

MONTEREY COUNTY ZONING ADMINISTRATOR

Meeting: September 29, 2011 Time: 1:30 p.m.	Agenda Item No.: 2
Project Description: Combined Development Permit consisting of: 1) a Coastal Administrative Permit to allow a remodel of an existing 1,974 square foot single family dwelling to include enclosing an existing 953 square foot attached deck, and the addition of a new 960 square foot second story with 383 square feet of rear decks; Design Approval (colors and materials of tan stucco body, green trim on windows and doors and clay tile roofing materials similar to existing residence); and 2) a Coastal Development Permit for the removal of two Coast Live Oak trees (one double stemmed 19" and 20" in diameter and one 21" in diameter).	
Project Location: 3399 17 Mile Drive, Pebble Beach	APN: 008-392-005-000
Planning File Number: PLN110034	Owner: Harker, Dennis Agent: Mandurrago Design Studios
Planning Area: Del Monte Forest Land Use Plan	Flagged and staked: Yes
Zoning Designation: : "LDR/1.5-D (CZ)" [Low Density Residential/1.5 units per acre with Design Control (Coastal Zone)]	
CEQA Action: Categorically Exempt per Sections 15301 and 15304	
Department: RMA - Planning Department	

RECOMMENDATION:

Staff recommends that the Zoning Administrator adopt a resolution (**Exhibit B**) to:

- 1) Categorically Exempt per CEQA Section 15301 and 15304;
- 2) Approve PLN110034, based on the findings and evidence and subject to the conditions of approval (**Exhibit B**):

PROJECT OVERVIEW:

Applicant proposes a remodel to include an addition of a new second story and tree removal. Staff has confirmed that the two trees proposed for removal are in decline and infested with a significant presence of insects and pathogens. The proposed project meets site development standards of Low Density Residential zoning regulations of Title 20 (MCC).

The project is located in a high archaeological sensitivity zone. However, a report prepared for the site determined that no discernable evidence of cultural activities were present on the site. The proposed project is not located within a critical viewshed and there is no environmentally sensitive habitat on the property. The project proposes to remove two Coast Live Oak trees (one double stemmed 19" and 20" in diameter and one 21" in diameter). The project minimizes tree removal in accordance with applicable goals and policies of the Del Monte Forest Land Use Plan. There are no unresolved issues.

OTHER AGENCY INVOLVEMENT: The following agencies and departments reviewed this project:

- RMA - Public Works Department
- Environmental Health Bureau
- √ Water Resources Agency
- √ Pebble Beach Community Services District
- California Coastal Commission

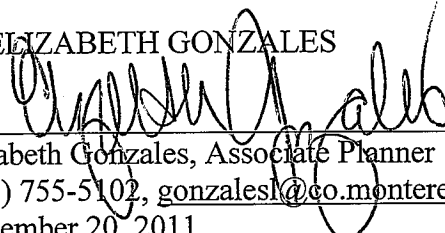
Agencies that submitted comments are noted with a check mark ("√"). Conditions recommended by RMA Planning Department, Water Resources Agency and Pebble Beach Community

Services District have been incorporated into the Condition Compliance/Mitigation Monitoring and Reporting Plan attached as Exhibit 1 to the draft resolution (**Exhibit B**).

On April 7, 2011, the Del Monte Forest Land Use Advisory Committee recommended approval of the project (5-0) with no comments.

Note: The decision on this project is appealable to Board of Supervisors and the California Coastal Commission.

/S/ ELIZABETH GONZALES



Elizabeth Gonzales, Associate Planner
(831) 755-5102, gonzalesl@co.monterey.ca.us
September 20, 2011

cc: Front Counter Copy; Zoning Administrator; Pebble Beach Community Services District; Public Works Department; Environmental Health Bureau; Water Resources Agency; California Coastal Commission; Wanda Hickman, Planning Services Manager; Elizabeth Gonzales, Project Planner; Carol Allen, Senior Secretary; Dennis Harker, Owner; Mandurrango Design Studios, Agent; The Open Monterey Project; Land Watch; Planning File PLN110034

Attachments: Exhibit A Project Data Sheet
 Exhibit B Draft Resolution, including:
 1. Conditions of Approval
 2. Site Plan, Floor Plan and Elevations
 Exhibit C Vicinity Map
 Exhibit D Advisory Committee Minutes (LUAC)

This report was reviewed by Bob Schubert, Senior Planner

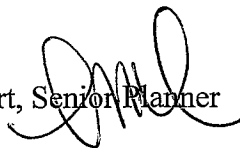


EXHIBIT A

Project Information for PLN110034

Project Information:

Project Name:	HARKER DENNIS		
Location:	3399 17 MILE DR PEBBLE BEACH		
Permit Type:	Combined Development Permit		
Environmental Status:	Exempt	Final Action Deadline (884):	9/13/2011
Existing Structures (sf):	4617.3	Coverage Allowed:	15%
Proposed Structures (sf):	345.8	Coverage Proposed:	10.4%
Total Sq. Ft.:	4963.1	Height Allowed:	30 FEET
Tree Removal:	2 OAKS	Height Proposed:	30 FEET
Water Source:	CAL-AM	FAR Allowed:	17.5%
Water Purveyor:	Public	FAR Proposed:	10.8%
Sewage Disposal (method):	Public	Lot Size:	45746.6
Sewer District:	PBCSD	Grading (cubic yds.):	0

Parcel Information:

Primary APN:	008-392-005-000	Seismic Hazard Zone:	III
Applicable Plan:	Del Monte Forest LUP	Erosion Hazard Zone:	No
Advisory Committee:	DMF LUAC	Fire Hazard Zone:	Low
Zoning:	LDR/1.5-D (CZ)	Flood Hazard Zone:	No
Land Use Designation:	Residential	Archaeological Sensitivity:	High
Coastal Zone:	Yes	Viewshed:	No
Fire District:	PBCSD	Special Setbacks on Parcel:	No

Reports on Project Parcel:

Soils Report #:	LIB110120
Biological Report #:	N/A
Geologic Report #:	N/A
Forest Management Rpt. #:	LIB110114
Archaeological Report #:	LIB080076
Traffic Report #:	N/A

**EXHIBIT B
DRAFT RESOLUTION**

**Before the Zoning Administrator in and for the
County of Monterey, State of California**

In the matter of the application of:

HARKER (PLN110034)

RESOLUTION NO. ----

Resolution by the Monterey County Zoning
Administrator:

- 1) Categorically Exempting per CEQA Sections 15301 and 15304
- 2) Approving Combined Development Permit consisting of: 1) a Coastal Administrative Permit to allow a remodel of an existing 1,974 square foot single family dwelling to include enclosing an existing 953 square foot attached deck, and the addition of new 960 square foot second story with 383 square feet of rear decks; Design Approval (colors and materials of tan stucco body, green trim on windows and doors and clay tile roofing materials similar to existing residence); and 2) a Coastal Development Permit for the removal of two Coast Live Oak trees (one double stemmed 19" and 20" in diameter and one 21" in diameter).

(PLN110034, Dennis Harker, 3399 17 Mile Drive, Pebble Beach, Del Monte Forest Land Use Plan (APN: 008-392-005-000))

The Combined Development Permit application (PLN110034) came on for public hearing before the Monterey County Zoning Administrator on September 29, 2011. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:

- the 1982 Monterey County General Plan,
- Del Monte Forest Land Use Plan,
- Monterey County Coastal Implementation Plan, Part 5
- Monterey County Zoning Ordinance (Title 20)

No conflicts were found to exist. No communications were received

during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) The property is located at 3399 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-392-005-000, Del Monte Forest Land Use Plan. The parcel is zoned "LDR/1.5-D (CZ)" Low Density Residential/1.5 acres per unit-Design Control area in the Coastal Zone, which allows for single family dwellings as a principal use. Therefore, the project is an allowed land use for this site.
- c) The project consists of a Combined Development Permit. Entitlements include: a Coastal Administrative Permit to allow a remodel of an existing single family dwelling to include enclosing an existing attached deck and the addition of new 959 square foot second story with rear decks and a Coastal Development Permit to allow tree removal. Staff has confirmed that the proposed project meets Site Development standards of Low Density Residential zoning regulations.
- d) Tree Removal The proposed tree removal is consistent with applicable Forest Resources policies of the Del Monte Forest Land Use Plan. A staff site visit determined that the removal of two Coastal Live Oak trees does not conflict with water and marine resources, environmentally sensitive habitat areas and scenic visual resources. (*See Finding #7*).
- e) Design Approval Pursuant to Chapter 20.44, Design Control Zoning Districts, the project requires design review of structures to make sure they are appropriate to assure protection of the public viewshed, neighborhood character, and assure visual integrity. The project consists of a second story addition to the existing single family dwelling. Colors and materials to be tan stucco body, green trim on windows and doors and clay tile roofing materials similar to existing residence. The colors and materials are of a neutral blend and are consistent with the surrounding environment. Therefore, the project is consistent with the Design Control regulations.
- f) The project planner conducted a site inspection on May 20, 2011, to verify that the project on the subject parcel conforms to the plans listed above.
- g) The project is located in a high Archaeological Sensitivity zone. A Preliminary Cultural Resources Reconnaissance was prepared for the project. The report was negative, determining that the parcel does not contain significant cultural resources and the project should not be postponed for development. The proposed project is not located within a critical viewshed and there is no environmentally sensitive habitat on the property.
- h) On April 7, 2011, the Del Monte Forest Land Use Advisory Committee recommended approval of the project (5-0) with no comments.
- i) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN110034.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

EVIDENCE: a) The project has been reviewed for site suitability by the following

departments and agencies: RMA - Planning Department, Pebble Beach Community Services District, Public Works, Environmental Health Bureau, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.

- b) Staff identified potential impacts to Archaeological Resources and Forest Resources. These technical reports indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. A Preliminary Cultural Resources Reconnaissance was prepared for the project. The report was negative, determining that the parcel does not contain significant cultural resources and the project should not be postponed for development. Staff has included a Condition of Approval stating that if, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site work shall be halted (**Condition #3**). Two Coast Live Oak trees are proposed for removal. One is a single stem (21 inches in diameter) and the second, a double stem (20 & 19 inches in diameter); the Tree Resource Assessment has determined they are in decline and infested with a significant presence of insects and pathogens. Recommendations include replacement with four Oak trees. County staff independently reviewed these reports and concurs with their conclusions. The following reports have been prepared:

- *“Preliminary Cultural Resource Reconnaissance” (LIB080074) prepared by Susan Morley, Pacific Grove, CA, December, 2004.*
- *“Tree Resource Assessment/Forest Management Plan” (LIB110114) prepared by Frank Ono, Pacific Grove, CA, March 9, 2011.*
- *“Soil Engineering Investigation” (LIB110120) prepared by Landset, Inc., Salinas, CA, March 2011.*

- c) Staff conducted a site inspection on May 20, 2011 to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN110034.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

EVIDENCE: a) The project was reviewed by RMA - Planning Department, Pebble Beach Community Services District, Public Works, Environmental Health Bureau, and Water Resources Agency. The respective departments/agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in

the neighborhood.

- b) Necessary public facilities are available from Cal Am Water. Existing sewer is serviced by the Pebble Beach Community Services District.
- c) Preceding Finding Nos. 1 and 2 and supporting evidence for PLN110034.

4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County RMA - Planning Department and Building Services Department records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on May 20, 2011 and researched County records to assess if any violation exists on the subject property. There are no known violations on the subject parcel.
 - c) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN110034.

5. **FINDING:** **CEQA (Exempt):** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15301(e), categorically exempts additions to existing structures.
 - b) California Environmental Quality Act (CEQA) Guidelines Section 15304 categorically exempts minor alterations of land that do not involve the removal of healthy, mature, scenic trees.
 - c) The proposed project consists of a second story addition to the existing single family dwelling and the removal of two trees that are in decline and infested with a significant presence of insects and pathogens.
 - d) No adverse environmental effects were identified during staff review of the development application during a site visit on May 20, 2011.
 - e) See preceding and following findings and supporting evidence.

6. **FINDING:** **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

- EVIDENCE:**
- a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.147.130 of the Monterey County Coastal Implementation Plan can be demonstrated.
 - b) The subject property is not described as an area where the Local Coastal Program requires public access (Figure 16 in the Del Monte Forest Land Use Plan).
 - c) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
 - d) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the

- proposed development are found in Project File PLN110034.
- e) The project planner conducted a site inspection on May 20, 2011.

7. **FINDING: TREE REMOVAL** –The subject project minimizes tree removal in accordance with the applicable goals and policies of the applicable land use plan and the Coastal Implementation Plan.

