

## MONTEREY COUNTY ZONING ADMINISTRATOR

<b>Meeting:</b> July 28, 2011 Time: 1:30 p.m.	<b>Agenda Item No.:</b> 6
<b>Project Description:</b> Administrative Permit to allow the construction of a 5,694 square foot single family residence including a 618 square foot garage, a 719 square foot guesthouse, a 1,704 square foot covered patio and 1,755 square foot open patio, an 952 square foot swimming pool, a six foot high 90 linear foot retaining wall; and a Tree Removal Permit for the removal of a 42" diameter Valley oak and a 10" diameter Coast live oak; and Design Approval. Grading is approximately 2,290 cubic yards (1,145 cubic yards cut and 1,145 fill).	
<b>Project Location:</b> 8 Arroyo Sequoia, Carmel 93923	<b>APN:</b> 239-091-016-000
<b>Planning File Number:</b> PLN100635	<b>Owner:</b> Stephen Kim and Deirdre Sheedy Kim, Property Owners <b>Agent:</b> Cynthia Spellacy, Stocker & Allaire, Inc.
<b>Planning Area:</b> Greater Monterey Peninsula Area Plan	<b>Flagged and staked:</b> Yes
<b>Zoning Designation:</b> : "RC/40-D-S" (Resource Conservation, 40 acre minimum parcel size, Design Control and Site Plan Review Overlay Districts)	
<b>CEQA Action:</b> Addendum to EIR No. 94-005 prepared pursuant to Article 11, Section 15164	
<b>Department:</b> RMA - Planning Department	

### RECOMMENDATION:

Staff recommends that the Zoning Administrator:

- 1) Consider an Addendum to EIR No. 94-005 prepared pursuant to Article 11, Section 15164); and
- 2) Approve PLN100635, based on the findings and evidence and subject to the conditions of approval (**Exhibit C**):

### PROJECT OVERVIEW:

The project is a 5,694 square foot single family residence including a 618 square foot garage, a 719 square foot guesthouse, a 1,704 square foot covered patio and 1,755 square foot open patio, an 952 square foot swimming pool, a six foot high 90 linear foot retaining wall. The residence, guesthouse and site improvements are constructed as one clustered complex, partially below grade to reduce the bulk and mass of the structure. A substantial quantity of grading (2,290 cubic yards balanced on site), is proposed as the project includes below grade level which reduces the bulk height of the home. A 42-inch diameter Valley oak, in poor condition, and a 10-inch diameter Coast live oak are proposed to be removed within the building envelope, requiring a tree removal permit and implementation of Santa Lucia Preserve EIR and Forest Management Plan mitigation measures.

A technical addendum has been prepared pursuant to Article 11, Section 15164 of the California Environmental Quality Act guidelines to make minor technical changes to the project analyzed in the Santa Lucia Preserve Project Final Environmental Impact Report (EIR 94-005). For lots that do not have approved tree removal as part the Santa Lucia Preserve subdivision, a CEQA Addendum is required. See further Discussion in **Exhibit B**.

**CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA):**

An Addendum has been prepared per CEQA Guidelines Article 11, Section 15164 (**Exhibit E**). The Santa Lucia Preserve Project Environmental Impact Report (EIR 94-005) is available for review at the RMA – Planning Department.

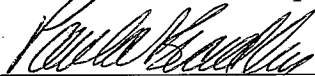
**OTHER AGENCY INVOLVEMENT:** The following agencies and departments reviewed this project:

- √ RMA - Public Works Department
- √ Environmental Health Bureau
- √ Water Resources Agency
- √ Monterey County Regional/Carmel Valley Fire Protection District

Agencies that submitted comments are noted with a check mark (“√”). Conditions recommended by Monterey County Regional/Carmel Valley Fire Protection District; Public Works; Environmental Health Bureau; Water Resources Agency; have been incorporated into the Condition Compliance/Mitigation Monitoring and Reporting Plan attached as Exhibit 1 to the draft resolution (**Exhibit C**).

The project was not referred to a Land Use Advisory Committee (LUAC) for review as there is no LUAC for the area.

Note: The decision on this project is appealable to the Planning Commission

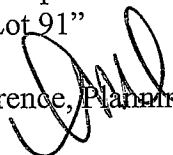


Paula Bradley, MCP, AICP, Associate Planner  
(831) 755-5158, bradleyp@co.monterey.ca.us  
July 13, 2011

cc: Front Counter Copy; Monterey County Regional/Carmel Valley Fire Protection District; Public Works; Environmental Health Bureau; Water Resources Agency; Paula Bradley, MCP, AICP, Planner; Laura Lawrence, Planning Services Manager; Stephen Kim and Deirdre Sheedy Kim Property Owners; Cynthia Spellacy, Stocker & Allaire, Inc., Representative; Project File PLN100635

- |              |           |  |
|--------------|-----------|--|
| Attachments: | Exhibit A | Project Data Sheet   |
|              | Exhibit B | Discussion   |
|              | Exhibit C | Resolution   |
|              |           | Exhibit 1 Recommended Conditions of Approval                                   |
|              |           | Exhibit 2 Site Plan, Floor Plans, and Elevations                               |
|              | Exhibit D | Vicinity Map   |
|              | Exhibit E | Addendum Pursuant to CEQA, Article 11, Section 15164 for PLN100628             |
|              | Exhibit F | Arborist’s Report: “Construction Impact Analysis, Santa Lucia Preserve Lot 91” |

This report was reviewed by Laura Lawrence, Planning Services Manager



**Exhibit A**  
**Project Information for KIM (File PLN100635)**

<b>Project Title:</b> KIM	<b>Primary APN:</b> 239-091-016-000
<b>Location:</b> 8 Arroyo Sequoia, Carmel	<b>Coastal Zone:</b> No
<b>Applicable Plan:</b> Greater Monterey Peninsula	<b>Zoning:</b> RC/40-D-S
<b>Permit Type:</b> Administrative Permit	<b>Plan Designation:</b> RC
<b>Environmental Status:</b> Addendum per 15164	<b>Final Action Deadline:</b> 7/24/2011
<b>Advisory Committee:</b> None	

**Project Site Data:**

<b>Lot Size:</b> 8.3 acres	<b>Coverage Allowed:</b> 25%
<b>Homeland Envelope:</b> 2.4 acres	<b>Coverage Proposed:</b> < 1%
<b>Existing Structures (sf):</b> NA	<b>Height Allowed:</b> 30'
<b>Proposed Structures (sf):</b> 5,694 sf	<b>Height Proposed:</b> 20'5"
<b>Total Square Feet:</b> 5,694 sf	<b>FAR Allowed:</b> NA
	<b>FAR Proposed:</b> NA

**Resource Zones and Reports**

<b>Environmentally Sensitive Habitat:</b> NO	<b>Erosion Hazard Zone:</b> HIGH
<b>Botanical Report #:</b> NA	<b>Soils/Geo. Report #:</b> LIB110133
<b>Forest Mgt. Report #:</b> LIB110135	<b>Geologic Hazard Zone:</b> IV
	<b>Geologic Report #:</b> NA
<b>Archaeological Sensitivity Zone:</b> HIGH	<b>Traffic Report #:</b> NA
<b>Archaeological Report #:</b> LIB110134	
<b>Fire Hazard Zone:</b> HIGH	

**Other Information:**

<b>Water Source:</b> Private mutual	<b>Sewage Disposal (method):</b> sewer
<b>Water District/Company:</b> Santa Lucia CSD	<b>Sewer District Name:</b> Santa Lucia CSD
<b>Fire District:</b> Monterey Co. Regional Fire Prev. District	<b>Grading (cubic yds):</b> 2,290 (1,145 cut, 1,145 fill)
<b>Tree Removal (Count/Type):</b> 2 (42" Valley oak, 10" Coast live oak)	

## **EXHIBIT B DISCUSSION**

The subject site is an 8.3 acre unimproved parcel designated as Lot 91 of Phase B of the Santa Lucia Preserve Subdivision. The building envelope is located on fairly flat area within an opening in the oak forest canopy. Surrounding parcels are large five-acre or greater parcels in a rural density residential setting. A substantial quantity of grading (2,290 cubic yards balanced on site) is proposed as the project includes below grade level which reduces the bulk height of the home. The proposed structures and driveway are sited within an opening in the oak canopy, and trees have been preserved close to the building footprint. A 42-inch diameter Valley oak, in poor condition, and a 10-inch diameter Coast live oak are proposed to be removed within the building envelope. The project was designed to avoid the removal of protected and landmark oak trees, minimize the visual impact, and maintain the natural aesthetic qualities of the site and surrounding area. An Addendum is required for any tree removal not previously approved as part of the Combined Development Permit PC94067.

### Design Approval

The Design Approval is for a 5,694 square foot single family residence including a 618 square foot garage, a 719 square foot guesthouse, a 1,704 square foot covered patio and 1,755 square foot open patio, an 952 square foot swimming pool, a six foot high 90 linear foot retaining wall. The residence, guesthouse and site improvements are constructed as one clustered complex, partially below grade to reduce the bulk and mass of the structure. The contemporary architectural design is less in character with the natural surroundings than other styles more common in the area, however; it is sited so that it cannot be seen from a public road or an adjacent residence, and is screened by a forest of oak trees. The rectangular and linear contemporary architectural style is less suitable for the natural setting than other styles; however, colors and materials will blend in with the natural surroundings and include gray plaster walls, natural wood cedar siding, weathered metal garage doors, wood decks. The roof is flat and will be covered with buff color rocks. The six foot retaining walls around the pool and patio area are concrete block with a gray stucco finish and are partially below grade.

### Site Plan District

The residence, guest suite and site improvements are constructed as one clustered complex and sited to avoid adverse impacts to natural resources. Lot coverage is less than 1% of the site with a 5,694 square foot residence and associated structures. The below grade design results in an increased quantity of grading (total 2,290 (1,145 cut, 1,145 fill)) which will be balanced on site. Areas exceeding 30% slopes have been avoided. The circular driveway and residence are located in the only open area in the oak forest canopy within the homeland boundary.

### California Environmental Quality Act (CEQA)

The Board of Supervisors certified the Final Environmental Impact Report (EIR 94-005), and approved the Combined Development Permit (CDP) (PC94067) for the Santa Lucia Preserve (Subdivision Resolution 96-060) and was amended in 1997 (Resolution 97-360). The CDP implemented the EIR and the Forest Management Plan (incorporated in the SLP Resource Management Plan), mitigation measures as conditions for the approved the Santa Lucia Preserve subdivision Phases A-C. The Combined Development Permit included a Use Permit for the removal of 1,480 trees (451 trees for home sites and 1,029 trees for driveway construction). Additional tree removal requires a permit in accordance with regulations of the Zoning Ordinance, Title 21. Staff has prepared an Addendum to the Santa Lucia Preserve Project EIR (attached as **Exhibit E**) to address site-specific conditions and the scope of work for the

proposed project in accordance with Article 11, Section 15164 of the California Environmental Quality Act.

The EIR Mitigation Measures and Use Permit conditions of approval require tree replacement ratios for tree removal, training for construction managers and heavy equipment operators, and tree cutters, methods of excavation, monitoring to ensure the survivability of the relocated trees, and the protection of trees potentially impacted by construction. A Tree Assessment was prepared for this parcel by Maureen Hamb (**Exhibit F**) who worked with the owner to site the residence and driveway to avoid impacts to trees. According to the assessment, the property is densely forested with Coast live oaks generally in fair to good condition and the homeland is restrictive as it is densely forested in the center. The residence is located in the only open area in the forest canopy and the circular driveway bisects the dense oak grove. Tree removal is avoided with exception of two protected oaks out of 58 oak trees growing within the homeland boundary (developable area) located within the building footprint.

Recommended Conditions of Approval No. 7 through 19 require methods for tree pruning, planting, irrigation, tree protection zones, trunk protection, training for construction managers and heavy equipment operators, hand excavation and monitoring. Prior to any grading a preconstruction training is required to train construction workers on site conducted by a qualified forester or arborist. After five years monitoring, a tree assessment will be required to be submitted to the RMA - Planning Department describing the health of the trees, success rates, and recommendations for further actions and/or replacement trees for trees that do not survive based on the success criteria in the Tree Assessment. Any protected trees that do not survive or are damaged during construction are required to be replaced with a size tree to be recommended by the Forester or Arborist considering the size, canopy and habitat value, or other value of the tree to be removed. Protected trees shall be replaced on a 3:1 ratio or 5:1 ratio for landmark trees (Condition No. 24 in Resolution No. 96-060) and consistent with Mitigation Measures 12-17 (Condition No. 135 in Resolution No. 96-060) incorporated as Conditions No. 8 through 19 for this project. The Addendum concluded that the tree removal is only a minor technical change and no changes or new information that would result in additional impacts that require preparation of a subsequent EIR is required.

#### Conclusion

The proposed residential development is consistent with the General Plan and applicable zoning designations and with the Santa Lucia Preserve Subdivision EIR and Forest Management Plan. The project design avoids tree removal by siting the building envelope and driveway within an opening in the canopy of oak forest, avoiding and minimizing tree removal. The proposed materials and colors blend with the natural landscape and are those approved by Santa Lucia Preserve Design Review Committee.

**EXHIBIT C  
DRAFT RESOLUTION**

**Before the Zoning Administrator in and for the  
County of Monterey, State of California**

In the matter of the application of:

**Stephen Kim and Deirdre Sheedy Kim (PLN100635)**

**RESOLUTION NO. ----**

Resolution by the Monterey County Director of the  
RMA-Planning Department:

- 1) Considering the Addendum to EIR No. 94-005 prepared pursuant to Article 11, Section 15164, and
- 2) Approving an Administrative Permit to allow the construction of a 5,694 square foot single family residence including a 618 square foot garage, a 719 square foot guesthouse, a 1,704 square foot covered patio and 1,755 square foot open patio, an 952 square foot swimming pool, a six foot high 90 linear foot retaining wall; and a Tree Removal Permit for the removal of a 42" diameter Valley oak and a 10" diameter Coast live oak; and Design Approval. Grading is approximately 2,290 cubic yards (1,145 cubic yards cut and 1,145 fill).

(PLN100635), Stephen Kim and Deirdre Sheedy Kim, 8 Arroyo Sequoia, Carmel, Greater Monterey Peninsula Area Plan (APN: 239-091-016-000)

**The Administrative Permit, Tree Removal Permit and Design Approval application (PLN100635) came on for public hearing before the Monterey County Zoning Administrator on July 28, 2011. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:**

**FINDINGS**

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

**EVIDENCE:** a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:

- the 2010 Monterey County General Plan;
- Greater Monterey Peninsula Area Plan;
- Santa Lucia Preserve Comprehensive Development Plan; and
- Monterey County Zoning Ordinance (Title 21);

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies

- with the text, policies, and regulations in these documents.
- b) The property is located at 8 Arroyo Sequoia, Santa Lucia Preserve Carmel (Assessor's Parcel Number 239-091-016-000, Greater Monterey Peninsula Area Plan. The parcel is zoned Resource Conservation, 40 acre minimum parcel size, Design Control and Site Plan Review Overlay Districts ("RC/40-D-S") which allows productive use of grazing lands and clustered residential uses, subject to an Administrative Permit and Design Approval. Proposed is a single family residence and associated accessory structures on an 8.3 acre parcel within a 2.4 acre homeland boundary in the Santa Lucia Preserve Comprehensive Development Plan therefore, the project is an allowed land use for this site.
- c) The project is consistent with the following 2010 Monterey County General Plan policies:
- Land Use LU-1.7 requires clustering of residential development to those portions of the property which are most suitable for development. The project is a 5,694 square foot single family residence and associated accessory structures on an 8.3 acre parcel (Lot 91) within a 2.4 acre homeland boundary in the Santa Lucia Preserve Comprehensive Development Plan. The residence, guest suite and site improvements are constructed as one clustered complex. It is one-story with below grade sections to reduce the bulk and mass of the structure.
- Land Use LU-1.13 requires that all exterior lighting shall be unobtrusive and constructed or located so that only the intended area is illuminated, long range visibility is reduced of the lighting source, and off-site glare is fully controlled. A standard condition of approval has been applied to the project to require that exterior lighting to be unobtrusive, down lit and shielded with no off-site glare.
- GMP-1.4 Development proposals shall include compatible open space uses located between other developed areas in order to maintain a rural atmosphere and to protect scenic resources.
- GMP-1.6 Special Treatment Area: Rancho San Carlos - Residential development is permitted on the portions of the Santa Lucia Preserve, and shall follow densities and policies as specified in Board of Supervisor Resolution No. 93-115. The project is a single family residence and within the Santa Lucia Preserve Comprehensive Development Plan.
- d) The proposed project is located in a Design Control District that regulates the location, size, configuration, materials, and colors of new structures and fences to assure the protection of the public view shed neighborhood character. The residence, guesthouse and site improvements are constructed as one clustered complex, partially below grade to reduce the bulk and mass of the structure. The contemporary architectural design is less in character with the natural surroundings than other styles more common in the area, however; it is sited so that it cannot be seen from a public road or an adjacent residence, and is screened by a forest of oak trees. The rectangular and linear contemporary architectural style is less suitable for the natural setting than other styles; however, colors and materials will blend in with the natural surroundings and include gray plaster walls, natural wood cedar

siding, weathered metal garage doors, wood decks. The roof is flat and will be covered with buff color rocks. The six foot retaining walls around the pool and patio area are concrete block with a gray stucco finish and are partially below grade.

- e) An Administrative Permit is required for projects located in a Site Plan Review District that regulates the review of development in those areas of the County where development by reason of its location has the potential to adversely affect or be adversely affected by natural resources or site constraints. The residence, guest suite and site improvements are constructed as one clustered complex and sited to avoid adverse impacts to natural resources. The below grade design results in an increased quantity of grading (total 2,290 (1,145 cut, 1,145 fill)) which will be balanced on site. Areas exceeding 30% slopes have been avoided. The circular driveway and residence is located in the only open area in the oak forest canopy within the homeland boundary. See Evidence 1d) above and Finding No. 6 below.
- f) The project planner conducted a site inspection on February 9, 2011 to verify that the project on the subject parcel conforms to the plans listed above.
- g) Tree Removal. The project is consistent with all tree removal conditions pursuant to Santa Lucia Preserve subdivision Use Permit PC94067 (Resolution No. 96-060) for the Santa Lucia Preserve Subdivision. The project, as conditioned, is consistent with the applicable goals and with the Regulations for Preservation of Oak and Other Protected Trees, Section 21.64.260(D) of the Monterey County Zoning Ordinance (Title 21). See discussion in Finding No. 6.
- h) Title 21, Section 21.70.060.A.2 states that an Administrative Permit shall be referred to the Zoning Administrator for consideration at a public hearing if the project is not categorically exempt from CEQA. The project requires a CEQA Addendum according to CEQA Section 15164 and was therefore referred to the Zoning Administrator.
- i) The project was not referred to a Land Use Advisory Committee (LUAC) for review as there is no LUAC for the area.
- j) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN100635.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: RMA - Planning Department, Monterey County Regional/Carmel Valley Fire Protection District; Public Works; Environmental Health Bureau; and the Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
  - b) The project was designed to avoid any potential impacts to natural and visual resources and was flagged and staked. The project is consistent with the County land use plan policies and zoning code regulations.



Technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff independently reviewed these reports and concurs with their conclusions. The following reports have been prepared:

1. A Preliminary Cultural Resources Reconnaissance was prepared for the Rancho San Carlos subdivision and development (Breschini and Haversat, 1992, 1993, 1994). The reports were reviewed and letter provided by Archaeological Consulting, Salinas California, April 1, 2011 (LIB#110134).
  2. A Geotechnical Investigation was prepared for the site by Soils Surveys, Salinas, California, February 17, 2011 (LIB#110133).
  3. A Construction Impact Analysis Santa Lucia Preserve Lot 91 was prepared by Maureen Hamb, Professional Consulting Services, March 4, 2011 (LIB#110135).
- c) Staff conducted a site inspection on February 9, 2011 to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN100635.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by: RMA - Planning Department, Monterey County Regional/Carmel Valley Fire Protection District; Public Works; Environmental Health Bureau; and the Water Resources Agency. The respective departments/agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
  - b) Necessary public facilities are available. Water and wastewater will be provided by the Santa Lucia Community Services District. The proposed residence will utilize the existing utility connections for power, phone, and cable.
  - c) Preceding findings and supporting evidence for PLN100635.

4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County RMA - Planning Department and Building Services Department Monterey County records and is not aware of any violations existing on subject property.
  - b) Staff conducted a site inspection on February 9, 2011 and researched

- County records to assess if any violation exists on the subject property.
- c) There are no known violations on the subject parcel.
  - d) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN100635.

5. **FINDING:** **CEQA (Addendum):** - An Addendum to a previously certified EIR was prepared pursuant to Code of Regulations, Title 14, Section 15164 to reflect changes or additions in the project that do not cause substantial changes or new information that would require major revisions to the adopted EIR.

- EVIDENCE:**
- a) An EIR for Santa Lucia Preserve Project Final Environmental Impact Report (EIR 94-005) was prepared and certified February 6, 1996, by Board of Supervisors Resolution No. 96-059. The Combined Development Permit (PC94067), Resolution 96-060, that was approved and amended (Resolution 97-360), implemented the EIR and the Forest Management Plan, prepared by Ralph Osterling Consultants, Inc., (incorporated in the SLP Resource Management Plan). Mitigation measures were included as conditions for the approved the Santa Lucia Preserve subdivision Phases A-C.
  - b) An Addendum to the Santa Lucia Preserve Project Final Environmental Impact Report (EIR 94-005) project EIR was prepared pursuant to Code of Regulations, Title 14, Section 15164 (CEQA Guidelines).
  - c) The Addendum attached as **Exhibit E** to the July 28, 2011, Staff Report to the Zoning Administrator reflects the County's independent judgment and analysis.
  - d) Pursuant to Section 15162 of the CEQA Guidelines, there are no substantial changes proposed in the project that would require major revisions to the prior EIR. Only minor technical changes are required to the environmental document. None of the conditions described in CEQA Guidelines Section 15162, which would require preparation of a subsequent EIR, have occurred. The project involves the construction of a 5,694 square foot residence and associated structures and driveway. The proposed structures and driveway are sited within an opening in the oak forest canopy, and trees have been preserved close to the building footprint. A 42-inch diameter Valley oak in poor condition and a 10-inch diameter healthy Coast live oak within the building envelope are proposed to be removed. The project was designed to avoid the removal of protected oak trees, minimize the visual impact and maintain the natural aesthetic qualities of the site and surrounding area.
  - e) Pursuant to Section 15162 of the CEQA Guidelines, there is no new information of substantial importance that was not known at the time the EIR was adopted. The project has not substantially changed since the original approval (EIR Resolution 94-005) such that new significant environmental effects or a substantial increase in the severity of previously identified significant effects would occur (Planning File No. PLN100635).
  - f) The anticipated tree removal for the subdivision Phases A-C was based on a worst case scenario; that all trees within the homeland boundary would be removed. The estimated removal for infrastructure was 1,029

trees and in fact only 429 trees were removed (PD070907, Exhibit E, email dated April 3, 2008, and Tree Removal Summary). This leaves a remainder of 628 tree removals that could be added to the residential tree removals. The estimated tree removal for homes and driveways was 451 trees; 867 trees are anticipated to be removed for residential lots and driveway, leaving a remainder of 213 trees not removed.

- g) As of January 12, 2011, oak trees removed for residential lots in Phases A-C is 420 trees (PD070907, Exhibit C). With the approval of this project, it will be 422 oak trees removed.

5. **FINDING: SANTA LUCIA PRESERVE SUBDIVISION (PHASE A, B & C): TREE REMOVAL** – The project is consistent with all tree removal conditions pursuant to Use Permit PC94067 (Resolution No. 96-060) for the Santa Lucia Preserve Subdivision.

- EVIDENCE:**
- a) The project proposes the removal of two trees. The tree amount indicated for the property was not assessed for tree removal in the Santa Lucia Preserve Forest Management Plan (FMP) by Ralph Osterling, Consultants, Inc. The previous lot number for the property was # SC-39 and according to the FMP, no trees were assessed for tree removal for the lot.
  - b) The project requires an addendum to the Santa Lucia Preserve EIR (see **Exhibit E** in the July 28, 2011 staff report). Though the tree removal amount proposed exceeds what was approved for the lot, it is consistent with what was analyzed in the Santa Lucia Preserve EIR (Resolution No. 94-005).
  - c) Tree replacement will be at a ratio of 3:1 for non-landmark and 5:1 for landmark trees. The removal of two trees will be replaced by eight trees (Condition No. 24 in Use Permit PC94067 (Resolution No. 96-060)).
  - d) Tree protection and maintenance measures found in the Santa Lucia Forest Management Plan have been applied as conditions to the project (Condition No. 135 in Use Permit PC94067 (Resolution No. 96-060)).
  - e) The project is consistent with Section 21.64.260 of the Monterey County Zoning Ordinance, Title 21, in that the project was sited to require the least amount of tree removal under the circumstance and avoids adverse environmental impacts. The proposed tree removal is the minimum required under the circumstances of the case. The development is proposed within the 2.4 acre homeland envelope established by the final map. The landmark oak to be removed is 95% without foliage, and in a declining almost dead condition. The structures and driveway have been located to minimize oak tree removal and cannot be seen from any public road or adjacent residence. The arborist met with the owner/agent to assess and to identify ways to site the structure and driveway to minimize tree removal. Tree removal is avoided with the exception of two protected oaks (a 42" diameter Valley oak and a 10" diameter Coast live oak); out of the total 58 oak trees within the homeland boundary (buildable area) located within the building footprint. One (24 inch) oak originally proposed for removal has been preserved by moving the entry walkway.
  - f) The removal will not involve a risk of adverse environmental impacts to soil erosion; water quality, ecological impacts, noise pollution; air

movement, wildlife habitat or associated ecosystems. The arborist's report (LIB#110135) includes recommendations for tree removal and tree protection. Measures for tree protection during construction have been incorporated as a non-standard condition of approval, Condition No. 7 and 11; and includes methods for tree removal, tree protection zones, trunk protection, and hand excavation. A standard condition requires monitoring after six months and after one year requires written verification from a qualified arborist to ensure replacement trees are healthy and growing. Trees are required to be replaced if they are not healthy or growing as determined by a qualified resource ecologist. However, a condition requires monitoring for five years for the Santa Lucia Preserve, included as Condition No. 8. Other standard RMA-Planning Department conditions are required include: a preconstruction survey for nesting birds, a landscape and irrigation plan, a fuel management plan, grading restrictions, and an erosion control plan.

- g) The site is considered an oak woodland as described in Fish and Game Code 2183.4; however, the arborist concluded that the development of the site would not negatively impact the woodland qualities that currently exist. It will not compromise the integrity of the oak stand, fragment the canopy or create a new forest "edge". A natural opening in the canopy was used for the development site, keeping the existing woodland intact.
- h) The application, plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development, found in Project File PLN100635.
- i) Staff conducted an on-site inspection on February 9, 2011 to verify that the proposed tree removal plan is consistent with the site conditions.

6. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Planning Commission.

**EVIDENCE:** Section 21.80.040.B Monterey County Zoning Ordinance (Planning Commission).

### DECISION

**NOW, THEREFORE**, based on the above findings and evidence, the Zoning Administrator does hereby:

- A. Consider an Addendum to EIR No. 94-005 prepared pursuant to Article 11, Section 15164); and
- B. Approve an Administrative Permit to allow the construction of a 5,694 square foot single family residence including a 618 square foot garage, a 719 square foot guest suite; a 1,704 square foot covered patio, a 1,755 square foot open patio, a 952 square foot swimming pool, a six foot high 90 linear foot retaining wall in a Site Plan Review District; a Tree Removal Permit for the removal of a 42" diameter Valley oak and a 10" diameter Coast live oak; and Design Approval. Grading is approximately 2,290 cubic yards (1,145 cubic yards cut and 1,145 cubic yards fill), in general conformance with the attached sketch (**Exhibit 2**) and subject to the conditions (**Exhibit 1**), both exhibits being attached hereto and incorporated herein by reference.

