

## MONTEREY COUNTY ZONING ADMINISTRATOR

<b>Meeting:</b> June 30, 2011 <b>Time:</b> 1:30 P.M		<b>Agenda Item No.:</b> 2
<p><b>Project Description:</b> Amendment to previously approved Combined Development Permit (PLN090096) which allowed: 1) A Coastal Administrative Permit for the construction of a new 1,200 square foot two-story single family dwelling including an attached 200 square foot one-car garage; 2) A Coastal Administrative Permit to allow parking within the front setback; 3) A Coastal Development Permit to allow the removal of one 11-inch oak tree; 4) A Coastal Development Permit to allow development within 750 feet of a known archaeological resources; and 5) Design Approval. This Amendment allows a redesign of the previously approved single family dwelling within the previously approved footprint to include: reduce size of the main level to 1,095 square feet, increase size of the attached garage to 218 square feet, add a 476 square foot upper level master bedroom suite, add a 1,288 square foot habitable basement and approximately 500 cubic yards of excavation for the basement. Materials and colors to change from tan-colored cement plaster with white trim and stone wainscot and wood shake roofing to cream-colored cement plaster with light brown trim and Carmel stone veneer and multi-colored (reds &amp; browns) mission tile roofing. The property is located at 2586 Santa Lucia Avenue, Carmel (Assessor's Parcel Number 009-401-021-000), Carmel Area Land Use Plan, Coastal Zone.</p>		
<b>Project Location:</b> 2586 Santa Lucia Ave, Carmel		<b>APN:</b> 009-401-021-000
<b>Planning File Number:</b> PLN100681		<b>Owner:</b> William David and Andi L Ogden TRS <b>Agent:</b> Mandurrago & Associates
<b>Planning Area:</b> Carmel Land Use Plan		<b>Flagged and staked:</b> Yes
<b>Zoning Designation:</b> MDR/2-D (18) (CZ) [Medium Density Residential, 2 units per acre with a Design Control Overlay and an 18-foot height limit, in the Coastal Zone]		
<b>CEQA Action:</b> Exempt per CEQA Guidelines Section 15303 (a)		
<b>Department:</b> RMA - Planning Department		

**RECOMMENDATION:**

Staff recommends that the Zoning Administrator adopt a resolution (**Exhibit B**) to:

- 1) Categorically exempt the project from Environmental Review pursuant to Section 15303 (a) of the CEQA guidelines; and
- 2) Approve PLN100681, based on the findings and evidence and subject to the conditions of approval (**Exhibit C**):

**PROJECT OVERVIEW:**

The subject application is an Amendment to a previously approved Combined Development Permit, PLN090096, which allowed a 1,200 square foot one-story single family dwelling with a 200 square foot attached garage. The applicant proposes to add a 476 square foot second story master bedroom suite and a 1,288 square foot habitable basement, which will require approximately 500 cubic yards of excavation. The result will be a 1,571 square foot two-story single family dwelling with a 218 square foot attached garage and a 1,288 square foot habitable basement. The previously approved permit also included a Coastal Administrative Permit to allow parking within the front setback, a Coastal Development Permit to allow the removal of one protected oak tree and a Coastal Development Permit to allow development within 750 feet of a known archaeological resource.

Because the amended project includes the addition of a second story and a basement and may have impacts that were not already assessed in the original permit action, this Amendment has been deemed to be of other than minor and trivial in nature. In accordance with zoning

regulations, this Amendment is therefore being referred to the Zoning Administrator as the decision making body of the original permit.

**OTHER AGENCY INVOLVEMENT:** The following agencies and departments reviewed this project:

- √ RMA - Public Works Department  
Environmental Health Bureau
- √ Water Resources Agency
- √ Cypress Community Fire Protection District  
California Coastal Commission

Agencies that submitted comments are noted with a check mark ("√"). Conditions recommended by Cypress Community Fire Protection District, RMA - Public Works Department and Water Resources Agency have been incorporated into the Condition Compliance/Mitigation Monitoring and Reporting Plan attached as Exhibit 1 to the draft resolution (**Exhibit C**).

On March 21, 2011 the Carmel Highlands/Unincorporated Land Use Advisory Committee (LUAC) considered the Ogden application (PLN100681) and recommended approval of the project by a vote of 5-0. The LUAC expressed concern regarding the color of the proposed house, the ease of use of the small garage for storage of landscaping equipment and a vehicle, location of trash receptacles, front façade of the house should be continuously carried over to the left and right elevations, and parking within the front setback. Ultimately, the LUAC recommended approval with the condition that the façade design be consistently carried over to the left and right side of the home and planner to evaluate the parking in the setback.

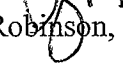
Note: The decision on this project is appealable to the Board of Supervisors and the Coastal Commission.

  
/S/ Valerie Negrete

Valerie Negrete, Assistant Planner (for Delinda Robinson, Senior Planner)  
(831) 755-5227, negretev@co.monterey.ca.us  
June 22, 2011

cc: Front Counter Copy; Zoning Administrator; Cypress Community Fire Protection District; Public Works Department; Parks Department; Environmental Health Bureau; Water Resources Agency; California Coastal Commission; Taven Kinison Brown, Planning Services Manager; Valerie Negrete, Project Planner; Delinda Robinson, Project Planner; Carol Allen, Senior Secretary; William David and Andi L. Ogden TRS, Owner; Mandurrago and Associates, Agent; Planning File PLN100681.

Attachments: Exhibit A Project Data Sheet  
Exhibit B Project Discussion  
Exhibit C Draft Resolution, including:  
1. Conditions of Approval  
2. Site Plan, Floor Plan and Elevations  
Exhibit D Vicinity Map  
Exhibit E Advisory Committee Minutes (LUAC)

This report was reviewed by Delinda Robinson, Senior Planner  
Ogden (PLN100681)  Page 2

<b>Exhibit A</b> <b>Project Information for Ogden (PLN100681)</b>
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<b>Project Title:</b> William David and Andi L Ogden TRS	<b>Primary APN:</b> 009-401-021-000
<b>Location:</b> 2586 Santa Lucia Avenue, Carmel	<b>Coastal Zone:</b> Coastal Zone
<b>Applicable Plan:</b> Carmel Area Land Use Plan	<b>Zoning:</b> MDR/2-D (18) (CZ)
<b>Permit Type:</b> Amendment	<b>Plan Designation:</b> Residential
<b>Environmental Status:</b> Exempt 15303 (a)	<b>Final Action Deadline:</b> 07/06/2011
<b>Advisory Committee:</b> Carmel Unincorporated /Highlands LUAC	

**Project Site Data:**

<b>Lot Size:</b> 4,000 SF	<b>Coverage Allowed:</b> 35%
	<b>Coverage Proposed:</b> 33.22%
<b>Existing Structures (sf):</b> 0	<b>Height Allowed:</b> 18'
<b>Proposed Structures (sf):</b> 1,789 sq ft	<b>Height Proposed:</b> 18'
<b>Proposed Basement (sf):</b> 1,288 sq ft	
<b>Total Square Feet:</b> 3,077 sq ft	<b>FAR Allowed:</b> 45%
	<b>FAR Proposed:</b> 44.73%

**Resource Zones and Reports**

<b>Environmentally Sensitive Habitat:</b> No	<b>Erosion Hazard Zone:</b> III
<b>Botanical Report #:</b> N/A	<b>Soils/Geo. Report #:</b> N/A
<b>Forest Mgt. Report #:</b> LIB090428	<b>Geologic Hazard Zone:</b> III
	<b>Geologic Report #:</b> LIB110082
<b>Archaeological Sensitivity Zone:</b> High	
<b>Archaeological Report #:</b> LIB090249	<b>Traffic Report #:</b> N/A, SFD
<b>Fire Hazard Zone:</b> Urban	

**Other Information:**

<b>Water Source:</b> Public	<b>Sewage Disposal (method):</b> Sewer
<b>Water District/Company:</b> Cal-Am	<b>Sewer District Name:</b> CAWD
<b>Fire District:</b> Cypress FPD	<b>Grading (cubic yds):</b> 480 cubic yards
<b>Tree Removal (Count/Type):</b> One 11" oak	

## **EXHIBIT B**

### **PROJECT DISCUSSION**

#### **Project Overview**

The property is located at 2586 Santa Lucia Avenue, Carmel (Assessor's Parcel Number 009-401-021-000) located within the Carmel Area Land Use Plan. The site is located just outside the boundaries of the city of Carmel on Santa Lucia Avenue and is surrounded by residential structures and uses. The property was approved for a 1,200 square foot single family dwelling with a 200 square foot attached garage (Planning File No. PLN090096) and the subject request is an amendment to the previous approval. The new project will include a two-story residence with a 1,095 square foot main level, a 218 square foot attached garage, the addition of a 476 square foot second story master bedroom and the addition of a 1,288 square foot basement, which will require excavation of approximately 500 cubic yards of soil, for a new total square footage of 3,077 square feet.

#### **Previously Approved Project Entitlements**

The previously approved project (PLN090096) included a Coastal Administrative Permit and Design Approval to allow the construction of a one-story single family dwelling with an attached garage, a Coastal Administrative Permit to allow parking within the front setback, a Coastal Development Permit to allow the removal of one protected oak tree and a Coastal Development Permit to allow development within 750 feet of a known archaeological resource. Located in a Medium Density Residential zoning district within the Carmel Area Land Use Plan, a Coastal Administrative Permit and Design Approval are required for the development of a single-family residence.

The site is located within 750 feet of a known archeological resource and requires a Coastal Development Permit. An archaeological report prepared for the original application, PLN090069, found that no evidence of significant resources were at the site. A supplemental report prepared by Basin Research Associates for the revised project concluded that the new design would not impact significant resources and that the project is not likely to have impacts on prehistoric cultural resources. As recommended by Basin Research Associates, the standard condition requiring that work be stopped and evaluated in the event that significant cultural resources are discovered during construction is incorporated into **Exhibit 1** as Condition No. 3

A Coastal Administrative Permit to allow parking within the front setback to count toward the required number of parking spaces pursuant to Section 20.58.060.E (Title 20) was included in the original Combined Development Permit. With the parking entitlement, the project will provide two off street parking spaces including one covered space. Because of the size of the lot (40 feet by 100 feet), and considering the proposed design and appearance of the site from the street, allowing one parking space within the front setback is appropriate in this case. No change to the location of the garage or uncovered parking space is proposed as part of the amended project.

A Coastal Development Permit for the removal of one Oak tree was included in the original Combined Development Permit. As with the previous approval, PLN090096, the proposal will involve the removal of one Oak tree to accommodate construction of the new house. The tree was previously analyzed in a report prepared by Frank Ono dated April 22, 2009 and the report concluded that there are no significant affects associated with removal of the oak tree. As a condition of approval, one 15 gallon coast live oak will be planted on the property.

## **Amendment**

The applicant now requests approval of an Amendment to allow a redesign of the previously approved single family dwelling within the previously approved footprint to include: reduce size of the main level to 1,095 square feet, increase size of the attached garage to 218 square feet, add a 476 square foot upper level master bedroom suite, add a 1,288 square foot habitable basement and approximately 500 cubic yards of excavation for the basement. The materials and colors to change from tan-colored cement plaster with white trim and stone wainscot and wood shake roofing to cream-colored cement plaster with light brown trim and Carmel stone veneer and multi-colored (reds & browns) mission tile roofing. Potential impacts from the additional excavation required for the construction of the basement and visual impacts associated with the construction of the second story were identified and evaluated by staff during the course of review of the Amendment. An updated Geologic and Soil Engineering Report prepared for the amended project concluded that the project is suitable from a geologic and soil engineering standpoint, provided that the conclusions contained in the original geologic report and supplemental letter are implemented in design and construction. Condition No. 7 has been modified to include the requirement that a notice be recorded that all development shall be in accordance with these reports. An updated Archaeological report prepared for the amended project concluded, based on the absence of recorded or reported archaeological sites in or adjacent to the project parcel and negative findings of the auguring program previously conducted on the parcel, that the project is not likely to impact archaeological resources. As recommended by the project archaeologist, the standard condition requiring work to stop and consultation with appropriate professionals to occur if archaeological resources are discovered during the course of construction is incorporated into **Exhibit 1** (Condition No. 3). As discussed below, the LUAC recommended approval of the project, including the second story addition.