- EVIDENCE:**
- a) The project includes application for the removal of two Coast Live Oak trees (one double stemmed 19” and 20” in diameter and one 21” in diameter). In accordance with the applicable policies of the Del Monte Forest Land Use Plan and the Monterey County Zoning Ordinance (Title 20), a Coastal Development Permit is required and the authority to grant said permit has been met.
 - b) A Tree Resource Assessment/Forest Management Plan was prepared by Frank Ono, Pacific Grove, CA. The analysis determined that the two Oak trees proposed for removal are in decline and infested with a significant presence of insects and pathogens. Staff site visit has determined the project has been designed and sited to minimize the removal of protected trees to the greatest extent feasible.
 - c) Measures for tree protection during construction have been incorporated as a Condition of Approval and include tree protection zones, trunk protection and fencing (**Condition #4**).
 - d) A Condition of Approval has been incorporated to require a replacement ratio of 2:1. The applicant shall plant four (4) Coast Live Oak trees along the existing driveway and shall have them monitored for up to three (3) years (**Condition #10**).
 - e) Section 20.147.050.D.4 requires tree replacement on the site at a rate of one tree of the same variety for each tree removed. The Forest Management Plan recommends that four Oak trees be planted along the driveway entrance as it is an area with the greatest opening in the stand. Staff concurs. The applicant shall record a notice stating that a Forest Management Plan has been prepared for this parcel and that all tree removal and replanting shall be in accordance with the Forest Management Plan, as approved by the Director of Planning (**Condition #5**).
 - f) The removal will not involve a risk of adverse environmental impacts. Staff site visit determined that the removal of the two Oaks trees conform to all development standards of Section 20.147.050.D.1 (CIP) and does not conflict with water and marine resources, environmentally sensitive habitat areas and scenic visual resources. (*Finding 1*)
 - g) Staff conducted a site inspection on May 20, 2011 to verify that the tree removal is the minimum necessary for the project and to identify any potential adverse environmental impacts related to the proposed tree removal.
 - h) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN100640.

8. **FINDING: SITE COVERAGE (DEL MONTE FOREST WATERSHEDS)** – The project limits structural and impervious surface coverage in order to reduce runoff within the Pescadero, Seal Rock Creek, and Sawmill Gulch Watersheds and some smaller unnamed watersheds that drain

- into the Carmel Bay Area of Special Biological Significance (ASBS).
- EVIDENCE:** a) The Del Monte Forest Coastal Implementation Plan –Part 5 limits development of parcels within the Pescadero Watershed to a maximum site coverage of 9,000 square feet. Pursuant to Section 20.147.030 of the Del Monte Forest LUP, Coastal Implementation Plan, structural coverage is limited 5,000 square feet, including main and accessory structures. Separately, additional impervious surfaces (less than 40% water pass through) are limited to 4,000 square feet.
- b) Existing structural coverage for the project consists of 4,617 square feet, including the single family dwelling, garage, guesthouse and all decks over 24 inches above grade. The proposed project encloses an existing second story deck that was already included in the coverage calculations and adds minor additions to the remodel bringing the building site coverage to 4,739 square feet which meets the 5,000 square feet structural coverage limitation. A previous permit (PLN070590) to allow structural alterations to a non-conforming guesthouse within the Pescadero Watershed of Del Monte Forest reduced portions of the asphalt driveway and parking areas and replaced them with pervious pavement surfaces that consisted of 3,567 square feet. This includes walkways, patios and guest parking. New proposed driveways will be using pervious concrete and reducing the impervious surfaces to 2,434 square feet which meets the required 4,000 square foot impervious surface coverage limit. The materials meet the County required 40% pervious type of materials. Staff has added a non-standard Condition of Approval stating that prior to the final inspection, a staff site visit shall confirm that pervious materials have been installed for all parking areas and driveways (**Condition #7**). Therefore, the proposed project meets the Policies of the Pescadero Watershed limitations in the Del Monte Forest LUP, Coastal Implementation Plan when constructed.
- c) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN110034.

9. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.

- EVIDENCE:** a) Section 20.86.030 Monterey County Zoning Ordinance (Board of Supervisors).
- b) Section 20.86.080 Monterey County Zoning Ordinance (Coastal Commission). The project is subject to appeal by/to the California Coastal Commission because the project includes conditional uses (Coastal Development Permit), which allows for development located between the first public road and the ocean and tree removal.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

- A. Categorically Exempt per CEQA Section 15301 and 15304;

- B. Approve Combined Development Permit consisting of: 1) a Coastal Administrative Permit to allow a remodel of an existing 1,974 square foot single family dwelling to include enclosing an existing 953 square foot attached deck, and the addition of a new 960 square foot second story with 383 square feet of rear decks; Design Approval (colors and materials of tan stucco body, green trim on windows and doors and clay tile roofing materials similar to existing residence); and 2) a Coastal Development Permit for the removal of two Coast Live Oak trees (one double stemmed 19" and 20" in diameter and one 21" in diameter), in general conformance with the attached sketch (**Exhibit 2**) and subject to the conditions (**Exhibit 1**), both exhibits being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 29th day of September, 2011 upon motion by the following vote:

Jacqueline R. Onciano, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS / IS NOT APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning Department and Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Monterey County Planning Department

DRAFT Conditions of Approval/Mitigation Monitoring Reporting Plan

PLN110034

EXHIBIT "B"

Conditions of Approval and/or Mitigation Monitoring Measures	Responsible Department	Compliance or Monitoring Actions to be Performed
<p>1. PD001 - SPECIFIC USES ONLY</p> <p>This Combined Development Permit consisting of: 1) a Coastal Administrative Permit to allow a remodel of an existing 1,974 square foot single family dwelling to include enclosing an existing 953 square foot attached deck, and the addition of a new 960 square foot second story with 383 square feet of rear decks; Design Approval (colors and materials of tan stucco body, green trim on windows and doors and clay tile roofing materials similar to existing residence); and 2) a Coastal Development Permit for the removal of two Coast Live Oak trees (one double stemmed 19" and 20" in diameter and one 21" in diameter), was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of the RMA - Planning Department. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning Department)</p>	<p>Planning</p>	<p>The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.</p>
<p>2. PD002 - NOTICE PERMIT APPROVAL</p> <p>The applicant shall record a Permit Approval Notice stating that "Resolution Number _____ for Assessor's Parcel Number 008-392-005-000, was approved by the Zoning Administrator on September 29, 2011. The permit was granted subject to 12 conditions of approval which run with the land. A copy of the permit is on file with the Monterey County RMA - Planning Department." Proof of recordation of this notice shall be furnished to the Director of the RMA - Planning Department prior to issuance of building permits or commencement of the use. (RMA - Planning Department)</p>	<p>Planning</p>	<p>Prior to the issuance of grading and building permits or commencement of use, the Owner/Applicant shall provide proof of recordation of this notice to the RMA - Planning Department.</p>

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. The Monterey County RMA - Planning Department and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(RMA - Planning Department)

Planning
The Owner/Applicant shall adhere to this condition on an on-going basis. Stop work within 50 meters (165 feet) of uncovered resource and contact the Monterey County RMA - Planning Department and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD011 - TREE AND ROOT PROTECTION

Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of RMA - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits.
(RMA - Planning Department)

Planning
Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to the RMA - Planning Department for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to the RMA-Planning Department after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

5. PD016 - NOTICE OF REPORT

Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states that a Forest Management Plan has been prepared for this parcel by Frank Ono, dated March 9, 2011 and that all tree removal and replanting shall be in accordance with the Forest Management Plan, as approved by the Director of Planning. The report is on file in the Monterey County RMA - Planning Department Library (LIB110114) and that all development shall be in accordance with this report.
(RMA - Planning Department)

Planning

Prior to the issuance of grading and building permits, the Owner/Applicant shall submit proof of recordation of this notice to the RMA - Planning Department.

Prior to occupancy, the Owner/Applicant shall submit proof, for review and approval, that all development has been implemented in accordance with the report to the RMA - Planning Department.

6. PD014(A) - LIGHTING-EXTERIOR LIGHTING PLAN

**Compliance or Monitoring
Actions to be Performed**

**Responsible
Department**

Conditions of Approval and/or Mitigation Monitoring Measures

<p>All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of the RMA - Planning Department, prior to the issuance of building permits. (RMA - Planning Department)</p>	<p>Planning</p>	<p>Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to the RMA - Planning Department for review and approval. Approved lighting plans shall be incorporated into final building plans.</p>
<p>7. PDSP001 - PERVIOUS DRIVEWAYS & PARKING SPACES NONSTANDARD - The new proposed driveways shall use pervious concrete materials that meets the County required 40% pass through type of materials; which reduces total impervious surfaces to 2,434 square feet. Prior to final, staff site visit shall confirm that pervious materials have been installed for all parking areas and driveways. (RMA - Planning Department)</p>	<p>Planning</p>	<p>Prior to Final of building/grading permits, the applicant shall contact the planner to set up a site visit in order to confirm that pervious materials have been installed for all parking areas and driveways.</p>
<p>8. WR43 - WATER AVAILABILITY CERTIFICATION The applicant shall obtain from the Monterey County Water Resources Agency, proof of water availability on the property, in the form of an approved Monterey Peninsula Water Management District Water Release Form. (Water Resources Agency)</p>	<p>Water</p>	<p>Prior to issuance of any building permits, the owner/applicant shall submit a Water Release Form to the Water Resources Agency for review and approval.</p>
<p>9. Sprinklers FIRE021 - FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYS: The building(s) and attached garage(s) shall be fully protected with automatic fire sprinkler system(s). Installation shall be in accordance with the applicable NFPA standard. A minimum of four (4) sets of plans for fire sprinkler systems must be submitted by a California licensed C-16 contractor and approved prior to installation. This requirement is not intended to delay issuance of a building permit. A rough sprinkler inspection must be scheduled by the installing contractor and completed prior to requesting a framing inspection. Responsible Land Use Department: Pebble Beach Fire District.</p>	<p>Fire</p>	<p>1. Prior to issuance of building permit the applicant or owner shall enumerate as "Fire Dept. Notes" on plans. 2. Prior to framing inspection the applicant or owner shall schedule fire dept. rough sprinkler inspection. 3. Prior to final building inspection the applicant or owner shall schedule fire dept. final sprinkler inspection.</p>
<p>10. PD048 - TREE REPLACEMENT/RELOCATION</p>		

NON-STANDARD REPLANTING

Within 60 days of permit approval, the applicant shall replace each tree approved for removal as follows:

Pursuant to the FMP, Four (4) Coast Live Oak trees shall be planted along the driveway entrance as it is an area with the greatest opening in the stand to allow for a minimum of competition and maximum sunlight. Replacement trees should be 15-gallon stock or larger, if available and plantings should be mulched with oak and pine bark chippings. Spacing between trees should be at least 8 feet.

To ensure the survivability and proper growth of the replacement of relocation of the trees success criteria will be defined to meet an 80% survival rate, a qualified professional monitor newly planted trees for a period of three (3) years as described in the FMP.

Planning

The Owner/Applicant shall submit evidence of tree replacement to the RMA-Planning Department for review and approval. Evidence shall be a receipt for the purchase of the replacement tree(s) and photos of the replacement tree(s) being planted.

Six months after the planting of the replacement tree(s), the Owner/Applicant shall submit evidence demonstrating that the replacement tree(s) are in a healthy, growing condition.

One year after the planting of the replacement tree(s) and up to three (3) years, the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the replacement tree(s) and whether or not the tree replacement was successful or if follow-up remediation measures or additional permits are required.

11. PD012(D) - LANDSCAPE PLAN & MAINTENANCE (MPWMD-SFD ONLY)

Compliance or Monitoring
Actions to be Performed

Responsible
Department

Conditions of Approval and/or Mitigation Monitoring Measures

The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of the RMA - Planning Department. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County RMA - Planning Department. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (RMA - Planning Department)

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to the RMA - Planning Department for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit one (1) set landscape plans of approved by the RMA-Planning Department, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey County Water Resources Agency for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit the RMA-Planning Department approved landscape plans, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey Peninsula Water Management District for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/ shall submit an approved water permit from the MPVMD to the RMA-Building Services Department.