**PASSED AND ADOPTED** this 28<sup>th</sup> day of July, 2011.

---

Mike Novo  
Director of the RMA-Planning Department

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE [DATE]

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning Department and Building Services Department office in Salinas.

2. This permit expires **3 years** after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 03-28-2011

# Monterey County Planning Department

## DRAFT Conditions of Approval/Mitigation Monitoring Reporting Plan

PLN100635

Conditions of Approval and/or Mitigation Monitoring Measures	Responsible Department	Compliance or Monitoring Actions to be Performed
<p><b>1. PD001 - SPECIFIC USES ONLY</b></p> <p>This Administrative Permit to allow the construction of a 5,694 square foot single family residence including a 618 square foot garage, a 719 square foot guest suite; a 1,704 square foot covered patio, a 1,755 square foot open patio, a 952 square foot swimming pool, a six foot high 90 linear foot retaining wall in a Site Plan Review District; a Tree Removal Permit for the removal of a 42" diameter valley oak and a 10" diameter coast live oak; and Design Approval. Grading is approximately 2,290 cubic yards (1,145 cubic yards cut and 1,145 cubic yards fill), was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of the RMA - Planning Department. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning Department)</p>	Planning	The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.
<p><b>2. PD002 - NOTICE PERMIT APPROVAL</b></p> <p>The applicant shall record a Permit Approval Notice stating: "A permit (Resolution _____) was approved by the Zoning Administrator for Assessor's Parcel Number 239-091-016-000 on July 28, 2011. The permit was granted subject to 37 conditions of approval which run with the land. A copy of the permit is on file with the Monterey County RMA - Planning Department." Proof of recordation of this notice shall be furnished to the Director of the RMA - Planning Department prior to issuance of building permits or commencement of the use. (RMA - Planning Department)</p>	Planning	Prior to the issuance of grading and building permits or commencement of use, the Owner/Applicant shall provide proof of recordation of this notice to the RMA - Planning Department.
<p><b>3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT</b></p>		

Conditions of Approval and/or Mitigation Monitoring Measures	Responsible Department	Compliance or Monitoring Actions to be Performed
<p>If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. The Monterey County RMA - Planning Department and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery. (RMA - Planning Department)</p>	<p>Planning</p>	<p>The Owner/Applicant shall adhere to this condition on an on-going basis. Stop work within 50 meters (165 feet) of uncovered resource and contact the Monterey County RMA - Planning Department and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.</p>
<p><b>4. PD007- GRADING WINTER RESTRICTION</b> No land clearing or grading shall occur on the subject parcel between October 15 and April 15 unless authorized by the Director of RMA - Building Services Department. (RMA - Planning Department and Building Services Department)</p>	<p>Planning</p>	<p>The Owner/Applicant, on an on-going basis, shall obtain authorization from the Director of RMA - Building Services Department to conduct land clearing or grading between October 15 and April 15.</p>
<p><b>5. PD009 - GEOTECHNICAL CERTIFICATION</b> Prior to final inspection, the geotechnical consultant shall provide certification that all development has been constructed in accordance with the geotechnical report. (RMA - Planning Department and Building Services Department)</p>	<p>Planning</p>	<p>Prior to final inspection, the Owner/Applicant/Geotechnical Consultant shall submit certification by the geotechnical consultant to the RMA-Building Services Department showing project's compliance with the geotechnical report.</p>
<p><b>6. PD010 - EROSION CONTROL PLAN</b> The approved development shall incorporate the recommendations of the Erosion Control Plan as reviewed by the Director of RMA - Planning and Director of Building Services. All cut and/or fill slopes exposed during the course of construction be covered, seeded, or otherwise treated to control erosion during the course of construction, subject to the approval of the Director of RMA - Planning and RMA - Building Services. The improvement and grading plans shall include an implementation schedule of measures for the prevention and control of erosion, siltation and dust during and immediately following construction and until erosion control planting becomes established. This program shall be approved by the Director of RMA - Planning and Director of RMA - Building Services. (RMA - Planning Department and RMA - Building Services Department)</p>	<p>Planning</p>	<p>Prior to the issuance of grading and building permits, the Owner/Applicant shall submit an Erosion Control Plan to the RMA - Planning Department and the RMA - Building Services Department for review and approval.  The Owner/Applicant, on an on-going basis, shall comply with the recommendations of the Erosion Control Plan during the course of construction until project completion as approved by the Director of RMA - Planning and Director of RMA - Building Services.</p>
<p><b>7. TREE AND TREE PROTECTION NON-STANDARD</b></p>		

Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to the RMA - Planning Department for review and approval.

Planning

**Conditions of Approval and/or Mitigation Monitoring Measures**

PDSP001 - Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of RMA - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. All tree removal, including hand excavation and grading of trees near the driveway, residence and pool, tree protection, staging and monitoring shall be in accordance with the recommendations of the arborist's report dated March 4, 2011. The contractor shall be provided a copy of the arborist's report. (RMA - Planning Department)

**8. SANTA LUCIA PRESERVE TREE REPLACEMENT NON-STANDARD**

PDSP002 1. Use Permit PC94067 (Resolution No. 96-060) Condition No. 24 requires that all non-landmark oak trees removed as a result of the project at a 3:1 replacement ratio and replace landmark trees at a 5:1 ratio. All oak trees removed shall be replaced in on-site areas suitable for supporting oak species as determined by a qualified resource ecologist. The minimum replacement size shall be 5 gallons.  
2. Monitoring shall guarantee a success period of not less than 5 years after planting and a success ratio threshold of no less than 90%. Successful relocation and impacts to trees in areas disturbed by construction or grading shall be monitored for a minimum five years from the date the trees are replanted and at that time a qualified forester or arborist shall submit a report for review by the RMA - Planning Director to determine if additional monitoring time or actions are necessary to address or assess the success of replanting. All trees that die or are determined by the Forester not "successful" including those damaged from grading or construction shall be replaced on a 3:1 or 5:1 ratio with a size replacement tree to be recommended by the Forester considering the size, canopy and habitat value, or other value of the tree to be removed.

Planning

1. Prior to issuance of a building permit, the Owner/Applicant shall show locations as recommended by a qualified arborist or forester for 8 oak replacement trees on the landscape plans to the RMA - Planning Department for review and approval. Trees shall be installed prior to final permit.
2. A qualified forester or arborist shall submit a report for review by the RMA -Planning Director to determine if additional monitoring time or actions are necessary to address or assess the success of replanting. All trees that die or are determined by the Forester not "successful" including those damaged from grading or construction shall be replaced on a 3:1 or 5:1 ratio with a size replacement tree to be recommended by the Forester considering the size, canopy and habitat value, or other value of the tree to be removed.

**9. SANTA LUCIA PRESERVE FOREST MANAGEMENT PLAN NON-STANDARD**

PDSP003 - Use Permit PC94067 (Reso. No. 96-060) Condition 135 requires that owners of individual residential lots to comply with mitigation measures M-12 through M-17 of the Resource Management Plan and the Homeowner Oak Tree Maintenance Guidelines contained in the Forest Management Plan prepared for the project. All tree removal shall be in accordance with the approved Forest Management Plan prepared for this project by Ralph Osterling, Consultants, Inc.

Planning

Prior to issuance of grading and/or building permits and ongoing, the Owner/Applicant shall comply with mitigation measures M-12 through M-17 of the Resource Management Plan and the Homeowner Oak Tree Maintenance Guidelines contained in the Forest Management Plan prepared for the project.



10. **SANTA LUCIA PRESERVE FOREST MANAGEMENT PLAN NON-STANDARD**  
PDSP004 - Use Permit PC94067 (Reso. No. 96-060) requires that all tree removal shall be in accordance with the approved Forest Management Plan prepared for this project by Ralph Osterling, Consultants, Inc.  
3) All construction managers, heavy equipment operators, and tree cutters shall be trained in tree protection procedure prior to the start of construction.

11. **SANTA LUCIA PRESERVE FOREST MANAGEMENT PLAN NON-STANDARD**  
PDSP005 Use Permit PC94067 (Reso. No. 96-060) requires all tree removal shall be in accordance with the approved Forest Management Plan prepared for this project by Ralph Osterling Consultants, Inc.  
4) Where existing trees are to be retained and protected, exclusion fencing will be installed. Fencing will be installed around the perimeter of the tree's dripline. Drip line is defined as the point where the distance from the edge of the tree canopy to the trunk is there greatest. This radius will be used in establishing the perimeter of the exclusionary fencing. Fencing material should be highly visible and sturdy. Construction equipment and activities shall not encroach into the exclusion zone without written authorization from the designated forester.

12. **SANTA LUCIA FOREST MANAGEMENT PLAN NON-STANDARD**  
PDSP006 - Use Permit PC94067 (Reso. No. 96-060) requires all tree removal shall be in accordance with the approved Forest Management Plan prepared for this project by Ralph Osterling Consultants, Inc.  
5) The required construction of grade control structures (retaining walls at, or beyond the dripline and wells around the base of trees) shall avoid cut and fill within the drip zone of any protected tree, proper drainage and aeration shall be provided.

13. **SANTA LUCIA PRESERVE FOREST MANAGEMENT PLAN NON-STANDARD**

<p>PDSP006 - Use Permit PC94067 (Reso. No. 96-060) requires all tree removal shall be in accordance with the approved Forest Management Plan prepared for this project by Ralph Osterling Consultants, Inc.</p> <p>6) Grade changes that effect surface and subsurface drainage around the tree should be avoided. Adequate drainage is needed to prevent ponding of water around the base of the trees.</p>	<p>Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence that grade changes that effect surface and subsurface drainage around the tree will be avoided to ensure adequate drainage and to prevent ponding to the RMA - Planning Department for review and approval.</p>	<p>Planning</p>
<p><b>14. SANTA LUCIA PRESERVE TREE PROTECTION PLAN NON-STANDARD</b> PDSP007 - Use Permit PC94067 (Reso. No. 96-060) requires that all tree removal shall be in accordance with the approved Forest Management Plan prepared for this project by Ralph Osterling, Consultants, Inc.</p> <p>7) Trenching within the dripline of the tree shall be minimized. An alternative to trenching is to place utilities in a conduit that is bored through the soil. Trenches should not be excavated closer than half the distance from the trunk to the edge of the tree canopy. Where trenching within the dripline of protected trees is unavoidable, the use of a joint trenching for utilities for all utilities will help minimize damage caused by multiple trenching. If possible, roots three (3) inches in diameter and large should not be cut.</p>	<p>Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of minimized or joint trenching to the RMA - Planning Department for review and approval.</p>	<p>Planning</p>
<p><b>15. SANTA LUCIA PRESERVE FOREST MANAGEMENT PLAN NON-STANDARD</b> PDSP008 - Use Permit PC94067 (Reso. No. 96-060) requires all tree removal shall be in accordance with the approved Forest Management Plan prepared for this project by Ralph Osterling Consultants, Inc.</p> <p>8) Avoid soil compaction around the tree. When possible, use thick layer of crushed rock underlain by geotextile as an alternative to soil compaction for road base preparation within or near the drip zone of the trees. Placement of a thick layer of organic mulch such as wood chips is recommended for areas subject to light traffic. Vehicle and equipment parking and materials storage should not be allowed within the drip line of trees at any time.</p>	<p>Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence that soil compaction around trees will be avoided to the RMA - Planning Department for review and approval.</p>	<p>Planning</p>
<p><b>16. SANTA LUCIA PRESERVE FOREST MANAGEMENT PLAN NON-STANDARD</b> PDSP008 - Use Permit PC94067 (Reso. No. 96-060) requires all tree removal shall be in accordance with the approved Forest Management Plan prepared for this project by Ralph Osterling Consultants, Inc.</p> <p>9) Trees with greater than 30% percent root loss should be provided with supplemental seasonal irrigation. The irrigation should be deep and infrequent, monthly during the growing season. Supplemental irrigation should be provided for one to three years, depending on the degree of root damage or loss. Care should be taken to keep the zone around the root crown (6-10 foot radius around the trunk) dry.</p>	<p>Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence that supplemental irrigation for trees with greater than 30% root loss. Submit evidence after 3 years showing that supplemental irrigation has been removed to the RMA - Planning Department for review and approval.</p>	<p>Planning</p>

Conditions of Approval and/or Mitigation Monitoring Measures

Compliance or Monitoring Actions to be Performed

Responsible Department

17. **SANTA LUCIA PRESERVE FOREST MANAGEMENT PLAN NON-STANDARD**  
PDSP009- Use Permit PC94067 (Reso. No. 96-060) requires all tree removal shall be in accordance with the approved Forest Management Plan prepared for this project by Ralph Osterling Consultants, Inc.
- 10) Maintain a minimum of six (6) foot radius around the base of the tree that is dry and well drained. Mature native oaks should not receive regular summer irrigation unless a tree has suffered significant root loss; then the irrigation should be deep and infrequent.
18. **SANTA LUCIA PRESERVE FOREST MANAGEMENT PLAN NON-STANDARD**  
PDSP010 - Use Permit PC94067 (Reso. No. 96-060) requires all tree removal shall be in accordance with the approved Forest Management Plan prepared for this project by Ralph Osterling Consultants, Inc.
- 11) If paving must be place within the drip zone of a tree, a permeable pavement should be used. Avoid paving within a radius of six (6) feet around the base of any tree.
19. **SANTA LUCIA PRESERVE FOREST MANAGEMENT PLAN NON-STANDARD**  
PDSP011 - Use Permit PC94067 (Reso. No. 96-060) requires all tree removal shall be in accordance with the approved Forest Management Plan prepared for this project by Ralph Osterling Consultants, Inc.
- 12) A program shall be implemented to systematically eradicate invasive exotic plant species such as scotch broom and pampas grass. Exotic or invasive plant species shall not be planted and shall systematically be eradicated.
20. **PD016 - NOTICE OF REPORT**

Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence that a six (6) foot radius around the base of the tree that is dry and well drained to the RMA - Planning Department for review and approval.

Planning

Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence that paving within a radius of six (6) feet around the base of any tree has been avoided to the RMA - Planning Department for review and approval.

Planning

Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence that invasive exotic plant species such as scotch broom and pampas grass shall be avoided and eradicated shall be shown as part of the landscape plans to the RMA - Planning Department for review and approval.

Planning

**Compliance or Monitoring  
Actions to be Performed**

**Responsible  
Department**

**Conditions of Approval and/or Mitigation Monitoring Measures**

Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states:

1. A Preliminary Cultural Resources Reconnaissance was prepared for the Rancho San Carlos subdivision and development (Breschini and Haversat, 1992, 1993, 1994). The reports were reviewed and letter provided by Archaeological Consulting, Salinas California, April 1, 2011 (LIB#110134) and is on file in the Monterey County RMA - Planning Department.
2. A Geotechnical Investigation was prepared for the site by Soils Surveys, Salinas, California, February 17, 2011 (LIB#110133) and is on file in the Monterey County RMA - Planning Department.
3. A Construction Impact Analysis Santa Lucia Preserve Lot 91 was prepared by Maureen Hamb, Professional Consulting Services, March 4, 2011 (LIB#110135) and is on file in the Monterey County RMA - Planning Department.

All development shall be in accordance with these reports. (RMA - Planning Department)

Prior to the issuance of grading and building permits, the Owner/Applicant shall submit proof of recordation of this notice to the RMA - Planning Department.

Prior to occupancy, the Owner/Applicant shall submit proof, for review and approval, that all development has been implemented in accordance with the report to the RMA - Planning Department.

**21. PD050 - RAPTOR/MIGRATORY BIRD NESTING**

Any tree removal activity that occurs during the typical bird nesting season (February 22-August 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist.

Planning

No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit, to the RMA-Planning Department, a nest survey prepared by a County qualified biologist to determine if any active raptor or migratory bird nests occur within the project site or immediate vicinity.

**22. FUEL MANAGEMENT PLAN**

PDSP016 - A fuel management plan shall be prepared in consultation with the local fire authority and a qualified arborist, and shall be submitted for review and approval with the landscape plan.

Planning

Prior to issuance of building permits, the Owner/Applicant shall submit a Fuel Management plan to the RMA - Planning Department for review and approval with the submittal of the landscape plan. The fuel management plan shall include the recommendations from the local fire authority and a qualified or from the Arborist's report as applicable.

**23. PD012(E) - LANDSCAPE PLAN & MAINTENANCE (MP/WMD-OTHER)**

**Compliance or Monitoring  
Actions to be Performed**

**Responsible  
Department**

**Conditions of Approval and/or Mitigation Monitoring Measures**

The site shall be landscaped. Prior to issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of the RMA - Planning Department. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping and shall include an irrigation plan. The landscaping shall be installed and inspected prior to occupancy. All landscaped areas, and/or fences shall be continuously maintained by the applicant and all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (RMA - Planning Department)

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to the RMA - Planning Department for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit one (1) set landscape plans of approved by the RMA-Planning Department, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Non-Residential Water Release Form and Water Permit Application" to the Monterey County Water Resources Agency for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/ shall submit an approved water permit from the MPWMD to the RMA-Building Services Department.

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be installed and inspected.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

24.	<p><b>PD014(A) - LIGHTING-EXTERIOR LIGHTING PLAN</b> All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of the RMA - Planning Department, prior to the issuance of building permits. (RMA - Planning Department)</p>	Planning	<p>Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to the RMA - Planning Department for review and approval. Approved lighting plans shall be incorporated into final building plans.</p>
25.	<p><b>PD032(A) - PERMIT EXPIRATION</b> The permit shall be granted for a time period of 3 years, to expire on July 28, 2014 unless use of the property or actual construction has begun within this period. (RMA-Planning Department)</p>	Planning	<p>Prior to the expiration date stated in the condition, the Owner/Applicant shall obtain a valid grading or building permit and/or commence the authorized use to the satisfaction of the Director of Planning. Any request for extension must be received by the Planning Department at least 30 days prior to the expiration date.</p>
26.	<p><b>PD048 - TREE REPLACEMENT/RELOCATION</b> Prior to final permit, the applicant shall replace and or relocate each tree approved for removal as follows: - Replacement ratio: landmark trees 5:1, other protected trees 3:1, total 8 oaks - Replacement ratio recommended by arborist: same Replacement tree(s) shall be located within the same general location as the tree being removed or according to a qualified arborist's recommendations. Tree replacement locations shall be shown on the landscape plans.</p>	Planning	<p>The Owner/Applicant shall submit evidence of tree replacement to the RMA-Planning Department for review and approval. Evidence shall be a receipt for the purchase of the replacement tree(s) and photos of the replacement tree(s) being planted.</p> <p>Six months after the planting of the replacement tree(s), the Owner/Applicant shall submit evidence demonstrating that the replacement tree(s) are in a healthy, growing condition.</p> <p>One year after the planting of the replacement tree(s), the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the replacement tree(s) and whether or not the tree replacement was successful or if follow-up remediation measures or additional permits are required.</p>

Conditions of Approval and/or Mitigation Monitoring Measures	Responsible Department	Compliance or Monitoring Actions to be Performed
<p><b>27. PW0006 - CARMEL VALLEY</b> The Applicant shall pay the Carmel Valley Master Plan Area Traffic Mitigation fee pursuant to the Board of Supervisors Resolution NO. 95-140, adopted September 12, 1995 (Fees are updated annually based on CCI). (Public Works)</p>	Pub Works	Prior to Building Permits Issuance Owner/Applicant shall pay to PBI the required traffic mitigation fee.
<p><b>28. PW0040 - HIGHWAY 1 SHORT TERM IMPROVEMENTS</b> Applicant shall contribute \$887 (2011 Dollars) to County of Monterey as payment of the project's pro rata share at the cost of short-term operational improvements to State Highway One. (Public Works)</p>	Pub Works	Prior to Issuance of Building Permits Owner/Applicant shall pay to PBI required Traffic Mitigation Fee.
<p><b>29. FIRE007 - DRIVEWAYS</b> Driveways shall not be less than 12 feet wide unobstructed, with an unobstructed vertical clearance of not less than 15 feet. The grade for all driveways shall not exceed 15 percent. Where the grade exceeds 8 percent, a minimum structural roadway surface of 0.17 feet of asphaltic concrete on 0.34 feet of aggregate base shall be required. The driveway surface shall be capable of supporting the imposed load of fire apparatus (22 tons), and be accessible by conventional-drive vehicles, including sedans. For driveways with turns 90 degrees and less, the minimum horizontal inside radius of curvature shall be 25 feet. For driveways with turns greater than 90 degrees, the minimum horizontal inside radius curvature shall be 28 feet. For all driveway turns, an additional surface of 4 feet shall be added. All driveways exceeding 150 feet in length, but less than 800 feet in length, shall provide a turnout near the midpoint of the driveway. Where the driveway exceeds 800 feet, turnouts shall be provided at no greater than 400-foot intervals. Turnouts shall be a minimum of 12 feet wide and 30 feet long with a minimum of 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall be located within 50 feet of the primary building. The minimum turning radius for a turnaround shall be 40 feet from the center line of the driveway. If a hammerhead/T is used, the top of the "T" shall be a minimum of 60 feet in length. (Monterey County Regional Fire District)</p>	Fire	<ol style="list-style-type: none"> <li>1. Prior to issuance of grading and/or building permit, the applicant or owner shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.</li> <li>2. Prior to final building inspection, the applicant or owner shall schedule fire dept. clearance inspection.</li> </ol>
<p><b>30. WRSP1 - DRAINAGE PLAN (NON-STANDARD CONDITION)</b> The applicant shall provide a drainage plan, prepared by a registered civil engineer or licensed architect, to mitigate on-site and off-site impacts. The plan shall include stormwater dispersion facilities. Drainage improvements shall be constructed in accordance with plans approved by the Water Resources Agency. (Water Resources Agency)</p>	Water	Prior to issuance of any construction permits, the owner/applicant shall submit a drainage plan with the construction permit application. The Building Services Department will route a plan set to the Water Resources Agency for review and approval.
<p><b>31. WRSP2 - COMPLETION CERTIFICATION (NON-STANDARD CONDITION)</b> The applicant shall provide certification from a registered civil engineer or licensed contractor that stormwater dispersion facilities have been constructed in accordance with the approved drainage plan. (Water Resources Agency)</p>	Water	Prior to final inspection, the owner/applicant shall submit a letter to the Water Resources Agency prepared by a registered civil engineer or licensed contractor.

**32. FIRE008 - GATES**

All gates providing access from a road to a driveway shall be located at least 30 feet from the roadway and shall open to allow a vehicle to stop without obstructing traffic on the road. Gate entrances shall be at least the width of the traffic lane but in no case less than 12 feet wide. Where a one-way road with a single traffic lane provides access to a gated entrance, a 40-foot turning radius shall be used. Where gates are to be locked, the installation of a key box or other acceptable means for immediate access by emergency equipment may be required. (Monterey County Regional Fire District)

1. Prior to issuance of grading and/or building permit, the applicant or owner shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.

2. Prior to final building inspection, the applicant or owner shall schedule fire dept. clearance inspection.

Fire

**33. FIRE011 - ADDRESSES FOR BUILDINGS**

All buildings shall be issued an address in accordance with Monterey County Ordinance No. 1241. Each occupancy, except accessory buildings, shall have its own permanently posted address. When multiple occupancies exist within a single building, each individual occupancy shall be separately identified by its own address. Letters, numbers and symbols for addresses shall be a minimum of 4-inch height, 1/2-inch stroke, contrasting with the background color of the sign, and shall be Arabic. The sign and numbers shall be reflective and made of a noncombustible material. Address signs shall be placed at each driveway entrance and at each driveway split. Address signs shall be visible and legible from both directions of travel along the road. In all cases, the address shall be posted at the beginning of construction and shall be maintained thereafter. Address signs along one-way roads shall be visible from both directions of travel. Where multiple addresses are required at a single driveway, they shall be mounted on a single sign. Where a roadway provides access solely to a single commercial occupancy, the address sign shall be placed at the nearest road intersection providing access to that site. Permanent address numbers shall be posted prior to requesting final clearance. (Monterey County Regional Fire District)

1. Prior to issuance of building permit, the applicant or owner shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.

2. Prior to final building inspection, the applicant or owner shall schedule fire dept. clearance inspection.

Fire

**34. FIRE020 - DEFENSIBLE SPACE REQUIREMENTS (HAZARDOUS CONDITIONS)**

Remove combustible vegetation from within a minimum of 100 feet of structures. Limb trees 6 feet up from ground. Remove limbs within 10 feet of chimneys. Additional fire protection or firebreaks approved by the Reviewing Authority may be required to provide reasonable fire safety. Environmentally sensitive areas may require alternative fire protection, to be determined by Reviewing Authority and the Director of Planning and Building Inspection. (Monterey County Regional Fire District)

1. Prior to issuance of grading and/or building permit, the applicant or owner shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.

2. Prior to final building inspection, the applicant or owner shall schedule fire dept. clearance inspection.

Fire

**35. FIRE022 - FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM - (HAZ**



**Conditions of Approval and/or Mitigation Monitoring Measures**

The building(s) and attached garage(s) shall be fully protected with automatic fire sprinkler system(s). Installation shall be in accordance with the applicable NFPA standard. A minimum of four (4) sets of plans for fire sprinkler systems must be submitted by a California licensed C-16 contractor and approved prior to installation. This requirement is not intended to delay issuance of a building permit. A rough sprinkler inspection must be scheduled by the installing contractor completed prior to requesting a framing inspection. Due to substandard access, or other mitigating factors, small bathroom(s) and open attached porches, carports, and similar structures shall be protected with fire sprinklers. (Monterey County Regional Fire District)

**36. FIRE024 - FIRE ALARM SYSTEM - (SINGLE FAMILY DWELLING)**

The residence shall be fully protected with an approved household fire warning system as defined by NFPA Standard 72. Plans and specifications for the household fire warning system shall be submitted by a California licensed C-10 contractor and approved prior to installation. Household fire warning systems installed in lieu of single-station smoke alarms required by the Uniform Building Code shall be required to be placarded as permanent building equipment. (Monterey County Regional Fire District)

**37. FIRE028 - ROOF CONSTRUCTION - (CARMEL VALLEY FPD)**

All new structures, and all existing structures receiving new roofing over 50 percent or more of the existing roof surface within a one-year period, shall require a minimum of ICBO Class A roof construction. (Monterey County Regional Fire District)

**Compliance or Monitoring Actions to be Performed**

**Responsible Department**

Fire

1. Prior to issuance of building permit, the applicant or owner shall enumerate as "Fire Dept. Notes" on plans.
2. Prior to framing inspection, the applicant or owner shall schedule fire dept. rough sprinkler inspection.
3. Prior to final building inspection, the applicant or owner shall schedule fire dept. final sprinkler inspection.

