

27545 VIA QUINTANA, CARMEL, CA 93923

EROSION CONTROL DETAILS & NOTES

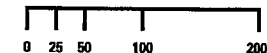
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Benjamin Associates, Inc.  
720 York Street, #114  
San Francisco, California 94110  
Ph 415.550.2600  
Fx 415.520.2600

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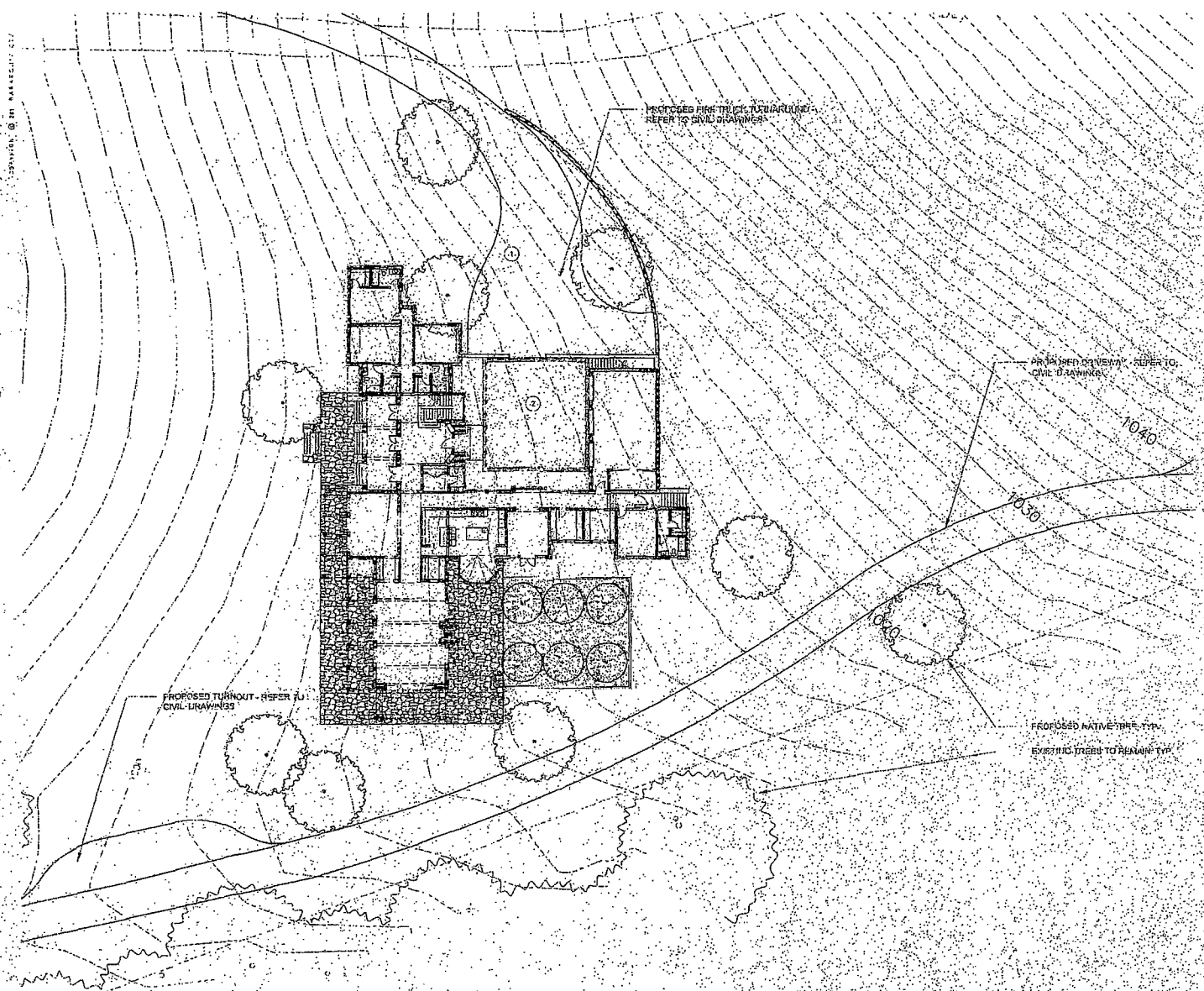
7.21.2010



C3.1



DESIGNED BY BAR ARCHITECTS



Exterior Hardscape Material Legend

- | Symbol | Material |
|--------|----------|
| ①      | Grass    |
| ②      | Grass    |
| ③      | Grass    |
| ④      | Grass    |

Interior Hardscape Material Legend

- | Symbol | Material |
|--------|----------|
| ①      | Grass    |
| ②      | Grass    |
| ③      | Grass    |
| ④      | Grass    |

GIBSON RESIDENCE

CARMEL VALLEY, CALIFORNIA

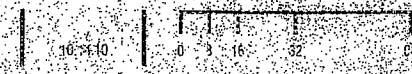
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DESIGNED BY BAR ARCHITECTS

DATE: 10/10/10  
BY: [Signature]  
CHECKED BY: [Signature]  
APPROVED BY: [Signature]

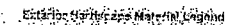
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LANDSCAPE  
HARDSCAPE PLAN