## **LUAC Meeting**

On March 21, 2011 the Carmel Highlands Land Use Advisory Committee (LUAC) considered the Ogden application (PLN100681) amendment and recommended approval of the project by a vote of 5-0. The LUAC expressed concerns about the ease of use of the small garage for storage of landscaping equipment and a vehicle, parking within the front setback, location of trash receptacles; and that the front facade of the house be continuously carried over to the left and right elevations. Staff has added a condition that the exterior pattern of the dwelling, specifically the west elevation, be consistently carried throughout the dwelling. The applicant will submit an elevation plan showing the design carried over and integrated. Staff has analyzed parking in the front setback, however in this case given the size of the lot and in order to reduce hardscaping on the lot staff continues to support parking in the location proposed.

## **Conclusion**

As designed and conditioned the project was found to be categorically exempt from CEQA review pursuant to section 15303 (a) of the CEQA Guidelines which exempts construction of single family residences in urbanized areas subject to exceptions listed in 15300.2. Staff has determined that no potentially significant impacts are likely to occur as a result of the proposed development and that a categorical exemption can be used in this case. The project was found to be consistent with the 1982 Monterey County General Plan, the Carmel Area Land Use Plan, the Carmel Area Coastal Implementation Plan, and the Monterey County Zoning Ordinance (Title 20).

**EXHIBIT C  
DRAFT RESOLUTION**

**Before the Zoning Administrator in and for the  
County of Monterey, State of California**

In the matter of the application of:

William David and Andi L Ogden TRS (PLN100681)

**RESOLUTION NO. ----**

Resolution by the Monterey County Zoning  
Administrator:

- 1) Categorically exempt the project from Environmental Review pursuant to Section 15303 (a) of the CEQA guidelines; and
- 2) Approving an Amendment (PLN100681) to previously approved Combined Development Permit (PLN090096) which allows: 1) A Coastal Administrative Permit for the construction of a new 1,571 square foot two-story single family dwelling with an attached 218 square foot one-car garage, a 1,288 square foot habitable basement and approximately 500 cubic yards of grading; 2) A Coastal Administrative Permit to allow parking within the front setback; 3) A Coastal Development Permit to allow the removal of one 11-inch oak tree; 4) A Coastal Development Permit to allow development within 750 feet of known archaeological resources; and 5) Design Approval. Materials and colors to consist of: cream-colored cement plaster with light brown trim and Carmel stone veneer and multi-colored (reds & browns) mission tile roofing.

[PLN100681, William David and Andi L Ogden TRS, 2586 Santa Lucia Ave, Carmel, Carmel Area Plan (APN: 009-401-021-000)]

**The Ogden application (PLN100681) came on for public hearing before the Monterey County Zoning Administrator on June 30, 2011. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:**

**FINDINGS**

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.  
**EVIDENCE:** a) During the course of review of this application, the project has been

reviewed for consistency with the text, policies, and regulations in:

- the 1982 Monterey County General Plan;
- Carmel Area Land Use Plan;
- Monterey County Coastal Implementation Plan Part 4;
- Monterey County Zoning Ordinance (Title 20);

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) The property is located at 2586 Santa Lucia Avenue, Carmel (Assessor's Parcel Number 009-401-021-000), Carmel Area Land Use Plan. The parcel is zoned MDR/2.5-D (18') (CZ), which allows the construction of single-family dwellings. Therefore, the project is an allowed land use for this site.
- c) The development standards for this property will be met pursuant to Section 20.12.060 of Title 20 development standards. The proposed lot coverage will be at 34% whereas the district maximum is 35%, and the floor area ratio will be maximized at 44.8% whereas the district allows 45%. The zoning for the property requires an 18-foot height limit and the proposed dwelling will be set at 18 feet from average natural grade.
- d) The proposed amendment will include a 1,288 square foot basement which will require approximately 500 cubic yards of cut. An updated geological and soils report was prepared by Landset dated February 18, 2011 (LIB110082) to evaluate the basement and foundation. The report found the site to be suitable from a geologic and soil engineering standpoint subject to the recommended conditions of the report.
- e) The subject permit is an amendment to a previously approved permit, Planning File Number PLN090096, which allowed a 1,200 square foot one-story single-family residence with an attached 200 square foot garage. This Amendment allows a redesign of the previously approved single family dwelling within the previously approved footprint to include: reduce size of the main level to 1,095 square feet, increase size of the attached garage to 218 square feet, add a 476 square foot upper level master bedroom suite, add a 1,288 square foot habitable basement and approximately 500 cubic yards of excavation for the basement. Materials and colors to change from tan-colored cement plaster with white trim and stone wainscot and wood shake roofing to cream-colored cement plaster with light brown trim and Carmel stone veneer and multi-colored (reds & browns) mission tile roofing.
- f) Section 20.44.010 (Design Control District) of Title 20 requires Design Approval to assure protection of the public viewshed and neighborhood character. The location, size, material and colors proposed for the single family dwelling have been reviewed by staff and the Carmel Highlands LUAC and were found to be consistent with Key Policy 2.2.2 of the Carmel Area Land Use Plan. The home is proposed to have roofing of Clay Two-Piece Mission Tile, siding of Carmel Stone with body colors of Benjamin Moore HC27 (beige) and trim of Benjamin Moore 1042 (light caramel brown). The colors and materials will match the neighborhood surroundings.
- g) The subject property is located within a high archeological sensitivity zone and is within 750 feet of a mapped resource. Pursuant to the requirements of the Carmel Area Coastal Implementation Plan Section

20.146.090A and B, a Coastal Development Permit is required along with submittal of an archeological report (See Finding No. 2, Evidence b).

- h) The applicant proposes to construct a 218 square foot attached garage. However, due to the lot size and placement of the structure, an additional uncovered parking space is proposed within the driveway. Pursuant to Section 20.58.060.E of Title 20, a Coastal Administrative Permit would be required to allow the uncovered parking space within the front setback. The parking standards not only alleviate street parking constraints, dangers, and frustration, but it also helps maintain the uncluttered space around homes. In this case allowing parking in the front setback can be justified due to the size and development limitations at the site. One Oak tree is proposed for removal to accommodate construction of the new house. The recommendations of the previous approval for re-planting of this oak at a one-to one ratio will be implemented for this project.
- i) The project planner conducted a site inspection on May 23, 2011 to verify that the project on the subject parcel conforms to the plans listed above.
- j) The project was referred to the Carmel Highlands Land Use Advisory Committee (LUAC) for review, because it involves a Design Approval which requires a public hearing by the Zoning Administrator. On March 21, 2011 the Carmel Highlands Land Use Advisory Committee (LUAC) recommended approval of the project amendments by a vote of 5-0. The applicant will submit an elevation plan showing the front façade will be carried over to the remaining elevation of the home (west).
- k) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN100681.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

**EVIDENCE:** a) The project has been reviewed for site suitability by the following departments and agencies: RMA - Planning Department, Cypress Community Fire Protection District, Public Works, Environmental Health Bureau, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.

- b) Staff identified potential impacts to Archaeological Resources and Geological resources. Technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff independently reviewed these reports and concurs with their conclusions. The following reports have been prepared:

*“Geologic and Soil Engineering Report” (LIB110082)  
prepared by Landset, Salinas, CA, September 2009.*

*“Updated Geologic and Soil Engineering Report”  
(LIB110090) prepared by Landset, Salinas, CA, February 18,*



2011.

*"Arborist Report" (LIB090248) prepared by Frank Ono, Pacific Grove, CA, April 22, 2009.*

*"Archeological Report and Updated Archeological Assessment" (LIB090249) prepared by Basin Research Associates, San Leandro, Ca, March 26, 2006 and March 20, 2011.*

- c) Consistent with Section 20.146.090.B.1 of the Coastal Implementation Plan, an archaeological report was submitted for the original project and an updated report was submitted for the amended project. The original report, including hand-auguring results, indicates that there is no evidence of significant resources at the site and that the project is not likely to have impacts on prehistoric cultural resources. The updated report concludes that the recommendations for the original project are still appropriate. As recommended by the project archaeologist, the standard condition requiring work to stop and consultation with appropriate professionals to occur if archaeological resources are discovered during the course of construction is incorporated into **Exhibit 1** (Condition No. 3).
- d) Staff conducted a site inspection on May 23, 2011 to verify that the site is suitable for this use.
- e) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN100681.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by the RMA - Planning Department, Cypress Community Fire Protection District, Public Works, Environmental Health Bureau, and Water Resources Agency. The respective departments/agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
  - b) Necessary public facilities are available. Necessary public facilities are available including public water from Cal-Am, public sewer serviced by the Carmel Area Wastewater District, and utilities from Pacific Gas & Electric.
  - c) Preceding findings and supporting evidence for PLN100681.

4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

- EVIDENCE:** a) Staff reviewed Monterey County RMA - Planning Department and

Building Services Department records and is not aware of any violations existing on subject property.

- b) Staff conducted a site inspection on May 23, 2011 and researched County records to assess if any violation exists on the subject property.
- c) There are no known violations on the subject parcel.
- d) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN100681.

5. **FINDING: CEQA (Exempt):** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303 (a), categorically exempts the construction of single family dwellings in urbanized areas.
  - b) The proposed project physically includes construction of one new single family dwelling on a legal lot of record and removal of one 11-inch oak tree. As designed and conditioned the project will not have potentially significant effects on the environment.
  - c) An archeological report was prepared and concluded that no sensitive resources would be impacted as a result of the proposed amendments.
  - d) No significant resources have been identified during the review of the amendment. Removal of the one tree is not significant in this case because the 4,000 square foot lot is an isolated patch of mixed native and non-native vegetation with little to no habitat value.
  - e) No adverse environmental effects were identified during staff review of the development application during a site visit on May 23, 2011.
  - f) See preceding and following findings and supporting evidence.

6. **FINDING: PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

- EVIDENCE:**
- a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.70.050.B.4.c of the Monterey County Coastal Implementation Plan can be demonstrated.
  - b) The subject property is not described as an area where the Local Coastal Program requires public access (Figure 3 in the Carmel Land Use Plan).
  - c) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
  - d) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN100681.
  - e) The project planner conducted a site inspection on May 23, 2011.

7. **FINDING: TREE REMOVAL** –The subject project minimizes tree removal in accordance with the applicable goals and policies of the applicable land use plan and the Coastal Implementation Plan.

- EVIDENCE:**
- a) The project includes application for the removal of one 11-inch Coast Live Oak tree. In accordance with the applicable policies of the Carmel Land Use Plan and the Monterey County Zoning Ordinance (Title 20), a Coastal Development is required and the authority to grant said permit has been met.
  - b) Removal of the tree is consistent with the Carmel Land Use Plan policies contained in Section 2.5 and the policies of the Coastal Implementation Plan (Part 4), Section 20.146.060. The one tree proposed for removal is the minimum required for the proposed development (20.146.060.D.3). The tree is not located in the viewshed and is not visually significant or exemplary of its species (20.146.060.D.1). There is little to no forest association or associated habitat relative to the individual tree (20.146.060.D.5).
  - c) Forest Management Plan (FMP) and supplemental reports were prepared by Frank Ono dated April 22, 2009 (LIB090248). The FMP indicates that the tree is in poor condition and that removal of the tree is not likely to cause any long-term affects to forest resources.
  - d) Measures for protection of the one other native tree at the site (18-inch Monterey Pine) during construction have been incorporated as conditions and include tree protection zones, trunk protection, hand excavation and bridging roots.
  - e) Measures for tree protection during construction have been incorporated as conditions of approval and include tree protection zones, trunk protection, hand excavation and bridging roots.
  - f) Staff conducted a site inspection on May 23, 2011 to verify that the tree removal is the minimum necessary for the project and to identify any potential adverse environmental impacts related to the proposed tree removal.
  - g) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN100681.

8. **FINDING:** **AMENDMENT** – The County has received and processed an application for an Amendment to PLN090096 pursuant to Section 20.70.105.B.