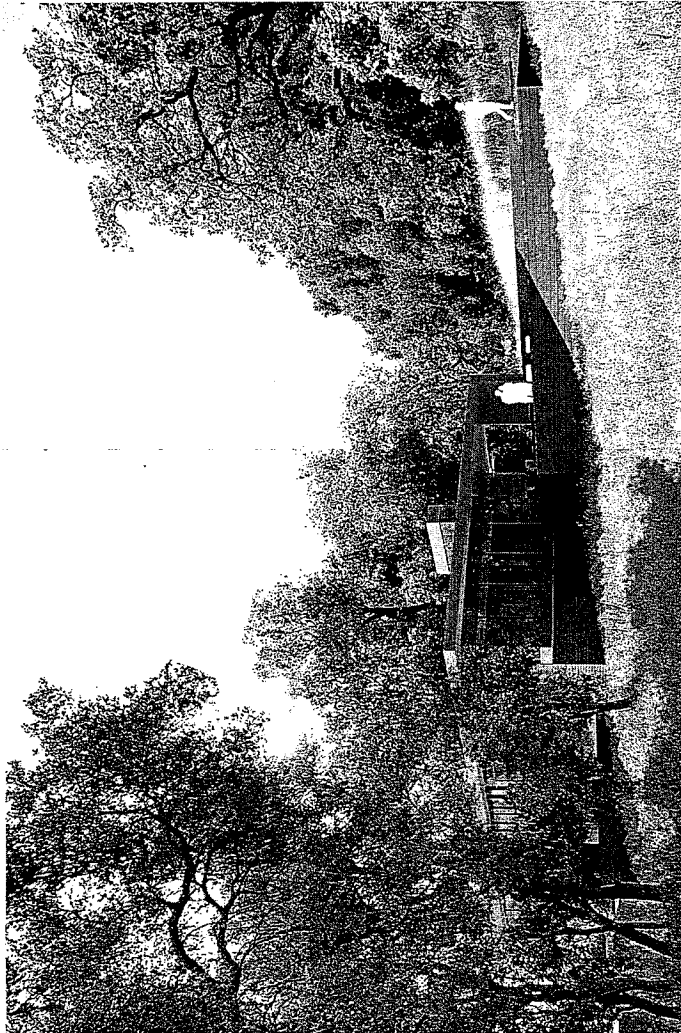
Fire

1. Prior to issuance of building permit, the applicant or owner shall enumerate as "Fire Dept. Notes" on plans.
2. Prior to rough sprinkler or framing inspection, the applicant or owner shall submit fire alarm plans and obtain approval.

3. Prior to final building inspection, the applicant or owner shall schedule fire alarm system acceptance test.

Fire

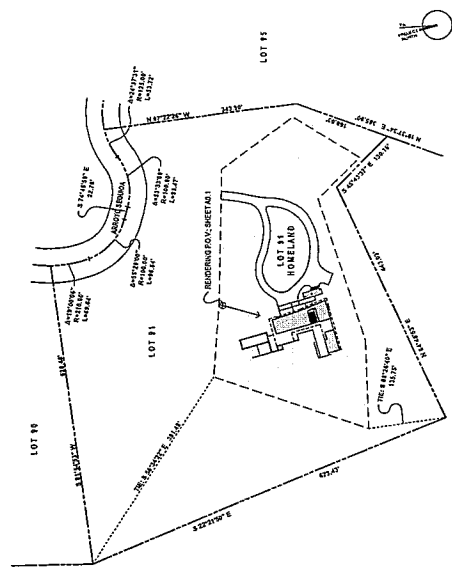
1. Prior to issuance of building permit, the applicant or owner shall enumerate as "Fire Dept. Notes" on plans.



**SAGAN PIECHOTA ARCHITECTURE**  
 1115 UNION STREET, SUITE 200, SAN FRANCISCO, CA 94103  
 TEL: (415) 774-1111  
 1115 UNION STREET, SUITE 200, SAN FRANCISCO, CA 94103  
 TEL: (415) 774-1111

**KIM RESIDENCE**  
 SANTA LUCIA PRESERVE - LOT 91

**DATE:** 04/11  
**SCALE:** AS NOTED  
**CHECKED BY:** DP  
**DRAWING BY:** CH  
**TITLE SHEET**



**VICINITY MAP**  
 NOT TO SCALE

# KIM RESIDENCE

SANTA LUCIA PRESERVE, CARMEL VALLEY, CALIFORNIA

**PROJECT SCOPE**  
 THE SCOPE OF WORK UNDER THIS BUILDING PERMIT SHALL INCLUDE ALL PERMITTED WORK, INCLUDING BUT NOT LIMITED TO: ALL ELECTRICAL, MECHANICAL, PLUMBING, AND FIRE PROTECTION WORK. THE PERMITTEE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTIONS. THE PERMITTEE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTIONS.

**PROJECT DATA**

**LEGAL**  
 LOCATION: 8 BARROSO REGIONAL, SANTA LUCIA PRESERVE  
 LOT NO.: 91  
 PARCEL NO.: 020-00-016  
 ZONING DISTRICT: R040-0-S (RURAL SINGLE-FAMILY RESIDENCE)  
 USE: SINGLE-FAMILY RESIDENCE

**SITE**  
 LANDSCAPE ZONE: WOODLAND  
 PARCEL SIZE: 31.144 S.F.  
 HOMELAND AREA: 19,044 S.F.  
 4.1 ACRES

**BUILDING DATA**  
 LOWER LEVEL: 1,792 S.F.  
 MAIN FLOOR: 818 S.F.  
 UPPER LEVEL: 458 S.F.  
 TOTAL: 3,068 S.F.

**PROJECT TOTAL**  
 6,841 S.F.

**APPLICABLE BUILDING CODES**  
 ALL WORK NOTED SHALL BE IN FULL ACCORD AND COMPLY WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA FIRE CODE (CFC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA SOFTWOOD PRESERVATION ACT (SPPA), CALIFORNIA FIRE CODE (CFC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA SOFTWOOD PRESERVATION ACT (SPPA).

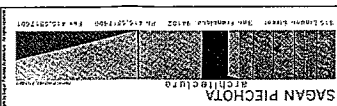
**OCCUPANCY GROUP**  
 R-3

**CONSTRUCTION TYPE**  
 TYPE IV (SPRINKLERED)

**DRAWING LIST INDEX**

NO.	DATE	DESCRIPTION
01	04/11	PRELIMINARY PERMIT SUBMITTAL
02	04/11	PRELIMINARY PERMIT SUBMITTAL
03	04/11	PRELIMINARY PERMIT SUBMITTAL
04	04/11	PRELIMINARY PERMIT SUBMITTAL
05	04/11	PRELIMINARY PERMIT SUBMITTAL
06	04/11	PRELIMINARY PERMIT SUBMITTAL
07	04/11	PRELIMINARY PERMIT SUBMITTAL
08	04/11	PRELIMINARY PERMIT SUBMITTAL
09	04/11	PRELIMINARY PERMIT SUBMITTAL
10	04/11	PRELIMINARY PERMIT SUBMITTAL
11	04/11	PRELIMINARY PERMIT SUBMITTAL
12	04/11	PRELIMINARY PERMIT SUBMITTAL
13	04/11	PRELIMINARY PERMIT SUBMITTAL
14	04/11	PRELIMINARY PERMIT SUBMITTAL
15	04/11	PRELIMINARY PERMIT SUBMITTAL
16	04/11	PRELIMINARY PERMIT SUBMITTAL
17	04/11	PRELIMINARY PERMIT SUBMITTAL
18	04/11	PRELIMINARY PERMIT SUBMITTAL
19	04/11	PRELIMINARY PERMIT SUBMITTAL
20	04/11	PRELIMINARY PERMIT SUBMITTAL
21	04/11	PRELIMINARY PERMIT SUBMITTAL
22	04/11	PRELIMINARY PERMIT SUBMITTAL
23	04/11	PRELIMINARY PERMIT SUBMITTAL
24	04/11	PRELIMINARY PERMIT SUBMITTAL
25	04/11	PRELIMINARY PERMIT SUBMITTAL
26	04/11	PRELIMINARY PERMIT SUBMITTAL
27	04/11	PRELIMINARY PERMIT SUBMITTAL
28	04/11	PRELIMINARY PERMIT SUBMITTAL
29	04/11	PRELIMINARY PERMIT SUBMITTAL
30	04/11	PRELIMINARY PERMIT SUBMITTAL
31	04/11	PRELIMINARY PERMIT SUBMITTAL
32	04/11	PRELIMINARY PERMIT SUBMITTAL
33	04/11	PRELIMINARY PERMIT SUBMITTAL
34	04/11	PRELIMINARY PERMIT SUBMITTAL
35	04/11	PRELIMINARY PERMIT SUBMITTAL
36	04/11	PRELIMINARY PERMIT SUBMITTAL
37	04/11	PRELIMINARY PERMIT SUBMITTAL
38	04/11	PRELIMINARY PERMIT SUBMITTAL
39	04/11	PRELIMINARY PERMIT SUBMITTAL
40	04/11	PRELIMINARY PERMIT SUBMITTAL
41	04/11	PRELIMINARY PERMIT SUBMITTAL
42	04/11	PRELIMINARY PERMIT SUBMITTAL
43	04/11	PRELIMINARY PERMIT SUBMITTAL
44	04/11	PRELIMINARY PERMIT SUBMITTAL
45	04/11	PRELIMINARY PERMIT SUBMITTAL
46	04/11	PRELIMINARY PERMIT SUBMITTAL
47	04/11	PRELIMINARY PERMIT SUBMITTAL
48	04/11	PRELIMINARY PERMIT SUBMITTAL
49	04/11	PRELIMINARY PERMIT SUBMITTAL
50	04/11	PRELIMINARY PERMIT SUBMITTAL
51	04/11	PRELIMINARY PERMIT SUBMITTAL
52	04/11	PRELIMINARY PERMIT SUBMITTAL
53	04/11	PRELIMINARY PERMIT SUBMITTAL
54	04/11	PRELIMINARY PERMIT SUBMITTAL
55	04/11	PRELIMINARY PERMIT SUBMITTAL
56	04/11	PRELIMINARY PERMIT SUBMITTAL
57	04/11	PRELIMINARY PERMIT SUBMITTAL
58	04/11	PRELIMINARY PERMIT SUBMITTAL
59	04/11	PRELIMINARY PERMIT SUBMITTAL
60	04/11	PRELIMINARY PERMIT SUBMITTAL
61	04/11	PRELIMINARY PERMIT SUBMITTAL
62	04/11	PRELIMINARY PERMIT SUBMITTAL
63	04/11	PRELIMINARY PERMIT SUBMITTAL
64	04/11	PRELIMINARY PERMIT SUBMITTAL
65	04/11	PRELIMINARY PERMIT SUBMITTAL
66	04/11	PRELIMINARY PERMIT SUBMITTAL
67	04/11	PRELIMINARY PERMIT SUBMITTAL
68	04/11	PRELIMINARY PERMIT SUBMITTAL
69	04/11	PRELIMINARY PERMIT SUBMITTAL
70	04/11	PRELIMINARY PERMIT SUBMITTAL
71	04/11	PRELIMINARY PERMIT SUBMITTAL
72	04/11	PRELIMINARY PERMIT SUBMITTAL
73	04/11	PRELIMINARY PERMIT SUBMITTAL
74	04/11	PRELIMINARY PERMIT SUBMITTAL
75	04/11	PRELIMINARY PERMIT SUBMITTAL
76	04/11	PRELIMINARY PERMIT SUBMITTAL
77	04/11	PRELIMINARY PERMIT SUBMITTAL
78	04/11	PRELIMINARY PERMIT SUBMITTAL
79	04/11	PRELIMINARY PERMIT SUBMITTAL
80	04/11	PRELIMINARY PERMIT SUBMITTAL
81	04/11	PRELIMINARY PERMIT SUBMITTAL
82	04/11	PRELIMINARY PERMIT SUBMITTAL
83	04/11	PRELIMINARY PERMIT SUBMITTAL
84	04/11	PRELIMINARY PERMIT SUBMITTAL
85	04/11	PRELIMINARY PERMIT SUBMITTAL
86	04/11	PRELIMINARY PERMIT SUBMITTAL
87	04/11	PRELIMINARY PERMIT SUBMITTAL
88	04/11	PRELIMINARY PERMIT SUBMITTAL
89	04/11	PRELIMINARY PERMIT SUBMITTAL
90	04/11	PRELIMINARY PERMIT SUBMITTAL
91	04/11	PRELIMINARY PERMIT SUBMITTAL
92	04/11	PRELIMINARY PERMIT SUBMITTAL
93	04/11	PRELIMINARY PERMIT SUBMITTAL
94	04/11	PRELIMINARY PERMIT SUBMITTAL
95	04/11	PRELIMINARY PERMIT SUBMITTAL
96	04/11	PRELIMINARY PERMIT SUBMITTAL
97	04/11	PRELIMINARY PERMIT SUBMITTAL
98	04/11	PRELIMINARY PERMIT SUBMITTAL
99	04/11	PRELIMINARY PERMIT SUBMITTAL
100	04/11	PRELIMINARY PERMIT SUBMITTAL

Exhibit 1-2



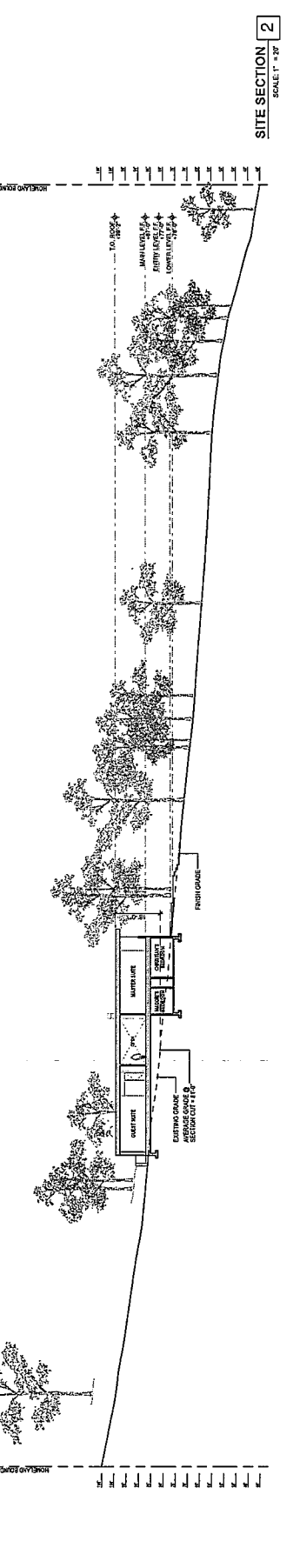
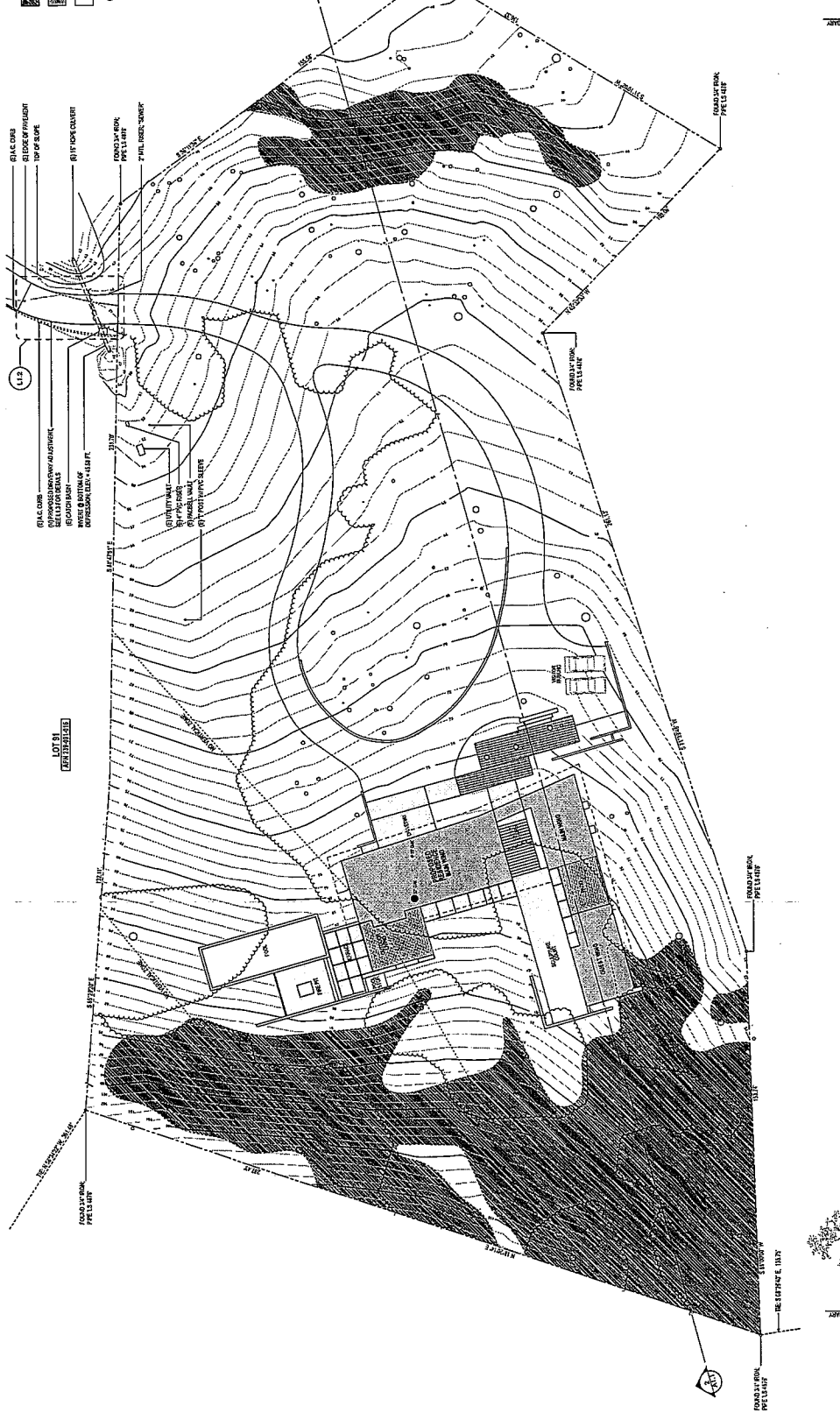
KIM RESIDENCE  
8 RANCHO SEQUOIA  
SANTA LUCIA PRESERVE - LOT 91

DRAWING ISSUES:	
NO.	DATE
11/04/2019	PRELIMINARY P&S SUBMITTAL
03/06/2021	DD PROGRESS SET
03/06/2021	PAUL D'ERAMO SUBMITTAL
04/02/2021	CONCEPT PLAN SUBMITTAL
04/02/2021	CONCEPT PLAN SUBMITTAL

SITE PLAN & SECTION	
DATE:	AS NOTED
DRAWING BY:	CM
CHECKED BY:	DP
SCALE:	AS NOTED

A1.1

- SHEET NOTES:**
- 1. 25% SLOPE
  - 2. BUILDING FOOTPRINT
  - 3. HARDSCAPE
  - 4. TREES TO BE REMOVED; REFER TO ARBORIST REPORT
  - 5. TOTAL DRAINAGE CUT: APPROX. 1,500 CU
  - 6. PRESERVE EXISTING TREES AND INSTALL 10' W/ 8" SEPTIC
  - 7. PRESERVE EXISTING TREES AND INSTALL 10' W/ 8" SEPTIC
  - 8. REFER TO ARBORIST REPORT FOR PROPOSED TREE REMOVAL & TREE PRESERVATION NOTES



**SITE SECTION 2**  
SCALE: 1" = 20'

**PROJECT INFORMATION:**  
 PROJECT NAME: 8 ARROYO SEQUOIA - LOT 91  
 PROJECT ADDRESS: 238-061-016  
 PURPOSE OF GRADING: NEW SINGLE FAMILY DWELLING DRIVEWAY & CORELANDER UNIT  
 APPLICANT: STEPHEN & JOE DISE INC  
 ARCHITECT: SAGAN PISCHOTA ARCHITECTURE  
 LANDSCAPE ARCHITECT: BERNARD THOMAS & ASSOCIATES  
 GEOTECHNICAL ENGINEER: SOIL SURVEYORS INC  
 CIVIL ENGINEER: BRALIMBI ASSOCIATES INC  
 EXISTING DATE: 2011  
 COMPLETION DATE: 2011  
 PREPARED BY: SAGAN PISCHOTA ARCHITECTURE

**SOILS REPORT:**  
 ALL WORK TO COMPLY WITH THE RECOMMENDATIONS IN THE SOILS REPORT PREPARED BY SOIL SURVEY, INC AND JESHA.

**BENCHMARK:**  
 THE MOUNTAIN VIEW MOUNTAIN VIEW MOUNTAIN VIEW

**GRADING QUANTITIES:**  
 TRENCH: 114.5 CF  
 ESTIMATES ONLY: BUT FOR RECORD DOES NOT INCLUDE FOOTING/FOUNDATION MATERIAL, NO EXPANSION FACTOR

**CML SHEET INDEX:**

**LEGEND & ABBREVIATIONS:**

**PROJECT INFORMATION:**

**DATE: 04/11/11**  
**CHECKED BY: JAS**  
**DRAWN BY: JAS**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**

**PROJECT INFORMATION:**



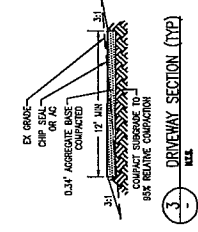
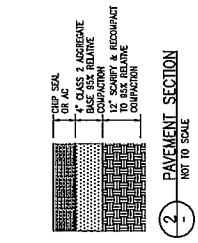
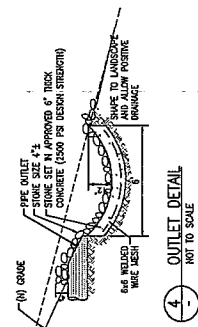
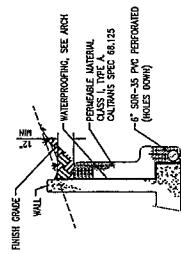
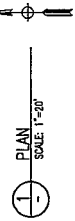
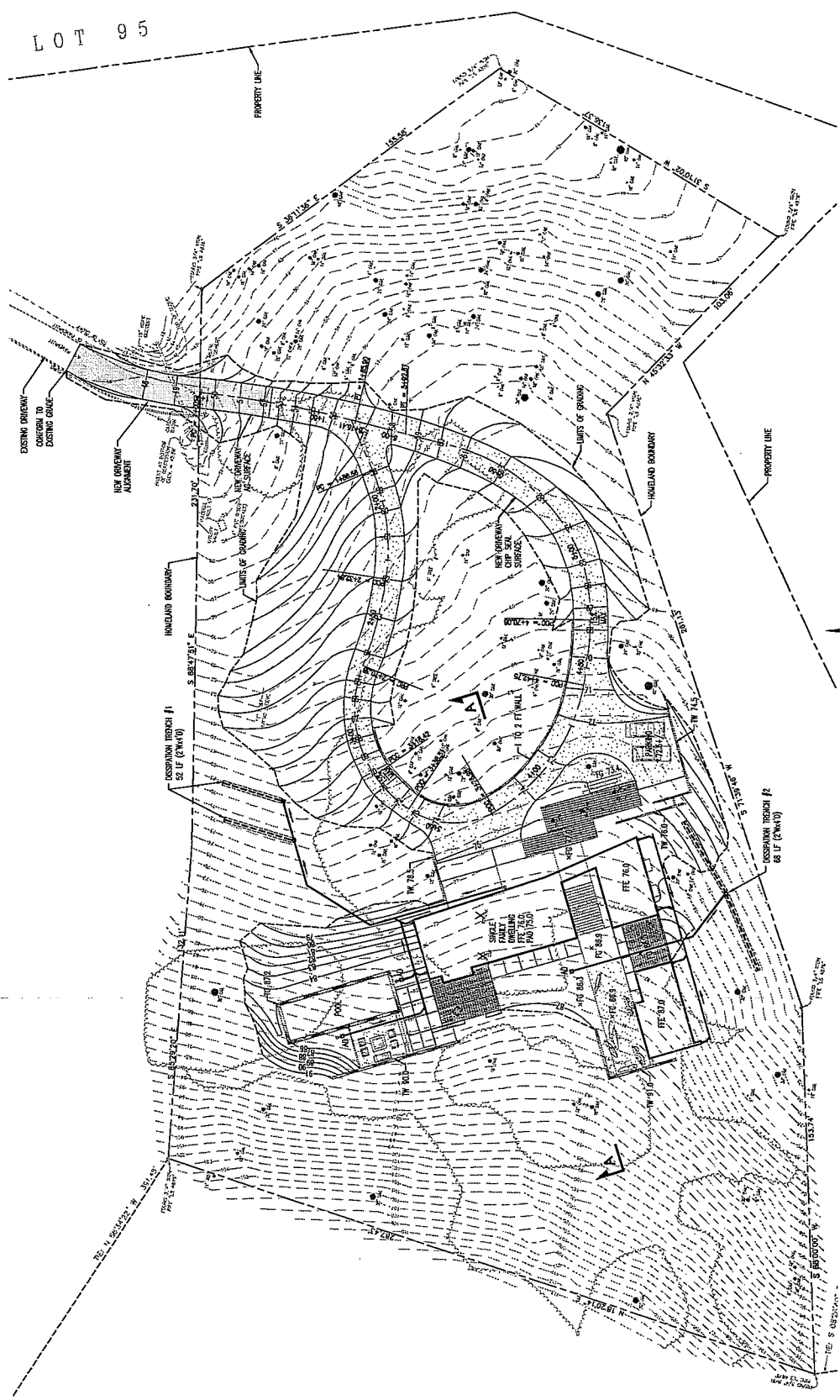
**SAGAN PIECHOTA**  
 ENGINEER  
 25000 E. GRAND AVENUE  
 ANN ARBOR, MI 48106  
 PHONE: 734.769.1234  
 FAX: 734.769.1235  
 WWW.SAGANPIECHOTA.COM

**KIM RESIDENCE**  
 8 AMYNDRA BRIDLE  
 SANTIQUA PRESERVE - LOT 91  
 ANN 298-091-018  
 Engineering Association, Inc.  
 10000 E. GRAND AVENUE  
 ANN ARBOR, MI 48106  
 PHONE: 734.769.1234  
 FAX: 734.769.1235  
 WWW.SAGANPIECHOTA.COM

NO.	DATE	DESCRIPTION
1		PRELIMINARY APPROVAL
2		FINAL PLAN SUBMITTAL
3		APPROVED FOR CONSTRUCTION
4		CONSTRUCTION
5		AS-BUILT

DATE: 11/15/2023  
 DRAWING NO: 23-001-018  
 PROJECT: KIM RESIDENCE

**C2**

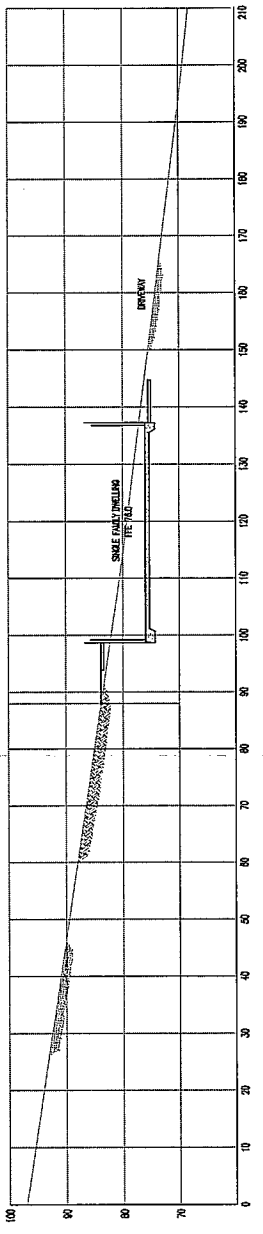
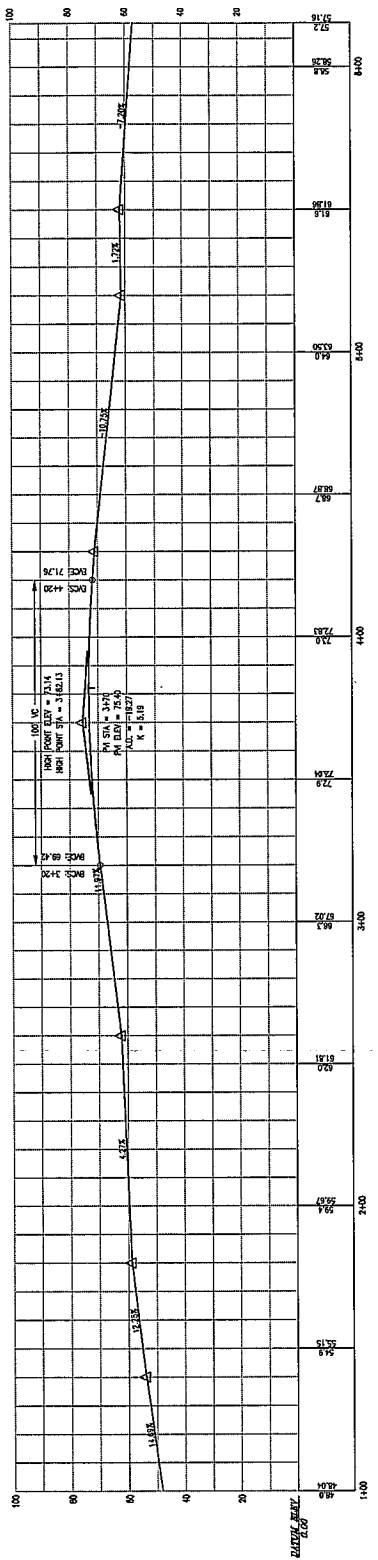