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County RMA - Planning Department.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

12. PD041 - HEIGHT VERIFICATION

The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible on-site until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor to the Director of the RMA - Building Services Department for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (RMA - Planning Department and Building Services Department)

Planning

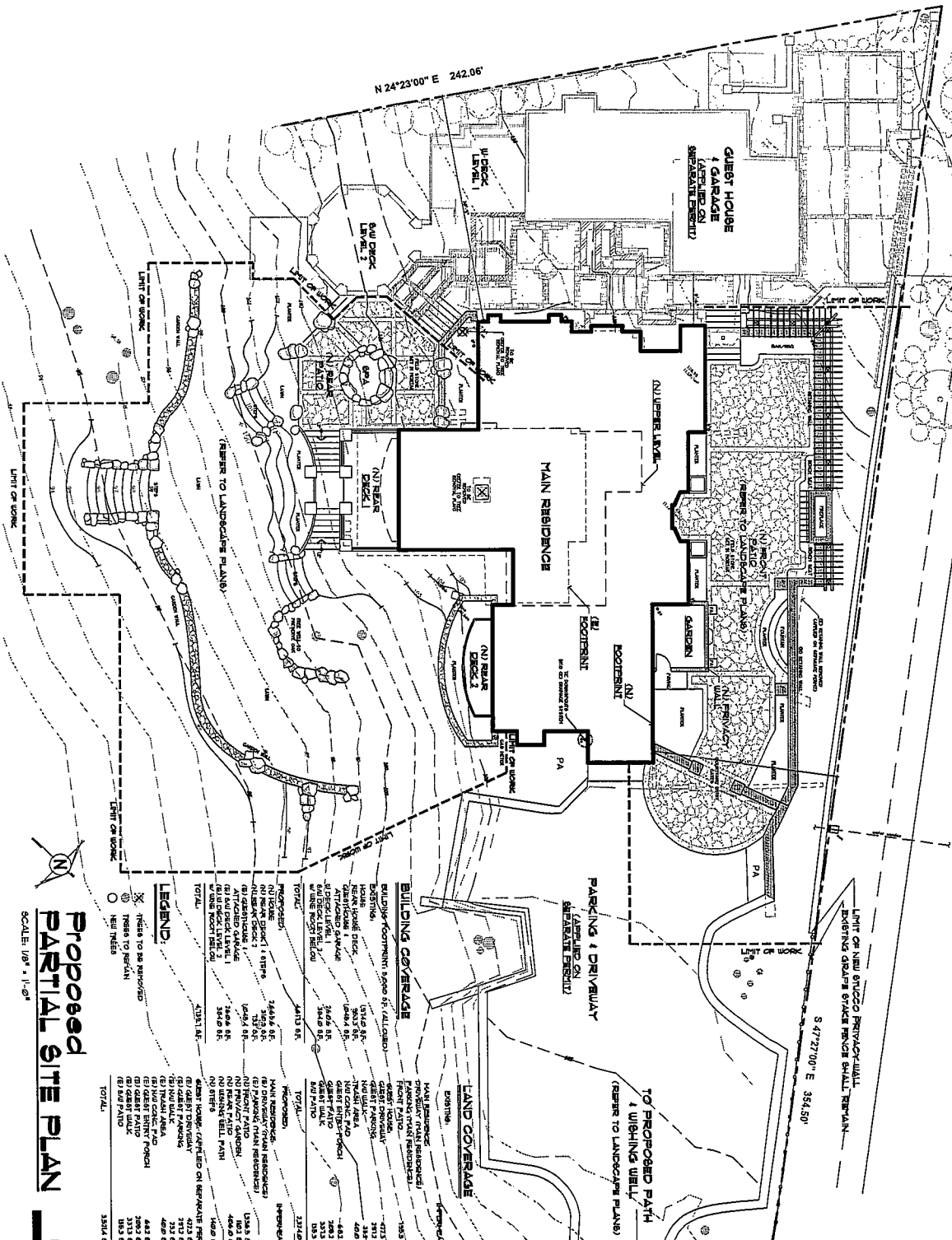
Prior to the issuance of grading or building permits, the Owner/Applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection.

Prior to the foundation pre-pour inspection, the Owner/Applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of the RMA- Building Services Department for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.

Prior to the final inspection, the Owner/Applicant/Engineer shall provide evidence from a licensed civil engineer or surveyor, to the Director of the RMA- Building Services Department for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.

EXHIBIT "B" 2

LAVENDER RESIDENCE



Proposed Partial Site Plan

SCALE: 1/8" = 1'-0"

LEGEND:

- ⊗ Areas to be removed
- Areas to remain
- New trees

JOHN MANDRISAGO DESIGN STUDIOS

1000 N. G. ROAD, SUITE 100, CAROLINA BEACH, NC 28511 910-325-1855

DATE: 6-10-11

PROJECT: 0903

BUILDING COVERAGE

DESCRIPTION	AREA (SQ. FT.)
MAIN RESIDENCE	13454.85
UPPER LEVEL	1024.85
DECK LEVEL 1	1024.85
DECK LEVEL 2	1024.85
DECK LEVEL 3	1024.85
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LAND COVERAGE

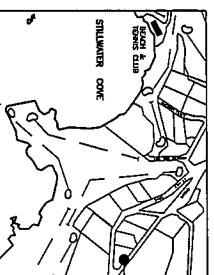
DESCRIPTION	AREA (SQ. FT.)
MAIN RESIDENCE	13454.85
UPPER LEVEL	1024.85
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FLOOR AREA RATIO:

DESCRIPTION	AREA (SQ. FT.)
MAIN RESIDENCE	13454.85
UPPER LEVEL	1024.85
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DECK LEVEL 2	1024.85
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SHEET INDEX:

- D1 SITE PLAN
- D2 TREE REMOVAL PLAN
- D3 FILL SITE PLAN
- D4 SURVEY
- D5 EXISTING FLOOR PLAN
- D6 PROPOSED FLOOR PLAN
- D7 DETAIL SECTION
- D8 EXISTING EXTERIOR ELEVATIONS
- D9 PROPOSED EXTERIOR ELEVATIONS
- D10 EXTERIOR ELEVATIONS
- D11 PROPOSED ROOF PLAN
- D12 PRELIMINARY LANDSCAPE CONSTRUCTION PLAN
- D13 CONCEPTUAL PLANNING L.S. SECTIONS



PROJECT INFORMATION:

APL: 000-352-000

BLK: 153 LOT: 71-A

07E AREA: 45,744.85 SQ. FEET

ADDRESS: 3399 P MILE DRIVE, CAROLINA BEACH, NC 28511

OWNER: JOHN MANDRISAGO

OWNER ADDRESS AND SALES OFFICE: 1000 N. G. ROAD, SUITE 100, CAROLINA BEACH, NC 28511 910-325-1855

JOHN MANDRISAGO DESIGN STUDIOS

1000 N. G. ROAD, SUITE 100, CAROLINA BEACH, NC 28511 910-325-1855

DATE: 6-10-11

PROJECT: 0903

0903

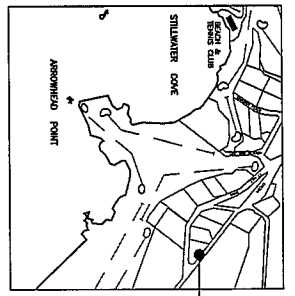
D1

000-352-000

3399 P MILE DRIVE

PEBBLE BEACH, CALIFORNIA

HARVER RESIDENCE



VICINITY MAP

PROJECT INFORMATION:

APRIL 1, 2008-03-08
 DATE: 10/17/2008
 SITE AREA: 40,344 SQ. FT.
 ZONING: 20000 (P) PERMITS DIVISION, PEPPER BEACH, CALIFORNIA
 ZONING: LDR (B-0) (C)

CLIENTS:

DEAN LAMBER AND SANDY DELORE
 318 KERRINGTON PARKWAY
 PEPPER BEACH, CALIFORNIA
 (408) 507-1071

SHEET INDEX:

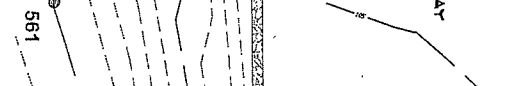
- D1. SITE PLAN
- D2. SURVEY
- D3. EXISTING FLOOR PLAN
- D4. PROPOSED FLOOR PLAN
- D4. DEMOLITION PLAN
- D5. EXTERIOR ELEVATIONS
- D6. PROPOSED EXTERIOR ELEVATIONS
- D1. PROPOSED ROOF PLAN

Tree Protection:
 Trees are to be protected and preserved within 15 feet of construction areas. A boundary of orange snow netting or high visibility plastic fencing supported by wood or metal stakes and or straw bales shall be erected along the approximate drip lines of such protected trees to define the construction project boundary. Excavation and construction activities and materials should not intrude into this defined boundary at any time and kept as much as possible within proposed structure and driveway footprints or outside tree drip lines in the treeless areas.

FLOOR AREA RATIO:
 DISTRICT: P1A - 40000 SF (ALLOWED)
 EXISTING: 174,382 SF
 PROPOSED: 174,382 SF
 TOTAL: 174,382 SF

LAND COVERAGE:
 DISTRICT: 4000 SF (ALLOWED)
 EXISTING: 174,382 SF
 PROPOSED: 4000 SF
 TOTAL: 178,382 SF

LAND COVERAGE:
 DISTRICT: 4000 SF (ALLOWED)
 EXISTING: 174,382 SF
 PROPOSED: 4000 SF
 TOTAL: 178,382 SF



Proposed SITE PLAN
 SCALE: 1/8" = 1'-0"

BUILDING COVERAGE

PROPOSED:	41713 SF
NO HOUSE MAIN FLOOR	34454 SF
NO HOUSE ATTACHED GARAGE	3003 SF
NO HOUSE ATTACHED GARAGE	10604 SF
NO HOUSE ATTACHED GARAGE	3502 SF
NO HOUSE ATTACHED GARAGE	41581 SF

FLOOR AREA RATIO

DISTRICT:	P1A - 40000 SF (ALLOWED)
EXISTING:	174,382 SF
PROPOSED:	174,382 SF
TOTAL:	174,382 SF

LAND COVERAGE

DISTRICT:	4000 SF (ALLOWED)
EXISTING:	174,382 SF
PROPOSED:	4000 SF
TOTAL:	178,382 SF

LAND COVERAGE

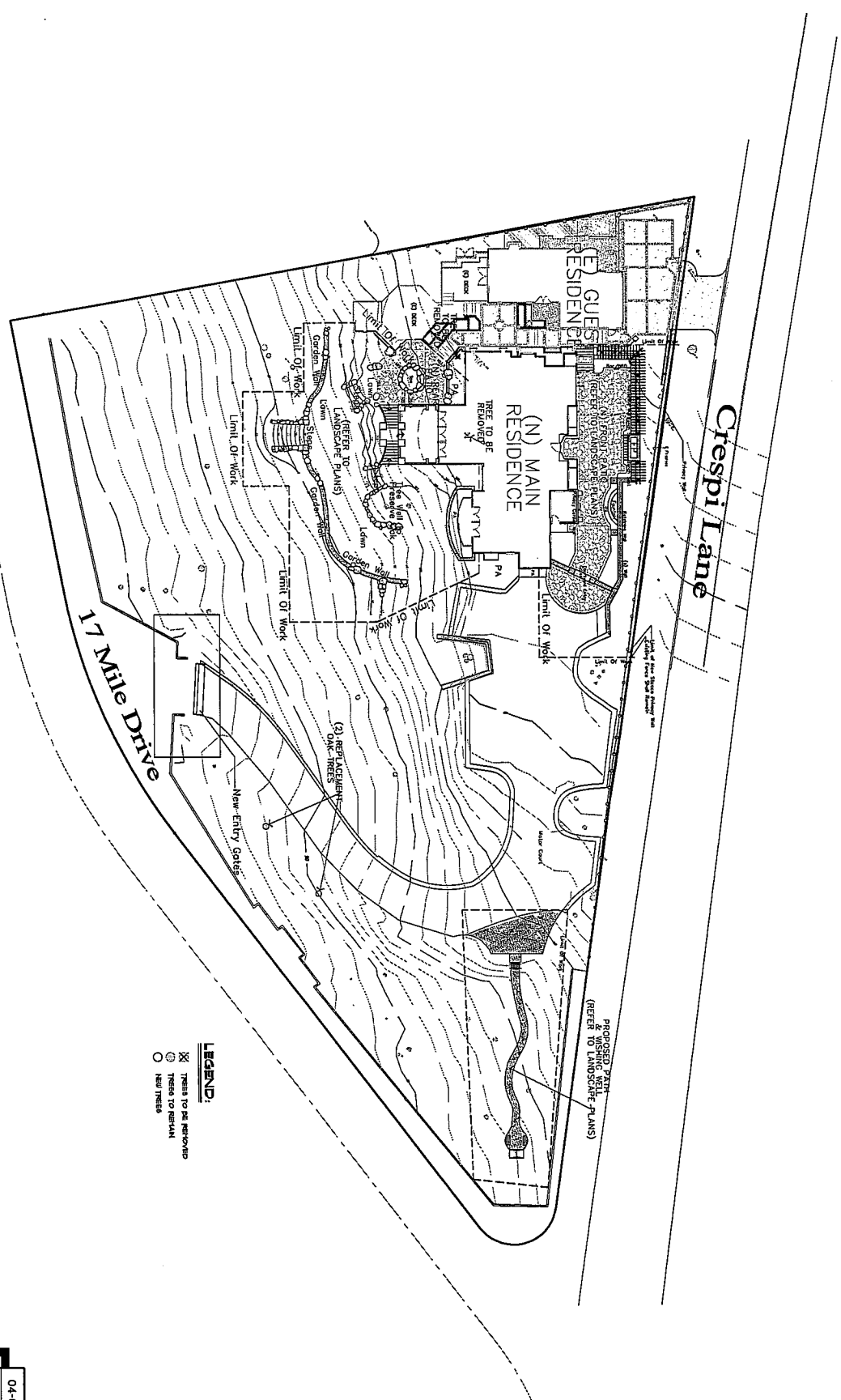
DISTRICT:	4000 SF (ALLOWED)
EXISTING:	174,382 SF
PROPOSED:	4000 SF
TOTAL:	178,382 SF

MANDIRIAGO & SULLIVAN, INC.
 1521 57th ST
 PEPPER BEACH, CA 90903
 (408) 507-1071

PROJECT: HARVER RESIDENCE
DATE: 11-16-10
SCALE: 1/8" = 1'-0"