- EVIDENCE:**
- a) An application for an Amendment was submitted on February 28, 2011.
  - b) On July 9, 2009 the Zoning Administrator approved PLN090096 to allow: 1) A Coastal Administrative Permit for the construction of a new 1,200 square foot two-story single family dwelling including an attached 200 square foot one-car garage; 2) A Coastal Administrative Permit to allow parking within the front setback; 3) A Coastal Development Permit to allow the removal of one 11-inch oak tree; 4) A Coastal Development Permit to allow development within 750 feet of a known archaeological resources; and 5) Design Approval.
  - c) The proposed Amendment will allow a redesign of the previously approved single family dwelling within the previously approved footprint to include: reduce size of the main level to 1,095 square feet, increase size of the attached garage to 218 square feet, add a 476 square foot upper level master bedroom suite, add a 1,288 square foot habitable basement and approximately 500 cubic yards of excavation for the basement. Materials and colors to change from tan-colored cement plaster with white trim and stone wainscot and wood shake roofing to

cream-colored cement plaster with light brown trim and Carmel stone veneer and multi-colored (reds & browns) mission tile roofing.

- d) All of the conditions of approval for PLN090096 have been incorporated into **Exhibit 1**.
- e) Two new conditions of approval have been incorporated into **Exhibit 1**. Condition No. 8, a non-standard condition requiring that the stone facade on the front of the building be carried around to the side elevations is required as recommended by the LUAC. The standard condition requiring height verification is incorporated as Condition No. 11 to ensure that the project does not exceed the approved height.
- f) One condition (No. 7) has been modified to require the recordation of a notice that all development on the parcel is to be in conformance with the recommendations of the Geologic and Soil Engineering reports prepared for the project.
- g) Once approved, this will become the operating permit for the project. The amended Combined Development Permit allows: 1) A Coastal Administrative Permit for the construction of a new 1,571 square foot two-story single family dwelling with an attached 218 square foot one-car garage, a 1,288 square foot habitable basement and approximately 500 cubic yards of grading; 2) A Coastal Administrative Permit to allow parking within the front setback; 3) A Coastal Development Permit to allow the removal of one 11-inch oak tree; 4) A Coastal Development Permit to allow development within 750 feet of known archaeological resources; and 5) Design Approval. Materials and colors to consist of: cream-colored cement plaster with light brown trim and Carmel stone veneer and multi-colored (reds & browns) mission tile roofing.

9. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission
- EVIDENCE:** h) Section 20.86.030 Monterey County Zoning Ordinance (Board of Supervisors).
- i) Section 20.86.080 Monterey County Zoning Ordinance (Coastal Commission). The project is subject to appeal by/to the California Coastal Commission because the project includes a conditional use (Coastal Development Permit) for development within 750 feet of known archaeological resources and tree removal.

### **DECISION**

**NOW, THEREFORE**, based on the above findings and evidence, the Zoning Administrator does hereby:

- A. Categorically exempt the project from Environmental Review pursuant to Section 15303 (a) and 15303 (e) of the CEQA guidelines; and
- B. Approve an Amendment (PLN100681) to previously approved Combined Development Permit (PLN090096) which includes: 1) A Coastal Administrative Permit for the construction of a new 1,571 square foot two-story single family dwelling with an attached 218 square foot one-car garage, a 1,288 square foot habitable basement and approximately 500 cubic yards of grading; 2) A Coastal Administrative Permit to allow parking within the front setback; 3) A Coastal Development Permit to allow the removal of one 11-inch oak tree; 4) A Coastal

Development Permit to allow development within 750 feet of known archaeological resources; and 5) Design Approval. Materials and colors to consist of: cream-colored cement plaster with light brown trim and Carmel stone veneer and multi-colored (reds & browns) mission tile roofing in general conformance with the attached sketch **(Exhibit 2)** and subject to the conditions **(Exhibit 1)**, both exhibits being attached hereto and incorporated herein by reference.

**PASSED AND ADOPTED** this 30th day of June, 2011 by:

---

Mike Novo, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE [DATE]

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning Department and Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

**Monterey County Planning Department  
DRAFT Conditions of Approval/Mitigation Monitoring Reporting Plan**

PLN100681

Responsible Department: Planning  
Compliance or Monitoring Actions to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

**Conditions of Approval and/or Mitigation Monitoring Measures**

**1. PD001 - SPECIFIC USES ONLY**

This Amendment (PLN100681) to previously approved Combined Development Permit (PLN0900096) which includes: 1) A Coastal Administrative Permit for the construction of a new 1,571 square foot two-story single family dwelling with an attached 218 square foot one-car garage, a 1,288 square foot habitable basement and approximately 500 cubic yards of grading; 2) A Coastal Administrative Permit to allow parking within the front setback; 3) A Coastal Development Permit to allow the removal of one 11-inch oak tree; 4) A Coastal Development Permit to allow development within 750 feet of known archaeological resources; and 5) Design Approval. Materials and colors to consist of: cream-colored cement plaster with light brown trim and Carmel stone veneer and multi-colored (reds & browns) mission tile roofing was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of the RMA - Planning Department. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning Department)amended Combi

**2. PD002 - NOTICE PERMIT APPROVAL**

Conditions of Approval and/or Mitigation Monitoring Measures

The applicant shall record a Permit Approval Notice, which states "A Permit, Resolution Number \_\_\_\_\_, was approved by the Zoning Administrator for Assessor's Parcel Number 009-401-021-000 on June 30, 2011. The permit was granted subject to 19 conditions of approval which run with the land." A copy of the permit is on file with the Monterey County RMA - Planning Department.  
 Proof of recordation of this notice shall be furnished to the Director of the RMA - Planning Department prior to issuance of building permits or commencement of the use.  
 (RMA - Planning Department)

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. The Monterey County RMA - Planning Department and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.  
 (RMA - Planning Department)

Planning

The Owner/Applicant shall adhere to this condition on an on-going basis. Stop work within 50 meters (165 feet) of uncovered resource and contact the Monterey County RMA - Planning Department and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD011 - TREE AND ROOT PROTECTION

Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of RMA - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits.  
 (RMA - Planning Department)

Planning

Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to the RMA - Planning Department for review and approval.  
 During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to the RMA-Planning Department after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

5. PD012(D) - LANDSCAPE PLAN & MAINTENANCE (MPWMD-SFD ONLY)

**Compliance or Monitoring  
Actions to be Performed**

**Responsible  
Department**

The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of the RMA - Planning Department. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County RMA - Planning Department. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (RMA - Planning Department)

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to the RMA - Planning Department for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit one (1) set landscape plans of approved by the RMA-Planning Department, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey County Water Resources Agency for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit the RMA-Planning Department approved landscape plans, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey Peninsula Water Management District for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/ shall submit an approved water permit from the MPWMD to the RMA-Building Services Department.

**Conditions of Approval and/or Mitigation Monitoring Measures**



Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County RMA - Planning Department.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to the RMA - Planning Department for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to occupancy and on an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

Prior to the issuance of grading and building permits, the Owner/Applicant shall submit proof of recordation of this notice to the RMA - Planning Department.

Prior to occupancy, the Owner/Applicant shall submit proof, for review and approval, that all development has been implemented in accordance with the report to the RMA - Planning Department.

**6. PD014(A) - LIGHTING-EXTERIOR LIGHTING PLAN**

All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of the RMA - Planning Department, prior to the issuance of building permits.  
(RMA - Planning Department)

**7. PD016 - NOTICE OF REPORT**

Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states "A Tree Assessment report has been prepared for this parcel by Frank Ono, dated April 22, 2009 and is on record in the Monterey county RMA-Planning Department, Library No. LIB090248. All development shall be in accordance with this report.  
An Archaeological Resources Assessment report has been prepared for this parcel by Basin Research Associates, dated March 24, 2006, revised April 17, 2006 and is on record in the Monterey County RMA-Planning Department, Library No. LIB090249. All development shall be in accordance with this report.  
A Geologic and Soil Engineering Report dated September 2009 and updated report dated February 18, 2011 have been prepared for this parcel by Landset Engineers, Inc. and are on record in the Monterey County RMA-Planning Department, Library Nos. LIB110082 and LIB110090. All development shall be in accordance with these reports."  
(RMA - Planning Department)

Planning

Planning

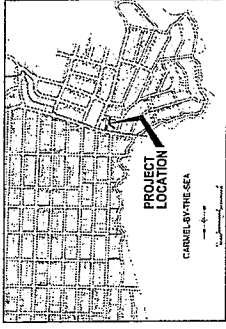
Conditions of Approval and/or Mitigation Monitoring Measures

Compliance or Monitoring Actions to be Performed	Responsible Department	Conditions of Approval and/or Mitigation Monitoring Measures
<p>Applicant shall submit a detailed site plan with said elevations.</p>	<p>Planning</p>	<p><b>PD002 - NON-STANDARD - FACADE DESIGN CONSISTENCY</b> The applicant shall submit a revised design in conformance with LUAC recommendation of keeping the same design treatment (facade) from the front of the home to the west portion of the home.</p>
<p>Prior to the expiration date stated in the condition, the Owner/Applicant shall obtain a valid grading or building permit and/or commence the authorized use to the satisfaction of the Director of Planning. Any request for extension must be received by the Planning Department at least 30 days prior to the expiration date.</p>	<p>Planning</p>	<p><b>PD032(A) - PERMIT EXPIRATION</b> The permit shall be granted for a time period of 3 years, to expire on June 30, 2014 unless use of the property or actual construction has begun within this period. (RMA-Planning Department)</p>
<p>Prior to final inspection, the applicant shall submit evidence to the RMA - Planning Department that the required replanting has occurred. Also, the tree replacement shall be incorporated in the required landscape plans.</p>	<p>Planning</p>	<p><b>PD001 - NON STANDARD - TREE REPLACEMENT</b> The one Coast Live Oak tree to be removed shall be re-placed with at least one-fifteen gallon Coast Live Oak tree on the subject property. (RMA-Planning)</p>
<p>Prior to the issuance of grading or building permits, the Owner/Applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection.</p>	<p>Planning</p>	<p><b>PD041 - HEIGHT VERIFICATION</b> The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible on-site until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor to the Director of the RMA - Building Services Department for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (RMA - Planning Department and Building Services Department)</p>
<p>Prior to the foundation pre-pour inspection, the Owner/Applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of the RMA- Building Services Department for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.</p>		
<p>Prior to the final inspection, the Owner/Applicant/Engineer shall provide evidence from a licensed civil engineer or surveyor, to the Director of the RMA- Building Services Department for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.</p>		

Conditions of Approval and/or Mitigation Monitoring Measures	Responsible Department	Compliance or Monitoring Actions to be Performed
<p>12. <b>PW0005 - ENCROACHMENT (STD DRIVEWAY)</b> Obtain an encroachment permit from the Department of Public Works and construct a standard driveway connection to Santa Lucia Avenue. (Public Works)</p>	Pub Works	Prior to Building/Grading Permits Issuance, Owner/Applicant shall obtain an encroachment permit from DPW prior to issuance of building permits and complete improvement prior to occupancy or commencement of use. Applicant is responsible in obtaining all permits and environmental clearances.
<p>13. <b>PW0043 - REGIONAL DEVELOPMENT IMPACT FEE</b> Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule. (Public Works)</p>	Pub Works	Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee.
<p>14. <b>WR1 - DRAINAGE PLAN</b> The applicant shall provide the Water Resources Agency a drainage plan prepared by a registered civil engineer or architect addressing on-site and off-site impacts. Drainage improvements shall be constructed in accordance with plans approved by the Water Resources Agency. (Water Resources Agency)</p>	Water	Prior to issuance of any grading or building permits, the owner/applicant shall submit 3 copies of the drainage plan to the Water Resources Agency for review and approval.
<p>15. <b>WR40 - WATER CONSERVATION MEASURES</b> The applicant shall comply with Ordinance No. 3932, or as subsequently amended, of the Monterey County Water Resources Agency pertaining to mandatory water conservation regulations. The regulations for new construction require, but are not limited to: a. All toilets shall be ultra-low flush toilets with a maximum tank size or flush capacity of 1.6 gallons, all shower heads shall have a maximum flow capacity of 2.5 gallons per minute, and all hot water faucets that have more than ten feet of pipe between the faucet and the hot water heater serving such faucet shall be equipped with a hot water recirculating system. b. Landscape plans shall apply xeriscape principles, including such techniques and materials as native or low water use plants and low precipitation sprinkler heads, bubblers, drip irrigation systems and timing devices. (Water Resources Agency)</p>	Water	Compliance to be verified by building inspector at final inspection.
<p>16. <b>WR43 - WATER AVAILABILITY CERTIFICATION</b> The applicant shall obtain from the Monterey County Water Resources Agency, proof of water availability on the property, in the form of an approved Monterey Peninsula Water Management District Water Release Form. (Water Resources Agency)</p>	Water	Prior to issuance of any building permits, the owner/applicant shall submit a Water Release Form to the Water Resources Agency for review and approval.