PLANNING SUBMITTAL

L0-1



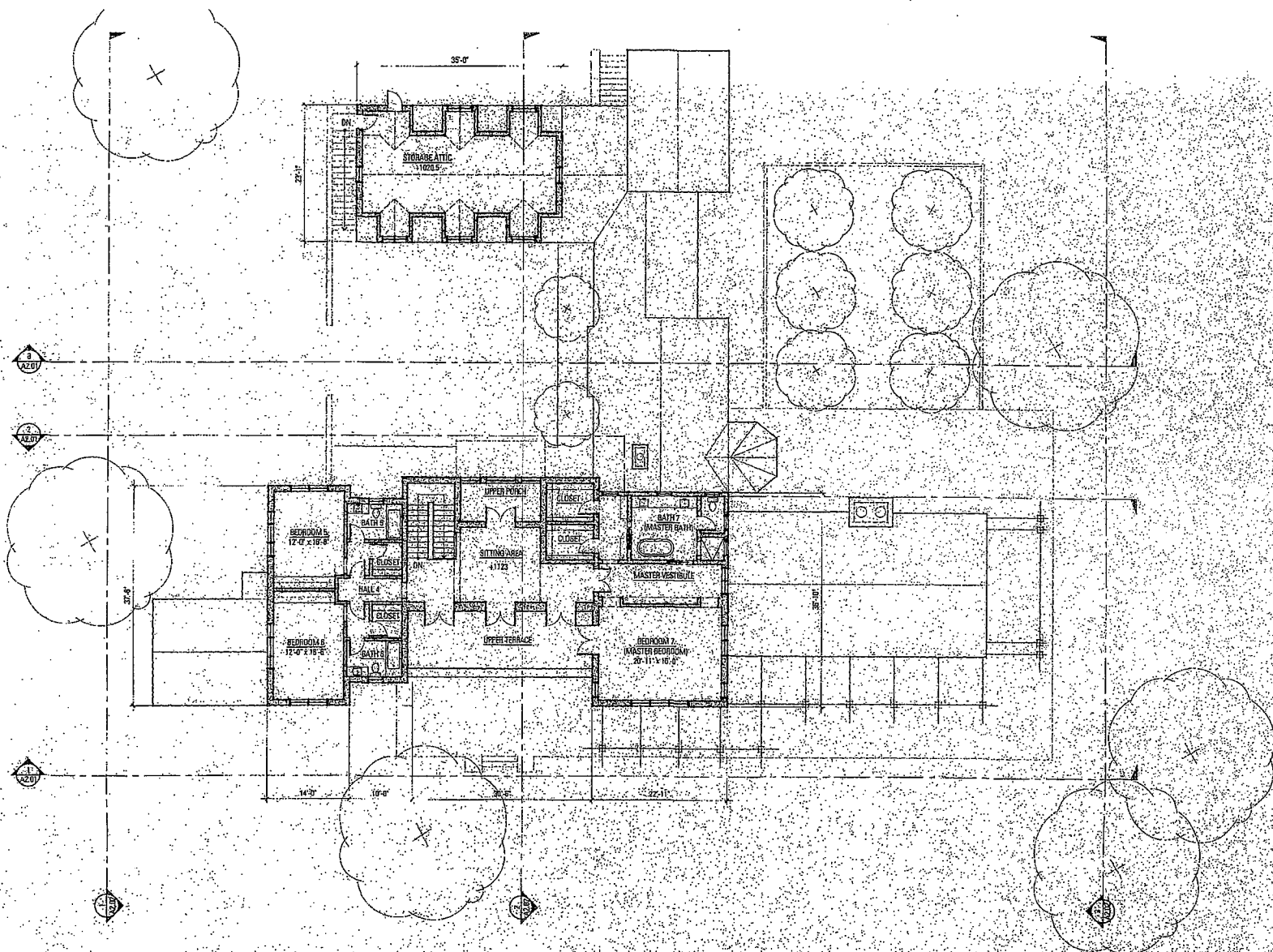
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2. **CONCEPT**
3. **CONCEPT**
4. **CONCEPT**
5. **CONCEPT**
6. **CONCEPT**
7. **CONCEPT**
8. **CONCEPT**
9. **CONCEPT**
10. **CONCEPT**

### Exterior Hardscape Material Legend

Style #	name	Description
	STONE PAVING	Randomly placed mortar set or travertine tiles
	STONE PAVING	Randomly placed mortar set or travertine tiles
	STONE PAVING	Randomly placed mortar set or travertine tiles
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	STONE PAVING	Randomly placed mortar set or travertine tiles

107





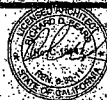
GIBSON RESIDENCE

CARMEL VALLEY, CALIFORNIA

MAIN HOUSE SECOND FLOOR PLAN

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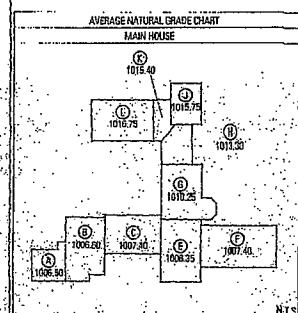
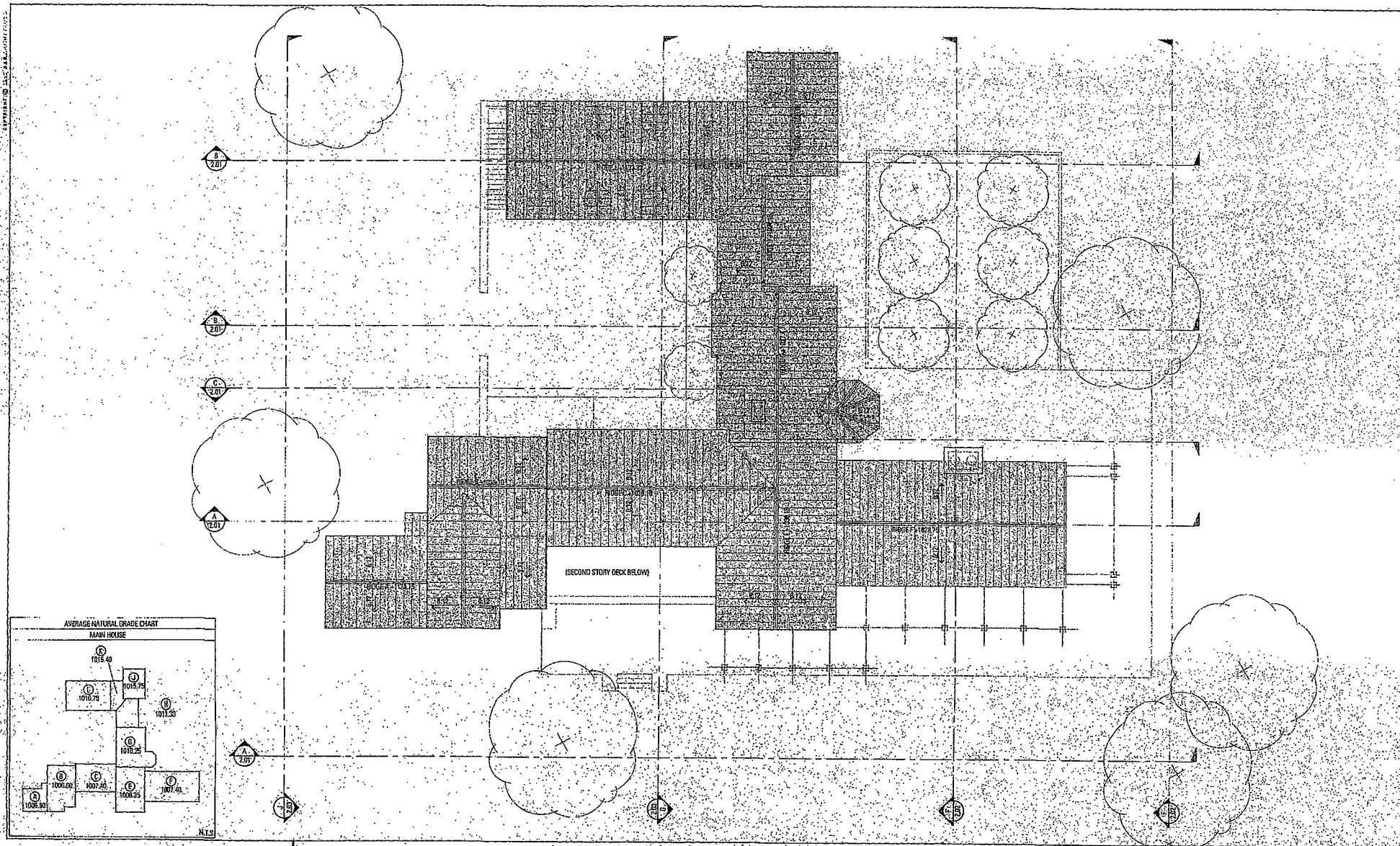
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PLANNING SUBMITTAL