PROJECT NO: 0903
SHEET NO: D1

HARVER RESIDENCE
 APN. 008-332-005
 3399 11 MILE DRIVE
 PEPPER BEACH, CALIFORNIA



LEGEND:
 ☒ TREES TO BE REMOVED
 ○ TREES TO REMAIN
 ○ NEW TREES

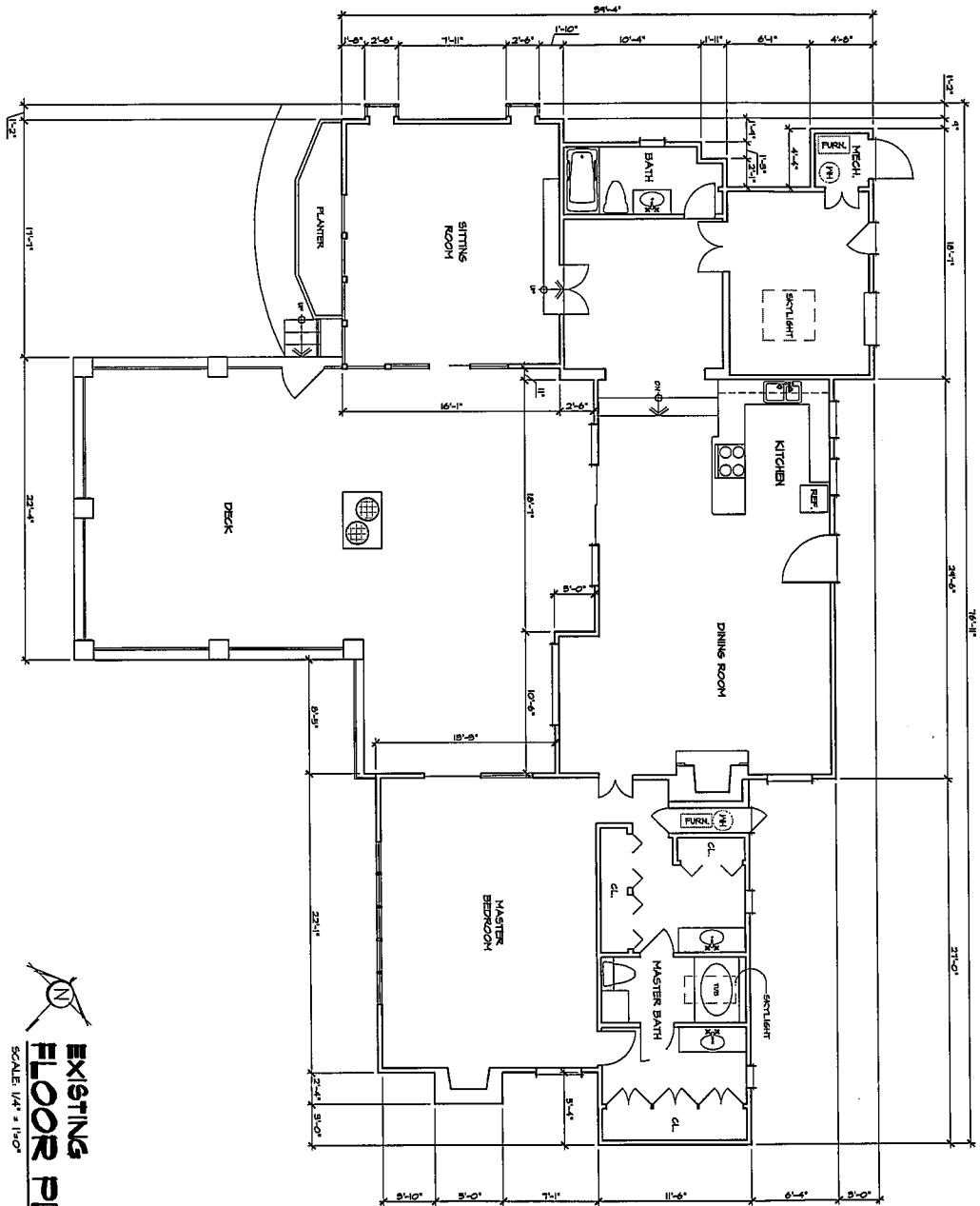
Proposed FULL SITE PLAN
 SCALE: 1/8" = 1'-0"

JOHN MANDURRAGO
 DESIGN STUDIOS
 P.O. BOX 707 CANAL BRANCH, CA 93021 831-423-1153

04-08-11
 0903

D1.2

(N) MAIN RESIDENCE
 APN 025-552-025
 3595 17 MILE DRIVE
 PEBBLE BEACH, CALIFORNIA



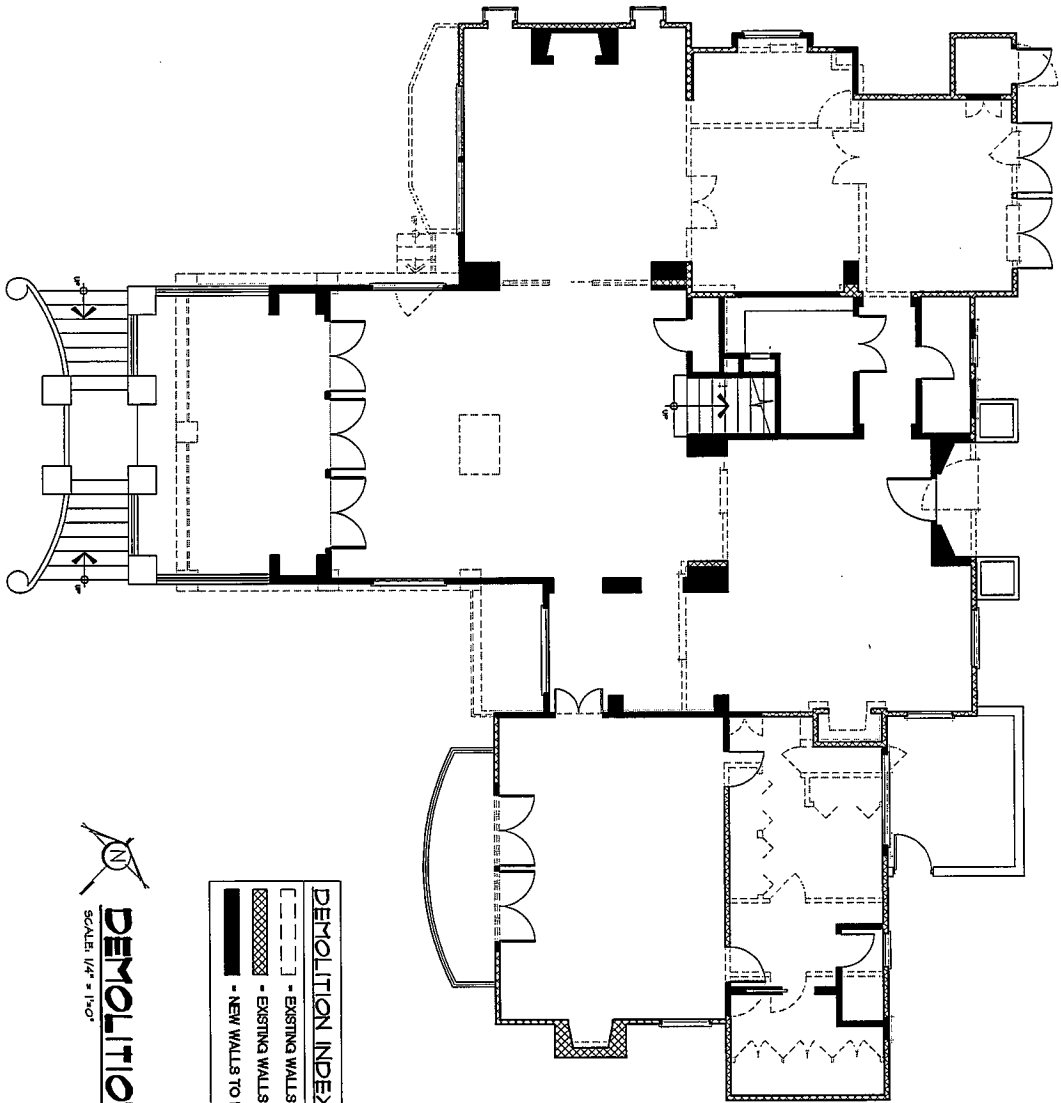
**EXISTING
FLOOR PLAN**

SCALE 1/4" = 1'-0"

JOHN MANDURAGO
DESIGN STUDIOS
P.O. BOX 77, CANON, BRANCA, CA 92721 831-852-1553

8-18-11
0903
D3

HARKIN RESIDENCE
A.P.N. 008-392-005
3395 IT MILE DRIVE
PEBBLE BEACH, CALIFORNIA



DEMOLITION INDEX

- [- - -] - EXISTING WALLS TO BE REMOVED
- [- - -] - EXISTING WALLS TO REMAIN
- [- - -] - NEW WALLS TO BE BUILT

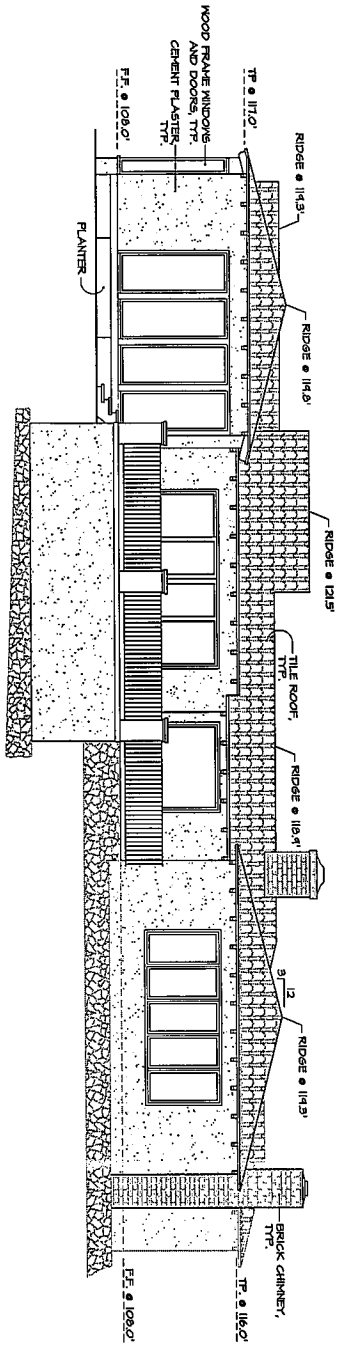


DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

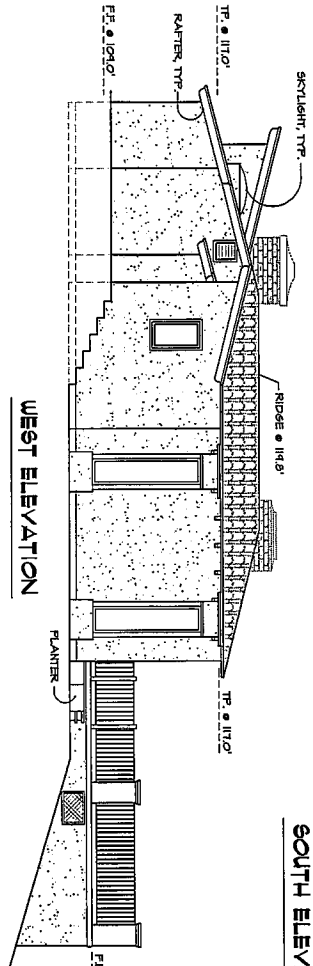
JOHN MANDIBERAGO
DESIGN STUDIOS
P. O. BOX 37, CORRAL BRANCH, CA 92021 619-453-1553