17. **FIRE011 - ADDRESSES FOR BUILDINGS**  
 All buildings shall be issued an address in accordance with Monterey County Ordinance No. 1241. Each occupancy, except accessory buildings, shall have its own permanently posted address. When multiple occupancies exist within a single building, each individual occupancy shall be separately identified by its own address. Letters, numbers and symbols for addresses shall be a minimum of 4-inch height, 1/2-inch stroke, contrasting with the background color of the sign, and shall be Arabic. The sign and numbers shall be reflective and made of a noncombustible material. Address signs shall be placed at each driveway entrance and at each driveway split. Address signs shall be and visible from both directions of travel along the road. In all cases, the address shall be posted at the beginning of construction and shall be maintained thereafter. Address signs along one-way roads shall be visible from both directions of travel. Where multiple addresses are required at a single driveway, they shall be mounted on a single sign. Where a roadway provides access solely to a single commercial occupancy, the address sign shall be placed at the nearest road intersection providing access to that site. Permanent address numbers shall be posted prior to requesting final clearance. (Cypress Fire Protection District)
18. **FIRE021 - FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM (STANI)**  
 The building(s) and attached garage(s) shall be fully protected with automatic fire sprinkler system(s). Installation shall be in accordance with the applicable NFPA standard. A minimum of four (4) sets of plans for fire sprinkler systems must be submitted by a California licensed C-16 contractor and approved prior to installation. This requirement is not intended to delay issuance of a building permit. A rough sprinkler inspection must be scheduled by the installing contractor and completed prior to requesting a framing inspection. (Cypress Fire Protection District)
19. **FIRE029 - ROOF CONSTRUCTION - (CYPRESS FPD & PEBBLE BEACH CSD)**  
 All new structures, and all existing structures receiving new roofing over 25 percent or more of the existing roof surface within a one-year period, shall require a minimum of ICBO Class A roof construction. (Cypress Fire Protection District)
- |                                                                                                                                                                                                                                           |             |                                                                                                                                                                                                                                                                                                                                                                    |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>1. Prior to issuance of building permit the applicant or owner shall enumerate as "Fire Dept. Notes" on plans.</p> <p>2. Prior to final building inspection the applicant or owner shall schedule fire dept. clearance inspection.</p> | <p>Fire</p> | <p>1. Prior to issuance of building permit the applicant or owner shall enumerate as "Fire Dept. Notes" on plans.</p> <p>2. Prior to framing inspection the applicant or owner shall schedule fire dept. rough sprinkler inspection.</p> <p>3. Prior to final building inspection the applicant or owner shall schedule fire dept. final sprinkler inspection.</p> |
| <p>1. Prior to issuance of building permit the applicant or owner shall enumerate as "Fire Dept. Notes" on plans.</p>                                                                                                                     | <p>Fire</p> | <p>Prior to issuance of building permit the applicant or owner shall enumerate as "Fire Dept. Notes" on plans.</p>                                                                                                                                                                                                                                                 |

2586 SANTA LUCIA AVENUE  
CARMEL, CALIFORNIA 93923



**Vicinity Map**

**GENERAL INFORMATION**

- 1. PROJECT NO. 09-001-001
- 2. PROJECT NAME: 2586 SANTA LUCIA AVENUE
- 3. CLIENT: SANDCASTLE DEVELOPMENT, INC.
- 4. BUILDING CODE/MEY GROUPS: 13 & U
- 5. PERMITS: 09-001-001
- 6. TYPE OF CONSTRUCTION: 1-4-B
- 7. CONTRACT NO.: 09-001-001
- 8. SQUARE FOOTAGE: 73,517
- 9. WORK AREA: 1,000 SF.
- 10. UTILITY LEVEL: 408 SF.
- 11. CONCRETE: 1,288 SF.
- 12. CHANGING: 288 SF.
- 13. AUTOMATIC SPRINKLERS: YES
- 14. ENERGY RATED: RECORDS > 601

Drawn By: MANDURRAGO  
Drawing Date: APRIL 6, 2011  
Project Number: JCL-008

Reference:  
△ △ △  
△ △ △

Project / Owner

OGDEN  
RESIDENCE  
2586 SANTA LUCIA  
CARMEL CA 93923  
APN 009-001-021

Sheet No:

Sheet Number:

AO

**OPENINGS**

1. MAKE EVERY WINDOW AND DOOR AS THE LEAST, AND REGULATIONS OF THE STATE FOR THE LOCAL AREA.
2. ALL WINDOW UNITS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND SHALL BE PROTECTED FROM DAMAGE BY THE INSTALLATION OF THE WINDOW UNITS.
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**ELECTRICAL NOTES**

1. All work and materials shall be in accordance with the latest rules and regulations of the state for the local area.
2. All electrical work shall be installed in accordance with the latest rules and regulations of the state for the local area.
3. All electrical work shall be installed in accordance with the latest rules and regulations of the state for the local area.
4. All electrical work shall be installed in accordance with the latest rules and regulations of the state for the local area.
5. All electrical work shall be installed in accordance with the latest rules and regulations of the state for the local area.

**FLOOR PLANS:**

1. Installation and be included in ceiling, exterior, and water heaters, with approval of the local authority.
2. All electrical work shall be installed in accordance with the latest rules and regulations of the state for the local area.
3. All electrical work shall be installed in accordance with the latest rules and regulations of the state for the local area.
4. All electrical work shall be installed in accordance with the latest rules and regulations of the state for the local area.
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**GENERAL CONDITIONS**

1. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
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5. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

**VEGETATION**

REMOVE ALL VEGETATION FROM THE PROJECT AREA AND REPLANT WITH THE SAME OR SIMILAR SPECIES. ALL REMOVED VEGETATION SHALL BE PLACED IN A DESIGNATED AREA.

**UTILITIES**

ALL UTILITIES SHALL BE DEEPENED AND REPAIRED AS NECESSARY TO ACCOMMODATE THE PROJECT. ALL UTILITIES SHALL BE PROTECTED AND MARKED PRIOR TO CONSTRUCTION.

**FIRE SPRINKLER SYSTEM**

INSTALL A COMPLETE FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE STATE FOR THE LOCAL AREA.

**GAS LINE SIZING**

ALL GAS PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE STATE FOR THE LOCAL AREA.

**SHEET INDEX**

- A0. GENERAL NOTES
- A0.1 CONSTRUCTION MANAGEMENT PLAN
- A1.0 SITE PLAN
- A1.1 EROSION CONTROL PLAN
- A1.2 GRADING / DRAINAGE PLAN
- A2. MAIN & UPPER LEVEL FLOOR PLANS
- A3. BASEMENT FLOOR PLAN & DETAILS
- A4. EXTERIOR ELEVATIONS
- A5. EXTERIOR ELEVATIONS
- A6. ROOF PLAN
- A7. SECTIONS
- A8. SECTIONS

**NOTES**

1. ALL MANUFACTURER'S INSTALLATION GUIDES TO BE PROVIDED TO INSPECTOR AT THE START OF WORK.
2. PROTECT TO THE START OF CONSTRUCTION THE APPLICABLE PARTS OF THE EXISTING STRUCTURE THAT SHALL BE USED TO ESTABLISH LOCATED ELEVATIONS ON SUBMITTED PLANS AND SHALL REMAIN IN PLACE UNLESS OTHERWISE INDICATED BY THE PLANS AND (104.1).
3. SPECIAL INSPECTION REQUIRED FOR GRADING AND VULNERABILITY.

**SCOPE OF WORK**

SCOPE OF WORK SHALL INCLUDE THE CONSTRUCTION OF THE RESIDENCE AND ALL NECESSARY UTILITIES AND FINISHES.

**OWNER:**

OGDEN  
RESIDENCE  
2586 SANTA LUCIA  
CARMEL CA 93923  
APN 009-001-021

**PLUMBING NOTES**

1. ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE STATE FOR THE LOCAL AREA.
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**FINAL INSPECTION REQUIRED**

FINAL INSPECTION REQUIRED FOR GRADING AND VULNERABILITY.

**WELDING**

ALL WELDING SHALL BE DONE IN ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE STATE FOR THE LOCAL AREA.

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**WELDING**

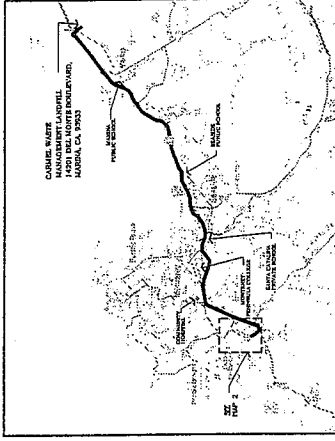
ALL WELDING SHALL BE DONE IN ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE STATE FOR THE LOCAL AREA.

**WELDING**

ALL WELDING SHALL BE DONE IN ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE STATE FOR THE LOCAL AREA.

**WELDING**

ALL WELDING SHALL BE DONE IN ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE STATE FOR THE LOCAL AREA.



**MAP No. 1**  
**OVERALL TRUCK ROUTING PLAN**  
NO SCALE

CONSTRUCTION SITE MANAGEMENT  
1. ALL TRUCKS SHALL BE OPERATED IN ACCORDANCE WITH THE TRUCK ROUTING PLAN AND THE TRUCK ROUTING PLAN SHALL BE OPERATED IN ACCORDANCE WITH THE TRUCK ROUTING PLAN.  
2. ALL TRUCKS SHALL BE OPERATED IN ACCORDANCE WITH THE TRUCK ROUTING PLAN AND THE TRUCK ROUTING PLAN SHALL BE OPERATED IN ACCORDANCE WITH THE TRUCK ROUTING PLAN.  
3. ALL TRUCKS SHALL BE OPERATED IN ACCORDANCE WITH THE TRUCK ROUTING PLAN AND THE TRUCK ROUTING PLAN SHALL BE OPERATED IN ACCORDANCE WITH THE TRUCK ROUTING PLAN.

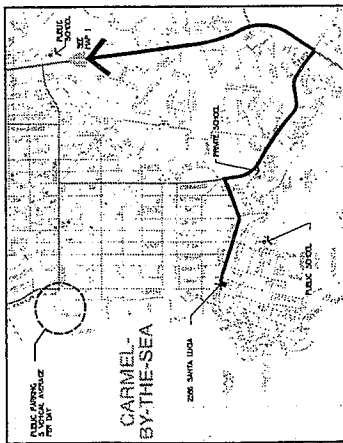
NOTE:  
1. ALL TRUCKS SHALL BE OPERATED IN ACCORDANCE WITH THE TRUCK ROUTING PLAN AND THE TRUCK ROUTING PLAN SHALL BE OPERATED IN ACCORDANCE WITH THE TRUCK ROUTING PLAN.  
2. ALL TRUCKS SHALL BE OPERATED IN ACCORDANCE WITH THE TRUCK ROUTING PLAN AND THE TRUCK ROUTING PLAN SHALL BE OPERATED IN ACCORDANCE WITH THE TRUCK ROUTING PLAN.  
3. ALL TRUCKS SHALL BE OPERATED IN ACCORDANCE WITH THE TRUCK ROUTING PLAN AND THE TRUCK ROUTING PLAN SHALL BE OPERATED IN ACCORDANCE WITH THE TRUCK ROUTING PLAN.

CONSTRUCTION SITE MANAGEMENT

1. ALL TRUCKS SHALL BE OPERATED IN ACCORDANCE WITH THE TRUCK ROUTING PLAN AND THE TRUCK ROUTING PLAN SHALL BE OPERATED IN ACCORDANCE WITH THE TRUCK ROUTING PLAN.  
2. ALL TRUCKS SHALL BE OPERATED IN ACCORDANCE WITH THE TRUCK ROUTING PLAN AND THE TRUCK ROUTING PLAN SHALL BE OPERATED IN ACCORDANCE WITH THE TRUCK ROUTING PLAN.  
3. ALL TRUCKS SHALL BE OPERATED IN ACCORDANCE WITH THE TRUCK ROUTING PLAN AND THE TRUCK ROUTING PLAN SHALL BE OPERATED IN ACCORDANCE WITH THE TRUCK ROUTING PLAN.