A1.02





GIBSON RESIDENCE

CARMEL VALLEY, CALIFORNIA

MAIN HOUSE ROOF PLAN

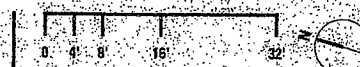
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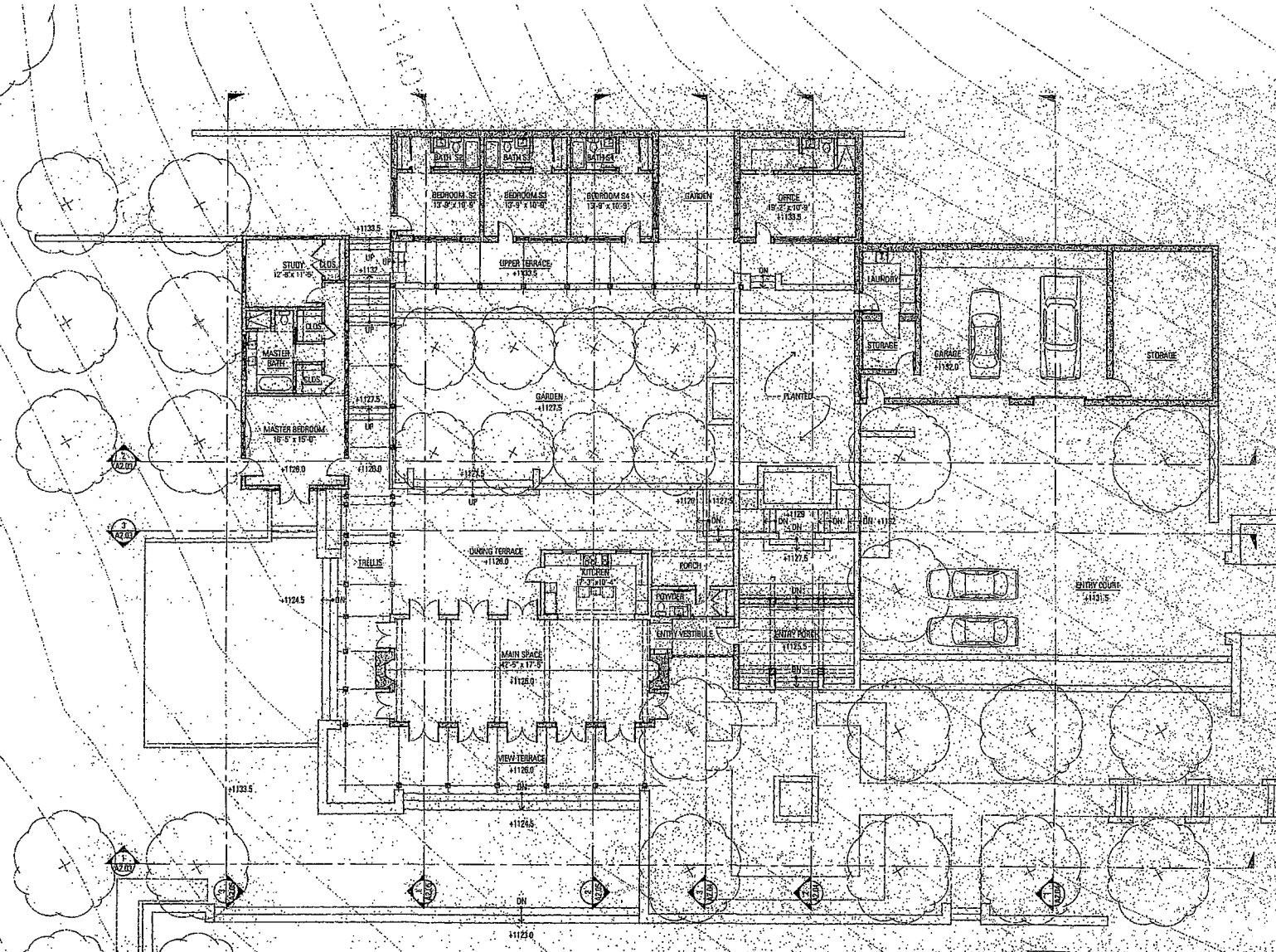
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PLANNING SUBMITTAL

A1.03

SECTION 010500 - ROOFING

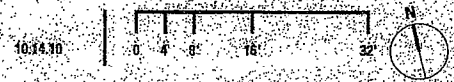
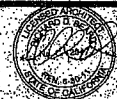