DATE: 0903
PROJECT: D4.1

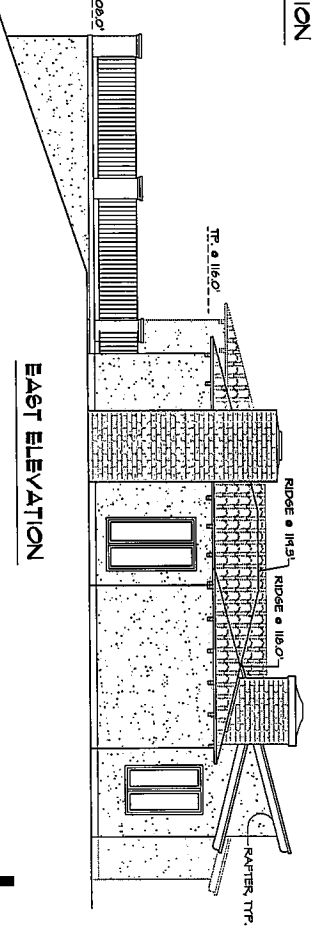
LARVIN RESIDENCE
A.P.N. 020-392-025
3993 FI MILE DRIVE
PEBBLE BEACH, CALIFORNIA



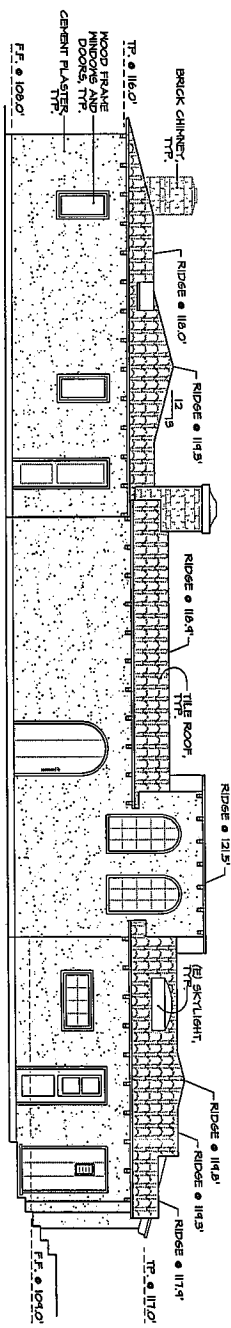
SOUTH ELEVATION



WEST ELEVATION



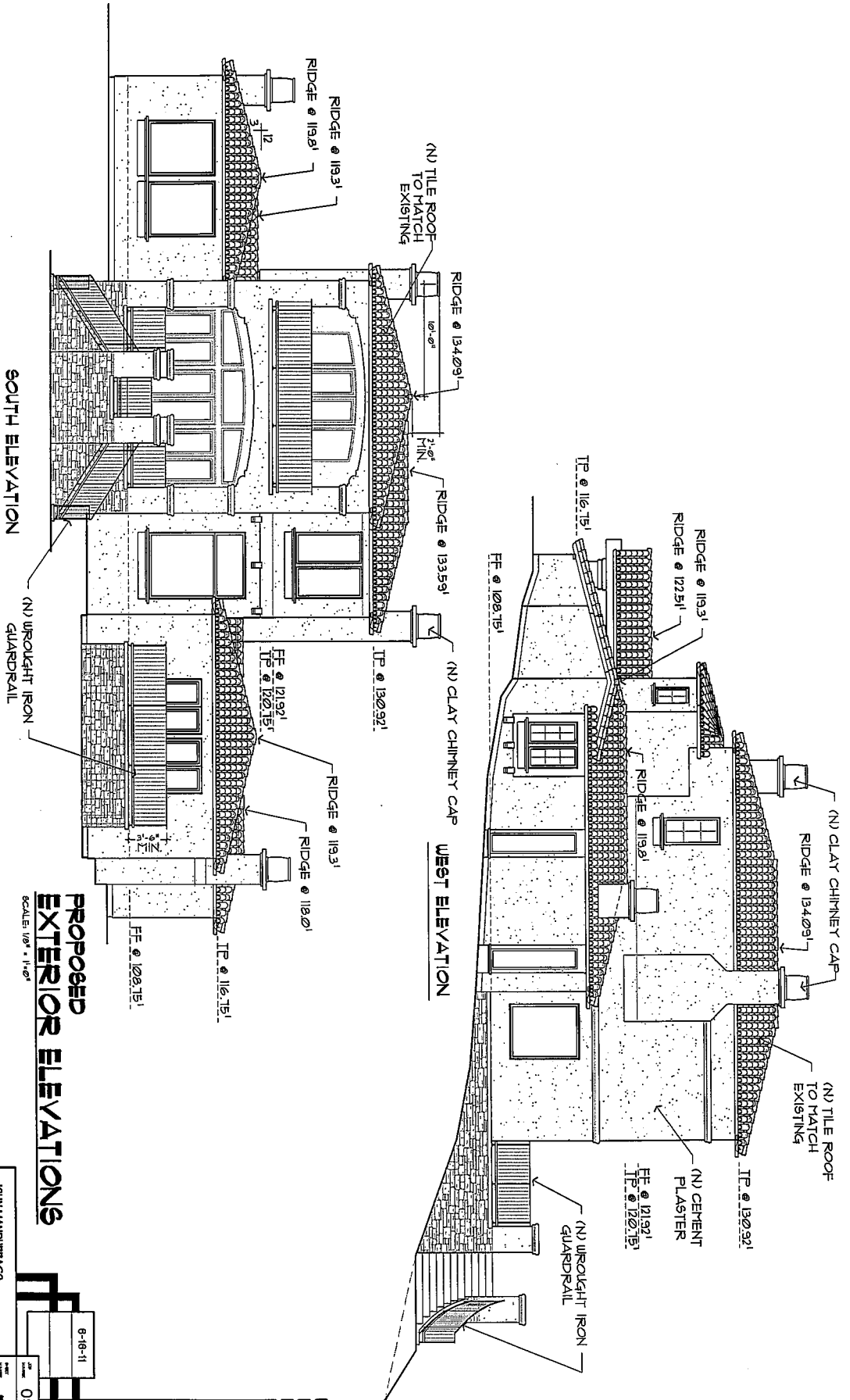
EAST ELEVATION



NORTH ELEVATION

EXISTING EXTERIOR ELEVATIONS
SCALE: 1/4" = 1'-0"

JOHN MANDIBERAGO DESIGN STUDIOS
 P. O. BOX 37, CORRAL BRANCH, CA 93041 531-452-1533
 6-10-11
 0903
DB
THE LARVER RESIDENCE
 APN 028-392-005
 3399 P MILE DRIVE
 PEBBLE BEACH, CALIFORNIA



PROPOSED EXTERIOR ELEVATIONS

SCALE: 1/8" = 1'-0"

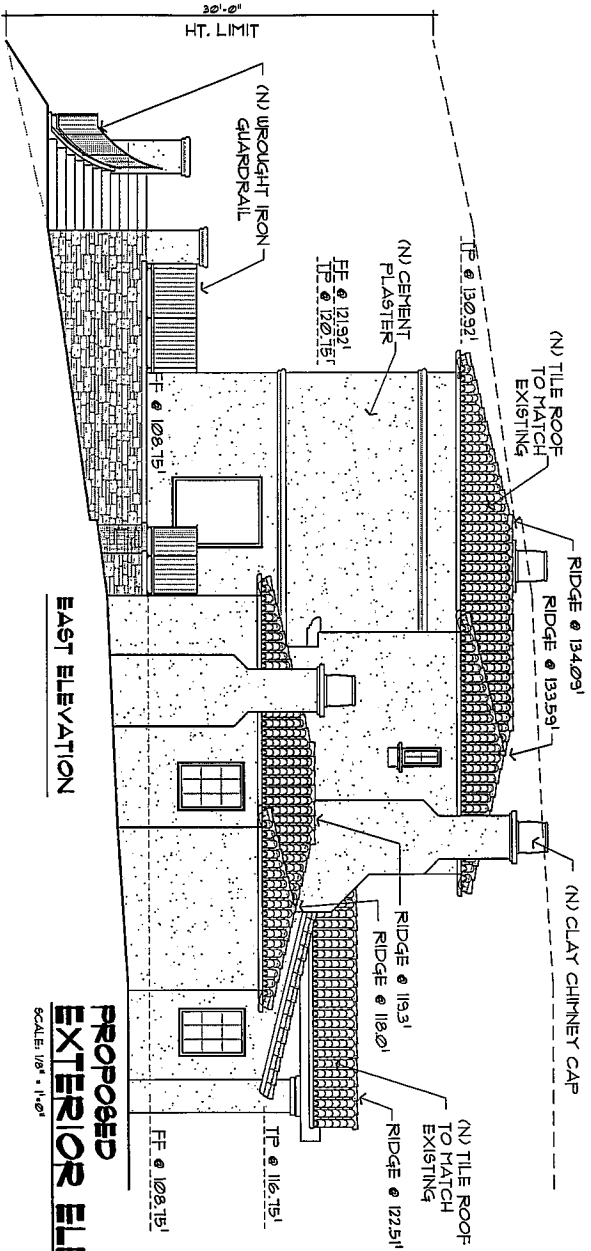
JOHN HANDBURGER
 DESIGN STUDIOS

P. O. BOX 77, CORRAL WOODS, CA 92021 619-423-1333

0903

D6

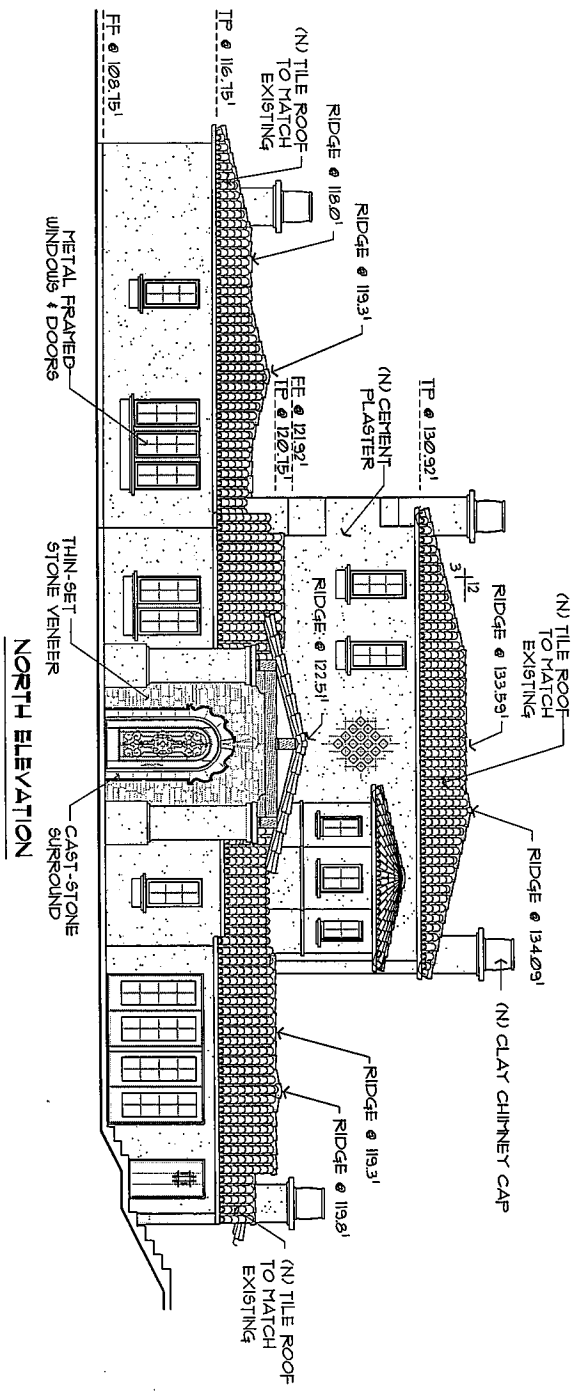
HANDBURGER RESIDENCE
 APN 008-352-005
 3393 FI MILE DRIVE
 PEBBLE BEACH, CALIFORNIA



EAST ELEVATION

PROPOSED EXTERIOR ELEVATIONS

SCALE: 1/8" = 1'-0"



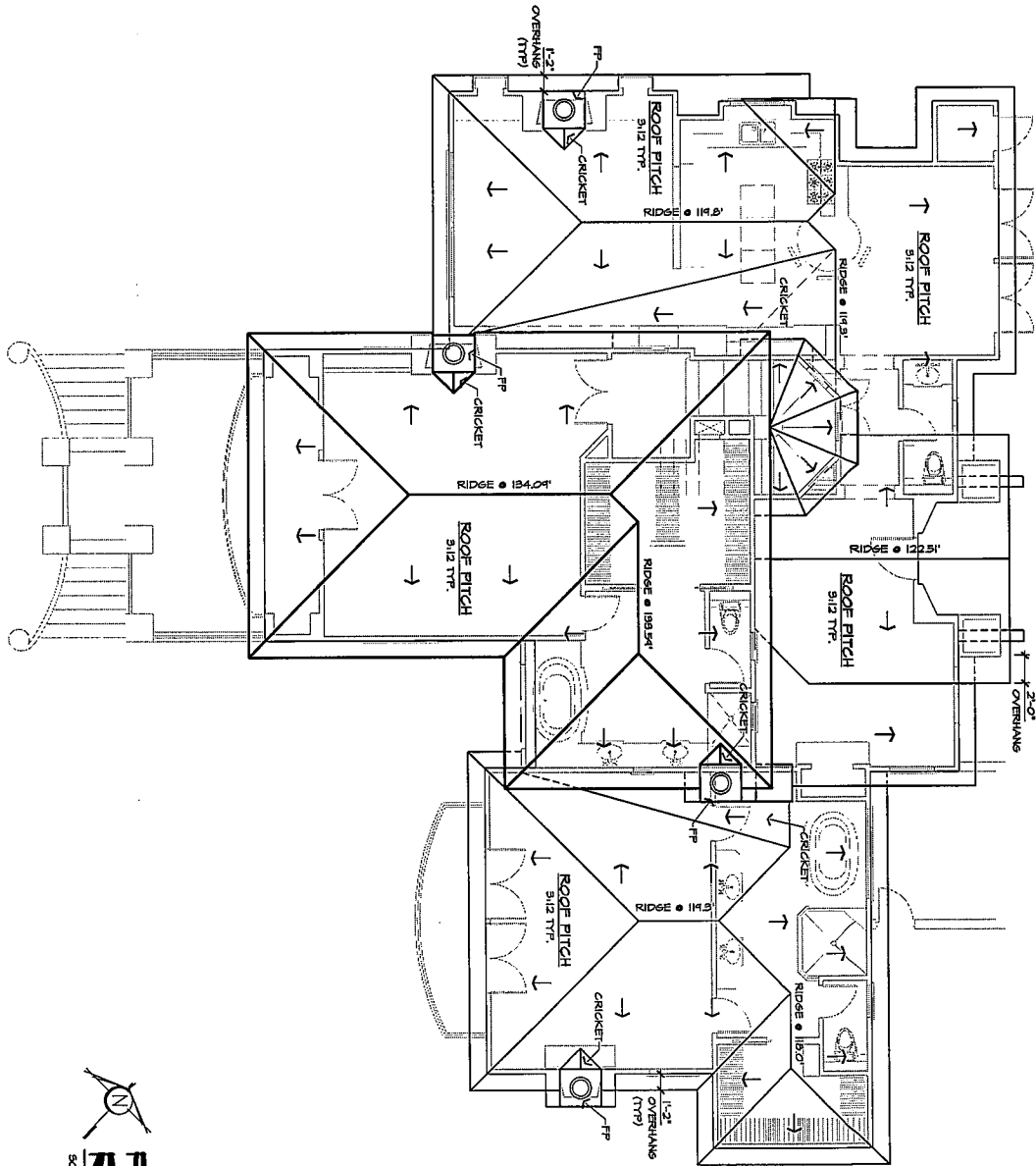
NORTH ELEVATION

JOHN MANDURAGO
DESIGN STUDIOS

1000 W. GARDEN ST. SUITE 200, SAN ANTONIO, TX 78207

DATE: 6-18-11
PROJECT: 0903
SHEET: D1

JOHN MANDURAGO
APN 028-392-005
3399 F MILE DRIVE
PEBBLE BEACH, CALIFORNIA



**PROPOSED
ROOF PLAN**

SCALE: 1/4" = 1'-0"