TRUCK SCHEDULE

DAY	TRUCKS	TRIPS	QUANTITY
1	3	15	1500 cu yds
2	3	15	1500 cu yds
3	3	15	1500 cu yds
4	3	15	1500 cu yds
TOTAL			6000 cu yds



**MAP No. 2**  
**OVERALL TRUCK ROUTING PLAN**  
NO SCALE

CONSTRUCTION SITE MANAGEMENT  
1. ALL TRUCKS SHALL BE OPERATED IN ACCORDANCE WITH THE TRUCK ROUTING PLAN AND THE TRUCK ROUTING PLAN SHALL BE OPERATED IN ACCORDANCE WITH THE TRUCK ROUTING PLAN.  
2. ALL TRUCKS SHALL BE OPERATED IN ACCORDANCE WITH THE TRUCK ROUTING PLAN AND THE TRUCK ROUTING PLAN SHALL BE OPERATED IN ACCORDANCE WITH THE TRUCK ROUTING PLAN.  
3. ALL TRUCKS SHALL BE OPERATED IN ACCORDANCE WITH THE TRUCK ROUTING PLAN AND THE TRUCK ROUTING PLAN SHALL BE OPERATED IN ACCORDANCE WITH THE TRUCK ROUTING PLAN.

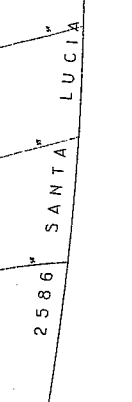
NOTE:  
1. ALL TRUCKS SHALL BE OPERATED IN ACCORDANCE WITH THE TRUCK ROUTING PLAN AND THE TRUCK ROUTING PLAN SHALL BE OPERATED IN ACCORDANCE WITH THE TRUCK ROUTING PLAN.  
2. ALL TRUCKS SHALL BE OPERATED IN ACCORDANCE WITH THE TRUCK ROUTING PLAN AND THE TRUCK ROUTING PLAN SHALL BE OPERATED IN ACCORDANCE WITH THE TRUCK ROUTING PLAN.  
3. ALL TRUCKS SHALL BE OPERATED IN ACCORDANCE WITH THE TRUCK ROUTING PLAN AND THE TRUCK ROUTING PLAN SHALL BE OPERATED IN ACCORDANCE WITH THE TRUCK ROUTING PLAN.

CONSTRUCTION SITE MANAGEMENT

1. ALL TRUCKS SHALL BE OPERATED IN ACCORDANCE WITH THE TRUCK ROUTING PLAN AND THE TRUCK ROUTING PLAN SHALL BE OPERATED IN ACCORDANCE WITH THE TRUCK ROUTING PLAN.  
2. ALL TRUCKS SHALL BE OPERATED IN ACCORDANCE WITH THE TRUCK ROUTING PLAN AND THE TRUCK ROUTING PLAN SHALL BE OPERATED IN ACCORDANCE WITH THE TRUCK ROUTING PLAN.  
3. ALL TRUCKS SHALL BE OPERATED IN ACCORDANCE WITH THE TRUCK ROUTING PLAN AND THE TRUCK ROUTING PLAN SHALL BE OPERATED IN ACCORDANCE WITH THE TRUCK ROUTING PLAN.

TRUCK SCHEDULE

DAY	TRUCKS	TRIPS	QUANTITY
1	3	15	1500 cu yds
2	3	15	1500 cu yds
3	3	15	1500 cu yds
4	3	15	1500 cu yds
TOTAL			6000 cu yds



**CONSTRUCTION**  
**MANAGEMENT PLAN**  
SCALE: 1/8" = 1'-0"



**PROJECT INFORMATION**

**ZONING:**  
MUR 7.4 (10) (C2)

**LOT AREA:**  
4,000 SQ. FT.

**SETBACKS:**  
FRONT = 20'  
REAR = 10'  
SIDES = 5'

**HEIGHT LIMIT:**  
57.22' AVG. NAT. GRADE  
HEIGHT LIMIT = 75.22'

**SITE COVERAGE:**  
ALLOWED:  
35% (1,400 S.F.) BUILDING FOOTPRINT

**PROPOSED:**  
BLDG FOOTPRINT = 1,329 S.F.  
TOTAL = 32.8% 1,392 S.F.

**FLOOR AREA RATIO**  
ALLOWED:  
45% = 1,800 S.F.

**MAIN LEVEL:** 1,099 S.F.  
**UPPER LEVEL:** 476 S.F.  
**DAMAGE:** 218 S.F.

**TOTAL FLOOR AREA = 44.8% 1,792 S.F.**

**BASEMENT:** 1288 S.F.

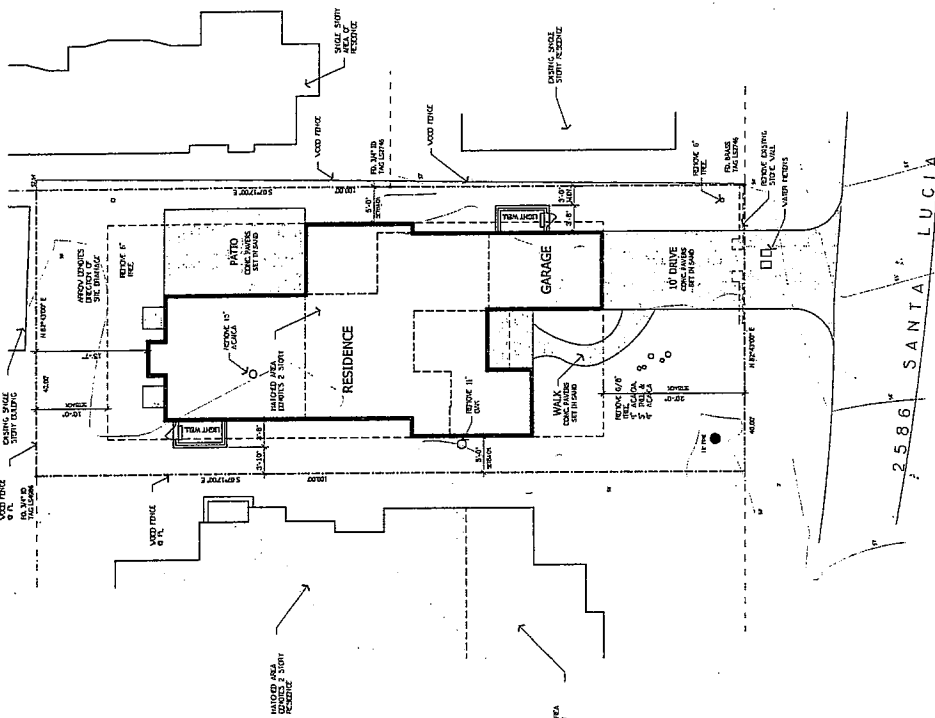
**CUT & FILL**  
480 CU. YARDS  
CUT FOR BASEMENT

**A.R.C. NOTES**

1. ALL EXISTING AND PROPOSED DRIVEWAYS AND SIDEWALKS SHALL BE CONFORMANT WITH THE CALIFORNIA PUBLIC WORKS ACT AND ALL APPLICABLE LOCAL ORDINANCES.

2. ALL EXISTING AND PROPOSED DRIVEWAYS AND SIDEWALKS SHALL BE CONFORMANT WITH THE CALIFORNIA PUBLIC WORKS ACT AND ALL APPLICABLE LOCAL ORDINANCES.

3. ALL EXISTING AND PROPOSED DRIVEWAYS AND SIDEWALKS SHALL BE CONFORMANT WITH THE CALIFORNIA PUBLIC WORKS ACT AND ALL APPLICABLE LOCAL ORDINANCES.



**CONSTRUCTION NOTES**

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.

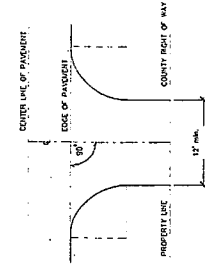
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.

3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.

**SITE PLAN NOTES**

1. PROVIDE 25' SLOPE AWAY FROM THE BUILDING FOR A MINIMUM OF FIVE FEET.
2. NO BRANCHED TO ADJACENT PROPERTY.
3. 0.5 PERCENT MINIMUM SLOPE FOR THE ENTIRE SITE.

**STANDARD DRIVEWAY**



**SITE PLAN**

SCALE: 1" = 6'-0"



**INSTALLATION, LOCATION AND VISIBILITY OF ADDRESSES**

1. ADDRESSES SHALL BE PLACED IN A CONTRASTING COLOR TO THE BACKGROUND.

2. ADDRESSES SHALL BE PLACED IN A CONTRASTING COLOR TO THE BACKGROUND.

3. ADDRESSES SHALL BE PLACED IN A CONTRASTING COLOR TO THE BACKGROUND.

**SIZE OF LETTERS, NUMBERS AND SYMBOLS FOR ADDRESSES**

1. SIZE OF LETTERS, NUMBERS AND SYMBOLS FOR ADDRESSES SHALL BE AS SHOWN IN THE FOLLOWING TABLE.

2. SIZE OF LETTERS, NUMBERS AND SYMBOLS FOR ADDRESSES SHALL BE AS SHOWN IN THE FOLLOWING TABLE.

3. SIZE OF LETTERS, NUMBERS AND SYMBOLS FOR ADDRESSES SHALL BE AS SHOWN IN THE FOLLOWING TABLE.

**MANDURRAGO & ASSOCIATES**  
RESIDENTIAL DESIGN  
15 10 1011 1010 1010 1010 1010

Drawn By: MANDURRAGO  
Drawing Date: APRIL 6, 2011  
Project Number: 1010-001

Revisions:

- △
- △
- △
- △

Project/Owner:

**OGDEN RESIDENCE**  
3255 SANTA LUCIA  
CARMEL, CA 95023

APN 008-401-021

Sheet Title:

Sheet Number:

**A1.0**

**EROSION CONTROL NOTES**

AT ALL TIMES THE CONTRACTOR SHALL HAVE NECESSARY EQUIPMENT TO PREVENT EROSION AND PROVIDE SUFFICIENT EROSION CONTROL MEASURES TO PREVENT EROSION TO THE ADJACENT PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

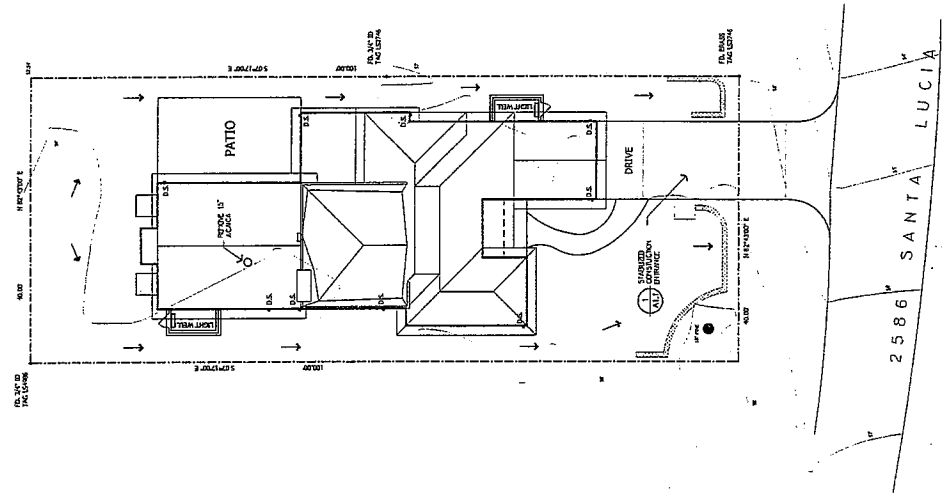
1. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL REMAIN IN PLACE UNTIL THE EROSION CONTROL MEASURES ARE NO LONGER REQUIRED.
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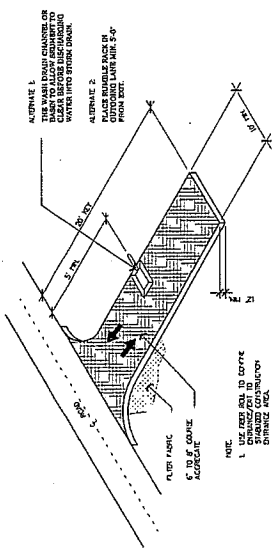
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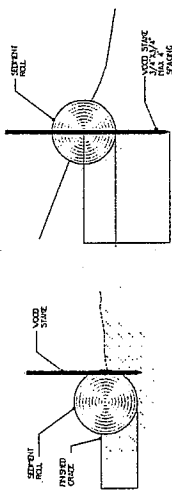
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**EROSION CONTROL SITE PLAN**  
 SCALE: 1" = 8'-0"  
 North