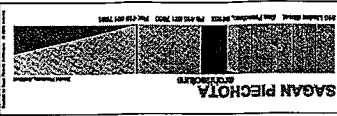
DATE	DRAWING BY	DATE	DRAWING BY
SCALE: AS NOTED	CHECKED BY	SCALE: AS NOTED	CHECKED BY
<b>PROFILES &amp; SECTIONS</b>			
NO.	DATE	DESCRIPTION	
1		PROFILES AND SECTIONS	
2		PROFILES AND SECTIONS	
3		PROFILES AND SECTIONS	
4		PROFILES AND SECTIONS	
5		PROFILES AND SECTIONS	
6		PROFILES AND SECTIONS	
7		PROFILES AND SECTIONS	
8		PROFILES AND SECTIONS	
9		PROFILES AND SECTIONS	
10		PROFILES AND SECTIONS	

**KIM RESIDENCE**  
 2 ACRE SECTION  
 SAGAN LAKKA RESERVE - LOT 81  
 APN 289-081-018



**SAGAN PECHOTA**  
 2500 Lakeside Drive, San Francisco, CA 94133  
 Phone: 415 555-1234  
 Fax: 415 555-5678  
 Email: sagan@pechota.com





DATE: 04/01/2019		PROJECT: KIM RESIDENCE
DRAWN BY: AS		CHECKED BY: AS
PROJECT: KIM RESIDENCE		LOCATION: 1500 S. MOUNTAIN VIEW AVE, PASADENA, CA 91101
NO. DATE		DESCRIPTION
1. 04/01/2019		FINAL DESIGN
2. 04/01/2019		REVISIONS
3. 04/01/2019		REVISIONS
4. 04/01/2019		REVISIONS
5. 04/01/2019		REVISIONS
6. 04/01/2019		REVISIONS
7. 04/01/2019		REVISIONS
8. 04/01/2019		REVISIONS
9. 04/01/2019		REVISIONS
10. 04/01/2019		REVISIONS
11. 04/01/2019		REVISIONS
12. 04/01/2019		REVISIONS

C4

**EROSION CONTROL PLAN & CONSTRUCTION MANAGEMENT INFORMATION**

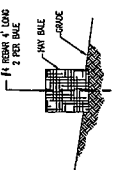
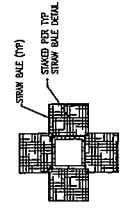
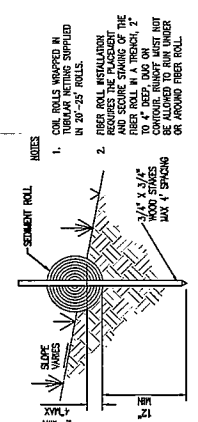
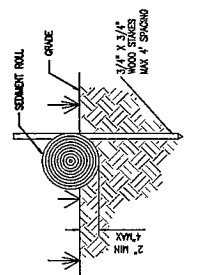
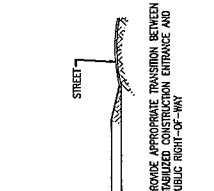
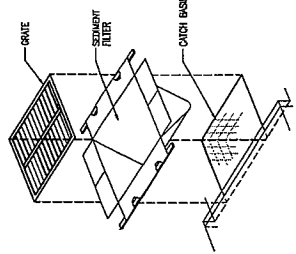
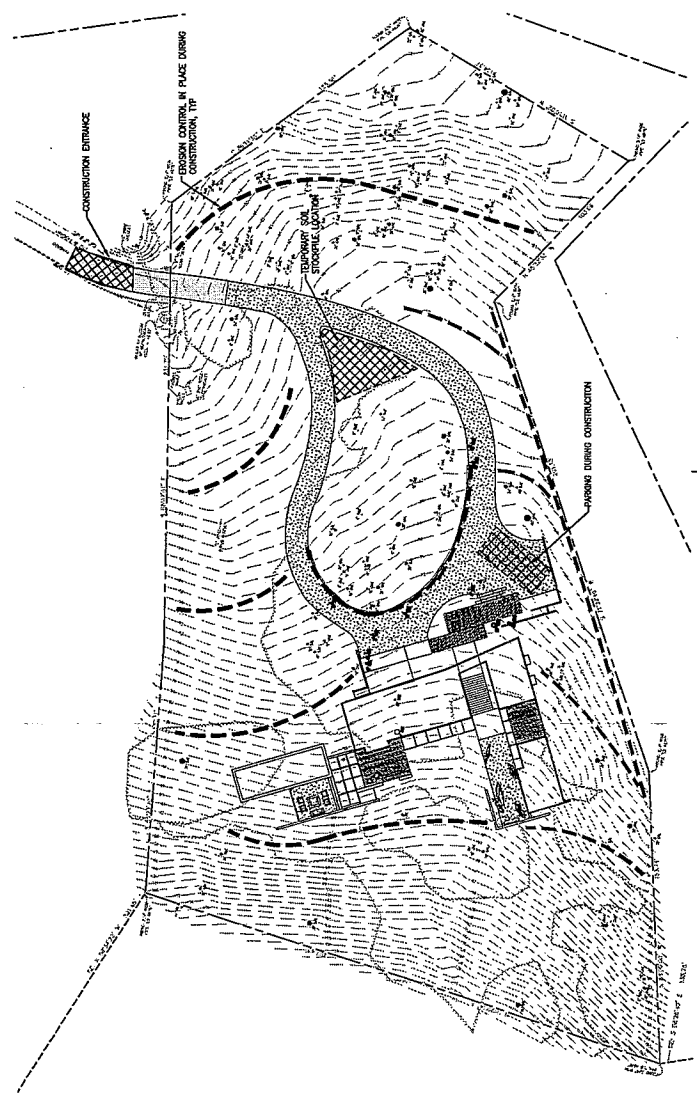
**EROSION CONTROL NOTES:**

1. ALL AREAS WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION.
2. SEEDS OR STRIPS ENCOURAGED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH APPROVED METHODS ESTABLISHED BY THE SOIL SWATHER.
3. STABILIZE ALL CHANGED AREAS WITH VEGETATION, ERIGED STRIPS, OR OTHER GRASS COVER AS SOON AS GRADING IS COMPLETED OR IF WORK IS INTERRUPTED FOR 21 WORKING DAYS OR MORE. USE MULCH TO STABILIZE AREAS TEMPORARILY WHERE FINAL GRASSING MUST BE DELAYED.
4. STOCKPILES, BARRIERS AREAS AND SPOIL AREAS SHALL BE STABILIZED TO PREVENT EROSION AND SEDIMENTATION.
5. APPLY SEED, FERTILIZER AND STRAW MULCH, THEN TRUCK OR PUSH IN THE MULCH WITH AN APPROVED MECHANICAL WEIGH OR BY HAND.
6. ALL DISTURBED SURFACES MUST BE PROTECTED FROM EROSION BETWEEN OCTOBER 15 AND APRIL 15. EROSION CONTROL MEASURES MUST BE IN PLACE AND MAINTAINED THROUGHOUT.
7. DISTURBANCE OF SURFACE VEGETATION DURING CONSTRUCTION SHALL BE KEPT TO A MINIMUM.
8. DISTURBED AREAS SHOULD BE SEEDED, FERTILIZED, AND MULCHED TO PREVENT EROSION DURING WINTER MONTHS. INSTALL STRAW BALE SLOTTED BARRIER AS SHOWN ON PLAN.
9. ALL CUT AND FILL SLOPES SHALL BE PLANTED WITH A SEED MIXTURE THAT WILL YIELD THE FOLLOWING RATE OF APPROXIMATELY APPROVED EQUAL.

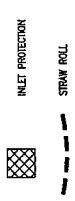
THE FOLLOWING GUIDELINES ARE THE BEST PRACTICES FOR ECOLOGICALLY SOUND NATURE PLANT MIXES FOR EROSION PREVENTION. THE USE OF SEED COVERS AND MULCH MATERIALS WILL BE REQUIRED FOR ALL SLOPES. NOTE: WITH EXCEPTION OF A FEW SEEDS, ALL ARE GRASSES.

SEED CODE	COMMON NAME	COMMON USE
BS	BOUTELLOUS BLADEGRASS	LOW FERT, PARTLY SHADED SITES
CA	CALIFORNIA BROMIDIUM	SHADED HILLSIDE DRAINS
EL	ELIOT'S BROMIDIUM	SHADED HILLSIDE DRAINS
FE	FESTUCA RUBRA	SHADED HILLSIDE DRAINS
HA	HARDY BROMIDIUM	SHADED HILLSIDE DRAINS
HO	HORNBURN BROMIDIUM	SHADED HILLSIDE DRAINS
LA	LEAVY TRICHODES	SHADED HILLSIDE DRAINS
MA	MARSH BROMIDIUM	SHADED HILLSIDE DRAINS
ME	MEXICAN BROMIDIUM	SHADED HILLSIDE DRAINS
MO	MOUNTAIN BROMIDIUM	SHADED HILLSIDE DRAINS
MS	MOUNTAIN SLOPES	SHADED HILLSIDE DRAINS
MT	MOUNTAIN SLOPES	SHADED HILLSIDE DRAINS
NU	NUGGET BROMIDIUM	SHADED HILLSIDE DRAINS
PE	PERENNIAL BROMIDIUM	SHADED HILLSIDE DRAINS
PO	PORPOLE BROMIDIUM	SHADED HILLSIDE DRAINS
PR	PURSH BROMIDIUM	SHADED HILLSIDE DRAINS
RA	RAVINE BROMIDIUM	SHADED HILLSIDE DRAINS
SD	SAND BROMIDIUM	SHADED HILLSIDE DRAINS
SH	SHADY BROMIDIUM	SHADED HILLSIDE DRAINS
SI	SUNSHINE BROMIDIUM	SHADED HILLSIDE DRAINS
SO	SUNSHINE BROMIDIUM	SHADED HILLSIDE DRAINS
SP	SUNSHINE BROMIDIUM	SHADED HILLSIDE DRAINS
ST	STAINLESS BROMIDIUM	SHADED HILLSIDE DRAINS
TR	TRIFOLIUM BROMIDIUM	SHADED HILLSIDE DRAINS
VA	VANILLA BROMIDIUM	SHADED HILLSIDE DRAINS
VE	VERMONT BROMIDIUM	SHADED HILLSIDE DRAINS
VI	VIRGINIA BROMIDIUM	SHADED HILLSIDE DRAINS
VO	VOLUME BROMIDIUM	SHADED HILLSIDE DRAINS
VS	VOLUME BROMIDIUM	SHADED HILLSIDE DRAINS
VT	VOLUME BROMIDIUM	SHADED HILLSIDE DRAINS
VA	VOLUME BROMIDIUM	SHADED HILLSIDE DRAINS
VS	VOLUME BROMIDIUM	SHADED HILLSIDE DRAINS
VT	VOLUME BROMIDIUM	SHADED HILLSIDE DRAINS

TYPE I: SUNSHINE BALE TO MODERATE SLOPES. BOTTOM OF SLOPE OR HILL.  
 DESKAL (15), LEXIA/ALPHA (20), BROCOR (20), MOKRY/WASER (15)  
 TYPE II: SEEDER CUTS.  
 PEARU (2000 PLS), TESABIB/FESAL (20), BROCOR (10)  
 SLOPE NETTING AND SEED COVER, WHEN REQUIRED, MUST MEET THESE CRITERIA:  
 1. NETTING IS JUTE OR NATURAL FIBER ONLY.  
 2. NETTING IS LIMITED TO 1000-1500 LBS PER TON AND/OR CERTIFIED CLEAN (STUBBLE) GRASS STRAW.  
 3. SEED COVER IS LIMITED TO 1000-1500 LBS PER TON AND/OR CERTIFIED CLEAN (STUBBLE) GRASS STRAW.  
 4. NETTING AND SEED COVER MUST BE APPLIED WITHIN 48 HOURS OF GRADING.  
 5. CUT AND BALE NETTING WITH ANY AMOUNT OF SEED PRESENT ARE STRICTLY FORBIDDEN.



**LEGEND & ABBREVIATIONS:**



1. INLET FILTER DETAIL  
NOT TO SCALE

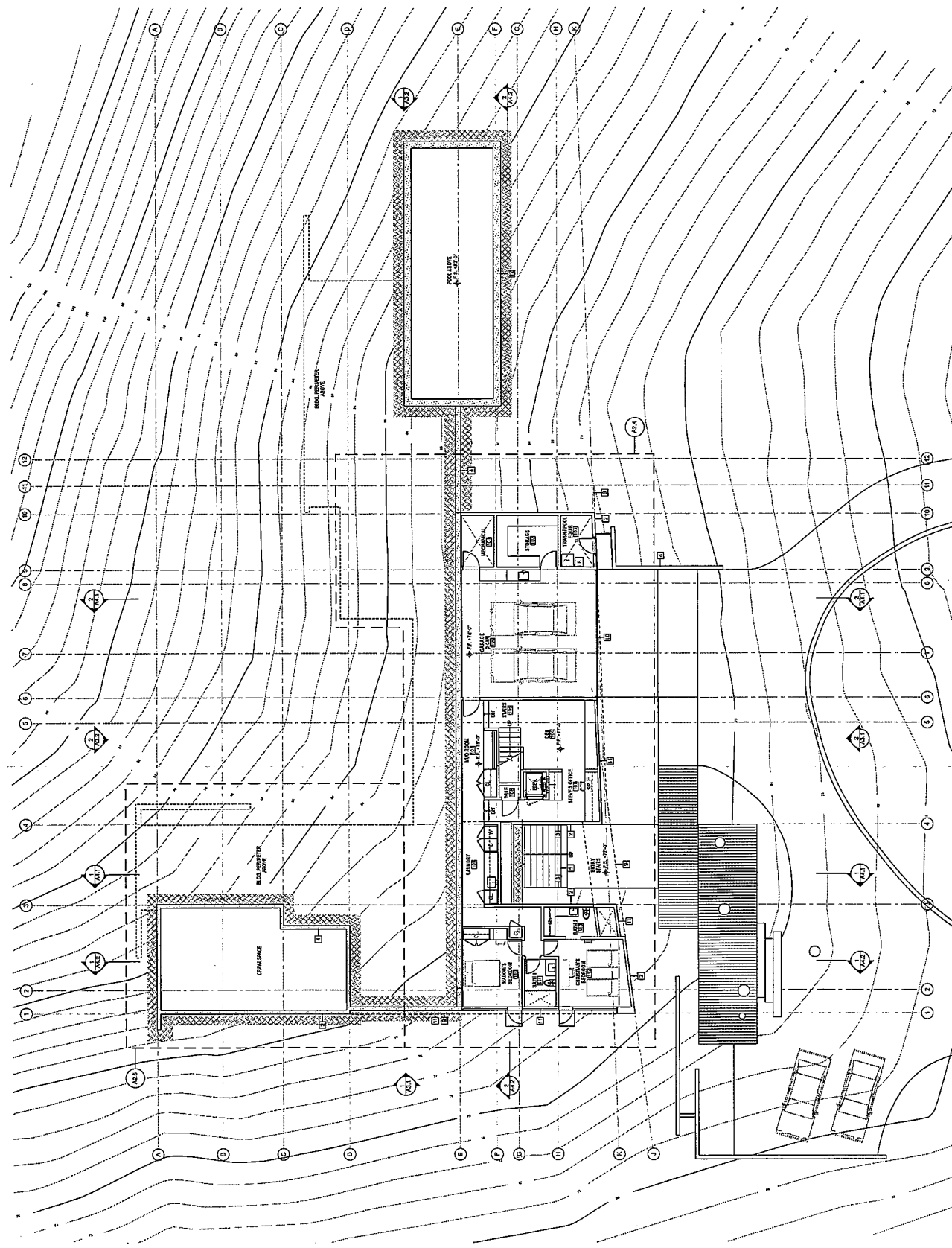
2. STABILIZED CONSTRUCTION ENTRANCE  
NOT TO SCALE

3. ENTRENCHMENT DETAIL IN FLAT AREA  
NOT TO SCALE

4. ENTRENCHMENT DETAIL IN SLOPED AREA  
NOT TO SCALE

5. INLET PROTECTION  
NOT TO SCALE

- KEYED NOTES:**
- 1. EDGE OF CEILING OR ROOF ABOVE
  - 2. VERTICAL GLASS WOOD SIDER
  - 3. HORIZONTAL GLASS WOOD SIDER
  - 4. CONCRETE BLOCK RETAINING WALL S.D.
  - 5. CONCRETE SLAB W/ WOOD & METAL
  - 6. FINISH OF LANDSCAPE ELEMENTS
  - 7. FINISH OF LANDSCAPE ELEMENTS
  - 8. LANDSCAPE PLANTING S.D.
  - 9. EDGE OF STRUCTURE ABOVE
  - 10. WEATHERED METAL CLADDING, TYP.
  - 11. SAND-CORDED CONCRETE FINISH
  - 12. EXTERIOR PAINTED STUCCO
  - 13. BALCONY GUARDRAIL, T.O.W. + 100"
  - 14. HONDECAFE FINING, S.L.D.



SAGAN PITCHOTA  
 315 LINCOLN BLVD. 2ND FLOOR, SUITE 202  
 SANTA LUCIA PRESERVE - LOT 91

**KIM RESIDENCE**  
 8 APT/2 RESIDUAL

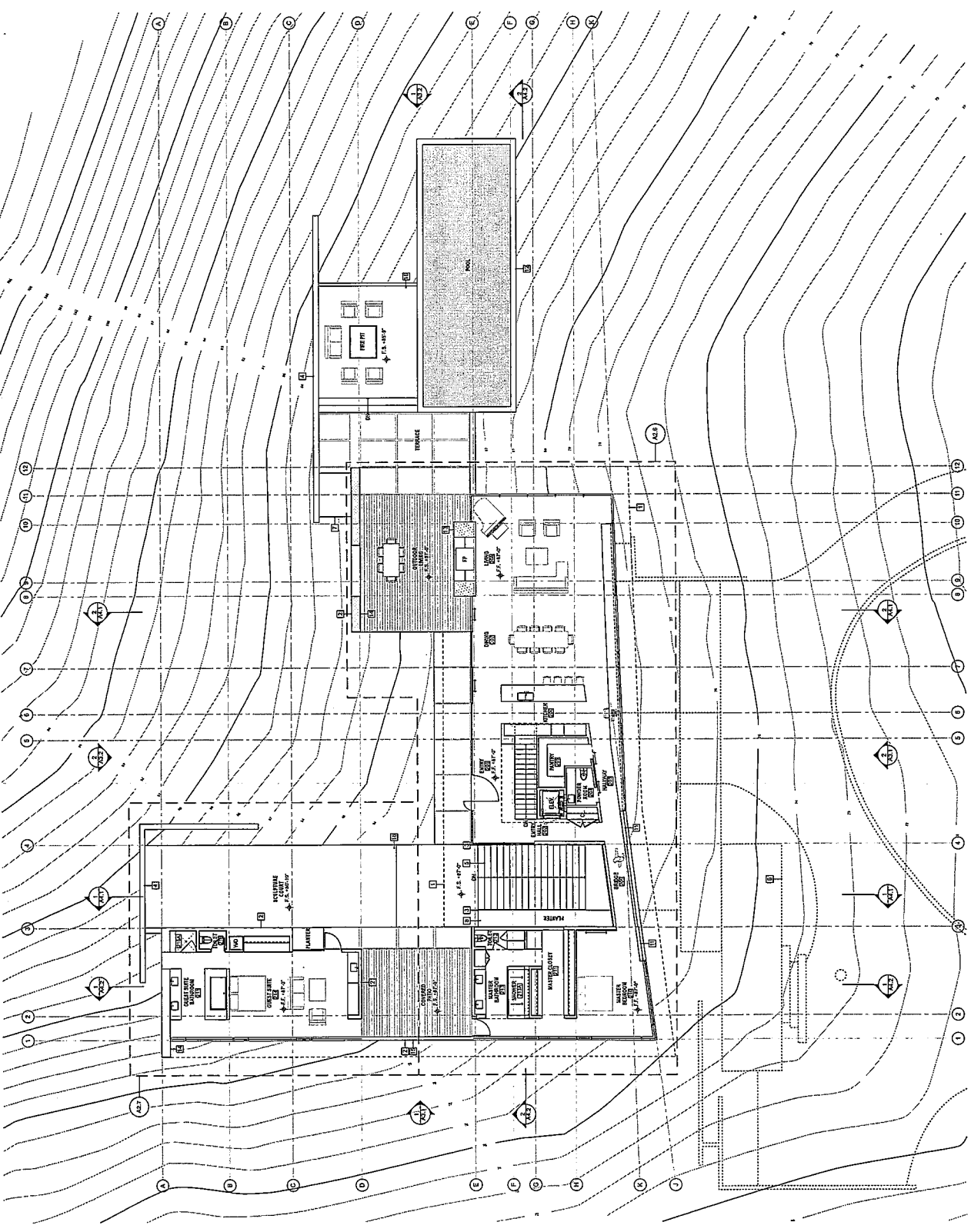
NO.	DATE	DESCRIPTION
1	11/04/2010	PRELIMINARY CONCEPT
2	01/20/2011	FINAL DESIGN
3	03/20/2011	CONSTRUCTION ADMINISTRATION

DRAWING ISSUE:	
DATE:	11/04/2010
SCALE:	AS NOTED
CHECKED BY:	GP
DRAWN BY:	GP

**A2.1**  
**LOWER FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"



- KEYED NOTES:**
- 1 EDGE OF CURB OR ROOF ABOVE
  - 2 HORIZONTAL CEDAR WOOD SINGE,
  - 3 HORIZONTAL CEDAR WOOD SINGE,
  - 4 CONCRETE BLOCK RETAINING WALL S.E.D.
  - 5 CONCRETE BLOCK RETAINING WALL S.E.D.
  - 6 POLYURETHANE GLASSING, TYP.
  - 7 POLYURETHANE GLASSING, TYP.
  - 8 POLYURETHANE GLASSING, TYP.
  - 9 BOARD-FORMED CONCRETE FIREPLAGE
  - 10 BOARD-FORMED CONCRETE FIREPLAGE
  - 11 EXTERIOR PAINTED STUCCO
  - 12 BALCONY GUARDRAIL, T.O.W. + 092"
  - 13 LANDSCAPE PAVING, S.L.D.
  - 14
  - 15
  - 16
  - 17
  - 18
  - 19
  - 20
  - 21
  - 22
  - 23
  - 24
  - 25
  - 26
  - 27
  - 28
  - 29
  - 30
  - 31
  - 32
  - 33
  - 34
  - 35
  - 36
  - 37
  - 38
  - 39
  - 40
  - 41
  - 42
  - 43
  - 44
  - 45
  - 46
  - 47
  - 48
  - 49
  - 50
  - 51
  - 52
  - 53
  - 54
  - 55
  - 56
  - 57
  - 58
  - 59
  - 60
  - 61
  - 62
  - 63
  - 64
  - 65
  - 66
  - 67
  - 68
  - 69
  - 70
  - 71
  - 72
  - 73
  - 74
  - 75
  - 76
  - 77
  - 78
  - 79
  - 80
  - 81
  - 82
  - 83
  - 84
  - 85
  - 86
  - 87
  - 88
  - 89
  - 90
  - 91
  - 92
  - 93
  - 94
  - 95
  - 96
  - 97
  - 98
  - 99
  - 100



SAGAN PIECHOTA  
 ARCHITECTS  
 175 LINDEN BLVD. #200  
 SANTA LUCIA PRESERVE - LOT 91

**KIM RESIDENCE**  
 8 ARNOV SECTION

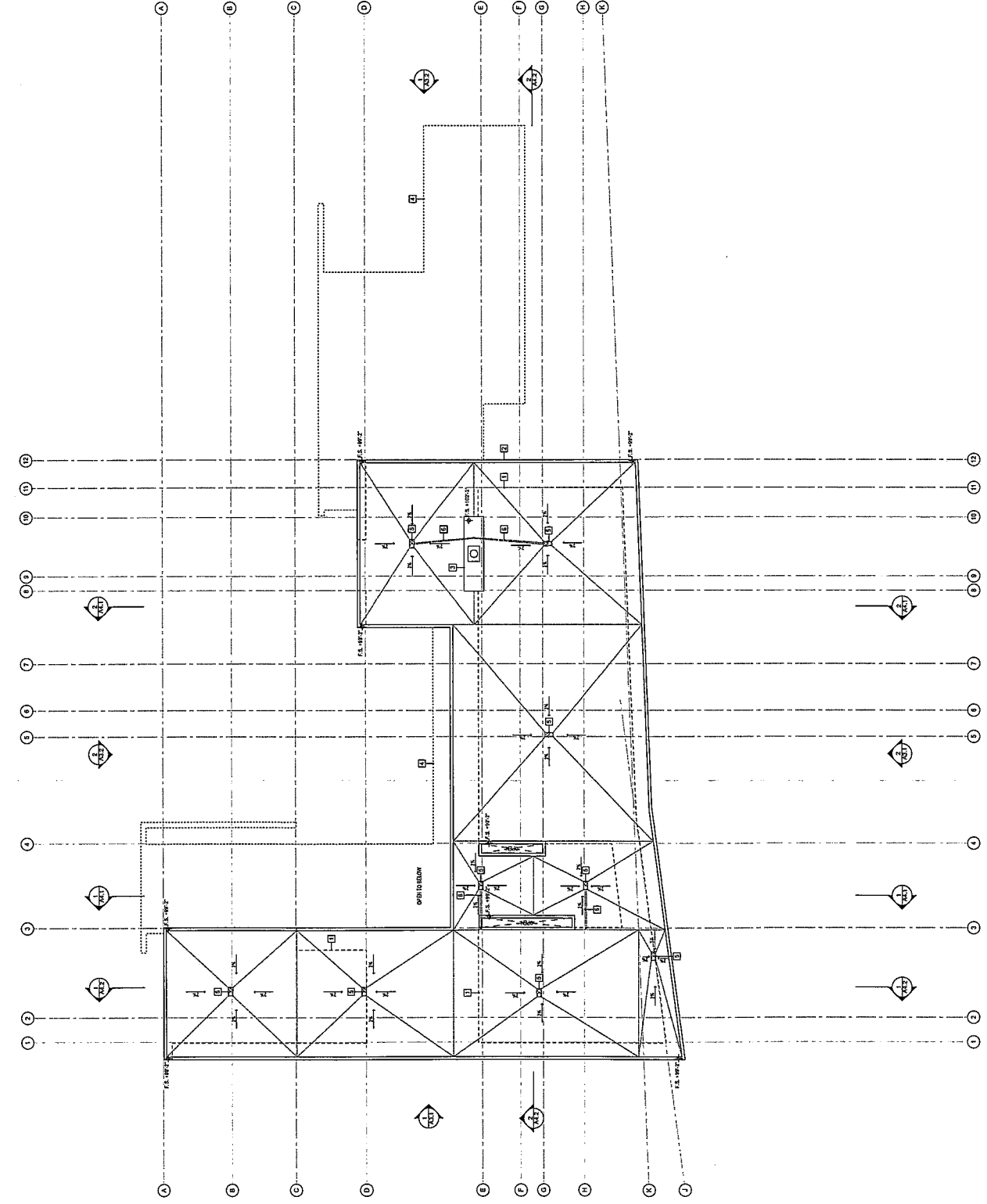
NO.	DATE	DESCRIPTION
11	02/20/19	PRELIMINARY DRAW SUBMITTAL
12	03/29/19	DO NOT PROCEED SET
13	03/29/19	DO NOT PROCEED SET
14	03/29/19	FINAL DRAW SUBMITTAL
15	06/05/19	CONCEPT COURTY PLANNING SUBMITTAL