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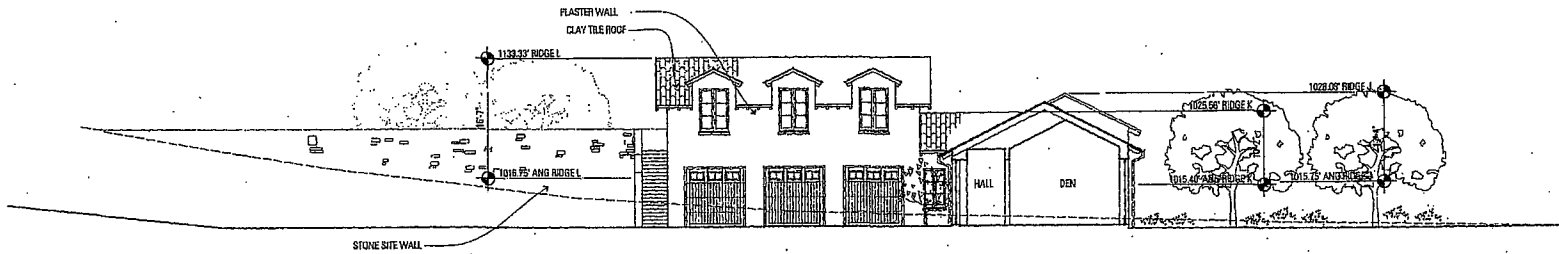
CARMEL VALLEY, CALIFORNIA

SECOND DWELLING UNIT FLOOR PLAN

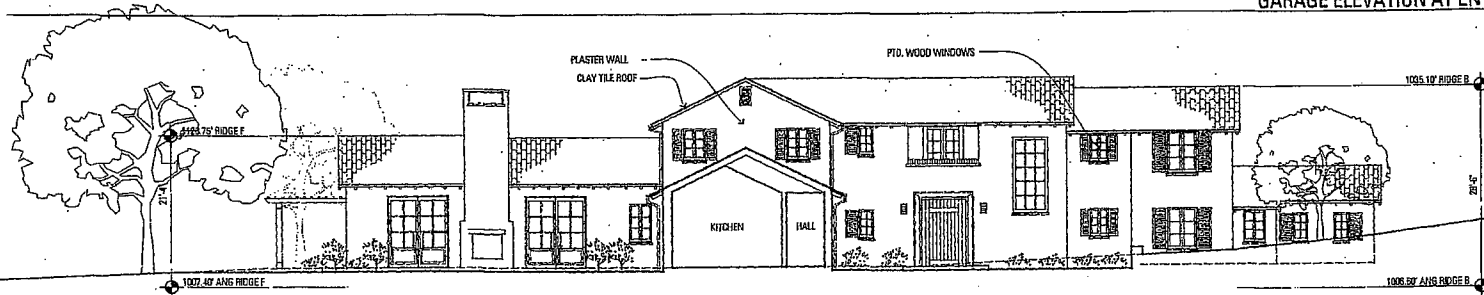
BARARCHITECTS  
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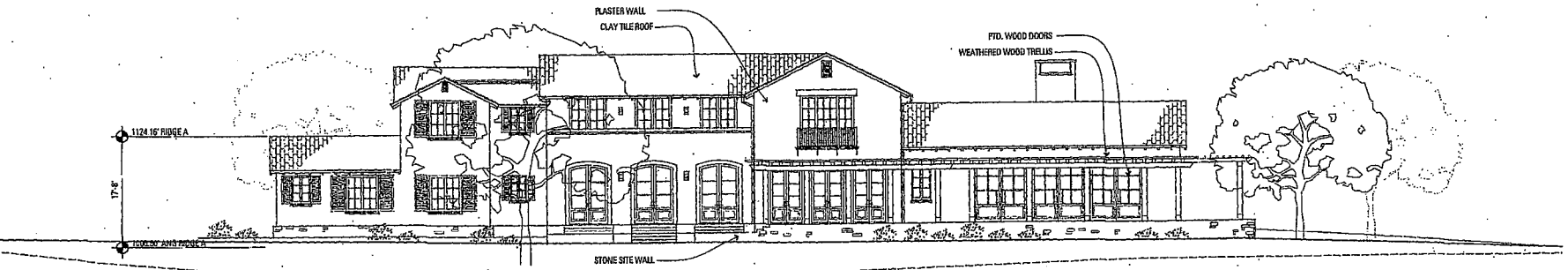
PLANNING SUBMITTAL  
**A1.04**