**STABILIZED CONSTRUCTION ENTRANCE**  
 NO SCALE



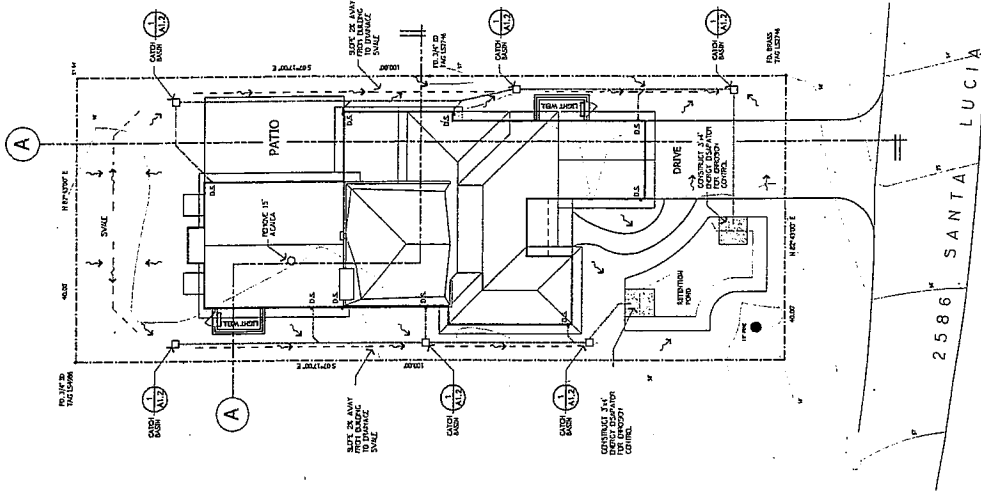
**ENTRENCHMENT DETAIL IN SLOPE AREA**

**ENTRENCHMENT DETAIL IN FLAT AREA**

**SEDIMENT LOG DETAIL**  
 NO SCALE

1. USE AND MAINTAIN TO PREVENT EROSION AND PROVIDE SUFFICIENT EROSION CONTROL MEASURES TO PREVENT EROSION TO THE ADJACENT PROPERTY.
2. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL REMAIN IN PLACE UNTIL THE EROSION CONTROL MEASURES ARE NO LONGER REQUIRED.



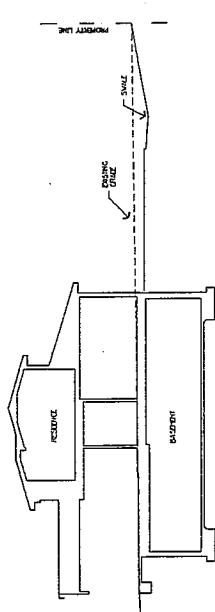


**GRADING / DRAINAGE SITE PLAN**

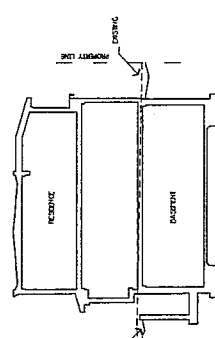
SCALE: 1" = 4'-0"

480 CU. YARDS

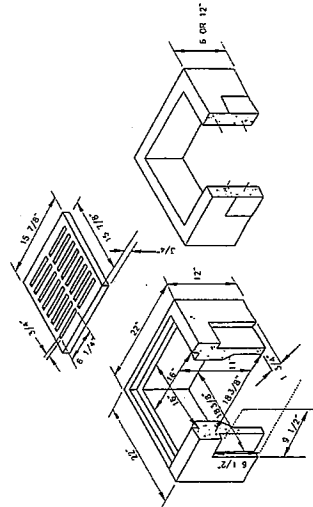
CUT FOR BASEMENT



**SECTION A**



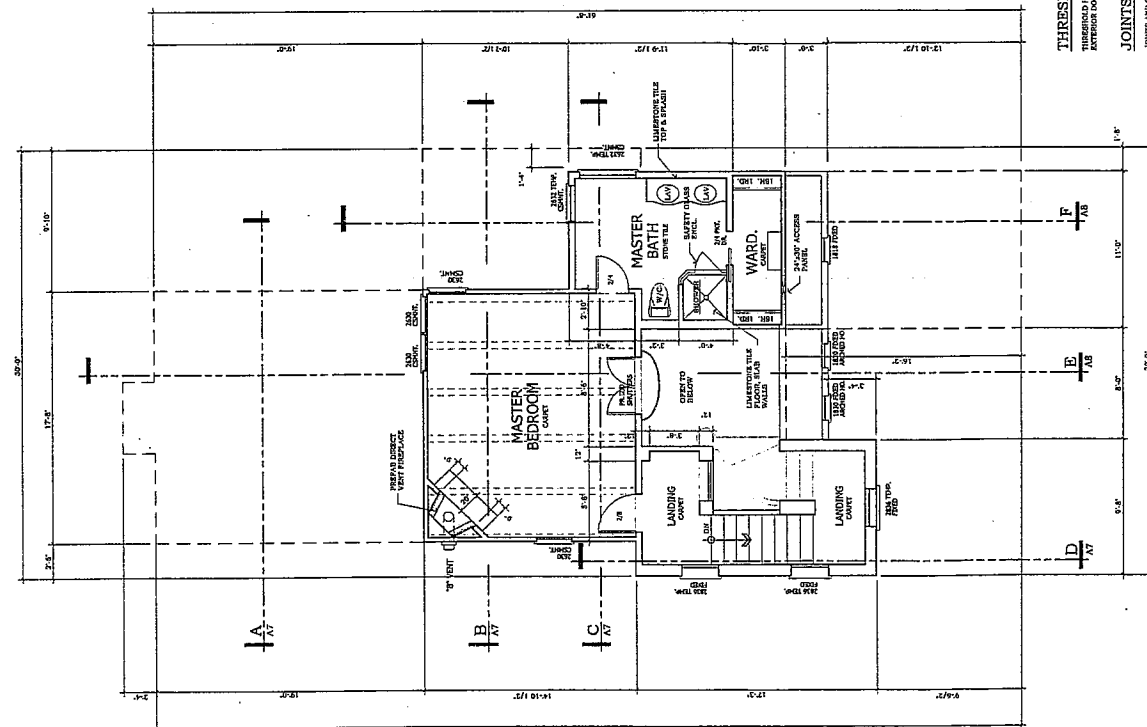
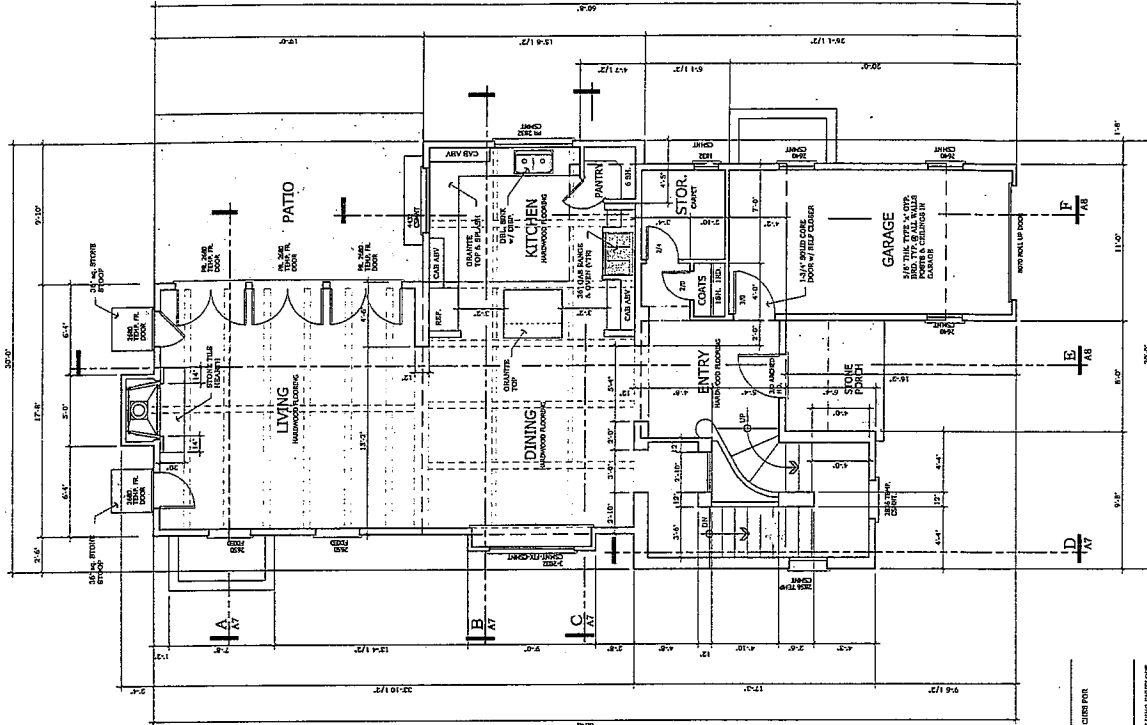
**SECTION B**

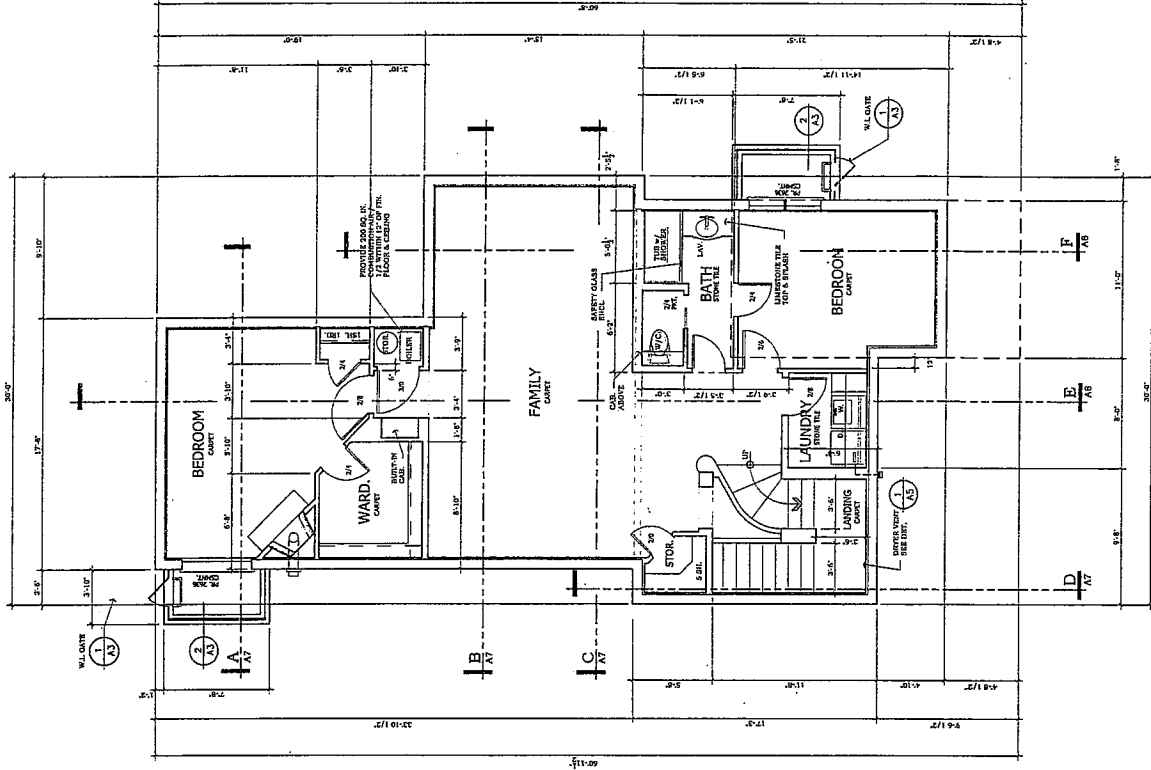


**7 CHRISTY 64 DRAIN BOX**

NOTE: CONSTRUCTION TO MATCH COMPLETE BASE PERMANENTLY PLACED GROUND.