SCALE:	AS NOTED
DATE:	4/4/11
DRAWING BY:	CH
CHECKED BY:	DP

**A2.2**

**MAIN FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

- KEYED NOTES:**
- 1. USE OF BUILDING BELOW
  - 2. METAL FLASHING COP @ ROOF CURB
  - 3. PERFORATED WEATHERED METAL
  - 4. OUTLINE OF LANDSCAPE BELOW SLD
  - 5. ROOF DRAIN WITH INTEGRAL OVERFLOW
  - 6. INTERSECTION TO WALLS



**KIM RESIDENCE**  
8-8000 SECONIA  
SANTA LUCIA PRESERVE - LOT 91

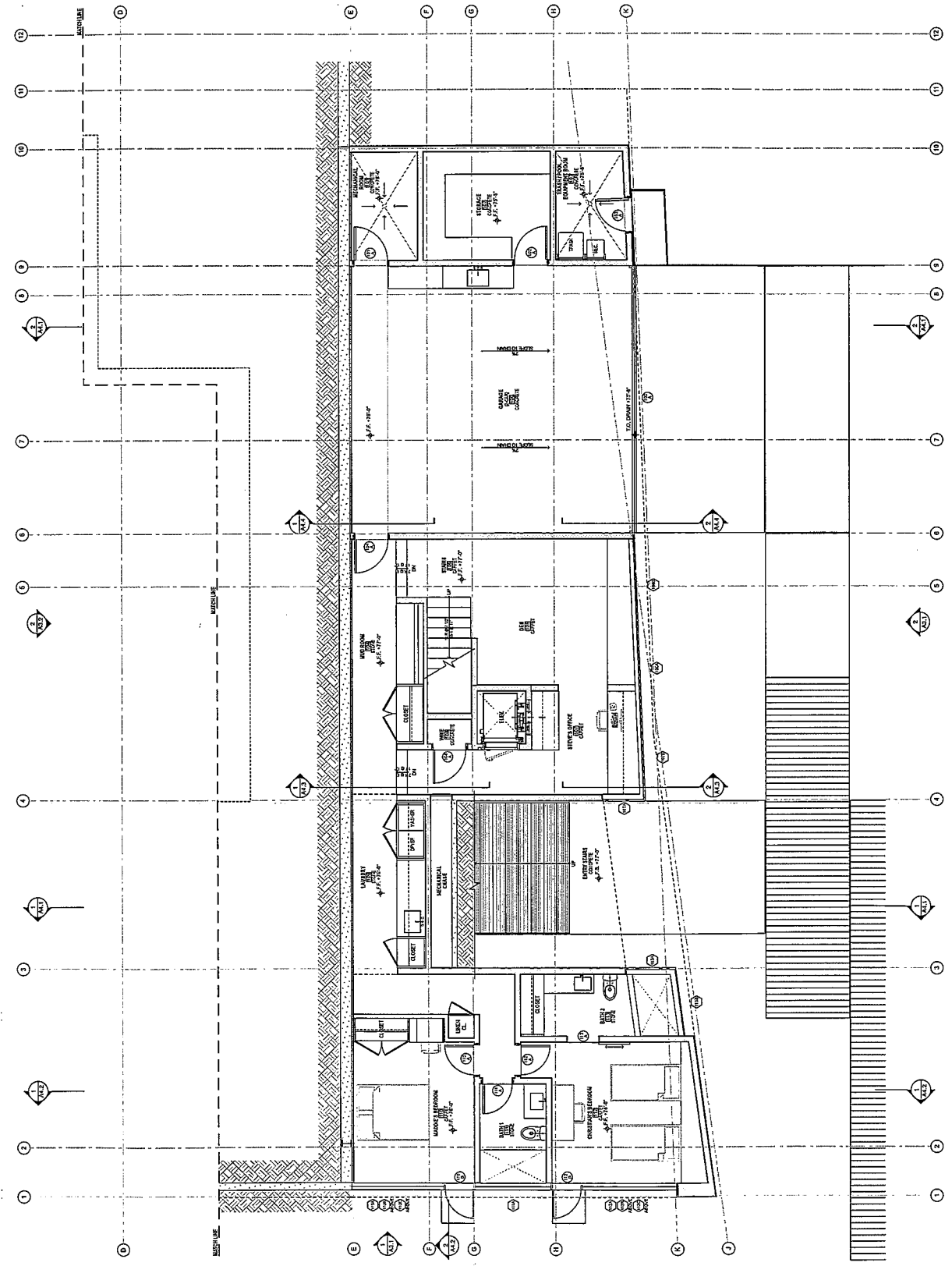
NO.	DATE	DESCRIPTION
1	11/06/2010	PRELIMINARY SUBMITTAL
2	08/03/2011	FOR PROGRESS SET
3	02/15/2011	FOR PROGRESS SET
4	02/15/2011	FINAL SUBMITTAL
5	04/06/2011	MONTGOMERY COUNTY PLANNING SUBMITTAL

DATE:	4/21/11
DRAWING BY:	CH
CHECKED BY:	DP

**ROOF PLAN**  
SCALE: 1/4" = 1'-0"

**A2.3**

KEYED NOTES:  
 □ EDGE OF CEILING OR ROOF ABOVE



LOWER LEVEL - RESIDENCE WING  
 SCALE: 1/4" = 1'-0"

A2.4

LOWER FLOOR PLAN -  
 RESIDENCE WING

NO.	DATE	DESCRIPTION
1	10/20/18	PRELIMINARY PHS SUBMITTAL
2	03/02/19	00 PROGRESS SET
3	03/02/19	00 PROGRESS SET
4	03/02/19	00 PROGRESS SET
5	03/02/19	00 PROGRESS SET
6	03/02/19	00 PROGRESS SET
7	03/02/19	00 PROGRESS SET
8	03/02/19	00 PROGRESS SET
9	03/02/19	00 PROGRESS SET
10	03/02/19	00 PROGRESS SET
11	03/02/19	00 PROGRESS SET
12	03/02/19	00 PROGRESS SET
13	03/02/19	00 PROGRESS SET
14	03/02/19	00 PROGRESS SET
15	03/02/19	00 PROGRESS SET
16	03/02/19	00 PROGRESS SET
17	03/02/19	00 PROGRESS SET
18	03/02/19	00 PROGRESS SET
19	03/02/19	00 PROGRESS SET
20	03/02/19	00 PROGRESS SET
21	03/02/19	00 PROGRESS SET
22	03/02/19	00 PROGRESS SET
23	03/02/19	00 PROGRESS SET
24	03/02/19	00 PROGRESS SET
25	03/02/19	00 PROGRESS SET
26	03/02/19	00 PROGRESS SET
27	03/02/19	00 PROGRESS SET
28	03/02/19	00 PROGRESS SET
29	03/02/19	00 PROGRESS SET
30	03/02/19	00 PROGRESS SET
31	03/02/19	00 PROGRESS SET
32	03/02/19	00 PROGRESS SET
33	03/02/19	00 PROGRESS SET
34	03/02/19	00 PROGRESS SET
35	03/02/19	00 PROGRESS SET
36	03/02/19	00 PROGRESS SET
37	03/02/19	00 PROGRESS SET
38	03/02/19	00 PROGRESS SET
39	03/02/19	00 PROGRESS SET
40	03/02/19	00 PROGRESS SET
41	03/02/19	00 PROGRESS SET
42	03/02/19	00 PROGRESS SET
43	03/02/19	00 PROGRESS SET
44	03/02/19	00 PROGRESS SET
45	03/02/19	00 PROGRESS SET
46	03/02/19	00 PROGRESS SET
47	03/02/19	00 PROGRESS SET
48	03/02/19	00 PROGRESS SET
49	03/02/19	00 PROGRESS SET
50	03/02/19	00 PROGRESS SET
51	03/02/19	00 PROGRESS SET
52	03/02/19	00 PROGRESS SET
53	03/02/19	00 PROGRESS SET
54	03/02/19	00 PROGRESS SET
55	03/02/19	00 PROGRESS SET
56	03/02/19	00 PROGRESS SET
57	03/02/19	00 PROGRESS SET
58	03/02/19	00 PROGRESS SET
59	03/02/19	00 PROGRESS SET
60	03/02/19	00 PROGRESS SET
61	03/02/19	00 PROGRESS SET
62	03/02/19	00 PROGRESS SET
63	03/02/19	00 PROGRESS SET
64	03/02/19	00 PROGRESS SET
65	03/02/19	00 PROGRESS SET
66	03/02/19	00 PROGRESS SET
67	03/02/19	00 PROGRESS SET
68	03/02/19	00 PROGRESS SET
69	03/02/19	00 PROGRESS SET
70	03/02/19	00 PROGRESS SET
71	03/02/19	00 PROGRESS SET
72	03/02/19	00 PROGRESS SET
73	03/02/19	00 PROGRESS SET
74	03/02/19	00 PROGRESS SET
75	03/02/19	00 PROGRESS SET
76	03/02/19	00 PROGRESS SET
77	03/02/19	00 PROGRESS SET
78	03/02/19	00 PROGRESS SET
79	03/02/19	00 PROGRESS SET
80	03/02/19	00 PROGRESS SET
81	03/02/19	00 PROGRESS SET
82	03/02/19	00 PROGRESS SET
83	03/02/19	00 PROGRESS SET
84	03/02/19	00 PROGRESS SET
85	03/02/19	00 PROGRESS SET
86	03/02/19	00 PROGRESS SET
87	03/02/19	00 PROGRESS SET
88	03/02/19	00 PROGRESS SET
89	03/02/19	00 PROGRESS SET
90	03/02/19	00 PROGRESS SET
91	03/02/19	00 PROGRESS SET
92	03/02/19	00 PROGRESS SET
93	03/02/19	00 PROGRESS SET
94	03/02/19	00 PROGRESS SET
95	03/02/19	00 PROGRESS SET
96	03/02/19	00 PROGRESS SET
97	03/02/19	00 PROGRESS SET
98	03/02/19	00 PROGRESS SET
99	03/02/19	00 PROGRESS SET
100	03/02/19	00 PROGRESS SET

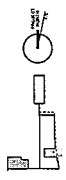
KIM RESIDENCE  
 8 HARPO CIRCLE  
 SANTA LUCIA PRESERVE - LOT 91



310 S. LINCOLN BLVD. #200  
 SANTA LUCIA, FL 33470  
 P: 407.277.7201  
 F: 407.277.7201

A2.5

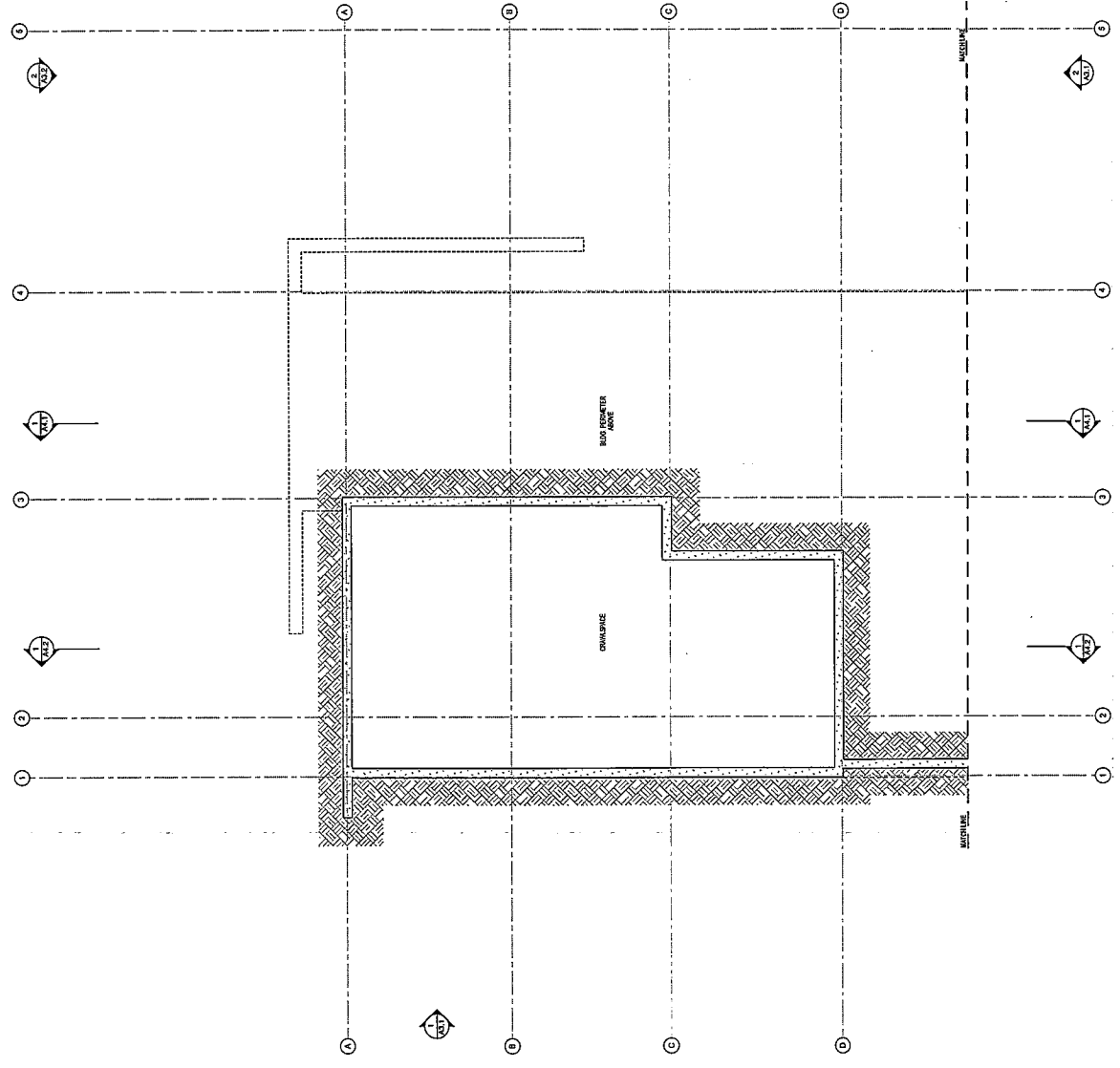
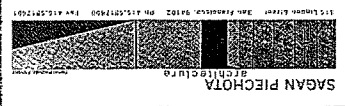
LOWER FLOOR PLAN - GUEST WING  
SCALE: 1/4" = 1'-0"



DRAWING ISSUE:	
NO.	DATE
11042010	PRELIMINARY ORG SUBMITTAL
11042011	PRELIMINARY ORG SUBMITTAL
11042011	DO NOTEDS SET
02072011	FINAL ORG SUBMITTAL
04022011	PLANNING COUNTY PLANNING SUBMITTAL
04022011	PLANNING COUNTY PLANNING SUBMITTAL
04022011	CHECKED BY: DP
04022011	DATE: 4/21/11
04022011	SCALE: AS NOTED

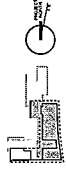
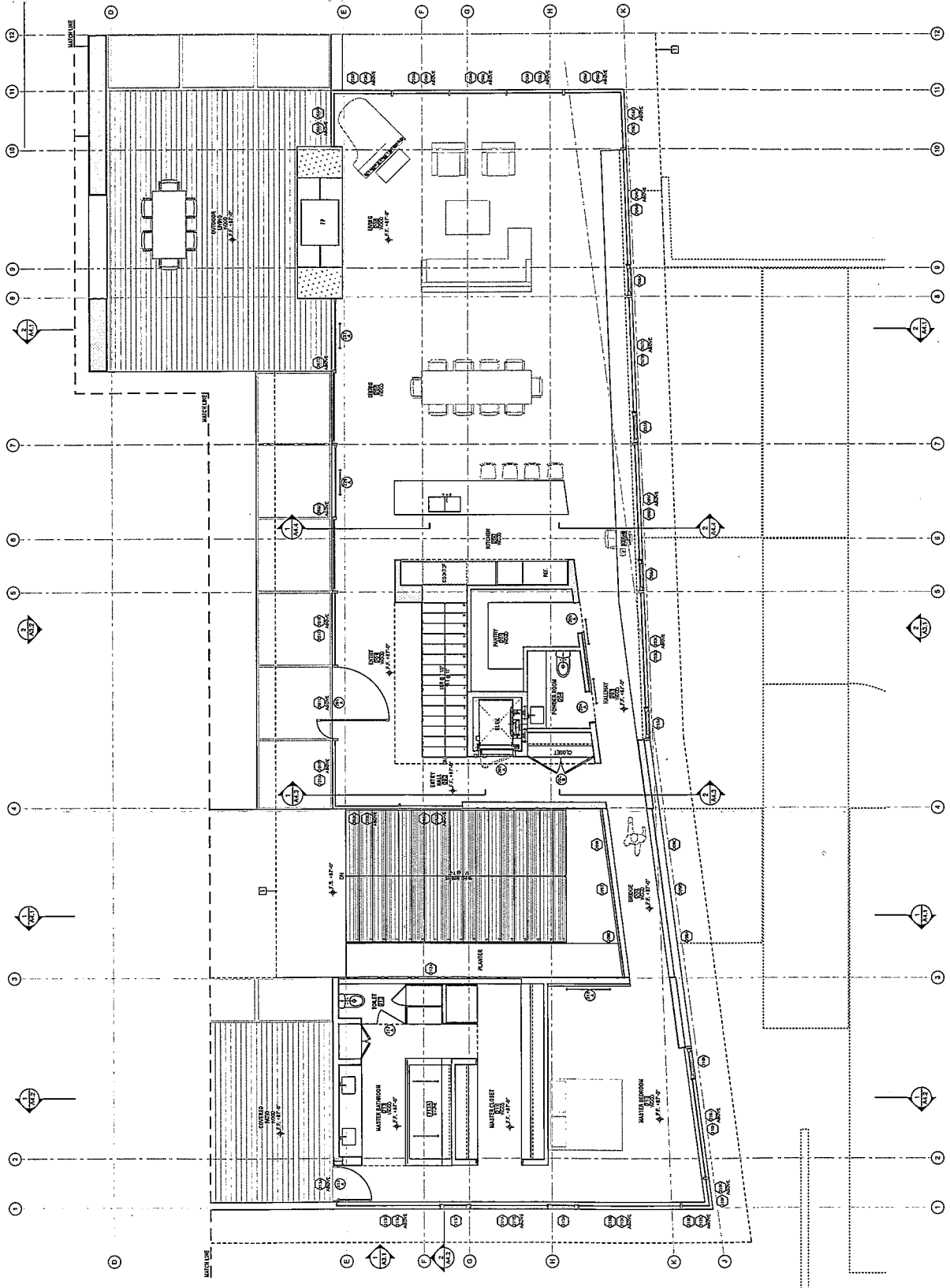
DRAWING ISSUE:	
NO.	DATE
11042010	PRELIMINARY ORG SUBMITTAL
11042011	PRELIMINARY ORG SUBMITTAL
11042011	DO NOTEDS SET
02072011	FINAL ORG SUBMITTAL
04022011	PLANNING COUNTY PLANNING SUBMITTAL
04022011	PLANNING COUNTY PLANNING SUBMITTAL
04022011	CHECKED BY: DP
04022011	DATE: 4/21/11
04022011	SCALE: AS NOTED

KIM RESIDENCE  
8 SPRUCE SECTION  
SANTA LUCIA PRESERVE - LOT 91



KEYED NOTES:  
□ EDGE OF CEILING OR ROOF ABOVE

KEYED NOTES:  
 □ BONE OF CEILING ON HANG ABOVE



MAIN FLOOR PLAN - RESIDENCE WING  
 SCALE: 1/4" = 10'

A2.6

MAIN FLOOR PLAN - RESIDENCE WING

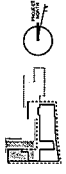
DATE: 04/11	CHECKED BY: CM
SCALE: AS NOTED	DRAWING BY: DP
NO. 11	DESCRIPTION
11.000010	PRELIMINARY SUBMITTAL
00.000011	00 PROCEEDS SET
00.000011	00 PROCEEDS SET
00.000011	FINAL DIM SUBMITTAL
00.000011	CONCRETE CONSTRUCTION PLANNING SUBMITTAL

KIM RESIDENCE  
 5 MARCO SECURITA  
 SANTA LUCIA PRESERVE - LOT 81



A2.7

MAIN FLOOR PLAN - GUEST WING  
SCALE: 1/4" = 1'-0"



DATE: 4/21/11	CHECKED BY: JCP
SCALE: AS NOTED	DRAWING BY: JCP
WING	
MAIN FLOOR PLAN - GUEST	

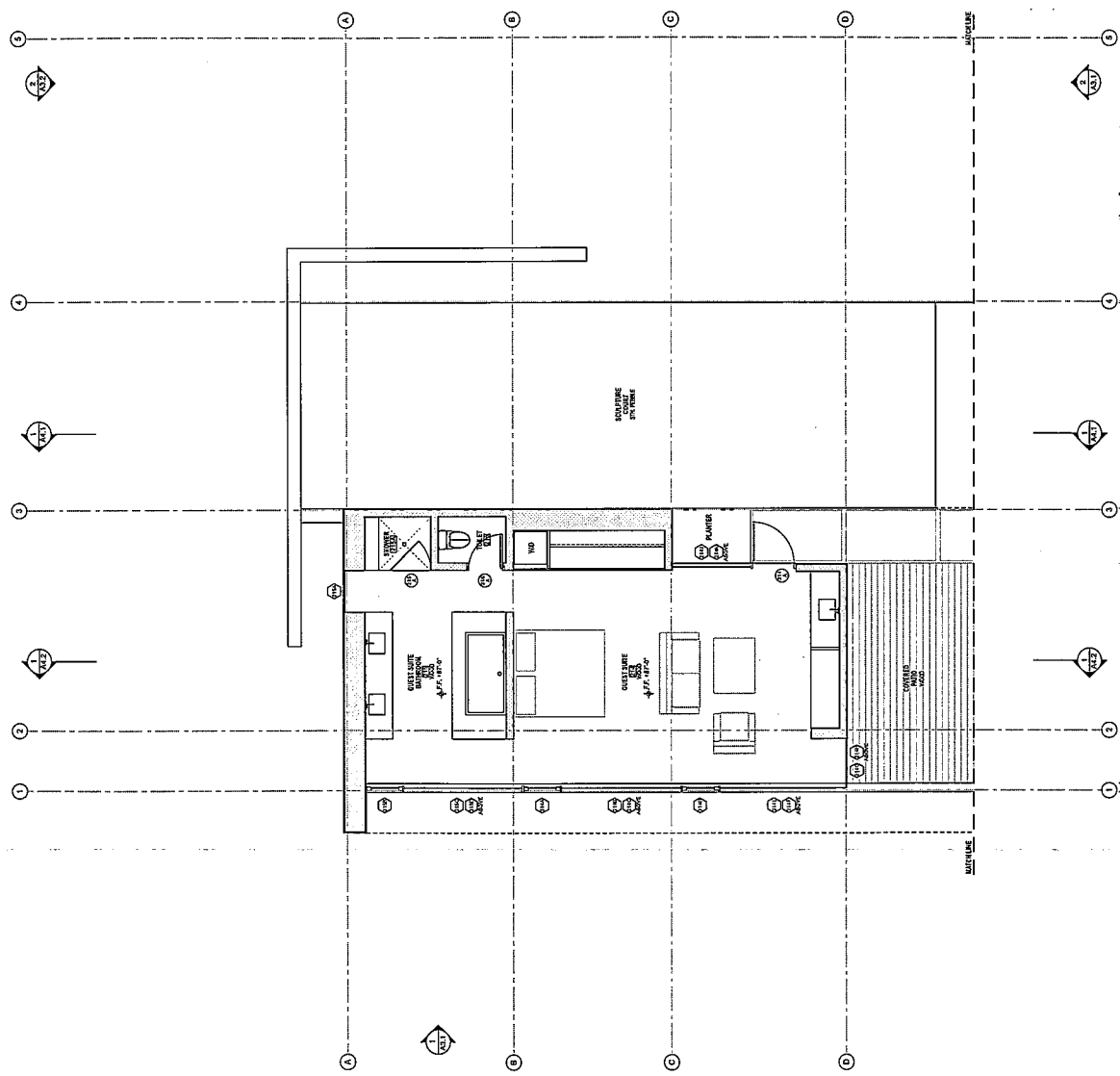
NO.	DATE	DESCRIPTION
1	11/04/2010	PRELIMINARY SUBMITTAL
2	03/19/2011	DD PROGRESS SET
3	03/19/2011	DD PROGRESS SET
4	03/19/2011	FINAL DRS SUBMITTAL
5	04/20/2011	MONTEZ COUNTY PLANNING DEPARTMENTAL

KIM RESIDENCE  
8 ARROYO SEQUOIA  
SANTA LUCIA PRESERVE - LOT 91

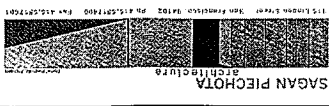


SAGAN PIECHOTA  
ARCHITECTURE

KEYED NOTES:  
□ EDGE OF CEILING OR ROOF ABOVE



- KEYED NOTES:**
1. HORIZONTAL GRABWOOD SIDING
  2. HORIZONTAL GRABWOOD SIDING, TYP.
  3. BRICK PAINTED STUCCO
  4. EXTERIOR PAINTED STUCCO
  5. STEEL MANDREL
  6. EXTERIOR BLOCK RETAINING WALL
  7. EXISTING GRADE, TYP.
  8. FINISH GRADE, S.L.D.
  9. FINISH SURFACE, S.L.D.
  10. CHROME PLATED WAINSCOTING METAL
  11. BOARD-FORMED CONCRETE PREFRAME
  12. EXTERIOR CEILING FIN
  13. EXTERIOR WOOD ROOF CURB
  14. OVERHEAD GARAGE DOOR, W.
  15. WEATHERED WOOD CLADDING
  16. FINISH GRADE, TYP.
  17. CUSTOM FINISH, S.L.D.
  18. CUSTOM FINISH, S.L.D.
  19. CUSTOM FINISH, S.L.D.
  20. CUSTOM FINISH, S.L.D.