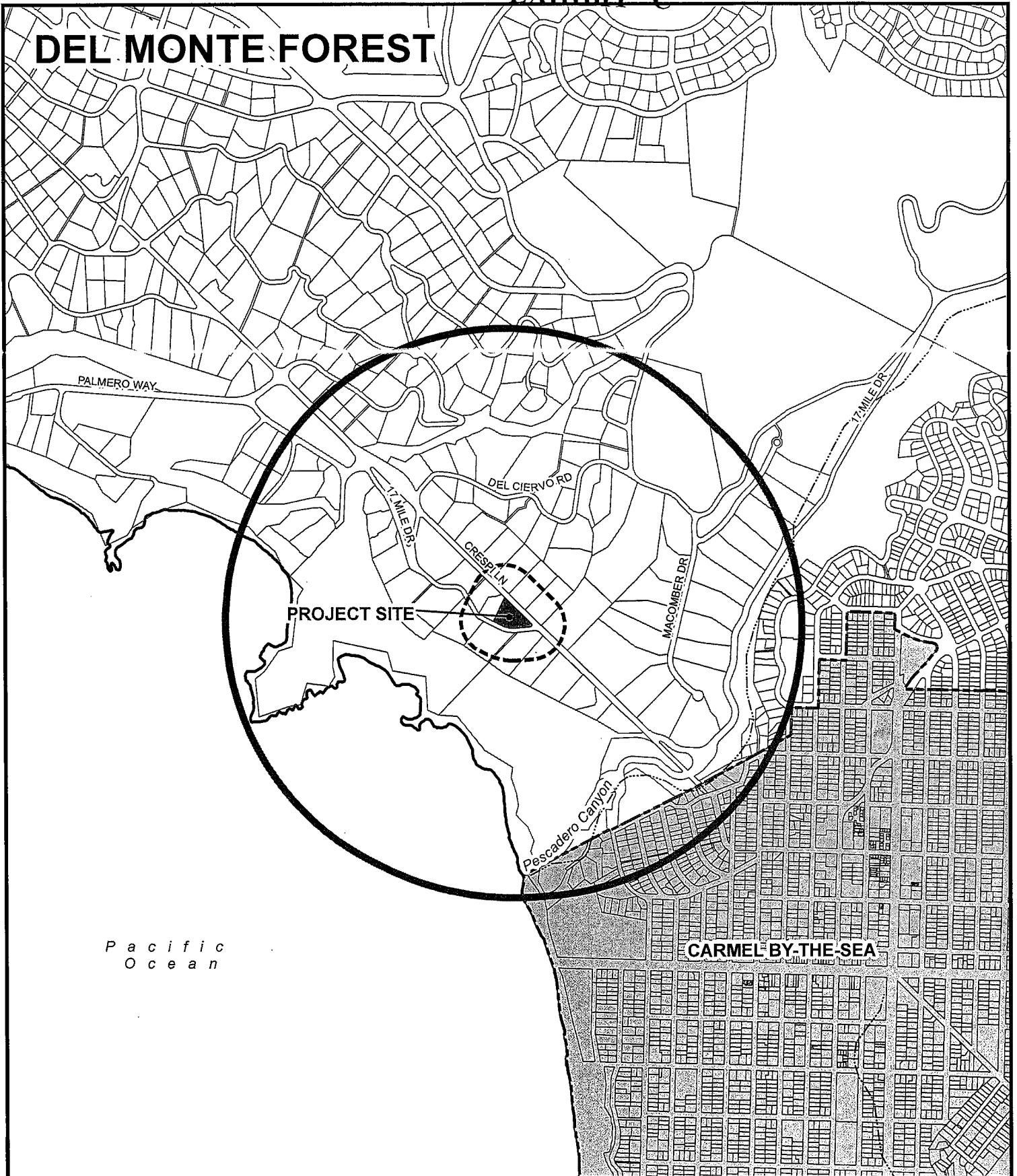
JOHN MANDUERAGO
DESIGN STUDIOS
P.O. BOX 74, CORONA DEL MAR, CA 92626 949-435-1333

6-18-11
0903

DS

HARVEY RESIDENCE
APN 008-392-005
3399 T MILE DRIVE
PEBBLE BEACH, CALIFORNIA

DEL MONTE FOREST



Pacific Ocean

CARMELO-BY-THE-SEA

APPLICANT: HARKER

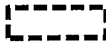
APN: 008-392-005-000

FILE # PLN110034

Water



2500' Limit



300' Limit



City Limits



EXHIBIT "D"

MINUTES
Del Monte Forest Land Use Advisory Committee
Thursday, April 7, 2011

1. Meeting called to order by Dewar at 3:06 pm

2. Roll Call

Members Present: Roderick L. Dewar, Sandi Verbanec, Sandy Getreu,
Lori Lietzke, June Stock

Members Absent: Kim Career, Bill Connors

3. Approval of Minutes:

A. February 17, 2011 minutes

Motion: Verbanec (LUAC Member's Name)

Second: Stock (LUAC Member's Name)

Ayes: Dewar, Verbanec, Getreu, Lietzke, Stock

Noes: None

Absent: Career, Connors

Abstain: None

4. Public Comments: The Committee will receive public comment on non-agenda items that are within the purview of the Committee at this time. The length of individual presentations may be limited by the Chair.

None

5. **Scheduled Item(s)**

6. **Other Items:**

A) Preliminary Courtesy Presentations by Applicants Regarding Potential Projects

None

B) Announcements

None

7. Meeting Adjourned: 13:18 pm

Minutes taken by: Lietzke

Minutes received via email April 8, 2011

Action by Land Use Advisory Committee Project Referral Sheet

Monterey County Planning Department
168 W Alisal St 2nd Floor
Salinas CA 93901
(831) 755-5025

Advisory Committee: **Del Monte Forest**

Please submit your recommendations for this application by: **April 7, 2011**

Project Title: HARKER DENNIS & SANDY GILMORE

File Number: PLN110034

File Type: ZA

Planner: GONZALES

Location: 3399 17 MILE DR PEBBLE BEACH

Project Description:

Combined Development Permit consisting of: 1) a Coastal Administrative Permit to allow a remodel of an existing 1,974 square foot single family dwelling to include enclosing 691.6 square feet of an existing 953.3 square foot attached deck, and the addition of new 959.3 square foot second story; Design Approval (colors and materials of tan stucco body, green trim on windows and doors and clay tile roofing materials similar to existing residence); and 2) a Coastal Development Permit for the removal of two Coast Live Oak trees (21" and 20" inches in diameter). The property is located at 3399 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-392-005-000), Del Monte Forest Land Use Plan area, Coastal zone.

Was the Owner/Applicant/Representative Present at Meeting? Yes X No _____

Designer: John Mandurrago

Was a County Staff/Representative present at meeting? Liz Gonzales (Name)

PUBLIC COMMENT:

Name	Site Neighbor?		Issues / Concerns (suggested changes)
	YES	NO	

LUAC AREAS OF CONCERN

Concerns / Issues (e.g. site layout, neighborhood compatibility; visual impact, etc)	Policy/Ordinance Reference (If Known)	Suggested Changes - to address concerns (e.g. relocate; reduce height; move road access, etc)

ADDITIONAL LUAC COMMENTS

None

RECOMMENDATION :

Motion by Stock (LUAC Member's Name)

Second by Verbanec (LUAC Member's Name)

Support Project as proposed

Recommend Changes (as noted above)

Continue the Item

Reason for Continuance: _____

Continued to what date: _____

AYES: Dewar, Getreu, Lietzke, Verbanec, Stock

NOES: None

ABSENT: Cameer, Connors

ABSTAIN: None

Harker Residence
Tree Resource Assessment/
Forest Management Plan

Prepared for:

Dennis Harker and Sandy Gillmore

Prepared by:

Frank Ono
Forester
Society of American Foresters I.D.# 48004
Certified Arborist #536
1213 Miles Avenue
Pacific Grove, CA 93950

March 9, 2011

Owner:

Dennis Harker and Sandy Gillmore
2775 Northwestern Parkway
Santa Clara, CA 95051

Architect:

Mandurrago, Mandurrago and Sullivan
P.O. Box R
Carmel-by-the Sea, CA 93921

Forester and Arborist:

Frank Ono, Society of American Foresters # 048004, Certified Arborist #536
F.O. Consulting
1213 Miles Ave
Pacific Grove, CA 93950

SUMMARY

Development to an existing structure is currently occurring at 3399 17 Mile Drive, Pebble Beach, CA. The project proposes to add an addition to an existing single family home requiring the removal of two coast live oak tree(s) within the construction footprint and the retention and protection of other adjacent trees. A tree assessment/arborist report has been prepared that identifies and addresses the affects that the project will have to the existing tree resources on site as well as a list of recommendations for the project.

ASSIGNMENT/SCOPE OF PROJECT

Development of this parcel with this design will affect two oaks and may have other varying affects to the adjacent trees from proposed construction. To ensure protection of the tree resources on site, the property owners, Dennis Harker and Sandy Gillmore, have requested an assessment of the trees in proximity to proposed development areas and a report for trees that are adjacent to these areas on this property. To accomplish this assignment, the following tasks have been completed;

- Evaluate health, structure and preservation suitability for each tree within or adjacent (15 feet or less) to proposed development of trees greater than or equal to six diameter inches at 24 inches above grade.
- Review proposed building site plans as provided by Mandurrago, Mandurrago and Sullivan, Architects.
- Make recommendations for alternative methods and preconstruction treatments to facilitate tree retention.
- Create preservation specifications, as it relates to a Tree Location/Preservation Map.
- Determine the quantity of trees affected by construction that meet "Landmark" criteria as defined by the County of Monterey, Title 20 Monterey County Coastal Zoning Ordinance; as well as mitigation requirements for those to be affected.
- Document findings in the form of a report as required by the County of Monterey Planning Department.

LIMITATIONS

A previous management plan was written for this property on October 2007; however the design has changed with a new design. This assignment contains basic elements from that previous plan but is limited to findings from my recent site visit on March 7, 2011 and pertains to the review of plans submitted to me dated November, 2010 by Mandurrago, Mandurrago and Sullivan, Architects. This assessment is to assess affects from potential construction to trees within or adjacent to construction activities which are of these plans specifically. Only minor grading and erosion details are discussed in this report as it relates to tree health.

PURPOSE

This tree Assessment/Forest management report is prepared for this parcel due to construction activities located at 3399 17 Mile Drive, Pebble Beach, CA. The purpose of the site visit was to assess existing trees that are on site and to determine if trees protected by ordinance are affected by the proposed project. Oak trees are considered protected trees as defined by the County of Monterey, Title 20 Monterey County Coastal Zoning Ordinance.

GOAL

The goal of this plan is to protect and maintain the Del Monte Forest forested resources through the adherence of development standards, which allow the protection, and maintenance of its forest resources. Furthermore it is the intended goal of this Arborist report to aid in planning to offset any potential effects of proposed development on the property while encouraging forest stability and sustainability, perpetuating the forested character of the property and the immediate vicinity.

INTRODUCTION

This forest management plan is prepared for Dennis Harker and Sandy Gillmore, owners of the property at 3399, 17 Mile Drive, CA by Frank Ono, Forester and Certified Arborist, S.A.F. #48004 and ISA #536 due to construction. Monterey County's Coastal Implementation Plan Sec. 20.146.060 requires a forest management plan when tree removal is necessary of protected native trees regardless of size or amount so as to preserve and maintain the forest and its beneficial uses. The County identifies Monterey pine trees and coast live oak as native tree species that require special consideration for management.