GARAGE ELEVATION AT ENTRY COURT 3  
1/8" = 1'-0" A2.01



ENTRY ELEVATION AT ENTRY COURT 2  
1/8" = 1'-0" A2.01



WEST ELEVATION 1  
1/8" = 1'-0" A2.01

NOTE:  
ANG = AVERAGE NATURAL GRADE

GIBSON RESIDENCE

CARMEL VALLEY, CALIFORNIA

MAIN HOUSE - ELEVATIONS/SECTIONS

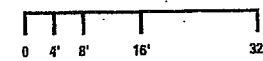
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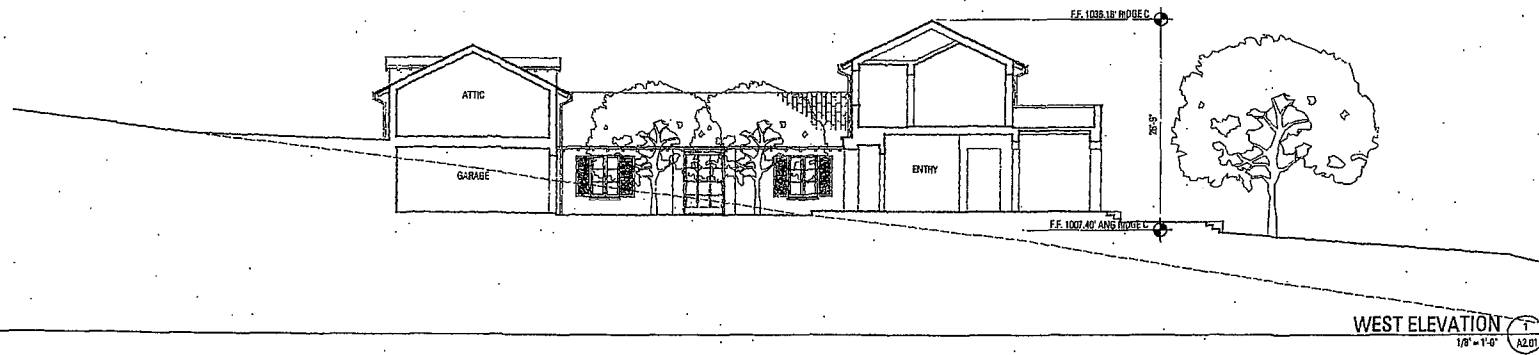
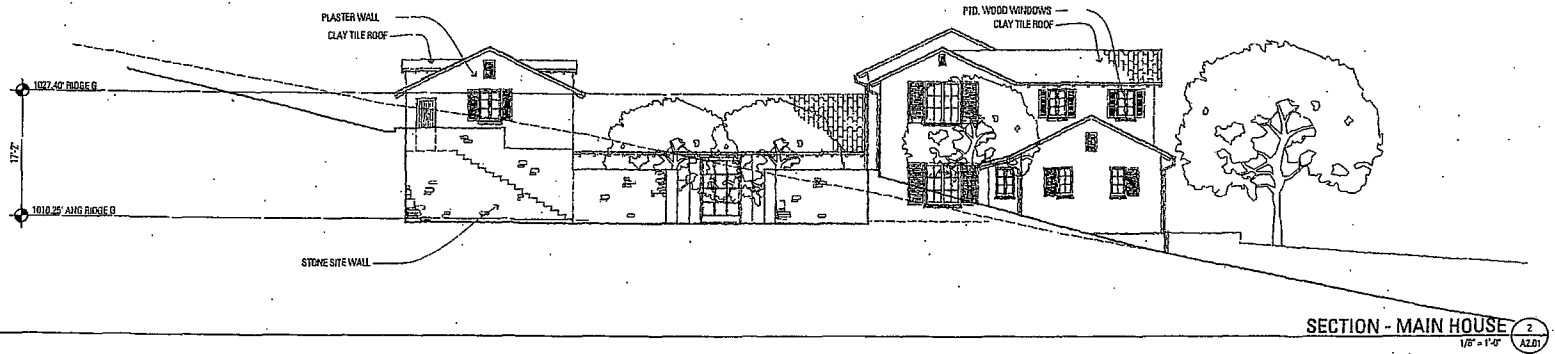
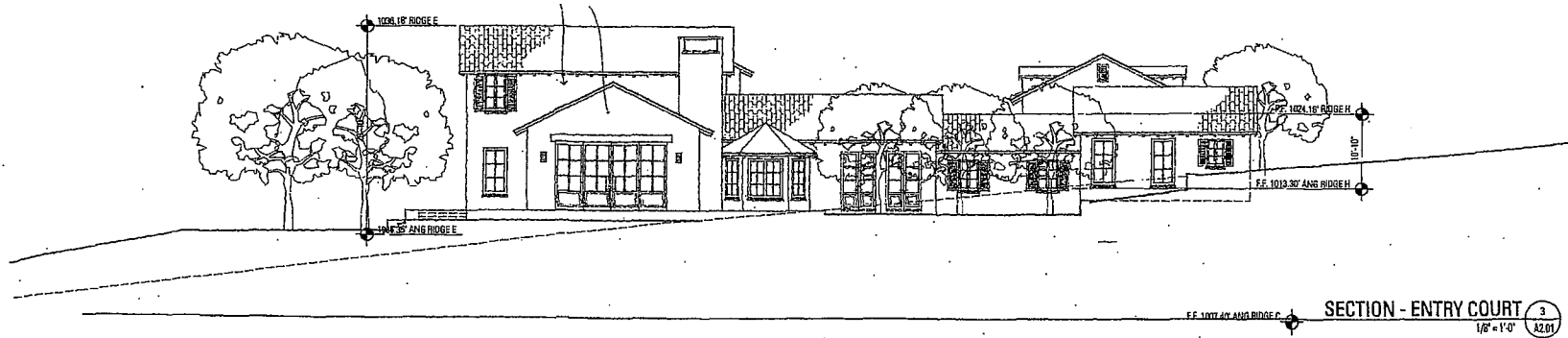
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PLANNING SUBMITTAL

A2.01





GIBSON RESIDENCE

CARMEL VALLEY, CALIFORNIA

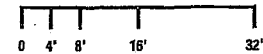
MAIN HOUSE - ELEVATIONS/SECTIONS

BARARCHITECTS

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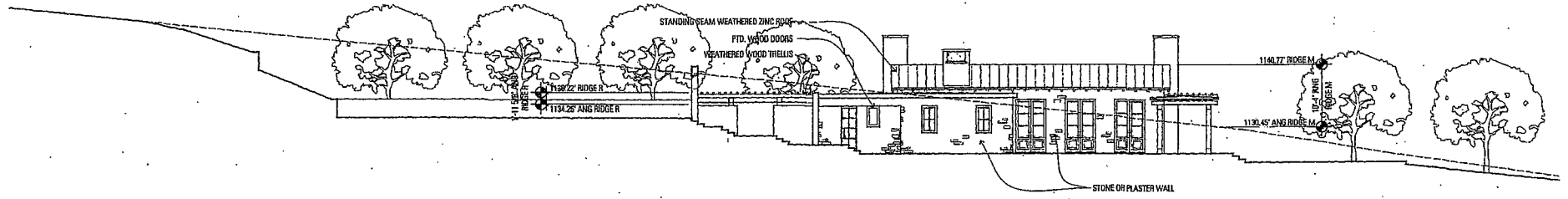


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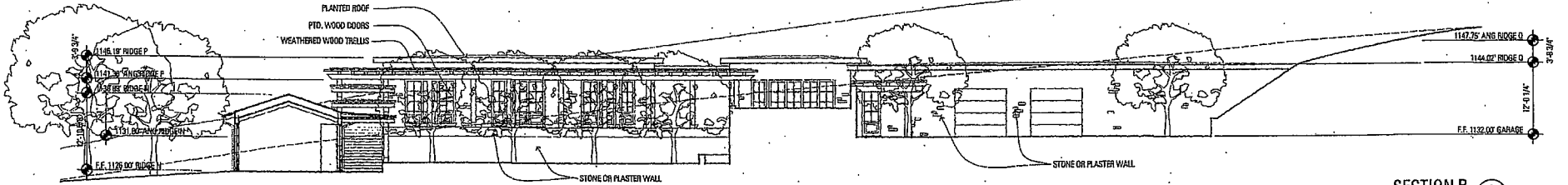