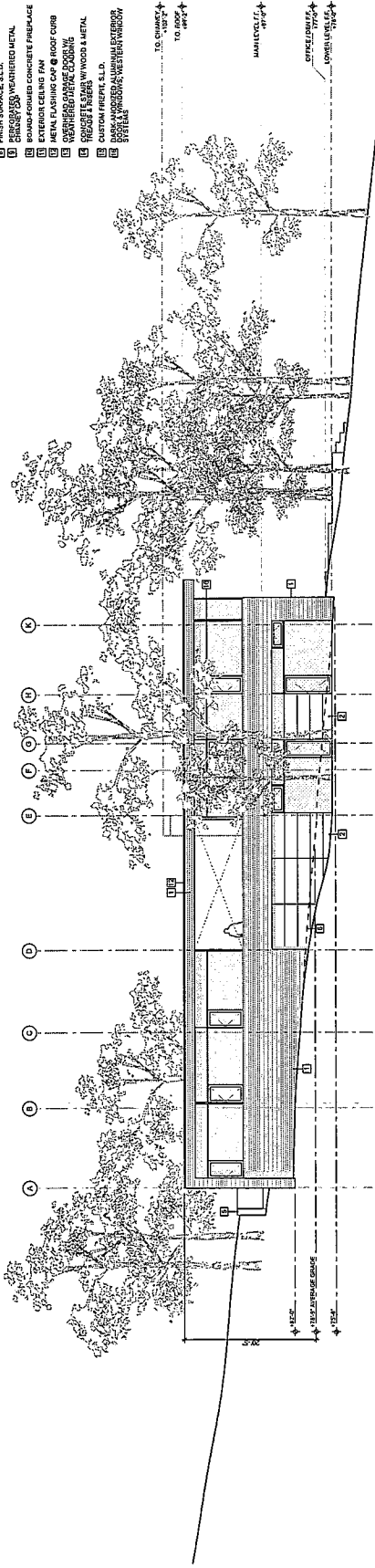


DATE: 04/11	DRAWING BY: CH	SCALE: AS NOTED	CHECKED BY: DP
DRAWING ISSUE:		NO. DATE DESCRIPTION	
1	11/02/2018	PRELIMINARY SUBMITTAL	
2	09/09/2018	PROGRESS SET	
3	08/09/2018	PROGRESS SET	
4	07/06/2018	FINAL DIS SUBMITTAL	
5	06/28/2018	CONCEPT PLANING SUBMITTAL	

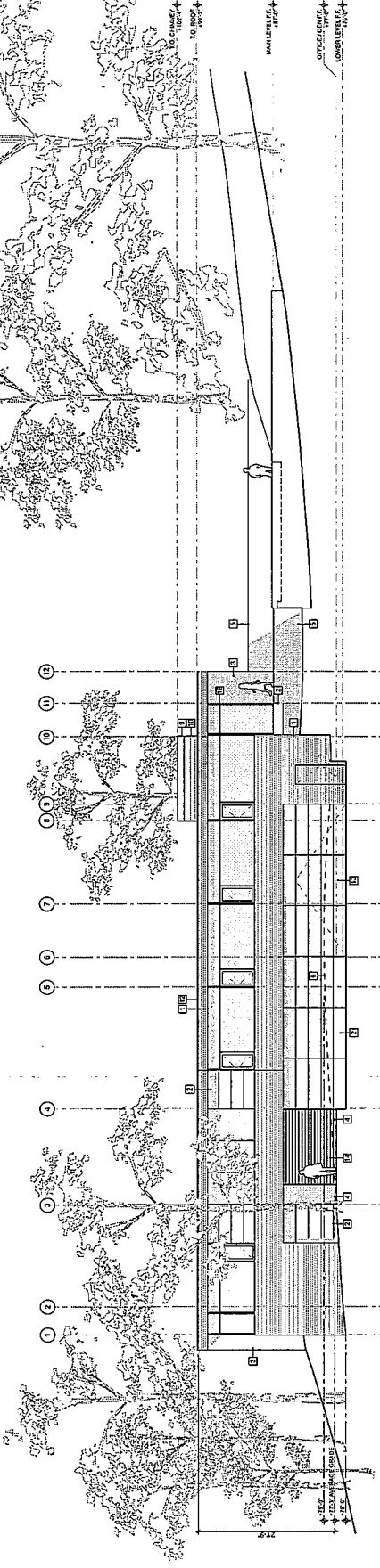
KIM RESIDENCE  
8 ARROYO SECO  
SANTA LUIZA PRESERVE - LOT 91

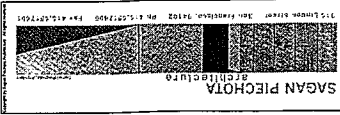
A3.1

SOUTH ELEVATION 1  
SCALE: 1/8" = 1'-0"



EAST ELEVATION 2  
SCALE: 1/8" = 1'-0"





315 GREEN HIRSH RD. - FREDERICK, MD 21722 PH: 815-277-5007 FAX: 815-277-7507

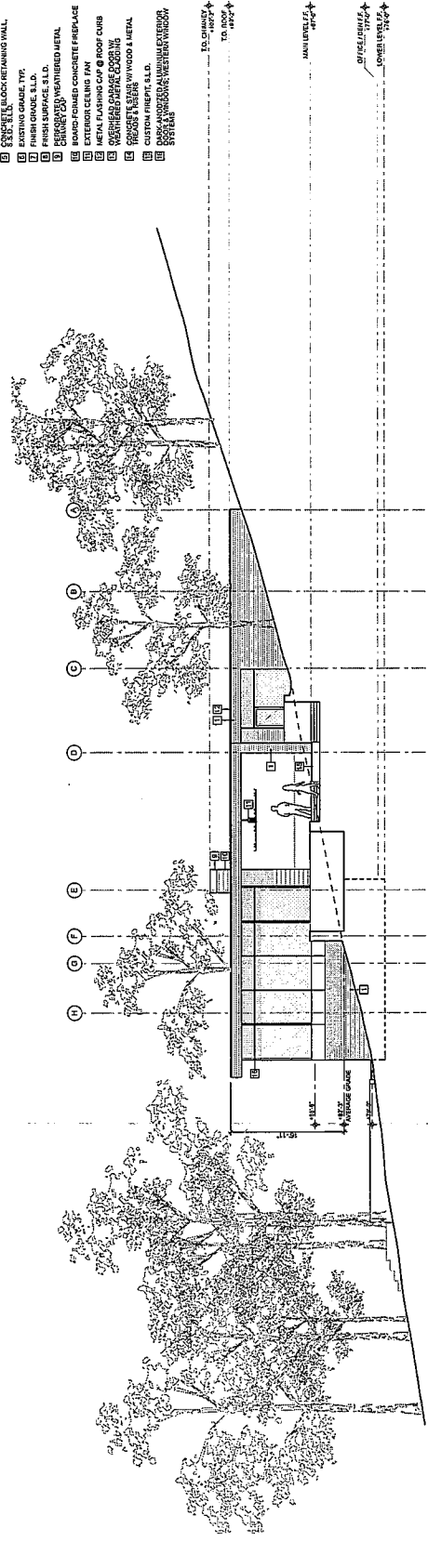
**SAGAN PECHOTA ARCHITECTURE**  
**KIM RESIDENCE**  
 8 ARROYO SEQUOIA  
 SANTA LUCIA PRESERVE - LOT 91  
 PROJECT NO. 2015010  
 DATE: 11/04/2015  
 DESCRIPTION: PRELIMINARY EXTERIOR  
 NO. 1  
 DRAWING ISSUE:

NO.	DATE	DESCRIPTION
01	11/04/2015	PRELIMINARY EXTERIOR
02	02/02/2016	DO POORNESS SET
03	02/02/2016	DO POORNESS SET
04	02/02/2016	FINAL 2D EXTERIOR
05	02/02/2016	MODIFIED EXTERIOR PLANNING EXTERIOR

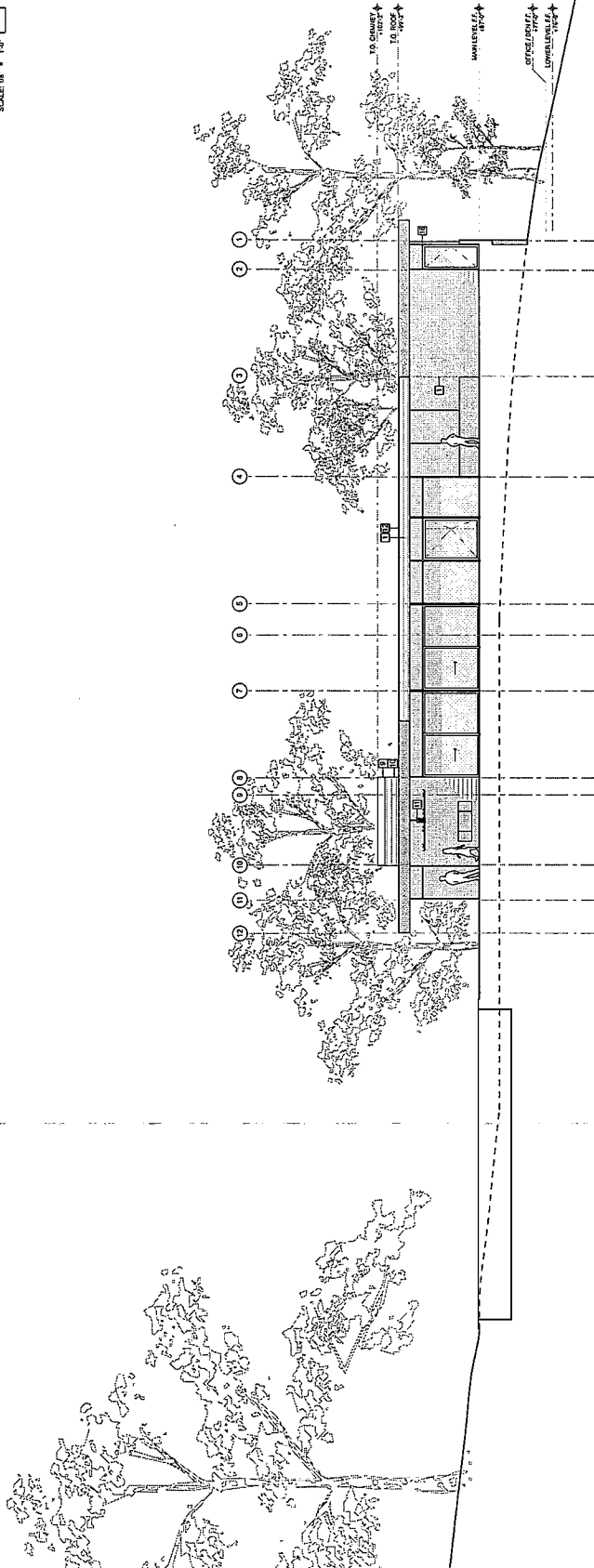
**EXTERIOR ELEVATIONS**  
 SCALE: AS NOTED  
 CHECKED BY: CH  
 DRAWING BY: CH  
 DATE: 11/11  
 SCALE: 1/4" = 1'-0"

**A3.2**

- KEYED NOTES:**
- 1 HORIZONTAL GRAY WOOD SINK
  - 2 HORIZONTAL GRAY WOOD SINK
  - 3 HORIZONTAL GRAY WOOD SINK
  - 4 HORIZONTAL GRAY WOOD SINK
  - 5 HORIZONTAL GRAY WOOD SINK
  - 6 HORIZONTAL GRAY WOOD SINK
  - 7 HORIZONTAL GRAY WOOD SINK
  - 8 HORIZONTAL GRAY WOOD SINK
  - 9 HORIZONTAL GRAY WOOD SINK
  - 10 HORIZONTAL GRAY WOOD SINK
  - 11 HORIZONTAL GRAY WOOD SINK
  - 12 HORIZONTAL GRAY WOOD SINK
  - 13 HORIZONTAL GRAY WOOD SINK
  - 14 HORIZONTAL GRAY WOOD SINK
  - 15 HORIZONTAL GRAY WOOD SINK
  - 16 HORIZONTAL GRAY WOOD SINK
  - 17 HORIZONTAL GRAY WOOD SINK
  - 18 HORIZONTAL GRAY WOOD SINK
  - 19 HORIZONTAL GRAY WOOD SINK
  - 20 HORIZONTAL GRAY WOOD SINK
  - 21 HORIZONTAL GRAY WOOD SINK
  - 22 HORIZONTAL GRAY WOOD SINK
  - 23 HORIZONTAL GRAY WOOD SINK
  - 24 HORIZONTAL GRAY WOOD SINK
  - 25 HORIZONTAL GRAY WOOD SINK
  - 26 HORIZONTAL GRAY WOOD SINK
  - 27 HORIZONTAL GRAY WOOD SINK
  - 28 HORIZONTAL GRAY WOOD SINK
  - 29 HORIZONTAL GRAY WOOD SINK
  - 30 HORIZONTAL GRAY WOOD SINK
  - 31 HORIZONTAL GRAY WOOD SINK
  - 32 HORIZONTAL GRAY WOOD SINK
  - 33 HORIZONTAL GRAY WOOD SINK
  - 34 HORIZONTAL GRAY WOOD SINK
  - 35 HORIZONTAL GRAY WOOD SINK
  - 36 HORIZONTAL GRAY WOOD SINK
  - 37 HORIZONTAL GRAY WOOD SINK
  - 38 HORIZONTAL GRAY WOOD SINK
  - 39 HORIZONTAL GRAY WOOD SINK
  - 40 HORIZONTAL GRAY WOOD SINK
  - 41 HORIZONTAL GRAY WOOD SINK
  - 42 HORIZONTAL GRAY WOOD SINK
  - 43 HORIZONTAL GRAY WOOD SINK
  - 44 HORIZONTAL GRAY WOOD SINK
  - 45 HORIZONTAL GRAY WOOD SINK
  - 46 HORIZONTAL GRAY WOOD SINK
  - 47 HORIZONTAL GRAY WOOD SINK
  - 48 HORIZONTAL GRAY WOOD SINK
  - 49 HORIZONTAL GRAY WOOD SINK
  - 50 HORIZONTAL GRAY WOOD SINK
  - 51 HORIZONTAL GRAY WOOD SINK
  - 52 HORIZONTAL GRAY WOOD SINK
  - 53 HORIZONTAL GRAY WOOD SINK
  - 54 HORIZONTAL GRAY WOOD SINK
  - 55 HORIZONTAL GRAY WOOD SINK
  - 56 HORIZONTAL GRAY WOOD SINK
  - 57 HORIZONTAL GRAY WOOD SINK
  - 58 HORIZONTAL GRAY WOOD SINK
  - 59 HORIZONTAL GRAY WOOD SINK
  - 60 HORIZONTAL GRAY WOOD SINK
  - 61 HORIZONTAL GRAY WOOD SINK
  - 62 HORIZONTAL GRAY WOOD SINK
  - 63 HORIZONTAL GRAY WOOD SINK
  - 64 HORIZONTAL GRAY WOOD SINK
  - 65 HORIZONTAL GRAY WOOD SINK
  - 66 HORIZONTAL GRAY WOOD SINK
  - 67 HORIZONTAL GRAY WOOD SINK
  - 68 HORIZONTAL GRAY WOOD SINK
  - 69 HORIZONTAL GRAY WOOD SINK
  - 70 HORIZONTAL GRAY WOOD SINK
  - 71 HORIZONTAL GRAY WOOD SINK
  - 72 HORIZONTAL GRAY WOOD SINK
  - 73 HORIZONTAL GRAY WOOD SINK
  - 74 HORIZONTAL GRAY WOOD SINK
  - 75 HORIZONTAL GRAY WOOD SINK
  - 76 HORIZONTAL GRAY WOOD SINK
  - 77 HORIZONTAL GRAY WOOD SINK
  - 78 HORIZONTAL GRAY WOOD SINK
  - 79 HORIZONTAL GRAY WOOD SINK
  - 80 HORIZONTAL GRAY WOOD SINK
  - 81 HORIZONTAL GRAY WOOD SINK
  - 82 HORIZONTAL GRAY WOOD SINK
  - 83 HORIZONTAL GRAY WOOD SINK
  - 84 HORIZONTAL GRAY WOOD SINK
  - 85 HORIZONTAL GRAY WOOD SINK
  - 86 HORIZONTAL GRAY WOOD SINK
  - 87 HORIZONTAL GRAY WOOD SINK
  - 88 HORIZONTAL GRAY WOOD SINK
  - 89 HORIZONTAL GRAY WOOD SINK
  - 90 HORIZONTAL GRAY WOOD SINK
  - 91 HORIZONTAL GRAY WOOD SINK
  - 92 HORIZONTAL GRAY WOOD SINK
  - 93 HORIZONTAL GRAY WOOD SINK
  - 94 HORIZONTAL GRAY WOOD SINK
  - 95 HORIZONTAL GRAY WOOD SINK
  - 96 HORIZONTAL GRAY WOOD SINK
  - 97 HORIZONTAL GRAY WOOD SINK
  - 98 HORIZONTAL GRAY WOOD SINK
  - 99 HORIZONTAL GRAY WOOD SINK
  - 100 HORIZONTAL GRAY WOOD SINK



**NORTH ELEVATION**  
 SCALE: 1/4" = 1'-0"

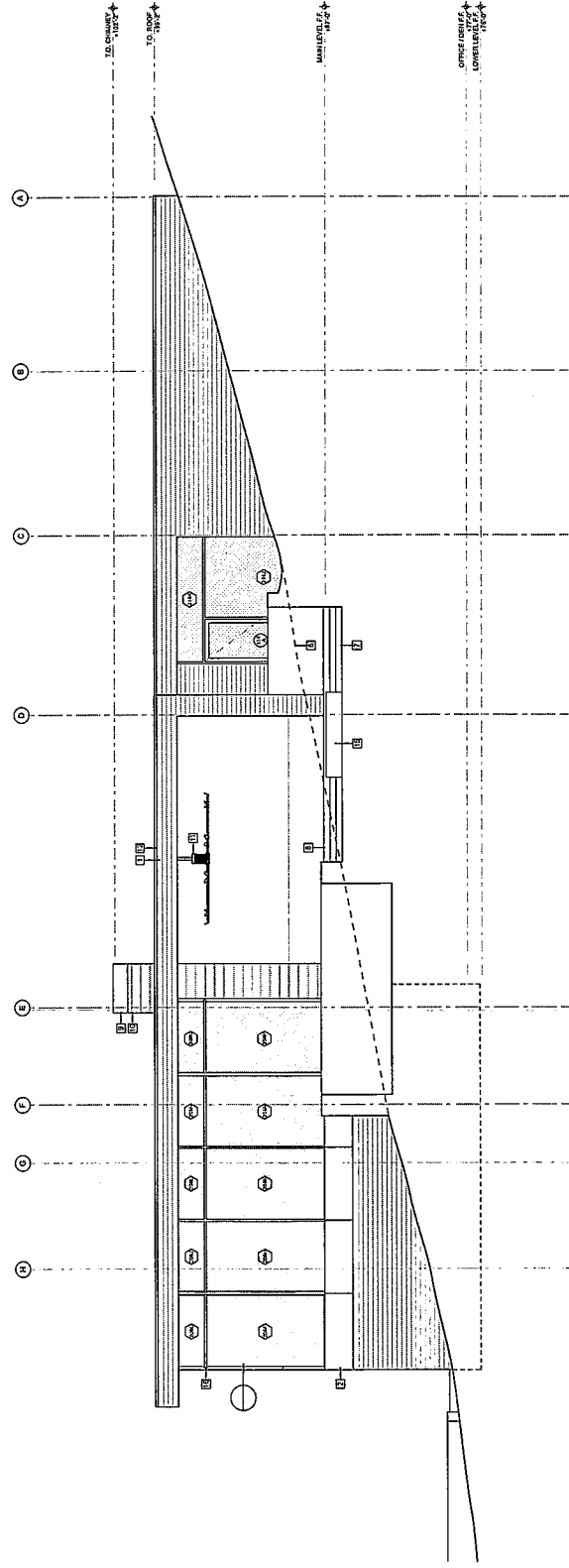


**WEST ELEVATION**  
 SCALE: 1/4" = 1'-0"

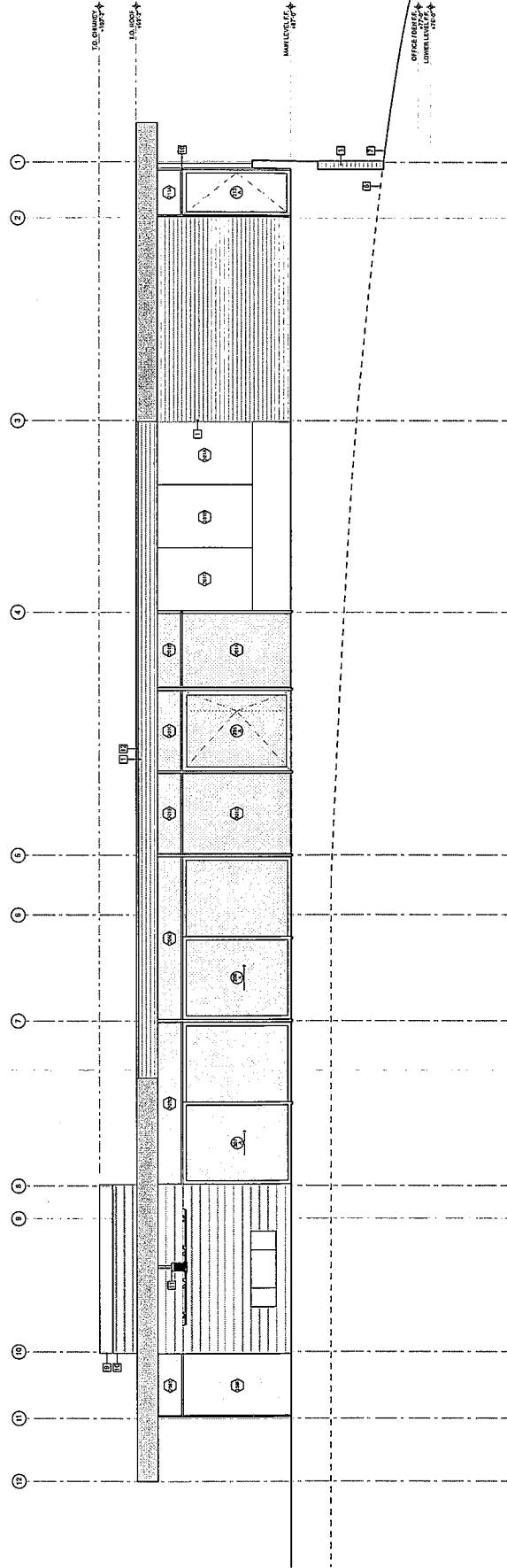




- KEYED NOTES:**
- 1 WEATHERED WOOD SHINGLES
  - 2 WEATHERED METAL CLADDING, TYP.
  - 3 WEATHERED WOOD SHINGLES
  - 4 WEATHERED WOOD SHINGLES
  - 5 CONCRETE BLOCK RETAINING WALL
  - 6 2x8 S.L.D. W/ 1/2" AIR SPACE
  - 7 FINISH GRADE S.L.D.
  - 8 FINISH GRADE S.L.D.
  - 9 FINISH GRADE S.L.D.
  - 10 WEATHERED METAL
  - 11 BOARD-FORMED CONCRETE FIREPLACE
  - 12 EXTERIOR CEILING FIN
  - 13 METAL FLASHING CAP @ ROOF CURB
  - 14 WEATHERED WOOD SHINGLES
  - 15 WEATHERED METAL CLADDING
  - 16 CUSTOM PREPARED S.L.D.
  - 17 ROOF FLASHING, WESTERN REDWOOD
  - 18 ROOF FLASHING, WESTERN REDWOOD
  - 19 ROOF FLASHING, WESTERN REDWOOD
  - 20 ROOF FLASHING, WESTERN REDWOOD
  - 21 ROOF FLASHING, WESTERN REDWOOD
  - 22 ROOF FLASHING, WESTERN REDWOOD
  - 23 ROOF FLASHING, WESTERN REDWOOD
  - 24 ROOF FLASHING, WESTERN REDWOOD
  - 25 ROOF FLASHING, WESTERN REDWOOD
  - 26 ROOF FLASHING, WESTERN REDWOOD
  - 27 ROOF FLASHING, WESTERN REDWOOD
  - 28 ROOF FLASHING, WESTERN REDWOOD
  - 29 ROOF FLASHING, WESTERN REDWOOD
  - 30 ROOF FLASHING, WESTERN REDWOOD
  - 31 ROOF FLASHING, WESTERN REDWOOD
  - 32 ROOF FLASHING, WESTERN REDWOOD
  - 33 ROOF FLASHING, WESTERN REDWOOD
  - 34 ROOF FLASHING, WESTERN REDWOOD
  - 35 ROOF FLASHING, WESTERN REDWOOD
  - 36 ROOF FLASHING, WESTERN REDWOOD
  - 37 ROOF FLASHING, WESTERN REDWOOD
  - 38 ROOF FLASHING, WESTERN REDWOOD
  - 39 ROOF FLASHING, WESTERN REDWOOD
  - 40 ROOF FLASHING, WESTERN REDWOOD
  - 41 ROOF FLASHING, WESTERN REDWOOD
  - 42 ROOF FLASHING, WESTERN REDWOOD
  - 43 ROOF FLASHING, WESTERN REDWOOD
  - 44 ROOF FLASHING, WESTERN REDWOOD
  - 45 ROOF FLASHING, WESTERN REDWOOD
  - 46 ROOF FLASHING, WESTERN REDWOOD
  - 47 ROOF FLASHING, WESTERN REDWOOD
  - 48 ROOF FLASHING, WESTERN REDWOOD
  - 49 ROOF FLASHING, WESTERN REDWOOD
  - 50 ROOF FLASHING, WESTERN REDWOOD



**ENLARGED NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



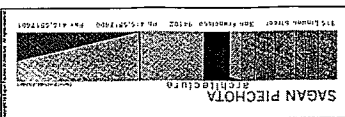
**ENLARGED WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

**A3.4**

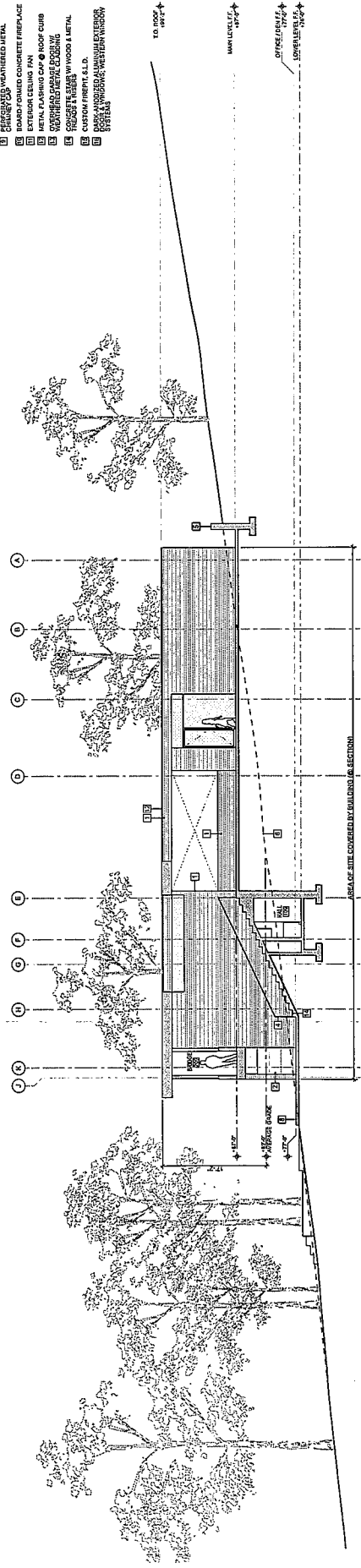
ENLARGED ELEVATIONS

NO.	DATE	DESCRIPTION
1	11/05/2010	PRELIMINARY DRAUGHTING
2	03/02/2011	03 PROJECT SET
3	03/02/2011	03 PROJECT SET
4	03/02/2011	FINAL DRAUGHTING
5	03/02/2011	PROJECT COUNTRY PLANNING SUBMITTAL