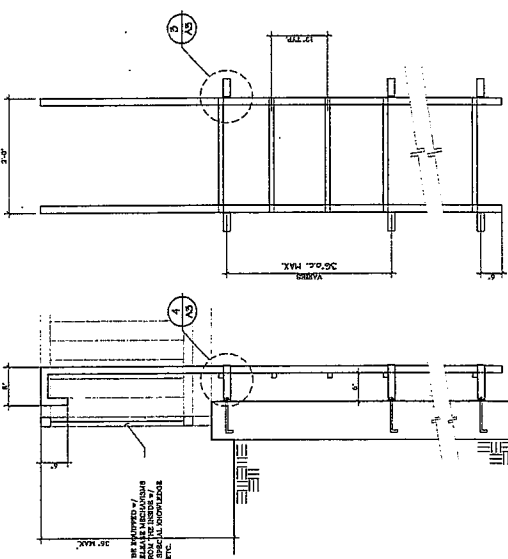
- BEST MANAGEMENT PRACTICES**  
CONSTRUCTION OF THE PROJECT SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
1. EROSION CONTROL:
    - A. CONSTRUCTION TEMPORARY:
      - 1. ALL CONSTRUCTION TEMPORARY SHALL BE INSTALLED AT THE BEGINNING OF EACH DAY OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE PROJECT.
      - 2. EROSION CONTROL MEASURES SHALL BE INSTALLED AT THE BEGINNING OF EACH DAY OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE PROJECT.
      - 3. EROSION CONTROL MEASURES SHALL BE INSTALLED AT THE BEGINNING OF EACH DAY OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE PROJECT.
    - B. CONSTRUCTION PERMANENT:
      - 1. EROSION CONTROL MEASURES SHALL BE INSTALLED AT THE BEGINNING OF EACH DAY OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE PROJECT.
      - 2. EROSION CONTROL MEASURES SHALL BE INSTALLED AT THE BEGINNING OF EACH DAY OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE PROJECT.
      - 3. EROSION CONTROL MEASURES SHALL BE INSTALLED AT THE BEGINNING OF EACH DAY OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE PROJECT.
  2. SEDIMENT CONTROL:
    - A. CONSTRUCTION TEMPORARY:
      - 1. ALL CONSTRUCTION TEMPORARY SHALL BE INSTALLED AT THE BEGINNING OF EACH DAY OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE PROJECT.
      - 2. SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AT THE BEGINNING OF EACH DAY OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE PROJECT.
      - 3. SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AT THE BEGINNING OF EACH DAY OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE PROJECT.
    - B. CONSTRUCTION PERMANENT:
      - 1. SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AT THE BEGINNING OF EACH DAY OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE PROJECT.
      - 2. SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AT THE BEGINNING OF EACH DAY OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE PROJECT.
      - 3. SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AT THE BEGINNING OF EACH DAY OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE PROJECT.
  3. STORMWATER MANAGEMENT:
    - A. CONSTRUCTION TEMPORARY:
      - 1. ALL CONSTRUCTION TEMPORARY SHALL BE INSTALLED AT THE BEGINNING OF EACH DAY OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE PROJECT.
      - 2. STORMWATER MANAGEMENT MEASURES SHALL BE INSTALLED AT THE BEGINNING OF EACH DAY OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE PROJECT.
      - 3. STORMWATER MANAGEMENT MEASURES SHALL BE INSTALLED AT THE BEGINNING OF EACH DAY OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE PROJECT.
    - B. CONSTRUCTION PERMANENT:
      - 1. STORMWATER MANAGEMENT MEASURES SHALL BE INSTALLED AT THE BEGINNING OF EACH DAY OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE PROJECT.
      - 2. STORMWATER MANAGEMENT MEASURES SHALL BE INSTALLED AT THE BEGINNING OF EACH DAY OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE PROJECT.
      - 3. STORMWATER MANAGEMENT MEASURES SHALL BE INSTALLED AT THE BEGINNING OF EACH DAY OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE PROJECT.
  4. VEGETATION:
    - A. CONSTRUCTION TEMPORARY:
      - 1. ALL CONSTRUCTION TEMPORARY SHALL BE INSTALLED AT THE BEGINNING OF EACH DAY OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE PROJECT.
      - 2. VEGETATION MEASURES SHALL BE INSTALLED AT THE BEGINNING OF EACH DAY OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE PROJECT.
      - 3. VEGETATION MEASURES SHALL BE INSTALLED AT THE BEGINNING OF EACH DAY OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE PROJECT.
    - B. CONSTRUCTION PERMANENT:
      - 1. VEGETATION MEASURES SHALL BE INSTALLED AT THE BEGINNING OF EACH DAY OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE PROJECT.
      - 2. VEGETATION MEASURES SHALL BE INSTALLED AT THE BEGINNING OF EACH DAY OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE PROJECT.
      - 3. VEGETATION MEASURES SHALL BE INSTALLED AT THE BEGINNING OF EACH DAY OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE PROJECT.
  5. OTHER:
    - A. CONSTRUCTION TEMPORARY:
      - 1. ALL CONSTRUCTION TEMPORARY SHALL BE INSTALLED AT THE BEGINNING OF EACH DAY OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE PROJECT.
      - 2. OTHER MEASURES SHALL BE INSTALLED AT THE BEGINNING OF EACH DAY OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE PROJECT.
      - 3. OTHER MEASURES SHALL BE INSTALLED AT THE BEGINNING OF EACH DAY OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE PROJECT.
    - B. CONSTRUCTION PERMANENT:
      - 1. OTHER MEASURES SHALL BE INSTALLED AT THE BEGINNING OF EACH DAY OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE PROJECT.
      - 2. OTHER MEASURES SHALL BE INSTALLED AT THE BEGINNING OF EACH DAY OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE PROJECT.
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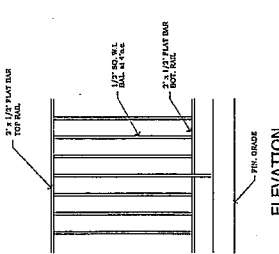


**BASEMENT PLAN** 1288 sq. ft.

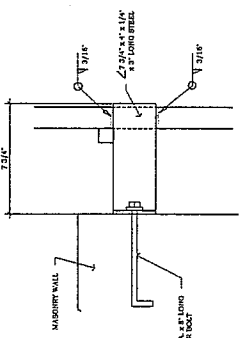
SCALE: 1" = 4'-0"



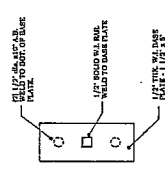
**1 LADDER** SCALE: 1" = 1'-0"



**2 GUARD RAIL** SCALE: 1" = 1'-0"

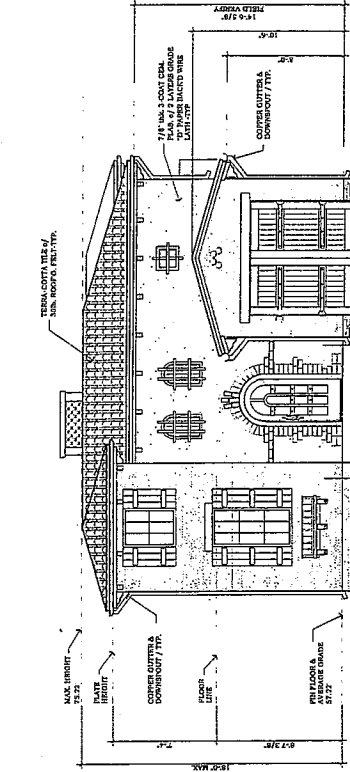


**4** SCALE: 3" = 1'-0"

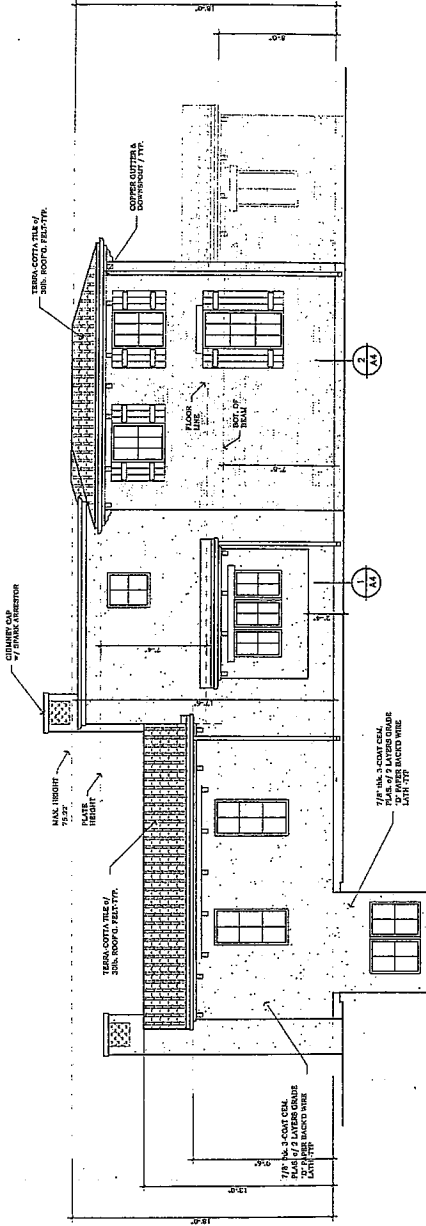


**5** SCALE: 3" = 1'-0"

DATE SHALL BE MARKED BY CONTRACTOR AND SHALL BE OBTAINABLE FROM THE INSIDE OF THE DOOR OR REFRIG. ETC.

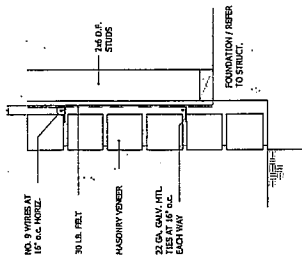


**NORTH ELEVATION**

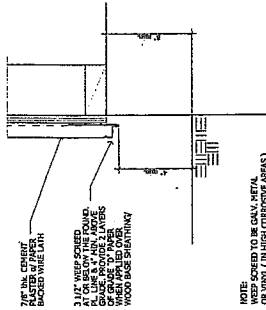


**EAST ELEVATION**

**ROOFING TILE**  
TWO PIECE CLAY ROOFING  
TILE OVER 30 LB. FELT  
UNDERLAYMENT PER ASTM C  
1187 AND ICC-ES ESR-2015P



**2 MASONRY VENEER**  
NO SCALE



**1 WEEP SCREED**  
NO SCALE

NOTE:  
WEEP SCREED TO BE GALV. METAL  
OR VINYL (IN HIGH CORROSION AREAS)

Drawn By: MANDURRAGO  
Drawing Date: APRIL 6, 2011  
Project Number: 10L-04L

Revisions:  
- Δ -  
- Δ -  
- Δ -

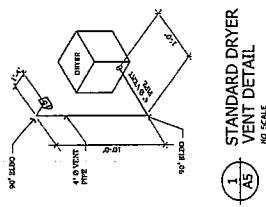
Project / Owner:  
**OGDEN**  
RESIDENCE  
2300 S. HAYWARD AVENUE  
CARRISLE, CA 95001  
APN 009-401-021

Sheet Title:

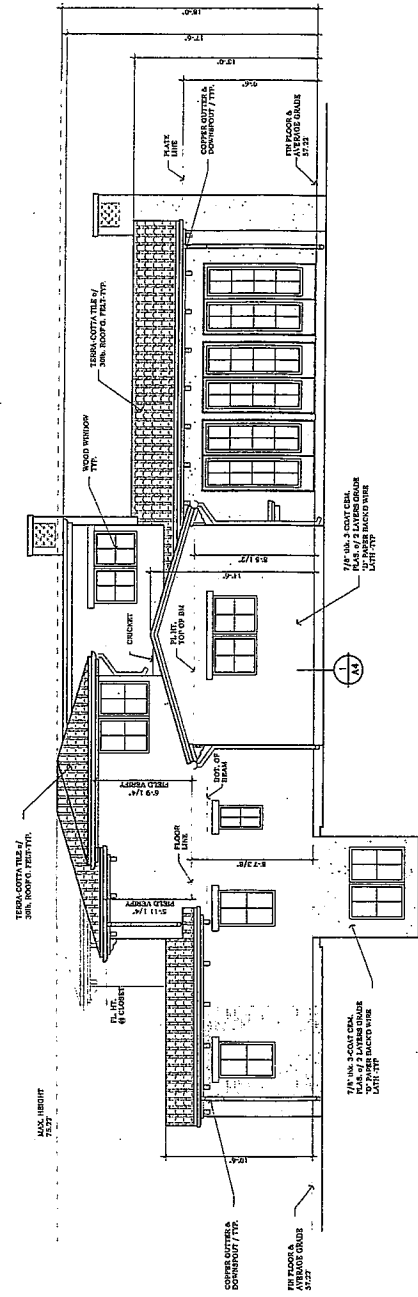
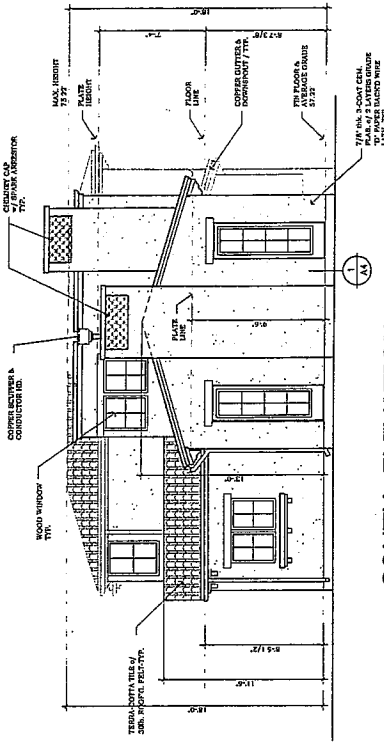
Sheet Number:

A5

**NOTE**  
The manufacturer's instructions for this vent require that it be installed in a minimum 1/2" gypsum board (1/2" thick) and be supported from underneath. It must be held in place by a minimum of 2" of wood framing (2x4's) and be supported by the roof structure. All fasteners must be installed in accordance with the manufacturer's instructions.