SITE DESCRIPTION

- 1) Assessor's Parcel Number: 008-932-005-000
- 2) Location: 3399 17 Mile Drive, Pebble Beach, CA 93953
- 3) Parcel size: 1.2 Acres
- 4) Existing Land Use: The parcel is developed and is zoned for residential use
- 5) Slope: The parcel is on a ridge, with terraced flats. Slopes range from 0% to 20%
- 6) Soils: The parcel is located on loamy fine sand about 12-20" deep. Clay subsoil is found generally at a depth of 15 to 20 inches. Runoff is slow to medium and erosion hazard is moderate. This is considered a moderately productive Monterey Pine soil type. Site index averages 75, which means that on average an 100-year old tree will be 75 feet tall.
- 7) Vegetation: The vegetation is of the Monterey Pine Forest type. It is a mixture of some Monterey Pine forest but primarily coastal live oak understory. Understory trees consist of landscape ornamentals interspersed with native coast live oaks. The site has a large lawn area that is the predominant groundcover on most the lot.
- 8) Forest Condition and Health: The forest condition and health is evaluated with the use of the residual trees and those of the surrounding Monterey Pine Forest as a stand. This section of the Del Monte Forest consists of an over mature Monterey Pine Forest that has significantly degraded. The forest in the surrounding area is a mature to over mature pine forest with significant presence of insects and pathogens. It is predominantly even aged with the older trees in the 60 to 80 year range. This is typically the age where Monterey Pine begins to decline, though some do live in excess of 100 years. Growth on the over mature trees has slowed to as much as 13 years per inch of radial growth. The healthier, generally younger trees have growth rates of 6 or less years per inch of radial growth. Pine Pitch Canker followed by opportunistic engraver beetles (Ips) has attacked many of the Monterey Pines on the site as well as surrounding sites. Bark Beetle infestations as well as the presence of pitch canker, a fungal disease and has resulted in death of trees in the area. Because of the lack of younger pines to fill in areas once occupied by large older coast live oaks and maintenance of property owner's oaks have filled in to become the predominant understory tree. Currently several oaks that are located in turfed areas appear to be stressed from lack of aeration (too much water)

BACKGROUND/PROJECT DESCRIPTION

My involvement with this project began on September 27, 2007 where I visited the site on behalf of Mr. James N. Smith, the architect and landowners representative with an assessment of a design for the previous owner of the property. I was not consulted after that plan was prepared until Sandy Gillmore, the new property owner, requesting information for a new design by Mandurrago, Mandurrago and Sullivan. During my latest assessment it is apparent that in order to successfully follow the plans as submitted to me for review, it will still require tree removal of two oak trees located within the proposed building footprint and construction envelope. Construction of this proposed design requires removal of two protected trees, #557 - a double stemmed coast live oak that measures 19" and 20" in diameter and #558 - a single stem coast live oak that measures 21" in diameter, as well as active preservation of the remaining trees. This report assesses the health and condition of the trees that are located within the building foot print as proposed and to formulate a plan intending to minimize the effect of the remaining number of trees that are to be retained. The two oaks proposed for removal is the minimum necessary to facilitate the owner's wishes with consideration for complying with County Codes, preserve trees to the greatest extent feasible while still maintaining the view shed and general aesthetic quality of the area.

OBSERVATIONS/DISCUSSION

The following list includes observations made while on site, and summarizes details discussed during this stage of the planning process.

- The site is forested with Coast live oak trees and Monterey pines, with openings in the canopy occupied by ornamental shrubs and grasses.
- Pines are in the medium and later stages of their life cycle and located on the perimeter of the property where they are outside the area of development.
- Eight landmark trees (greater than 24" in diameter) were observed but outside the area of the development and are not proposed for removal.
- The site is forested with Coast live oak trees and Monterey pines, with openings in the canopy occupied by ornamental shrubs and grasses.
- Pines are in the medium and later stages of their life cycle and located on the perimeter of the property where they are outside the area of development.
- Many of the trees on site appear to be in fair health or better; however, there is evidence biotic stressors such as insects (oak worms) in several of the trees primarily evidenced by thinning in the crown. Phytophthora fungal activity may also be responsible for decline of several trees. Evidence of mechanical impacts is absent.
- Retaining walls may be necessary for the grade change to support the structure and raised planter areas but will not affect the tree negatively or encroach into retained trees' critical root zones.

PROJECT ASSESSMENT/CONCLUSION

Because there is a preexisting structure and because of the type and condition of the trees that occupy the site, it is generally accepted that in order for this plan succeed, tree removal will be necessary. The placement and construction of the proposed improvements are near native several native trees (the existing protected trees consist of predominantly coast live oak and will require removal of two existing protected trees negatively which are located within the building footprint. The construction activities to accommodate improvements to the existing structure will also include relocation of soil on the existing terrain, retaining walls decking and terracing to accommodate the structural improvements.

Whenever construction activities take place near trees, there is the potential for those trees to experience decline in the long-term as well. Oaks that are close to the proposed building areas will be in need of tree protection from construction related impacts during the construction process. The greatest attempt has been made to identify and remove those trees likely to experience such a decline.

Short Term Impacts

Some site disturbance will occur during construction. Short term site impacts are confined to the construction envelope and immediate surroundings where trees will be removed and trimmed and root systems reduced. The pruning of tree crowns above 30% and reduction of root area may have a short term impact on those trees treated, including a reduction of growth, dieback, and potentially death. Every attempt has been made to recommend removing those trees likely to experience severe decline and death as a result of planned activities.

Long Term Impacts

Minimal long-term impact to the forest ecosystem is anticipated due to the condition of the existing forest and removal of cover canopy as the forest transitions from pine forest to oak woodland. The project as proposed is not likely to significantly reduce the availability of wildlife habitat over the long-term as surrounding sites have already been developed. New tree planting will be allowed to grow to fill in and replace the forest canopy that is removed.

The following findings apply:

Soil Erosion: Potential is low. Slopes are gentle to moderate and appropriate erosion control measures required for the construction site will apply and can address potential impacts.

Water Quality: Tree removal for residential construction at this site is unlikely to generate harmful substances that could be detrimental to the plant, animal or human environment.

Ecological Impacts: Negligible potential. No significant change in land use is proposed in this already developed residential area. The scale of the project is small.

Noise Pollution: Not a significant factor due to limited duration of construction activities.

Air Movement: Removal of the oaks will have little or no effect on the movement of air in this vicinity.

Wildlife Habitat: Negligible impacts as surrounding sites are already developed residences. Wildlife use in the area is already conditioned by surrounding residential use.

RECOMMENDATIONS

Tree Planting

Because it is recommended that replacement of removed trees be undertaken replacement planting is necessary. Four (4) oak trees should be planted along the driveway entrance as it is an area with the greatest opening in the stand to allow for a minimum of competition and maximum sunlight. Replacement trees should be 15 -gallon stock or larger, if available and plantings should be mulched with oak and pine bark chippings. Spacing between trees should be at least 8 feet. There is enough room to plant the 4 trees on the parcel, but as many as possible should be replaced. Pine seedlings should be encouraged throughout the property particularly on the property perimeter where space allows. Occasional deep watering (more than two weeks apart) during the late spring, summer, and fall is recommended during the first two years after establishment. Grinding of stumps onsite is permissible.

Three Year Replant Success Criteria - To ensure the survivability and proper growth of the replacement or relocation of trees success criteria will be defined to meet an 80% survival rate and implemented as follows.

A qualified professional monitor newly planted trees for a period of three (3) years for the following:

- Tree health and growth rates of new planting must be assessed by a qualified forester or certified arborist.
- Trees suffering poor growth rates or declining health are to be identified and documented as to reason it was not successful.
- Invigoration treatments if feasible will be recommended and implemented.
- Dead trees or trees identified in an irreversible state of decline will be replaced after a written recommendation is made by a qualified forester or certified arborist identifying type and location of new replacement. Trees found that need replacement will be replaced on a 1:1 ratio. Replant material shall be minimum container grown fifteen gallon-size or greater.
- Near the end of the three year monitoring period, the status of the plantings will be again assessed to make certain that success criteria has been met and all mitigation trees planted are performing well.
- At three years a report shall be prepared by a registered forester or certified arborist and submitted to the Planning Department for review and approval of the Director of Planning describing reforestation activities, success rates and adjustments for previous failures or unsuccessful transplanting.

Oak decline

It was observed that several oaks appear to be in decline. Trees #553, #554, #555, #556, and #570 all have thinning canopies that may be attributed to fungi or insect activity. These trees should be monitored and treated appropriately. Appropriate treatments include oak worm control, water management, proper soil grades and pruning.

Tree Protection

The health of trees remaining should not be affected and health may be improved if the following practices are adhered to:

- A) Do not deposit any fill around trees, which may compact soils and alter water and air relationships. Avoid depositing fill, parking equipment, or staging construction materials near existing trees. Covering and compacting soil around trees can alter water and air relationships with the roots. Fill placed within the drip-line may encourage the development of oak rot fungus (*Armillaria mellea*). As necessary, trees may be protected by boards, fencing or other materials to delineate protection zones.
- B) Pruning shall be conducted so as not to unnecessarily injure the tree. General principals of pruning include placing cuts immediately beyond the branch collar, making clean cuts by scoring the underside of the branch first, and for live oak, avoiding the period from February through May.
- C) Native live oaks are not adapted to summer watering and may develop crown or root rot as a result. Do not regularly irrigate within the drip line of oaks. Native, locally adapted, drought resistant species are the most compatible with this goal.
- D) Root cutting should occur outside of the springtime. Late June and July would likely be the best. Pruning of the live crown should not occur February through May.
- E) Oak material greater than 3 inches in diameter remaining on site more than one month that is not cut and split into firewood should be covered with black plastic that is dug in securely around the pile. This will discourage infestation and dispersion of bark beetles.
- F) A mulch layer up to approximately 4 inches deep should be applied to the ground under selected oaks following construction. Only 1 to 2 inches of mulch should be applied within 1 to 2 feet of the trunk, and under no circumstances should any soil or mulch be placed against the root crown (base) of trees. The best source of mulch would be from chipped material generated on site.
- G) If trees along near the development are visibly declining in vigor, a Professional Forester or Certified Arborist should be contacted to inspect the site to recommend a course of action.

Tree Protection Standards

Prior to the commencement of any construction activity the following tree protection measures shall be implemented and approved by a qualified arborist or forester:

- Trees located adjacent to the construction area shall be protected from damage by construction equipment by the use of temporary fencing and through wrapping of trunks with protective materials.
- Fencing shall consist of chain link, snowdrift, plastic mesh, hay bales, or field fence. Existing fencing can also be used.
- Fencing is not to be attached to the tree but free standing or self-supporting so as not to damage trees. Fencing shall be rigidly supported and shall stand a minimum of height of four feet above grade and should be placed to the farthest extent possible from the trees base to protect the area within the trees drip line (typically 10-12 feet away from the base of a tree).
- In cases where access or space is limited for tree protection it is permissible to protect the tree within the 10-12 foot distance after determination and approval by a qualified forester or arborist.
- Soil compaction, parking of vehicles or heavy equipment, stockpiling of construction materials, and/or dumping of materials should not be allowed adjacent to trees on the property especially within fenced areas.
- Fenced areas and the trunk protection materials should remain in place during the entire construction period.

During grading and excavation activities:

- All trenching, grading or any other digging or soil removal that is expected to encounter tree roots should be monitored by a qualified arborist or forester to ensure against drilling or cutting into or through major roots.
- The project architect and qualified arborist should be on site during excavation activities to direct any minor field adjustments that may be needed.
- Trenching for retaining walls or footings located adjacent to any tree should be done by hand where practical and any roots greater than 3-inches diameter should be bridged or pruned appropriately.
- Any roots that must be cut should be cut by manually digging a trench and cutting exposed roots with a saw, vibrating knife, rock saw, narrow trencher with sharp blades, or other approved root pruning equipment.
- Any roots damaged during grading or excavation should be exposed to sound tissue and cut cleanly with a saw.

If at any time potentially significant roots are discovered:

- The arborist/forester will be authorized to halt excavation until appropriate mitigation measures are formulated and implemented.
- If significant roots are identified that must be removed that will destabilize or negatively affects the target trees negatively, the property owner will be notified immediately and a determination for removal will be assessed and made as required by law for treatment of the area that will not risk death decline or instability of the

tree consistent with the implementation of appropriate construction design approaches to minimize affects, such as hand digging, bridging or tunneling under roots, etc..

Tree Pruning

It is understood that the pruning of retained trees will be expected for this site, especially where the proposed addition is to be constructed. Pruning will also include the trees that have deadwood or are exhibiting some minor structural defect or minor disease that must be compensated. Those trees that may require pruning and possible monitoring are the closest to the proposed structure improvements. Trees should be monitored on occasion for health and vigor after pruning. Should the health and vigor of any tree decline it will be treated as appropriately recommended by a certified arborist or qualified forester.

The following are offered as guidelines when pruning

- In general the trees will be pruned first for safety, next for health, and finally for aesthetics.
- Type of pruning is determined by the size of branches to be removed. General guidelines for branch removal are:
 1. Fine Detail pruning- limbs under 2 inch diameter are removed
 2. Medium Detail Pruning – Limbs between 2 and 4 inch diameter
 3. Structural Enhancement – limbs greater than 4 inch diameter.
 4. Broken and cracked limbs-removed will be removed in high traffic areas of concern.

Crown thinning is the cleaning out of or removal of dead diseased, weakly attached, or low vigor branches from a tree crown

- All trees will be assessed on how a tree will be pruned from the top down.
- Trimmers will favor branches with strong, U- shaped angles of attachment and where possible remove branches with weak, V-shaped angles of attachment and/or included bark.
- Lateral branches will be evenly spaced on the main stem of young trees and areas of fine pruning.
- Branches that rub or cross another branch will be removed where possible.
- Lateral branches will be no more than one-half to three-quarters of the diameter of the stem to discourage the development of co-dominant stems where feasible.
- In most cases trimmers will not remove more than one- quarter of the living crown of a tree at one time. If it is necessary to remove more, it will be done over successive years.