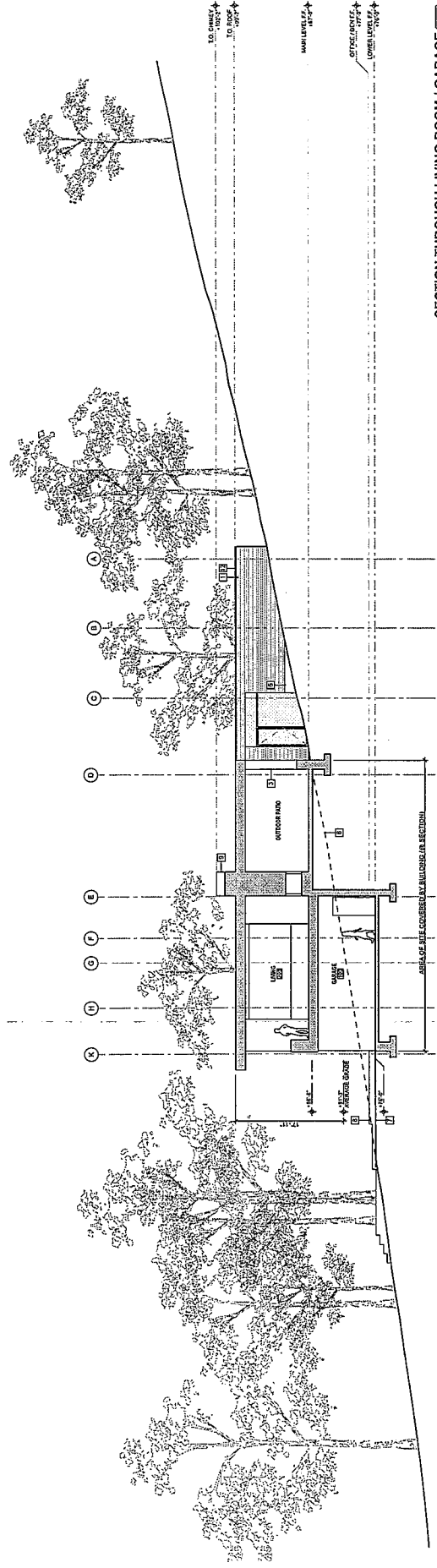
KIM RESIDENCE  
KARROO REGION  
SANTA LUCIA PRESERVE - LOT 91



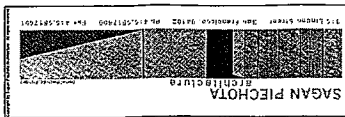
- KEYED NOTES:**
- 1 HORIZONTAL GRAY WOOD Siding
  - 2 HORIZONTAL GRAY WOOD Siding, TYP.
  - 3 EXTERIOR PAINTED STUCCO
  - 4 STEEL HANDRAIL
  - 5 CONCRETE BLOCK RETAINING WALL
  - 6 EXISTING GRADE, TYP.
  - 7 FINISH GRADE, S.L.D.
  - 8 FINISH SURFACE, S.L.D.
  - 9 CHANGING ROOM
  - 10 UNFINISHED METAL
  - 11 BOARD-FORMED CONCRETE FIREPLACE
  - 12 METAL FLASHING CAP @ ROOF CURB
  - 13 CONCRETE SLAB ON GRADE
  - 14 CONCRETE SLAB ON GRADE
  - 15 CONCRETE SLAB ON GRADE
  - 16 CONCRETE SLAB ON GRADE
  - 17 CONCRETE SLAB ON GRADE
  - 18 CONCRETE SLAB ON GRADE
  - 19 CONCRETE SLAB ON GRADE
  - 20 CONCRETE SLAB ON GRADE
  - 21 CONCRETE SLAB ON GRADE
  - 22 CONCRETE SLAB ON GRADE
  - 23 CONCRETE SLAB ON GRADE
  - 24 CONCRETE SLAB ON GRADE
  - 25 CONCRETE SLAB ON GRADE
  - 26 CONCRETE SLAB ON GRADE
  - 27 CONCRETE SLAB ON GRADE
  - 28 CONCRETE SLAB ON GRADE
  - 29 CONCRETE SLAB ON GRADE
  - 30 CONCRETE SLAB ON GRADE
  - 31 CONCRETE SLAB ON GRADE
  - 32 CONCRETE SLAB ON GRADE
  - 33 CONCRETE SLAB ON GRADE
  - 34 CONCRETE SLAB ON GRADE
  - 35 CONCRETE SLAB ON GRADE
  - 36 CONCRETE SLAB ON GRADE
  - 37 CONCRETE SLAB ON GRADE
  - 38 CONCRETE SLAB ON GRADE
  - 39 CONCRETE SLAB ON GRADE
  - 40 CONCRETE SLAB ON GRADE
  - 41 CONCRETE SLAB ON GRADE
  - 42 CONCRETE SLAB ON GRADE
  - 43 CONCRETE SLAB ON GRADE
  - 44 CONCRETE SLAB ON GRADE
  - 45 CONCRETE SLAB ON GRADE
  - 46 CONCRETE SLAB ON GRADE
  - 47 CONCRETE SLAB ON GRADE
  - 48 CONCRETE SLAB ON GRADE
  - 49 CONCRETE SLAB ON GRADE
  - 50 CONCRETE SLAB ON GRADE
  - 51 CONCRETE SLAB ON GRADE
  - 52 CONCRETE SLAB ON GRADE
  - 53 CONCRETE SLAB ON GRADE
  - 54 CONCRETE SLAB ON GRADE
  - 55 CONCRETE SLAB ON GRADE
  - 56 CONCRETE SLAB ON GRADE
  - 57 CONCRETE SLAB ON GRADE
  - 58 CONCRETE SLAB ON GRADE
  - 59 CONCRETE SLAB ON GRADE
  - 60 CONCRETE SLAB ON GRADE
  - 61 CONCRETE SLAB ON GRADE
  - 62 CONCRETE SLAB ON GRADE
  - 63 CONCRETE SLAB ON GRADE
  - 64 CONCRETE SLAB ON GRADE
  - 65 CONCRETE SLAB ON GRADE
  - 66 CONCRETE SLAB ON GRADE
  - 67 CONCRETE SLAB ON GRADE
  - 68 CONCRETE SLAB ON GRADE
  - 69 CONCRETE SLAB ON GRADE
  - 70 CONCRETE SLAB ON GRADE
  - 71 CONCRETE SLAB ON GRADE
  - 72 CONCRETE SLAB ON GRADE
  - 73 CONCRETE SLAB ON GRADE
  - 74 CONCRETE SLAB ON GRADE
  - 75 CONCRETE SLAB ON GRADE
  - 76 CONCRETE SLAB ON GRADE
  - 77 CONCRETE SLAB ON GRADE
  - 78 CONCRETE SLAB ON GRADE
  - 79 CONCRETE SLAB ON GRADE
  - 80 CONCRETE SLAB ON GRADE
  - 81 CONCRETE SLAB ON GRADE
  - 82 CONCRETE SLAB ON GRADE
  - 83 CONCRETE SLAB ON GRADE
  - 84 CONCRETE SLAB ON GRADE
  - 85 CONCRETE SLAB ON GRADE
  - 86 CONCRETE SLAB ON GRADE
  - 87 CONCRETE SLAB ON GRADE
  - 88 CONCRETE SLAB ON GRADE
  - 89 CONCRETE SLAB ON GRADE
  - 90 CONCRETE SLAB ON GRADE
  - 91 CONCRETE SLAB ON GRADE
  - 92 CONCRETE SLAB ON GRADE
  - 93 CONCRETE SLAB ON GRADE
  - 94 CONCRETE SLAB ON GRADE
  - 95 CONCRETE SLAB ON GRADE
  - 96 CONCRETE SLAB ON GRADE
  - 97 CONCRETE SLAB ON GRADE
  - 98 CONCRETE SLAB ON GRADE
  - 99 CONCRETE SLAB ON GRADE
  - 100 CONCRETE SLAB ON GRADE



SECTION THROUGH ENTRY STAIR **1**  
SCALE: 1/8" = 1'-0"



SECTION THROUGH LIVING ROOM / GARAGE **2**  
SCALE: 1/8" = 1'-0"



SAGAN PIECHOTA  
ARCHITECTS  
315 LINDEN STREET, 2ND FLOOR, SUITE 202, MILWAUKEE, WI 53233  
TEL: 414.224.1100 FAX: 414.224.1101

**KIM RESIDENCE**  
8 ARROYO SECONDA  
SANTA LUCIA PRESERVE - LOT 91

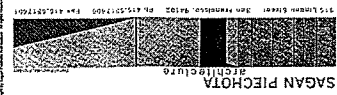
N.O.	DATE	DESCRIPTION
11/04/2018	PRELIMINARY DRAFT	PRELIMINARY DRAFT
02/09/2019	00 PROGRESS SET	00 PROGRESS SET
03/19/2019	00 PROGRESS SET	00 PROGRESS SET
03/21/2019	FINAL DMS SUBMITTAL	FINAL DMS SUBMITTAL
04/02/2019	MONUMENT COUNTY PLANNING SUBMITTAL	MONUMENT COUNTY PLANNING SUBMITTAL

**BUILDING SECTIONS**

DATE:	AS NOTED
CHECKED BY:	DM
DRAWING BY:	DM

**A4.1**





SAGAN PECHOTA  
ARCHITECTS

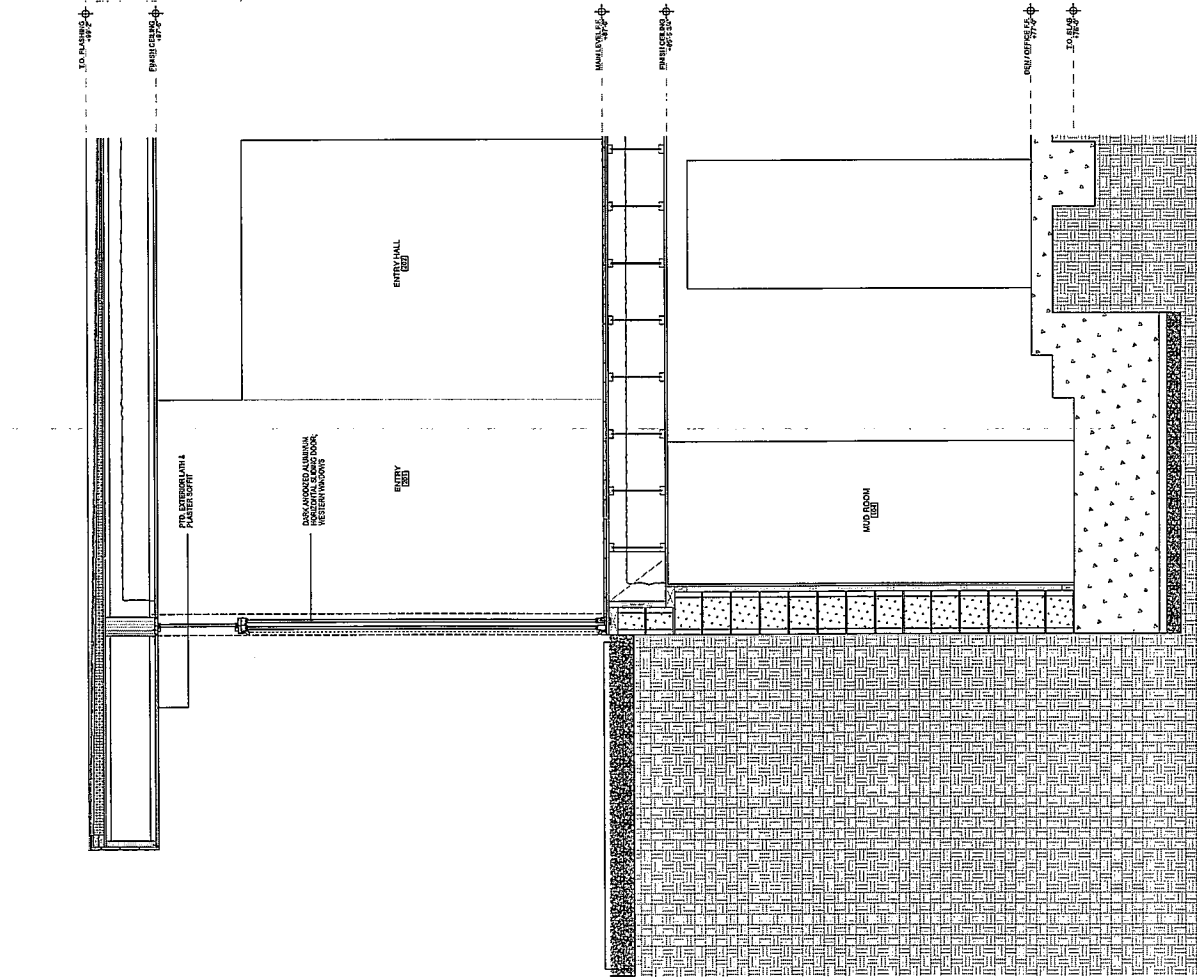
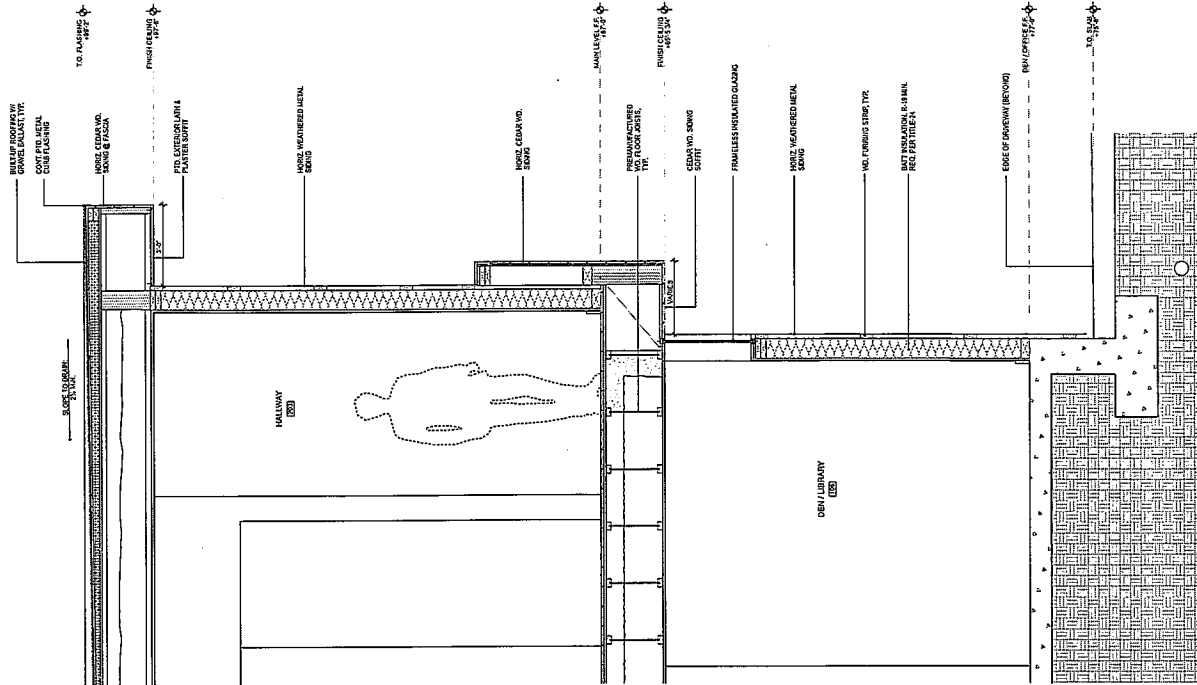
KIM RESIDENCE  
8 ARROYO SQUARE  
SANTA LUCIA PRESERVE - LOT 81

NO.	DATE	DESCRIPTION
1	11/02/18	PRELIMINARY SUBMITTAL
2	01/09/19	DD PROGRESS SET
3	02/02/19	FINAL DD SUBMITTAL
4	02/02/19	CONCRETE CONCRETE PLANNING SUBMITTAL

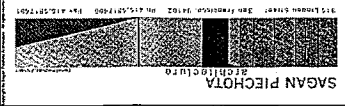
DATE	AS NOTED	CHECKED BY	DATE	BY

WALL SECTIONS

A4.3  
HALLWAY / DEN 2  
SCALE: 3/4" = 1'-0"



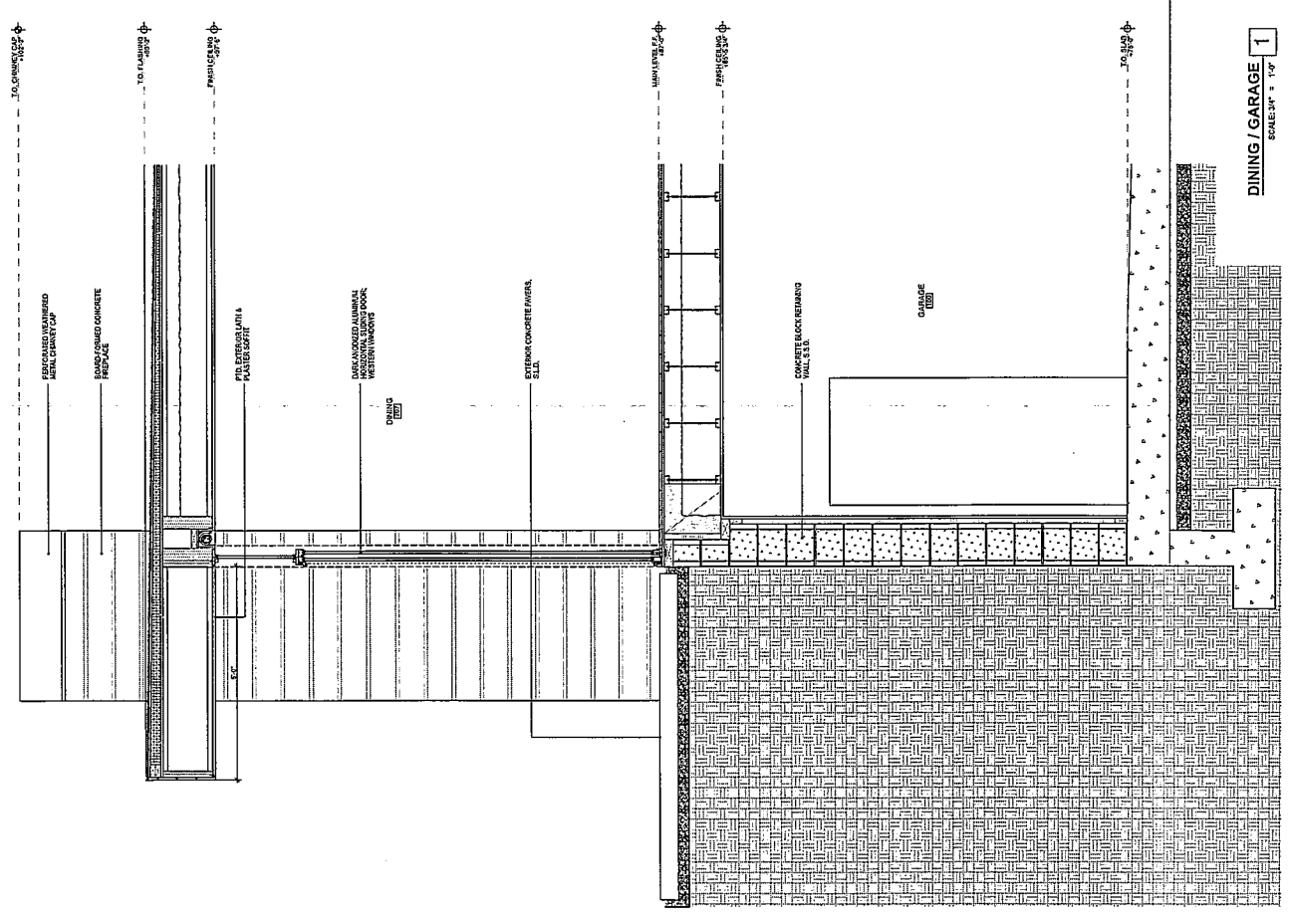
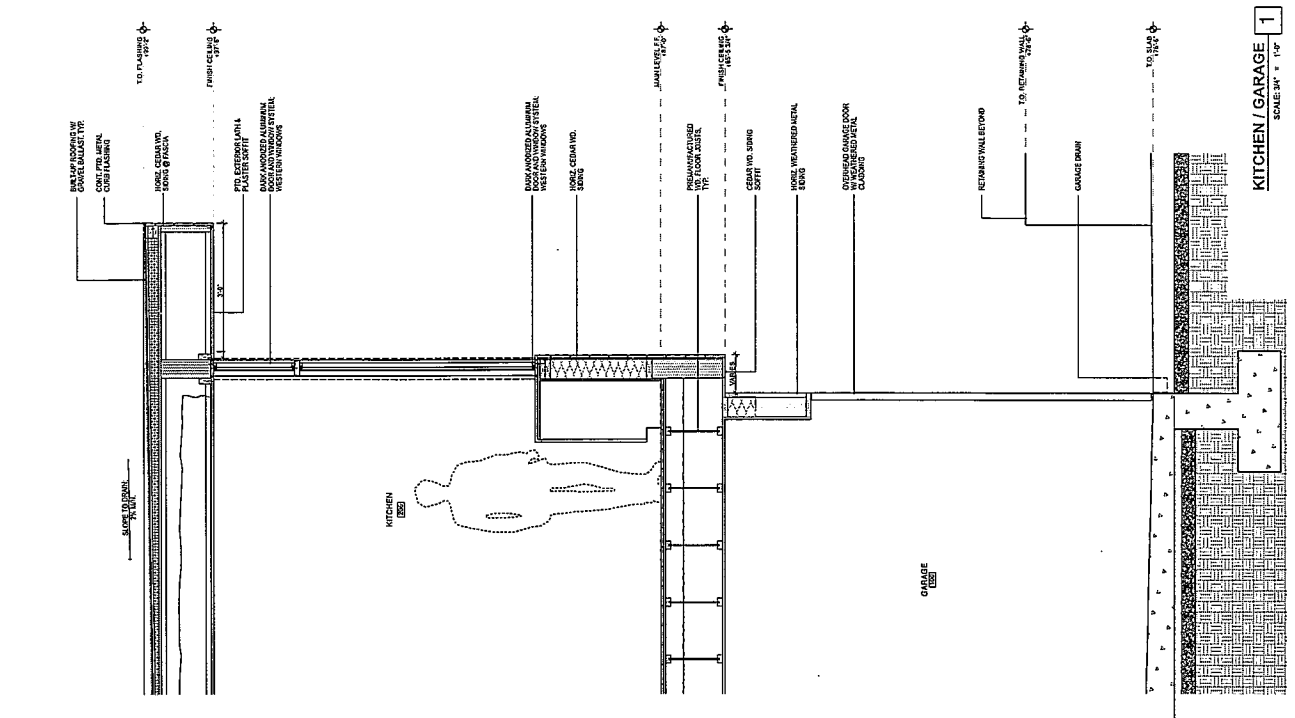
ENTRY / MUD ROOM 1  
SCALE: 3/4" = 1'-0"



**SAGAN PIECHOTA**  
ARCHITECTS  
315 LINCOLN STREET, 2ND FLOOR, SUITE 202, SAULT STE MARIE, MI 49783-1749  
TEL: (507) 783-1221

**KIM RESIDENCE**  
8 ARROYO SEQUOIA  
SAULT STE MARIE PRESERVE - LOT 91

**A4.4**  
WALL SECTIONS



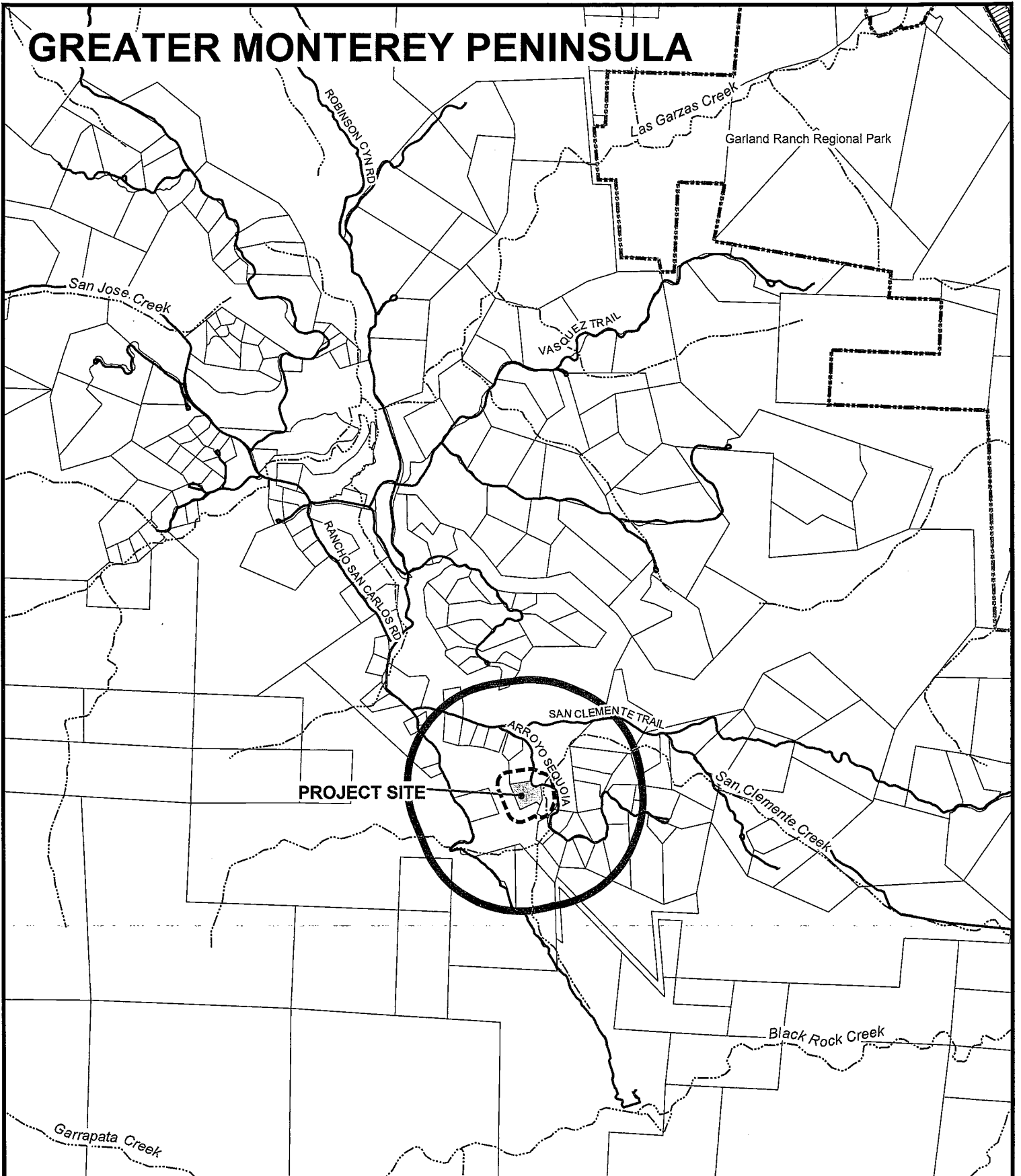
NO.	DATE	DESCRIPTION
1102018	01/20/18	PRELIMINARY CONSTRUCTION
09032018	09/03/18	CONSTRUCTION
09032018	09/03/18	CONSTRUCTION
02012018	02/01/18	FINAL DESIGN
0402018	04/02/18	CONSTRUCTION

SCALE:	AS NOTED
DATE:	AS NOTED
DRAWING BY:	CH
CHECKED BY:	DP
DRAWING ISSUE:	

# **EXHIBIT D**

# GREATER MONTEREY PENINSULA

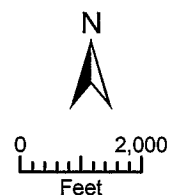


APPLICANT: KIM

APN: 239-091-016-000

FILE # PLN100635

Water    2500' Limit    300' Limit    City Limits



PLANNER: BRADLEY



# **EXHIBIT E**

## ***EXHIBIT E***

### **Addendum Pursuant to the California Environmental Quality Act Article 11, Section 15164**

#### **Santa Lucia Preserve Planning File No. PLN100635 Administrative Permit, Tree Removal Permit and Design Approval**

##### **1. Introduction**

This technical addendum has been prepared pursuant to Article 11, Section 15164 of the California Environmental Quality Act guidelines to make minor technical changes to the project analyzed in the Santa Lucia Preserve Project Final Environmental Impact Report (EIR 94-005). The Santa Lucia Preserve (SLP) Final Environmental Impact Report, was certified February 6, 1996, by Board of Supervisors Resolution No. 96-059. A Combined Development Permit (PC94067), Resolution 96-060, that was approved and as amended (Resolution 97-360 approved April 26, 1997), implemented the EIR and the Forest Management Plan, prepared by Ralph Osterling Consultants, Inc., (incorporated in the SLP Resource Management Plan). Mitigation measures were included as conditions for the approved the Santa Lucia Preserve subdivision Phases A-C.

The Combined Development Permit (CDP) consisted of a Vesting Tentative Subdivision Map and Major Use Permits for Tree Removal, Development on Slopes in Excess of 30 percent; a Waste Water Treatment Facility; and General Development Plans. The environmental impacts of such actions were addressed in the EIR. One of the parcels created by the final map for the subdivision Phase B (Lot 91) is the subject site. The approved Combined Development Permit included a Use Permit for the removal of 1,480 trees (451 trees for home sites and 1,029 trees for driveway construction). None of the conditions described in Section 15162 calling for preparation of a subsequent EIR or negative declaration have occurred.