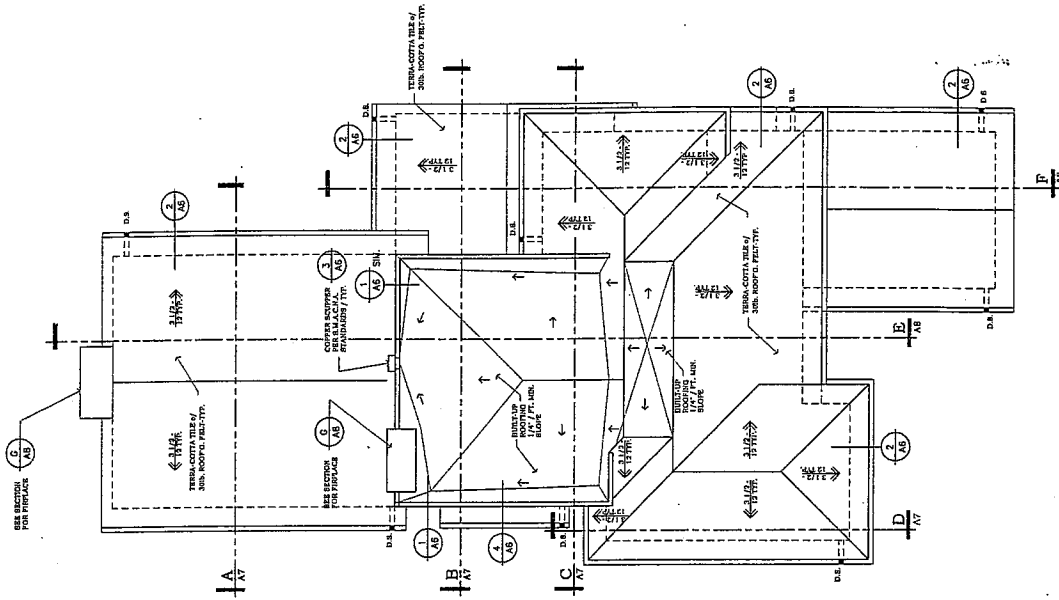


**SOUTH ELEVATION**

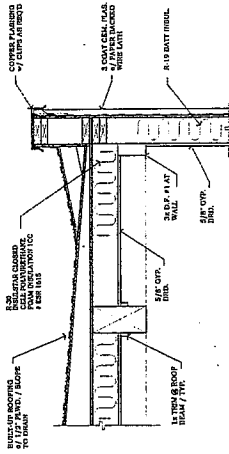


**WEST ELEVATION**

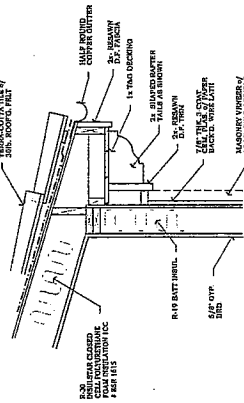
**ROOFING TILE**  
TWO PIECE CLAY ROOFING  
TILE OVER 30 LB. FELT  
UNDERLAYMENT, PER ASTM  
1187 AND ICC-ES ESR-6013P



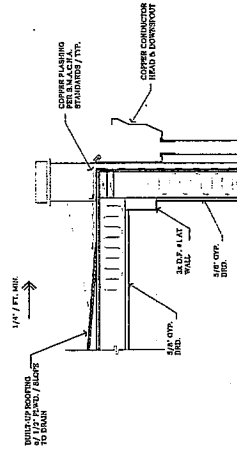
**ROOF PLAN**  
 SCALE 1/4" = 1'-0"



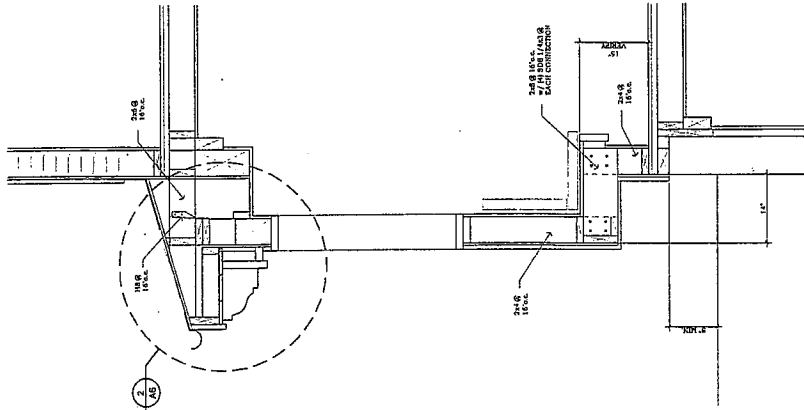
**1**  
 A6 1" = 1'-0"



**2**  
 A6 1" = 1'-0"



**3**  
 A6 1" = 1'-0"



**4**  
 A6 1" = 1'-0"

EXHIBIT D

CARMEL AREA

Pacific Ocean

CARMEL BY-THE-SEA

PROJECT SITE

SAN ANTONIO AVE

JUNIPERO AVE

SANTA LUCIA AVE

14TH AVE

SAN ANTONIO AVE

CARMELO ST

CAMINO REAL

15TH AVE

RIO RD

16TH AVE

17TH AVE

SCENIC RD

Rio Park

Carmel River State Beach

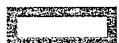
Carmel River

APPLICANT: OGDEN

APN: 009-401-021-000

FILE # PLN100681

Water



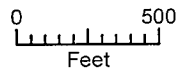
2500' Limit



300' Limit



City Limits



PLANNER: ROBINSON





**EXHIBIT E**  
**MINUTES**  
**Carmel Highlands Land Use Advisory Committee**  
**Monday, March 21, 2011**

1. Meeting called to order by Wald at 4:05 pm

2. Roll Call

Members Present: Weber, Hall, Wald, Jesselnick, Rainier

Members Absent: Hirt, McKeen, Davis

3. Approval of Minutes:

a. February 22, 2011 minutes

Motion: no action taken due (LUAC Member's Name)  
to lack of quorum for Feb. 22, 2011 minutes

Second: \_\_\_\_\_ (LUAC Member's Name)

Ayes: \_\_\_\_\_

Noes: \_\_\_\_\_

Absent: \_\_\_\_\_

Abstain: \_\_\_\_\_

4. **Public Comments:** The Committee will receive public comment on non-agenda items that are within the purview of the Committee at this time. The length of individual presentations may be limited by the Chair.

None

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PLANNING & BUILDING  
INSPECTION DEPT.

5. **Scheduled Item(s)** – Refer to attached project referral sheet(s)

6. **Other Items:**

A) Preliminary Courtesy Presentations by Applicants Regarding Potential Projects

Name

B) Announcements

Next meeting: April 4, 2010

7. Meeting Adjourned: 4:45 pm

Minutes taken by: B. Rainor, Secretary

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PLANNING & BUILDING  
INSPECTION DEPT

# Action by Land Use Advisory Committee Project Referral Sheet

Monterey County Planning Department  
168 W Alisal St 2<sup>nd</sup> Floor  
Salinas CA 93901  
(831) 755-5025

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**MONTEREY COUNTY  
PLANNING & BUILDING  
INSPECTION DEPT**

Advisory Committee: Carmel Unincorporated/Highlands

Please submit your recommendations for this application by: **March 21, 2011**

**Project Title:** OGDEN WILLIAM DAVID & ANDI L TRS

**File Number:** PLN100681

**File Type:** ZA

**Planner:** ROBINSON

**Location:** 2586 SANTA LUCIA AVE CARMEL

**Project Description:**

Amendment to previously approved Combined Development Permit (PLN090096) which allowed: 1) A Coastal Administrative Permit for the construction of a new 1,200 square foot one-story single family dwelling including an attached 200 square foot one-car garage; 2) A Coastal Administrative Permit to allow parking within the front setback; 3) A Coastal Development Permit to allow the removal of one 11-inch oak tree; 4) A Coastal Development Permit to allow development within 750 feet of known archaeological resources; and 5) Design Approval. This Amendment consists of a redesign of the single family dwelling within the previously approved footprint to a 1,576 square foot two-story single family dwelling with an attached 224 square foot one-car garage, a 1,305 square foot basement and approximately 500 cubic yards of grading (cut). Materials and colors to change from tan-colored cement plaster with white trim and stone wainscot and wood shake roofing to cream-colored cement plaster with light brown trim and Carmel stone veneer and multi-colored (reds & browns) mission tile roofing. The property is located at 2586 Santa Lucia Avenue, Carmel (Assessor's Parcel Number 009-401-021-000), Carmel Area Land Use Plan, Coastal zone.

**Was the Owner/Applicant/Representative present at meeting?** Yes  No

*Robert Mandurago*

**Was a County Staff/Representative present at meeting?** None (Name)

**PUBLIC COMMENT:**

Name	Site Neighbor?		Issues / Concerns (suggested changes)
	YES	NO	
None			

LUAC AREAS OF CONCERN

Concerns / Issues (e.g. site layout, neighborhood compatibility; visual impact, etc)	Policy/Ordinance Reference (If Known)	Suggested Changes - to address concerns (e.g. relocate; reduce height; move road access, etc)
1. One car garage is very small for storage of landscaping equipment (mowers, etc.)		and <sup>one</sup> covered car parking.
2. Where will garbage containers be stored? Waste management requires 3 containers -		side yard is small for these 3 containers
3. Stone detail on front facade of house should be continued around to right and left elevations (not to stop abruptly at corners.)		
4. Planner must address parking for second car outside of front yard set back		

ADDITIONAL LUAC COMMENTS

Colors and materials are appropriate for this location. Ammended plan shows SFD will be more than twice as large as previously approved home, and two story (with basement). The 500 cubic yds of soil removal for basement will require several truck loads along a very busy street, Santa Lucia. Concern for traffic and safety impacts of soil removal. Please address drainage directed to Santa Lucia and consequently Carmel Beach area.

RECOMMENDATION:

Motion by: Weber - motion to approve (LUAC Member's Name) ammended plan  
with 2 conditions as stated below:

Second by: Jeselnick (LUAC Member's Name)

- Support Project as proposed with 2 conditions. (1.) Stone wrap around as shown on plans for left and right side elevations.
- Recommend Changes (as noted above) (2.) planner should address second car parking in front yard set back.
- Continue the Item

Reason for Continuance: \_\_\_\_\_

Continued to what date: \_\_\_\_\_

AYES: 5 (Weber, Hall, Wald, Jeselnick, Ramirez)

NOES: None

ABSENT: McHeen, Davis, Horst

ABSTAIN: None

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PLANNING & BUILDING  
INSPECTION DEPT