PLANNING SUBMITTAL

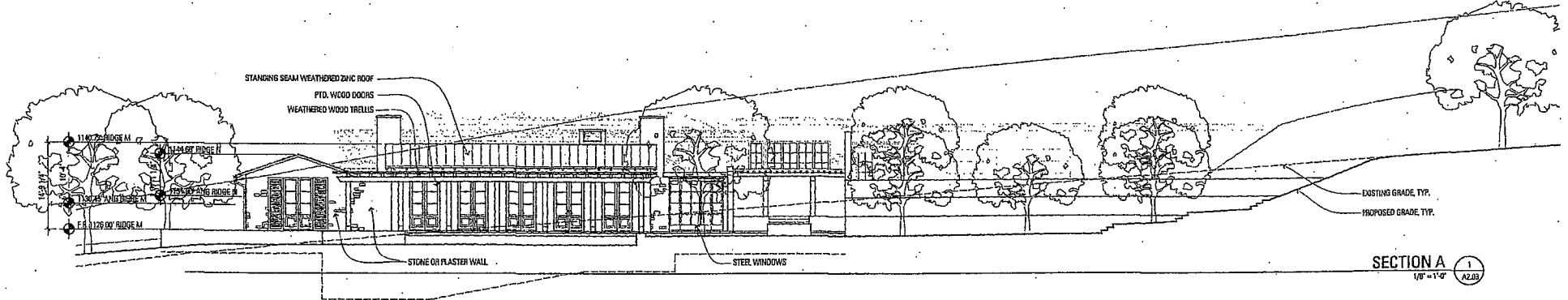
A2.02



SECTION C  
1/8" = 1'-0" A2.03



SECTION B  
1/8" = 1'-0" A2.03



SECTION A  
1/8" = 1'-0" A2.03

GIBSON RESIDENCE

CARMEL VALLEY, CALIFORNIA

SECOND DWELLING UNIT  
ELEVATIONS/ SECTIONS

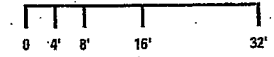
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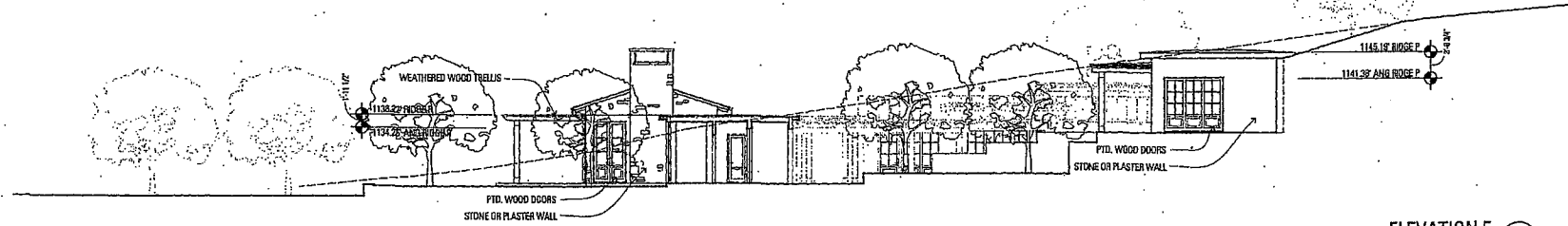
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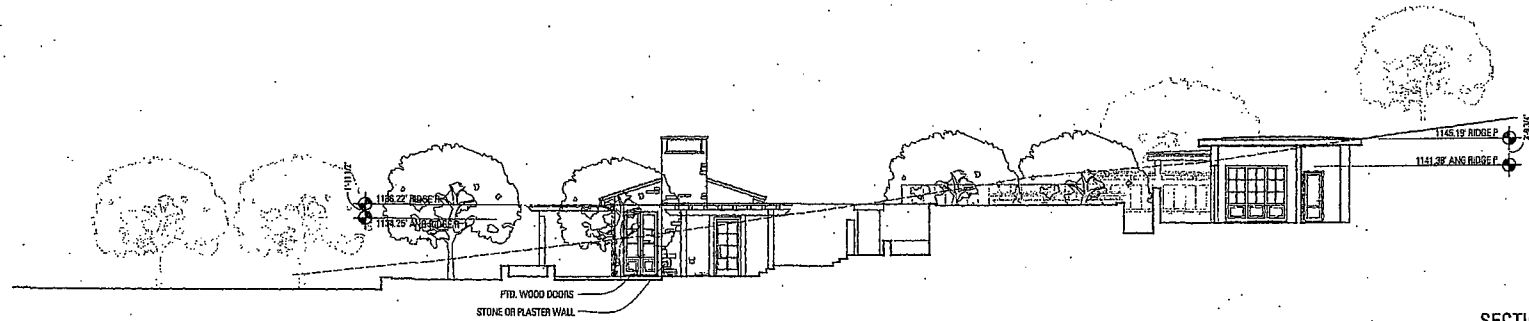
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A2.03



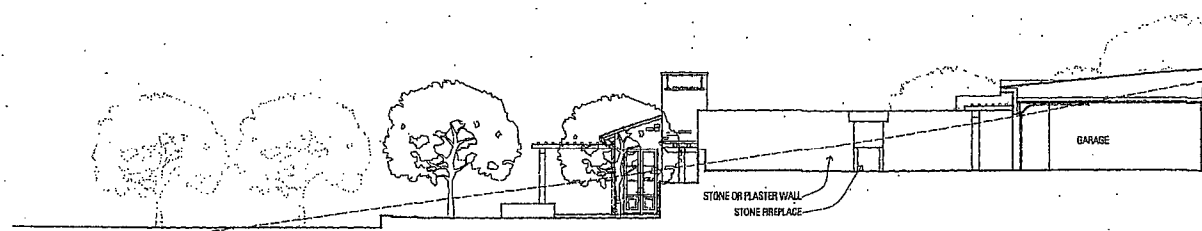
ELEVATION F  
1/8" = 1'-0"

3  
A2.04



SECTION E  
1/8" = 1'-0"

2  
A2.04



SECTION D  
1/8" = 1'-0"

