

MONTEREY COUNTY ZONING ADMINSTRATOR

Meeting: March 29, 2012 Time: 1:55 p.m.	Agenda Item No.: 6
Project Description: Combined Development Permit consisting of: 1) a Coastal Administrative Permit to allow the demolition of an existing 2,731 square foot single family dwelling with an attached 408 square foot garage and the construction of a 2,162 square foot two-story single family dwelling with a 253 square foot attached garage, 260 square foot guesthouse and associated grading (Cut: 36 cubic yards, Fill: 36 cubic yards); 2) a Coastal Administrative Permit to allow development within 750 feet of a known Archaeological Resource; 3) a Coastal Administrative Permit to allow parking within the front setback; and 4) Design Approval. Colors and materials consist of cotton (white) stucco exterior with a Spanish moss (brown/green) Cabot semi-solid trim, dark bronze aluminum windows, cream veneer stone patio, walkway and driveway areas and natural wood shake roof. The property is located at 2798 14th Street, Carmel (Assessor's Parcel Number 009-383-005-000), Carmel Area Land Use Plan, Coastal Zone.	
Project Location: 2798 14th Street, Carmel	APN: 009-383-005-000
Planning File Number: PLN110567	Owner: Cheryl Assemi Agent: Donald McBride Builder
Planning Area: Carmel Area Land Use Plan	Flagged and staked: No
Zoning Designation: : MDR/2-D (CZ) [Medium Density Residential, 2 units per acre with Design Control Overlays (Coastal Zone)]	
CEQA Action: Categorically Exempt per Section 15303(a)	
Department: RMA - Planning Department	

RECOMMENDATION:

Staff recommends that the Zoning Administrator adopt a resolution (**Exhibit B**) to:

- 1) Find the project categorically exempt per Section 15303(a); and
- 2) Approve PLN110567, based on the findings and evidence and subject to the conditions of approval (**Exhibit B**).

PROJECT OVERVIEW:

The project entails the demolition of an existing 2,731 square foot single family dwelling with an attached 408 square foot garage and the construction of a 2,162 square foot two-story single family dwelling with a 253 square foot attached garage, 260 square foot guesthouse, and associated grading (Cut: 36 cubic yards, Fill: 36 cubic yards). Colors and materials consist of cotton (white) stucco exterior with a Spanish moss (brown/green) Cabot semi-solid trim, dark bronze aluminum windows, cream veneer stone patio, walkway and driveway areas and natural wood shake roof.

According to Chapter 20.58 of the Monterey County Zoning Ordinance, the proposed single family dwelling and guesthouse will require three parking spaces (1 covered, two uncovered). The proposed dwelling provides one covered parking space (260 square foot attached garage). There is not enough room to have two uncovered parking spaces on the property without encroaching into the front setback. Pursuant to Chapter 20.58.050 of the Monterey County Zoning Ordinance, parking in the front setback may be allowed with a Coastal Administrative Permit.

According to 20.146.050.e.10 of the Monterey County Coastal Implementation Plan, Part 4, an on-site drainage device shall be designed and installed to accommodate runoff. The project proposes a catch basin and storm-water pump to properly catch all run-off and storm-water so not to create potential erosion or run-off impacts to adjacent properties.

According to County resource maps, the property is located within 750 feet from a known archaeological resource. An archaeological report was prepared by Archaeological Consulting which identified that the site has been disturbed by previous development and the project should not be delayed due to archaeological reasons. Also, a Phase 1 Historic Assessment was prepared by Kent Seavey because the existing structure was identified as being over 50 years in age. The assessment concludes that the existing house lacks any historic significance.

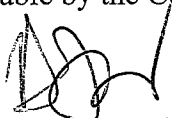
OTHER AGENCY INVOLVEMENT: The following agencies and departments reviewed this project:

- √ RMA - Public Works Department
- √ Environmental Health Bureau
- √ Water Resources Agency
- √ Cypress Fire Protection District

Agencies that submitted comments are noted with a check mark ("√"). Conditions recommended by each agency have been incorporated into the Condition Compliance/Mitigation Monitoring and Reporting Plan attached to the draft resolution (**Exhibit B**).

The project was referred to the Carmel/Carmel Highlands Land Use Advisory Committee (LUAC) on February 6, 2012 for review. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors per Resolution No. 08-338, this application did warrant referral to the LUAC because the project require a discretionary permit for a new single family dwelling. The LUAC unanimously supported the project with a vote of 8-0.