The subject application (PLN100635) requests an Administrative Permit to allow the construction of a 5,694 square foot single family residence including a 618 square foot garage, a 719 square foot guesthouse, a 1,704 square foot covered patio and 1,755 square foot open patio, an 952 square foot swimming pool, a six foot high 90 linear foot retaining wall; and a Tree Removal Permit for the removal of a 42 inch diameter Valley oak and a 10 inch diameter Coast live oak; and Design Approval. The proposed development would be located within the designated homeland envelope on the site. The circular driveway and structures are located in the only open area in the tree canopy. Tree removal is avoided with exception of two protected

oaks out of 58 oak trees growing within the homeland boundary (developable area) located within the building footprint.

## 2. Scope and Purpose of this Addendum

Only minor technical changes are required to the environmental document. None of the conditions described in CEQA Guidelines Section 15162, which would require preparation of a subsequent EIR, have occurred. The project has not substantially changed since the original approval (EIR Resolution 94-005) such that new significant environmental effects or a substantial increase in the severity of previously identified significant effects would occur (Planning File No. PLN100635). The proposed project involves the construction of a 5,694 square foot residence and associated structures and driveway. The proposed structures and driveway are sited within an opening in the oak forest canopy, and trees have been preserved close to the building footprint. A 42-inch diameter Valley oak in poor condition and a 10-inch diameter healthy Coast live oak within the building envelope are proposed to be removed. The project was designed to avoid the removal of protected oak trees, minimize the visual impact and maintain the natural aesthetic qualities of the site and surrounding area. There are no changes to the Final Map recorded for the subdivision. The purpose of this addendum is to identify minor technical changes and provide clarifications of the site-specific conditions for the proposed residential development.

### EIR Topics

The approval of the Combined Development Permit for the subdivision included the removal of 1,480 trees (451 trees for home sites and 1,029 trees for driveway construction) for residential development in the individual lots (Finding Nos. 24 through 29, Resolution No. 96-059). The EIR addressed the environmental impacts of the tree removal and recommended mitigation measures from the EIR Forest Management Plan (FMP) were incorporated as conditions of approval of the Combined Development Permit (PC94067). The estimated tree removal in the Forest Management Plan (FMP) assumed a worst case scenario and mitigation based on that all of the trees within Vesting Tentative Map homeland boundaries would be destroyed, which is not the actual case. The FMP and CDP approved did not state a cap on the number of trees to be removed. The Planning Commission received a report (PD070907) on January 12, 2011 summarizing that the tree removals for infrastructure improvements were substantially less than what was anticipated in the Santa, Lucia Preserve FMP. Only 429 trees were removed for infrastructure improvements instead of the approved 1,029 trees. Based on the remaining number of trees approved for removal, 628 trees should be added to the amount able to remove for residential development. The Mitigation Measures implemented as conditions of approval are as follows:

EIR FMP Mitigation Measure 1 and Use Permit (PC94067, Condition No. 24) requires that oak trees removed as a result of the project at a 3:1 replacement ratio and replace landmark trees at a 5:1 ratio. All oak trees removed shall be replaced in on-site areas suitable for supporting oak species as determined by a qualified resource ecologist. The

minimum replacement size shall be five gallons. Monitoring shall guarantee a success period of not less than 5 years after planting and a success ratio threshold of no less than 90%. This is incorporated as Condition No. 8 in PLN100635.

Use Permit PC94067 Condition 135) requires that owners of individual residential lots comply with Mitigation Measures M-12 through M-17 of the Santa Lucia Preserve Resource Management Plan and the Homeowner Oak Tree Maintenance Guidelines contained in the Forest Management Plan prepared for the project. All tree removal shall be in accordance with the approved Forest Management Plan prepared for this project by Ralph Osterling Consultants, Inc. This is incorporated as Condition No. 9 in PLN100635.

Other applicable FMP Mitigation Measures are incorporated into the project (PLN100635) as conditions include:

Condition No. 10 (FMP MM6). All construction managers, heavy equipment operators, and tree cutters shall be trained in tree protection procedure prior to the start of construction.

Condition No. 11 (FMP MM7): Where existing trees are to be retained and protected, exclusion fencing will be installed. Fencing will be installed around the perimeter of the tree's dripline. Drip line is defined as the point where the distance from the edge of the tree canopy to the trunk is there greatest. This radius will be used in establishing the perimeter of the exclusionary fencing. Fencing material should be highly visible and sturdy. Construction equipment and activities shall not encroach into the exclusion zone without written authorization from the designated forester.

Condition No. 12 (FMP MM 8): The required construction of grade control structures (retaining walls at, or beyond the dripline and wells around the base of trees) shall avoid cut and fill within the drip zone of any protected tree, proper drainage and serration shall be provided.

Condition No. 13 (FMP MM 9): Grade changes that effect surface and subsurface drainage around the tree should be avoided. Adequate drainage is needed to prevent ponding of water around the base of the trees.

Condition 14 (FMP MM10): - Trenching within the dripline of the tree shall be minimized. An alternative to trenching is to place utilities in a conduit that is bored through the soil. Trenches should not be excavated closer than half the distance from the trunk to the edge of the tree canopy. Where trenching within the dripline of protected trees is unavoidable, the use of a joint trenching for utilities for all utilities will help minimize damage caused by multiple trenching. If possible, roots three (3) inches in diameter and large should not be cut.

Condition No. 15 (FMP MM12): Avoid soil compaction around the tree. When possible, use thick layer of crushed rock underlain by geotextile as an alternative to soil compaction for road base preparation within or near the drip zone of the trees. Placement of a thick layer of organic mulch such as wood chips is recommended for areas subject to light traffic. Vehicle and equipment parking and materials storage should not be allowed within the drip line of trees at any time.

Condition No. 16 (FMP MM11): Trees with greater than 30% percent root loss should be provided with supplemental seasonal irrigation. The irrigation should be deep and infrequent, monthly during the growing season. Supplemental irrigation should be provided for one to three years, depending on the degree of root damage or loss. Care should be taken to keep the zone around the root crown (6-10 foot radius around the trunk) dry.

Condition No. 17 (FMP MM13): Maintain a minimum of six (6) foot radius around the base of the tree that is dry and well drained. Mature native oaks should not receive regular summer irrigation unless a tree has suffered significant root loss; then the irrigation should be deep and infrequent.

Condition No. 18 (FMP MM14): If paving must be placed within the drip zone of a tree, a permeable pavement should be used. Avoid paving within a radius of six (6) feet around the base of any tree.

Condition No. 19 (FMP MM15): A program shall be implemented to systematically eradicate invasive exotic plant species such as scotch broom and pampas grass. Exotic or invasive plant species shall not be planted and shall systematically be eradicated.

All of the mitigation measures contained in the EIR for tree removal and tree protection are incorporated as conditions of approval (Condition Nos. 8 through 17) of the subject application (PLN100635).

The regulations of Chapter 21.64.260 (Preservation of Oak and Other Protected Trees) would require a use permit for removal of any protected trees necessary for residential lots. Tree relocation such as the proposed as part of this project is not considered tree removal and therefore a use permit is not required. A "Construction Impact Analysis Santa Lucia Preserve Lot 91" was prepared by Maureen Hamb, Professional Consulting Services, March 4, 2011 (LIB#110135), incorporating the mitigation measures of the EIR and the Forest Management Plan by Ralph Osterling, Forester, to address the proposed tree removal.

Based on a higher number of trees mitigated for and that substantially more trees were approved for removal than were actually removed, the removal of two protected trees doesn't result in any new significant impacts not already mitigated for in the Santa Lucia Preserve EIR and Use Permit.

### 3. Conclusion

Only minor technical changes are required to the environmental document. None of the conditions described in CEQA Guidelines Section 15162, which would require preparation of a subsequent EIR, have occurred. The approved project has not substantially changed since the original approval (Resolution 94-005) such that new significant environmental effects or a substantial increase in the severity of previously identified significant effects would occur. No changes have caused the identification of new significant environmental effects or a substantial increase in the severity of previously identified significant impacts not identified in the FEIR, or effects

substantially more severe than shown in the FEIR. The subdivider has already mitigated and subsequent owners are required to mitigate for approved tree removal and any additional tree removal requires a permit. The project was designed to avoid the removal of protected oak trees, minimize the visual impact and maintain the natural aesthetic qualities of the site and surrounding area.

The EIR prepared for the Santa Lucia Preserve Subdivision recognizes that there are site-specific conditions that must be addressed through review of specific development proposals and that directing development to areas within homeland boundaries would result in the least environmental impact on protected trees and other environmental resources. Residential development is proposed within the homeland boundary designated in the recorded Final Map for the subdivision. The proposed project includes the removal of one 10 inch Coast live oak and a 42 inch Valley oak, which is in poor condition. The scope of work on the subject site includes the removal of two oak trees, which would not result in substantial changes to the development anticipated in the analysis of the EIR and therefore do not warrant the preparation of a subsequent environmental document. An Arborist's Report has been prepared which recommends certain conditions to address potential impacts of the relocation and concludes that the relocation would not result in additional environmental impacts not addressed or mitigated in the EIR. Monitoring is required to enhance maximum rate of survival of replacement trees; protective measures and hand excavation are also required for trees potentially impacted by construction.

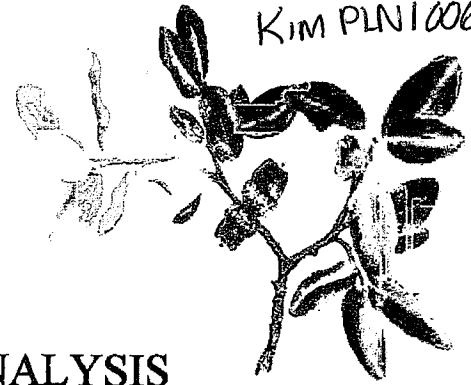
No changes have caused the identification of new significant environmental effects or a substantial increase in the severity of previously identified significant impacts not identified in the FEIR, nor effects substantially more severe than shown in the FEIR. The subdivider has already mitigated and subsequent owners are required to mitigate for development on lots created by the subdivision that involve tree resources. With the minor technical clarifications contained in the Addendum, the recommended conditions of approval implementing the mitigation measures of the EIR, and the implementation of the recommendations of the Forest Management Plan, the project is consistent with the certified EIR.

The Santa Lucia Preserve Project Environmental Impact Report (EIR 96-005), Comprehensive Development Plan, Resource Management Plan and the Forest Management Plan are available for review at the RMA – Planning Department.

# **EXHIBIT F**

*Maureen Hamb-WCISA Certified Arborist #2280  
Professional Consulting Services*

UB110135  
KIM PLN100635



**CONSTRUCTION IMPACT ANALYSIS  
SANTA LUCIA PRESERVE LOT 91**



**Prepared for  
Stephen Kim**

**March 4, 2011**

*849 Almar Ave. Suite C #319  
Santa Cruz, CA 95060  
email: maureenah@sbcglobal.net*

*Telephone: 831-420-1287  
Fax: 831-420-1251  
Mobile: 831-234-7735*



## **ASSIGNMENT/SCOPE OF SERVICES**

Residential development plans have been completed for lot 91 of the Santa Lucia Preserve, the Kim residence. In October of 2010 the property owners retained me to evaluate the health, structural stability and suitability of the trees on the property in preparation for development.

Recently I reviewed the preliminary plans and evaluated the potential impacts to the trees. After meeting with the Landscape Architect, Bernard Trainor, minor modifications were made to the design to incorporate an additional tree while reducing impacts overall.

The plans have been finalized and I have completed a final analysis of the impacts and provided recommendations for protecting the trees during the construction process.

## **SUMMARY**

In October of 2010 I completed an evaluation of 58 trees growing within the "homeland boundary" of lot 91 of the Santa Lucia Preserve. Since that time the final plans have been completed and impacts to the trees have been analyzed. The attached inventory includes specific impacts and recommendations for protecting the trees evaluated in the initial study. Approximately 40 additional trees growing within the homeland were not included within the inventory as they are outside the area where development is proposed.

The center of the site is densely forested with coast live oak trees. Several mature valley oaks are growing around the perimeter. In general, the trees are in fair to good condition. Several of the larger trees display structural defects commonly found in forest grown trees. Tree # 30, a large valley oak is in poor condition, it has significant sized dead branching and less than 5% live foliage. The tree is at risk of failure and is unsuitable for incorporation into the development.

The project as proposed includes a single family home accessed by a circular driveway. The development area on the homeland is restrictive as it is densely forested at the center with a "no vertical zone" at the northern portion of the site. The structure is located in the only open area where a natural separation in the tree canopy occurs. The driveway bisects the dense oak grove.

Two protected oak trees will require removal to construct the site as proposed. Tree #30, the 42 inch valley oak and tree #31 a 10 inch coast live oak.

Eight replacement trees will be planted to meet the Santa Lucia Preserve replanting requirements.

The remaining trees will be retained and protected during the construction process. Tree preservation specifications and recommendations for alternative construction methods are included within this report.

## **BACKGROUND**

In October 2010, I completed a visual assessment of 58 trees to evaluate their health status, structural integrity and suitability for incorporation into the development project. My findings, along with a tree location map were documented in a Tree Resource Evaluation/Preliminary Construction Impact Analysis that was provided to the project architects. Recommendations for maintenance pruning to improve tree condition and provide clearance in preparation for development were defined and have been completed. A layer of mulch (tree chips) has been distributed under the tree canopies to improve soil conditions.

## **OBSERVATIONS**

The existing entry into the homeland slopes upward and levels off at the entry to the oak grove at the center of the site. An opening in the grove has been utilized to create a circular driveway.

A natural opening between tree groups has been utilized for the proposed residence. This area was selected to minimize development impacts and tree removal.

Coast live oak (*Quercus agrifolia*) and valley oak (*Quercus lobata*) are the species represented on the property. The age and size classes are diverse, a sign of a healthy forest system. The younger trees are scattered amongst the larger, mature trees creating a continuous overstory around the perimeter and at the center of the site.

Several large trees with broad and spreading canopies have been incorporated into the design. Four "landmark" size trees located at the entry will be surrounded by an above grade decking system.

Tree # 30, pictured at right is in poor condition. Large diameter branching is dead, decayed and at risk of failure. Foliar development covers less than 5% of the tree.



## **DISCUSSION**

### **Tree Removal**

Monterey County ordinances encourage the preservation of trees and discourage unnecessary tree removal. On development projects tree removal must be kept to the minimum necessary on a case by case basis (21.64.260.D.3.5).

A forest management plan was prepared for Rancho San Carlos in February 1994. This report included estimates for tree removal based on estimated home size for each lot. At the time the report was prepared not all lot locations were accurate, in addition the number of "protected" trees has increased as trunk diameters have become larger over time.

The 1994 Forest Management Plan estimated zero tree removal on this site. The removal required for this project includes a tree in an irreversible state of decline and a 10 inch tree that was likely under six inches in trunk diameter when the estimate was established.

### **Oak Woodland Act**

Public Resources code 2183.4 provides guidelines for determining impacts to oak woodlands proposed for conversion. This project site is oak woodland as described by California Fish and Game Code Section 1361.

The proposed tree removal associated with the development of the site will not impact the woodland qualities that currently exist. It will not disturb the integrity of the entire stand, fragment the overstory component or create a new forest "edge". A natural opening in the forest has been expanded to accept the development components while keeping the perimeter of the existing woodland intact.

### **Construction Impacts**

The attached inventory includes tree number, trunk diameter, ratings for tree condition (good, fair, poor), potential impacts (low, moderate, high), a summary of specific impacts and mitigation/protection recommendations.

Trees rated as having low impact potential are outside the development area but require the protection provided by exclusionary fencing.

Trees rated as having a moderate impact potential are within 10 to 15 feet of either excavation or grade changes. Fencing in combination with straw bale barricades are recommended to protect these trees.

Trees rated as having a high impact potential have excavation, grade changes or other site alterations proposed under or at the edge of the foliar canopy. Trees in these areas may be subjected to alternative construction methods (manual grading or special construction methods) and require fencing and straw bale barricades to create a defined exclusion zone. Monitoring of all activities adjacent to, or under the canopy will be required

### **RECOMMENDATIONS**

Ideally, the critical root zone of retained trees would remain undisturbed during development, eliminating the opportunity for damage and the resulting decline of the retained trees. In order to achieve maximum tree retention on construction sites it is often necessary to encroach into the root zone. There are procedures available that can reduce the affects of these impacts and retain the trees for the long term.

**Tree Removal** will be necessary to construct the site as proposed. Two protected trees are within the building footprint.

**Protection Fencing/Barricades** are a simple and effective way to protect trees during construction. Fencing supported by posts in the ground can create both a physical and visual barrier between the trees, the construction workers and their equipment. The straw bale barricades laid inside the perimeter of the fencing hold back any excess soils that often result from grading. The barricade also diverts excess moisture that can develop when natural drainage patterns are altered.

**Manual Excavation and Grading** is recommended for several trees adjacent to the driveway, residence and pool.

**Staging** of job trailers, equipment, parking and supplies will be restricted to areas outside the foliar canopy of retained trees.

**Monitoring** of the initial site clearing and excavation will be performed twice weekly to ensure compliance with the tree protection measures.

**Contractors** and sub contractors will be supplied with a copy of the Tree Preservation Specifications before entering the site.

## **REPLANTING RECOMMENDATIONS**

The Santa Lucia Preserve requires a removal-replanting ratio of 3 trees planted to 1 removed for trees less than 24 inches in trunk diameter and 5 trees planted for 1 tree removed greater than 24 inches in diameter. A total of 8 oaks will be planted to meet this requirement.

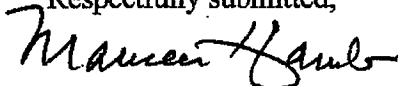
## **CONCLUSION**

The proposed development on lot 91 will require the removal of two protected oak trees. The final design is the most appropriate for integrating and providing adequate space for the most significant trees and minimizing the fragmentation of the forest system.

Several trees will require special treatment during construction to avoid damage within the critical root zone. All retained trees will be protected by the implementation of the recommendations made within this report and the attached Tree Preservation Guidelines.

Any questions regarding the trees on this site or the content of this report can be directed to my office.

Respectfully submitted,



Maureen Hamb-WCISA Certified Arborist #2280

## **TREE PRESERVATION SPECIFICATIONS**

**Contractors and sub contractors should be aware of and provided copies of the tree protection guidelines and restrictions before entering the site. Contracts should incorporate tree protection language that includes "damage to protected trees will be appraised using the Guide to Plant Appraisal 9th Edition and monetary fines assessed".**

### **Establishment of a tree preservation zone (TPZ)**

Fencing shall be installed in areas defined on the attached map. It will consist of sturdy welded wire fencing supported by 4 X 4 wooden posts securely embedded in the ground. Fencing will be installed prior to equipment staging or site disturbance. Fencing placement will be inspected by the project arborist.

### **Straw Bale Barricades**

Straw bales placed end to end will be installed inside the protection fencing. They shall be secured in place with stakes (wooden or metal rebar). This barricade will limit damage to the fencing and prevent grading spoils from encroaching into the critical root zone area and help stop excess moisture from gathering under the retained trees.

### **Restrictions within the Critical Root Zone (CRZ) of existing trees**

No storage of construction materials, debris, or excess soil will be allowed within the CPZ. Parking of vehicles or construction equipment will be allowed in defined areas only. Solvents or liquids of any type should be disposed of properly, never within this protected area.

### **Minimize soil compaction on the construction site**

Protect the soil surface with a deep layer (at least three inches) of mulch (tree chips). The addition of mulch will reduce compaction, retain moisture, and stabilize soil temperature. Areas where equipment and personnel are concentrated will be mulched to a depth of at least six inches.

### **Alteration of grade**

Maintain the natural grade around trees. No additional fill or excavation will be permitted within the critical root zone. If trees roots are unearthed during the construction process the consulting arborist will be notified immediately. Exposed roots will be covered with moistened burlap until a determination is made by the project arborist.

### **Trenching requirements**

Any areas of proposed trenching will be evaluated with the consulting arborist and the contractor prior to construction. All trenching on this site will be approved by the project arborist. Tree roots encountered will be avoided or properly pruned under the guidance of the consulting arborist.

### **Tree canopy alterations**

Unauthorized pruning of any tree on this site will not be allowed. If any tree canopy encroaches on the building site the required pruning will be done on the authority of the consulting arborist and to ISA pruning guidelines and ANSI A-300 pruning standards.



Construction Impact Analysis  
 Santa Lucia Preserve  
 Lot 91

Tree #	Species	Diameter @ 24"	Condition	Impacts: Low Moderate High	Description of Impact	CRZ	Comments/Recommendations
1	coast live oak	27	fair	low	Driveway	15'	Approx 16" from driveway/Protect with fencing and straw bale barricades.
2	coast live oak	20	fair	moderate	Driveway	15'	Growing adjacent to tree #1 in small grouping/Protect with fencing and straw bale barricades.
3	coast live oak	19	fair	moderate	Driveway	15'	Growing adjacent to tree #1 in small grouping/Protect with fencing and straw bale barricades.
4	coast live oak	8.9 & 21	fair	moderate	Driveway	15'	Growing adjacent to tree #1 in small grouping/Protect with fencing and straw bale barricades.
5	coast live oak	15 & 6.9	fair.	high	Driveway	15'	Multi-stemmed tree near edge of driveway/Protect with fencing and straw bale barricades.
6	coast live oak	19.5	fair	high	Edge of driveway	15'	At edge of driveway/Hand grading within this area. Protect with fencing and straw bale barricades
7	coast live oak	21.7 & 22	fair	moderate	Driveway	18'	Protect with fencing and straw bale barricades
8	coast live oak	33.8	fair	moderate	Driveway	20'	Protect with fencing and straw bale barricades
9	coast live oak	36.4 @ 12"	good	high	Driveway	20'	Protect with fencing and straw bale barricades



Construction Impact Analysis  
 Santa Lucia Preserve  
 Lot 91

Tree #	Species	Diameter @ 24"	Condition	Impacts: Low Moderate High	Description of Impact	CRZ	Comments/Recommendations
19	coast live oak	21.4	good	high	Adjacent to residence	15'	Proper root pruning during excavation/Protect with fencing and straw bale barricades.
20	coast live oak	17.4	good	high	Adjacent to residence	15'	Protect with fencing and straw bale barricades
21	coast live oak	13	fair	moderate	Adjacent to residence	10'	Protect with fencing and straw bale barricades
22	valley oak	34.6	fair	low	Outside direct construction	20'	Protect with fencing and straw bale barricades
23	valley oak	33.8	fair	low	Outside direct construction	20'	Protect with fencing and straw bale barricades
24	coast live oak	22.8	good	moderate	Adjacent to retaining wall	20'	Protect with fencing and straw bale barricades
25	coast live oak	23.7	good	moderate	Adjacent to retaining wall	10'	Protect with fencing and straw bale barricades
26	coast live oak	25	good	moderate	Adjacent to residence	20'	Protect with fencing and straw bale barricades
27	valley oak	38.3	good	low	Outside direct construction	25'	Protect with fencing and straw bale barricades

Construction Impact Analysis  
 Santa Lucia Preserve  
 Lot 91

Tree #	Species	Diameter @ 24"	Condition	Impacts: Low Moderate High	Description of Impact	CRZ	Comments/Recommendations
28	valley oak	26	fair	moderate	Adjacent to grading for pool	20'	Protect with fencing and straw bale barricades
29	valley oak	37	fair	high	Adjacent to grading for pool	25'	Hand grading and proper root pruning for pool excavation/Protect with fencing and straw bale barricade
30	valley oak	42.3	poor	high	Within residential footprint	25'	Remove and replant 5 oak trees
31	coast live oak	10	good	high	Within residential footprint	8'	Remove and replant 3 oak trees
32	coast live oak	23.2	good	high	Edge of driveway	20'	Proper root pruning if necessary for wall/Protect with fencing and straw bale barricades
33	coast live oak	20	good	high	Edge of driveway	15'	Hand grading/Protect with fencing and straw bale barricades
34	coast live oak	19.3	good	moderate	Driveway	15'	Protect with fencing and straw bale barricades
35	coast live oak	21.3	good	moderate	Driveway	15'	Protect with fencing and straw bale barricades
36	coast live oak	18.9	good	high	Edge of driveway	15'	Hand grading/Protect with fencing and straw bale barricades

\*

\*

Construction Impact Analysis  
 Santa Lucia Preserve  
 Lot 91

Tree #	Species	Diameter @ 24"	Condition	Impacts: Low Moderate High	Description of Impact	CRZ	Comments/Recommendations
37	coast live oak	24	good	high	Edge of driveway	20'	Proper root pruning if necessary for wall/Protect with fencing and straw bale barricades
38	coast live oak	18.1	fair	high	Edge of driveway	15'	Proper root pruning if necessary for wall/Protect with fencing and straw bale barricades
39	coast live oak	16.8	good	high	Driveway	15'	Protect with fencing and straw bale barricades
40	coast live oak	25.2	fair	high	Driveway	20'	Protect with fencing and straw bale barricades
41	coast live oak	16.1	fair	moderate	Driveway	15'	Protect with fencing and straw bale barricades
42	coast live oak	12.3	fair	moderate	Driveway	10'	Protect with fencing and straw bale barricades
43	coast live oak	14.2	fair	high	Edge of driveway	10'	Protect with fencing and straw bale barricades
44	coast live oak	13	fair	high	Driveway	10'	Protect with fencing and straw bale barricades
45	coast live oak	22.1	good	high	Grading for driveway	20'	Hand grading/Protect with fencing and straw bale barricades

Construction Impact Analysis  
 Santa Lucia Preserve  
 Lot 91

Tree #	Species	Diameter @ 24"	Condition	Impacts: Low Moderate High	Description of Impact	CRZ	Comments/Recommendations
46	coast live oak	28.5	good	moderate	Driveway	20'	Protect with fencing and straw bale barricades
47	coast live oak	8.5	good	moderate	Driveway	5'	Protect with fencing and straw bale barricades
48	coast live oak	30.5	good	moderate	Driveway	25'	Protect with fencing and straw bale barricades
49	coast live oak	9.1	good	moderate	Driveway	6'	Protect with fencing and straw bale barricades
50	coast live oak	13.8	fair	moderate	Driveway	10'	Protect with fencing and straw bale barricades
51	coast live oak	18.2	fair	high	Edge of driveway	15'	Proper root pruning if necessary for wall/Protect with fencing and straw bale barricades
52	coast live oak	12.6	fair	high	Driveway	10'	Protect with fencing and straw bale barricades
53	coast live oak	9.7	fair	moderate	Driveway	8'	Protect with fencing and straw bale barricades
54	coast live oak	15.5	fair	low	Outside direct construction	10'	Protect with fencing and straw bale barricades

Construction Impact Analysis  
 Santa Lucia Preserve  
 Lot 91

Tree #	Species	Diameter @ 24"	Condition	Impacts: Low Moderate High	Description of Impact	CRZ	Comments/Recommendations
55	coast live oak	6.8	fair	low	Outside direct construction	5'	Protect with fencing and straw bale barricades
56	coast live oak	17.7	good	low	Driveway	15'	Protect with fencing and straw bale barricades
57	coast live oak	10.4	good	low	Driveway	8'	Protect with fencing and straw bale barricades
58	coast live oak	20.3	good	high	Edge of driveway	15'	Proper root pruning if necessary for driveway/Protect with fencing and straw bale barricades

Maureen Hamb-PCISA Certified Arborist #12389  
Professional Consulting Services



**TREE LOCATION & PROTECTION PLAN**  
SANTA ANA, CALIFORNIA LOT 171  
MARCH 23, 2011

○ PROTECT IN PLACE

■ REMOVE

EXCLUSIONARY FENCING & STRAW BALE BARRICADES