1  
A2.04

GIBSON RESIDENCE

CARMEL VALLEY, CALIFORNIA

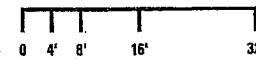
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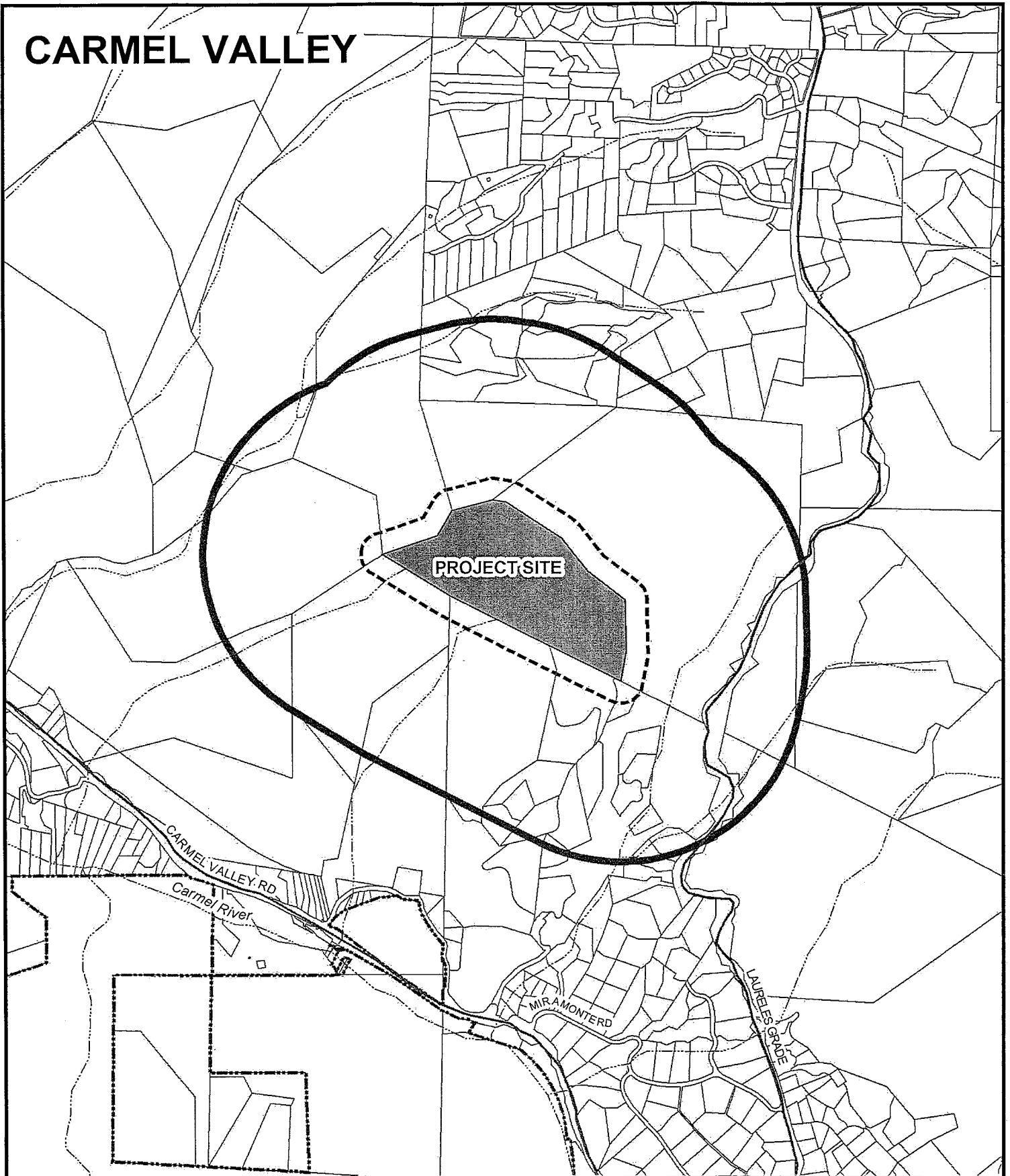
PLANNING SUBMITTAL