Crown- raising removes the lower branches of a tree to provide clearance for buildings, vehicles, pedestrians and vistas.

- Live branches on at least two-thirds of a tree's total height will be maintained wherever possible. The removal of many lower branches will hinder the development of a strong stem.

- All basal sprouts and vigorous epicormic sprouts will be removed where feasible.

Crown reduction is used to reduce the height and/or spread of trees and is used for maintaining the structural integrity and natural form of a tree.

- Crown reduction pruning will be used only when absolutely necessary. Pruning cuts will be at a lateral branch that is at least one-third the diameter of the stem to be removed wherever possible.
- When it is necessary to remove more than half of the foliage from a branch it may be necessary to remove the entire branch.

Crown restoration is used to improve the structure and appearance of trees that have been topped or severely pruned by the use of heading cuts. One of three sprouts on main branch stubs should be selected to reform a natural appearing crown. Selected vigorous sprouts may need to be thinned to ensure adequate attachment for the size of the sprout. Restoration may require several years of pruning.

Remedial pruning should occur prior to construction. Following construction, any above ground tree pruning/trimming should be delayed until one year after completion of construction.

Following construction, a qualified forester/arborist should monitor trees adjacent to the improvements area and if any decline in health that is attributable to the construction is noted, additional trees should be planted on the site.

AGREEMENT BY LANDOWNER

The following standard conditions are mandated to be included in all Monterey County Forest Management Plans:

A. Management Objectives

1. Minimize erosion in order to prevent soil loss and siltation.
2. Preserve natural habitat including native forest, understory vegetation and associated wildlife.
3. Prevent forest fire.
4. Preserve scenic forest canopy as located within the Critical View shed (any public viewing area).
5. Preserve landmark trees to the greatest extent possible as defined below.

B. Management Measures

1. Tree Removal: No tree will be removed without a Forest Management Plan or an Amended Forest Management Plan.

2. Application Requirements: Trees proposed for removal will be conspicuously marked by flagging or by paint. Proposed removal of native trees greater than six inches will be the minimum necessary for the proposed development. Removal not necessary for the proposed development will be limited to that required for the overall health and long term maintenance of the forest, as verified in this plan or in subsequent amendments to this plan.

3. Landmark Trees: All landmark trees will be protected from damage if not permitted to be removed as a diseased tree, which threatens to spread the disease to nearby healthy trees or as a dangerous tree, which presents an immediate danger to human life or structures. Landmark oaks are trees that are visually, historically, or botanically significant specimens or are greater than 24 inches or more in diameter at breast height (DBH), or more than 1,000 years old.

4. Dead Trees: Because of their great value for wildlife habitat (particularly as nesting sites for insect eating birds) large dead trees will normally be left in place. Smaller dead trees will normally be removed in order to reduce the fire hazard. Dead trees may be removed at the convenience of the owner.

5. Thinning: Trees less than six inches diameter breast height may be thinned to promote the growth of neighboring trees, without first developing a Forest Management Plan.

6. Protection of Trees: All trees other than those approved for removal shall be retained and maintained in good condition. Trimming, where not injurious to the health of the tree, may be performed wherever necessary in the judgment of the owner, particularly to reduce personal safety and fire hazards. Retained trees which are located close to the construction site shall be protected from inadvertent damage by construction equipment through wrapping of trunks with protective materials, bridging or tunneling under major roots where exposed in foundation or utility

trenches and other measures appropriate and necessary to protect the well-being of the retained trees.

7. Fire prevention: In addition to any measures required by the local California Department of Forestry fire authorities, the owner will;

- A) Maintain a spark arrester screen atop each chimney.
- B) Maintain spark arresters on gasoline-powered equipment.
- C) Establish a "greenbelt" by keeping vegetation in a green growing condition to a distance of at least 50 feet around the house.
- D) Break up and clear away any dense accumulation of dead or dry underbrush or plant litter, especially near landmark trees and around the greenbelt.

8. Use of fire (for clearing, etc.): Open fires will be set or allowed on the parcel only as a forest management tool under the direction of the Department of Forestry authorities, pursuant to local fire ordinances and directives.

9. Clearing Methods: Brush and other undergrowth, if removed, will be cleared through methods, which will not materially disturb the ground surface. Hand grubbing, crushing and mowing will normally be the methods of choice

10. Irrigation: In order to avoid further depletion of groundwater resource, prevent root diseases and otherwise maintain favorable conditions for the native forest, the parcel will not be irrigated except within developed areas. Caution will be exercised to avoid over watering around trees.

11. Exotic Plants: Care will be taken to eradicate and to avoid introduction of the following pest species:

- A) Pampas grass
- B) Genista (Scotch broom, French broom)
- C) Eucalyptus (large types)

Amendments

The Monterey County Director of Planning may approve amendments to this plan, provided that such amendments are consistent with the provisions of the discretionary permit or building submittal. Amendments to this Forest Management Plan will be required for proposed tree removal not shown as part of this Plan, when the proposed removal falls within the description of a Forest Management Plan or Amendment to an existing Forest Management Plan.

Amended Forest Management Plan

A) An amended forest Management Plan shall be required when:

1. The Monterey County Director of Planning has previously approved a Forest Management Plan for the parcel.
2. The proposed tree removal as reviewed as part of a development has not been shown in the previously approved Forest management plan

B) At a minimum, the Amended Forest Management Plan shall consist of:

1. A plot showing the location, type and size of each tree proposed for removal, as well as the location and type of trees to be replanted,
2. A narrative describing reasons for the proposed removal, alternatives to minimize the amount and impacts of the proposed tree removal, tree replanting information and justification for removal of trees outside of the developed area if proposed.

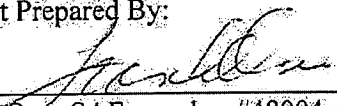
Compliance

It is further understood that failure to comply with this Plan will be considered as failure to comply with the conditions of the Use Permit.

Transfer of Responsibility

This plan is intended to create a permanent forest management program for the site. It is understood, therefore, that in the event of a change of ownership, this plan shall be as binding on the new owner as it is on the present owner. As a permanent management program, this Plan will be conveyed to the future owner upon sale of the property.

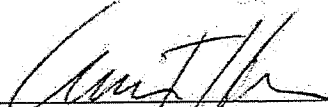
Report Prepared By:


Frank Ono, SAF member #48004 and ISA Certified Arborist #536

3/9/11

Date

Recommendations Agreed to by landowner:


Landowner DENNIS T. HARKER

SEP. 20, 2011

Date

Forest Management Plan approved by:

Director of Planning

Date

PHOTOGRAPHS

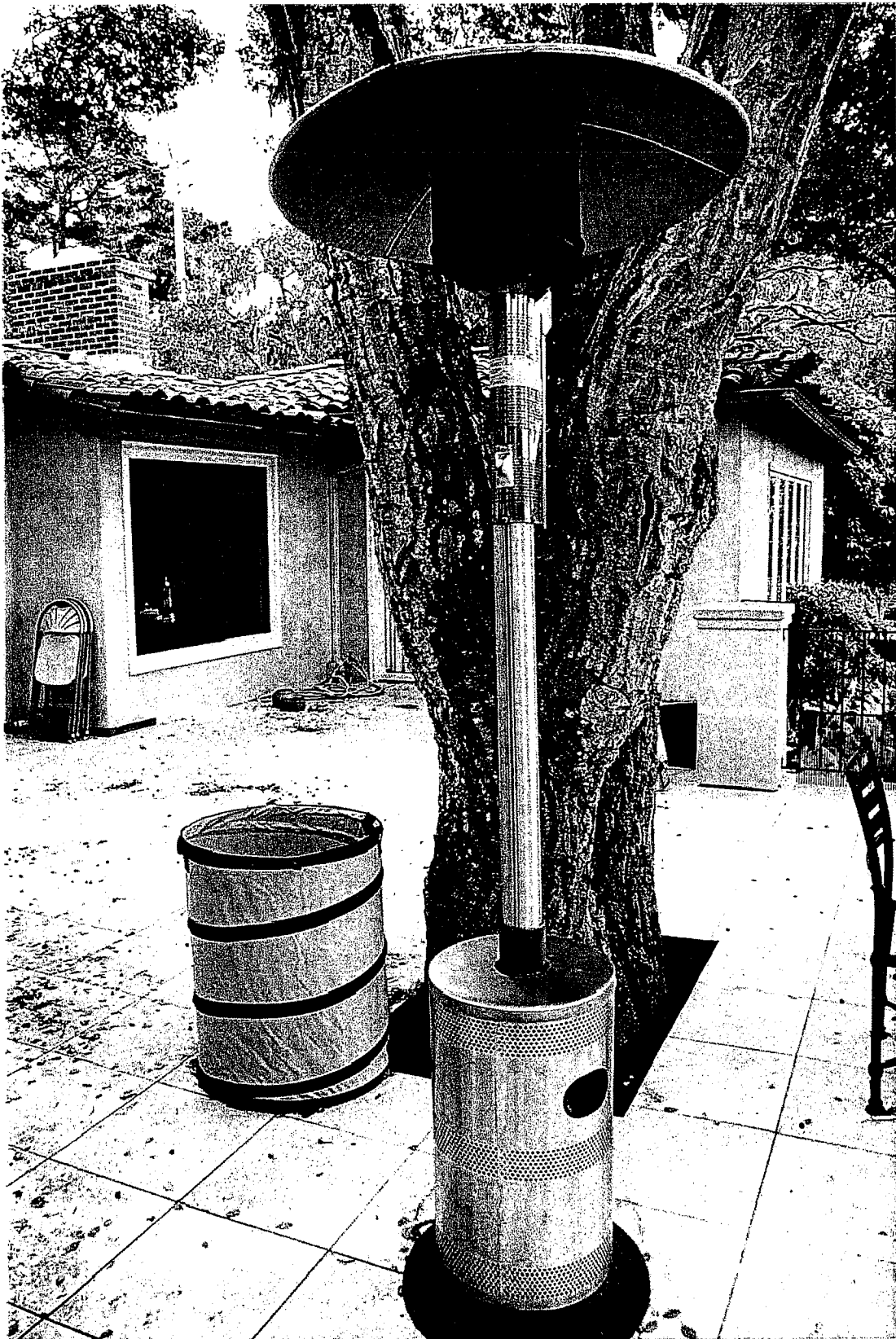
Tree #558



#557



Base of #558



#557

TREE CHART

ID	Diameter	Species	Condition	Dominance	Comments
553	18+12+12	Oak	Fair	Dominant	
554	18+18+12	Oak	Fair	Dominant	
555	17+15	Oak	Poor	Codominant	
556	20+25	Oak	Poor	Codominant	
557	20+19	Oak	Fair	Dominant	Remove
558	21	Oak	Poor	Dominant	Remove
560	24	Oak	Fair	Codominant	
561	16	Oak	Fair	Codominant	
562	24	Oak	Fair	Codominant	
563	12+12+10	Oak	Fair	Dominant	
564	18+12	Oak	Fair	Codominant	
565	20+20	Oak	Fair	Codominant	
551	14+14+ 12+12+8+8	Oak	Fair	Codominant	
552	12	Oak	Fair	Codominant	
566	27	Oak	Fair	Codominant	
567	14	Oak	Fair	Codominant	
568	18	Oak	Fair	Codominant	
569	12+8	Oak	Fair	Intermediate	
570	24	Oak	Fair	Dominant	
571	12	Oak	Poor	Dominant	fungus
572	30	Oak	Fair	Intermediate	
573	48	Oak	Fair	Dominant	
574	13	Oak	Poor	Suppressed	
575	13+11	Oak	Fair	Dominant	
576	18+12	Oak	Fair	Intermediate	
578	17+15	Oak	Fair	Codominant	
579	30	Oak	Fair	Codominant	
580	17+13	Oak	Fair	Codominant	
581	16+9	Oak	Fair	Codominant	
582	18	Oak	Fair	Codominant	
577	21	Oak	Poor	Dominant	Topped

The trees listed in the above table have been tagged in the field and are rated Good, Fair, or Poor according to their health, vigor and structural condition. Trees with a good rating are trees that are in the best condition and health for the surrounding climate. Trees that are rated as fair are usually trees of lesser condition that may have some structural problem or health factor limiting them from fully developing as a healthy tree. Trees that are rated poor are of less quality condition and have either structural flaws that cannot be overcome over time, or that are in poor health. Tree vigor correlates with canopy position within the stand and is measured by leaf and crown area. Tree rated Dominant and co-dominant are trees that generally have larger crowns capable of supporting more leaves, and have a generally healthy and appealing growth form. Dominant trees are trees with wide crowns above the level of the forest canopy that receive sunlight from above as well as the sides. Codominant trees are large crowned trees at the general level of the forest canopy that receive sunlight from above and partly from the sides. Crowns are somewhat smaller than dominant but healthy and vigorous. Trees rated intermediate and particularly suppressed trees have smaller crowns and are therefore less vigorous. Intermediate trees have much of the canopy below the general level of the forest or are pinched at the sides. They will receive sunlight from above but very little to none from the sides. Suppressed trees are trees that are overtopped by large trees and receive no direct sun from above or from the sides.