A2.04

SECOND DWELLING UNIT  
ELEVATIONS/ SECTIONS

# **EXHIBIT D**

# CARMEL VALLEY



APPLICANT: GIBCO PARTNERS LLC

APN: 185-052-018-000

FILE # PLN100424

Water



2500' Limit



300' Limit



City Limits

N



0 1,000  
Feet

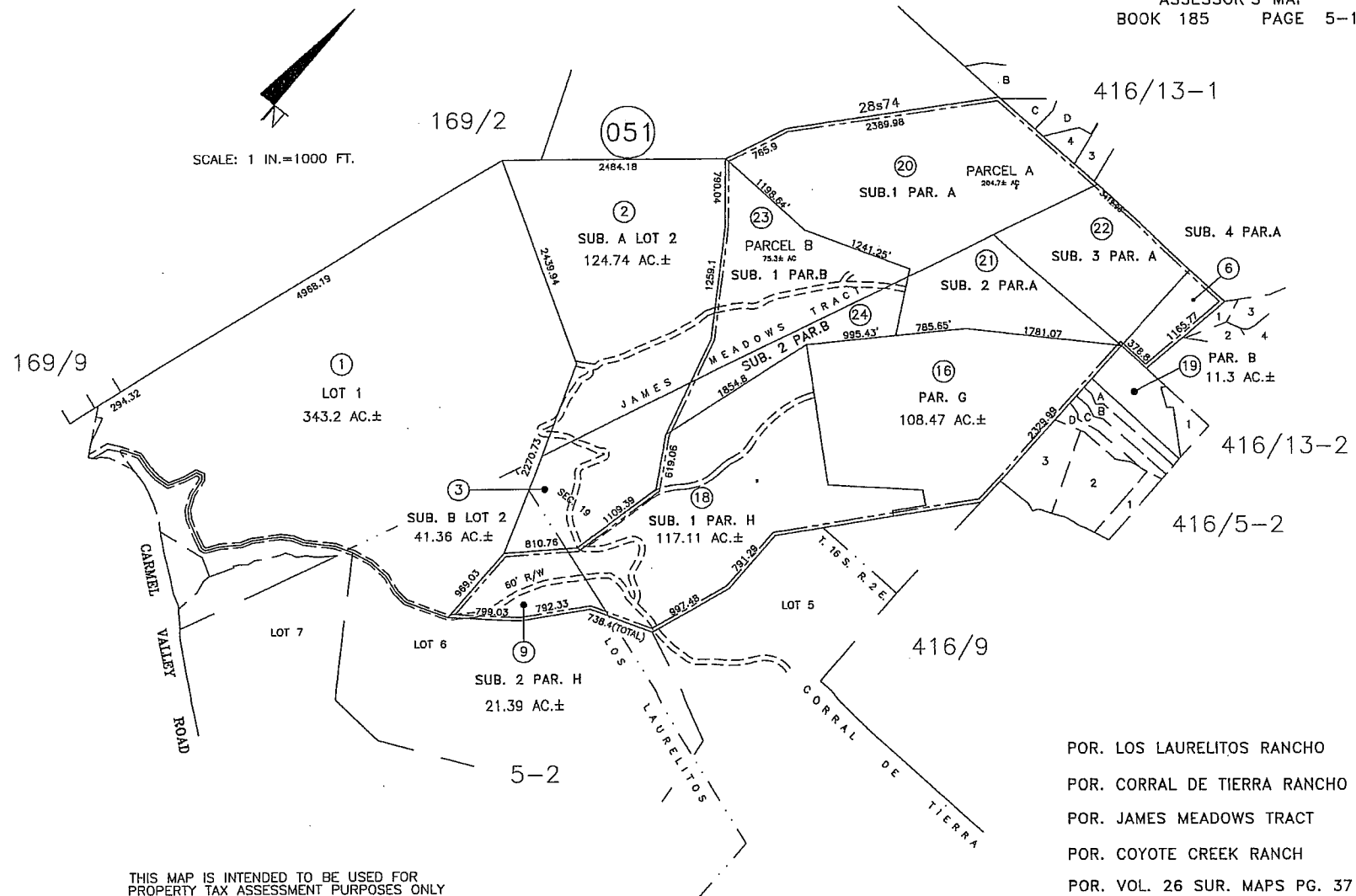


PLANNER: BRADLEY

TAX CODE AREA

COUNTY OF MONTEREY  
ASSESSOR'S MAP  
BOOK 185 PAGE 5-1

SCALE: 1 IN.=1000 FT.



THIS MAP IS INTENDED TO BE USED FOR  
PROPERTY TAX ASSESSMENT PURPOSES ONLY

POR. LOS LAURELITOS RANCHO  
POR. CORRAL DE TIERRA RANCHO  
POR. JAMES MEADOWS TRACT  
POR. COYOTE CREEK RANCH  
POR. VOL. 26 SUR. MAPS PG. 37

# **EXHIBIT E**

**MINUTES**  
**Carmel Valley Land Use Advisory Committee**  
**Monday, November 1, 2010**

1. Site visit at 4:00 PM at 9200 CARMEL VALLEY RD CARMEL (MOSES [DBA HOLLY FARM LLC])

ATTENDEES: Judy MacClelland, Doug Pease, Janet Brennan, John Anzini

2. Meeting called to order by Janet Brennan at 6:30 pm

3. Roll Call

Members Present: Doug Pease, Judy MacClelland, Janet Brennan, John Anzini, Charles Franklin  
arrived at 6:33 pm

Members Absent: Neil Agron, David Burbidge

4. Approval of Minutes:

A. August 2, 2010 minutes

Motion: Doug Pease (LUAC Member's Name)

Second: John Anzini (LUAC Member's Name)

Ayes: 4

Noes: 0

Absent: 3 (Agron, Burbidge, Franklin)

Abstain: 0



5. **Public Comments:** The Committee will receive public comment on non-agenda items that are within the purview of the Committee at this time. The length of individual presentations may be limited by the Chair.

None

6. **Scheduled Item(s)**

7. **Other Items:**

A) Preliminary Courtesy Presentations by Applicants Regarding Potential Projects

None

B) Announcements

None

8. **Meeting Adjourned:** 7:30 pm

**Minutes taken by:** Charles Franklin

Minutes received via email November 9, 2010

# Action by Land Use Advisory Committee Project Referral Sheet

Monterey County Planning Department  
168 W Alisal St 2<sup>nd</sup> Floor  
Salinas CA 93901  
(831) 755-5025

Advisory Committee: **Carmel Valley**

Please submit your recommendations for this application by: **November 1, 2010**

**Project Title:** GIBCO PARTNERS LLC

**File Number:** PLN100424

**File Type:** ZA

**Planner:** BRADLEY

**Location:** 27545 LA QUINTANA CARMEL VALLEY

**Project Description:**

Combined Development Permit consisting of: 1) a Use Permit for accessory structures and uses prior to establishment of main use or structure; 2) an Administrative Permit for the construction of a two-story 9,750 square foot single family dwelling with an attached 900 square foot three-car garage; and 3) Design Approval. The accessory uses complex will be constructed as Phase 1, the single family residence as Phase 2. Grading is approximately 2,550 total cubic yards (14,200 cut and 8,350 cubic yards of fill). The property is located at 27545 La Quintana, Carmel Valley (Assessor's Parcel Number 185-052-018-000), Carmel Valley Master Plan.

**Was the Owner/Applicant/Representative Present at Meeting?** Yes   X   No           

David Stocker, Stocker & Allaire, 375-1890

**PUBLIC COMMENT:**

Name	Site Neighbor?		Issues / Concerns (suggested changes)
	YES	NO	
None			

**LUAC AREAS OF CONCERN**

Concerns / Issues (e.g. site layout, neighborhood compatibility; visual impact, etc)	Policy/Ordinance Reference (If Known)	Suggested Changes - to address concerns (e.g. relocate; reduce height; move road access, etc)

**ADDITIONAL LUAC COMMENTS****RECOMMENDATION :**Motion by: Charles Franklin (LUAC Member's Name)Second by: Judy MacClelland (LUAC Member's Name)☒ Support Project as proposed☐ Recommend Changes (as noted above)☐ Continue the Item

Reason for Continuance: \_\_\_\_\_

Continued to what date: \_\_\_\_\_

AYES: 5NOES: 0ABSENT: 2 (Agron, Burbidge)ABSTAIN: 0