Note: The decision on this project is appealable to the Board of Supervisors, and is also appealable by the Coastal Commission.



Dan Lister – Assistant Planner
(831) 759-6617, listerdm@co.monterey.ca.us
March 13, 2012

cc: Front Counter Copy; Zoning Administrator; Cypress Fire Protection District; Public Works Department; Environmental Health Bureau; Water Resources Agency; Wanda Hickman, Planning Services Manager; Bob Schubert, Senior Planner; Dan Lister, Project Planner; Carol Allen, Senior Secretary; Cheryl Assemi, Owner; International Design Group, Agent; The Open Monterey Project; LandWatch; Planning File PLN110567.

Attachments: Exhibit A Project Data Sheet
Exhibit B Draft Resolution, including:

- Conditions of Approval
- Site Plan, Floor Plan and Elevations, Parcel Map, Tentative Map

Exhibit C Vicinity Map
Exhibit D Advisory Committee Minutes for February 6, 2012

This report was reviewed by Bob Schubert, Senior Planner; and Wanda Hickman, Planning Services Manager.

EXHIBIT A
PROJECT INFORMATION FOR PLN110567

Project Title: Assemi	Primary APN: 009-383-005
Location: 2798 14 th St, Carmel	Coastal Zone: Yes
Applicable Plan: Carmel Area Land Use Plan	Zoning: MDR/2-D (CZ)
Permit Type: Combined Development Permit	Plan Designation: Residential
Environmental Status: Categorically Exempt	Final Action Deadline: 04/23/2012
Advisory Committee: Carmel/Carmel Highlands	

Project Site Data:

Lot Size: 6000sf	Coverage Allowed: 2100sf
Existing Structures): 2,721sf	Coverage Proposed: 2100sf
Proposed Structures : 2,700sf	Height Allowed: 30'
Total Square Feet: 2,700sf	Height Proposed: 27'
	FAR Allowed: 2,700sf
	FAR Proposed: 2,700sf

Resource Zones and Reports

Environmentally Sensitive Habitat: No	Erosion Hazard Zone: Low
Botanical Report #: N/A	Soils/Geo. Report #: N/A
Forest Mgt. Report #: N/A	Geologic Hazard Zone: II/Undeterm.
Archaeological Sensitivity Zone: High	Geologic Report #: N/A
Archaeological Report #: LIB120013	Traffic Report #: N/A
Fire Hazard Zone: N/A	

Other Information:

Water Source: Water Service	Sewage Disposal (method): Public Service
Water District/Company: Cal-Am	Sewer District Name: Carmel Sanitary District
Fire District: Cypress FPD	Grading (cubic yds): 72 cubic yards
Tree Removal (Count/Type): None	

**EXHIBIT B
DRAFT RESOLUTION**

**Before the Zoning Administrator in and for the
County of Monterey, State of California**

In the matter of the application of:

ASSEMI (PLN110567)

RESOLUTION NO. _____

Resolution by the Monterey County Hearing Body:

- 1) Finding the project categorically exempt per Section 15303(a) of the CEQA Guidelines; and
- 2) Approving a Combined Development Permit consisting of: 1) a Coastal Administrative Permit to allow the demolition of an existing 2,731 square foot single family dwelling with an attached 408 square foot garage and the construction of a 2,162 square foot two-story single family dwelling with a 253 square foot attached garage, 260 square foot guesthouse and associated grading (Cut: 36 cubic yards, Fill: 36 cubic yards); 2) Coastal Administrative Permit to allow development within 750 feet of a known Archaeological Resource; 3) Coastal Administrative Permit to allow parking within the front setback; and 4) Design Approval. Colors and materials consist of cotton (white) stucco exterior with a Spanish moss (brown/green) Cabot semi-solid trim, dark bronze aluminum windows, cream veneer stone patio, walkway and driveway areas and natural wood shake roof.

[PLN110567, Assemi, 2798 14th Street, Carmel, Carmel Area Land Use Plan (APN: 009-383-005-000)]

The Assemi application (PLN110567) came on for public hearing before the Monterey County Zoning Administrator on March 29, 2012. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:

- the 1982 Monterey County General Plan;
- Carmel Area Land Use Plan
- Monterey County Coastal Implementation Plan Part 4;
- Monterey County Zoning Ordinance (Title 20);

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) The property is located at 2798 14th Street, Carmel (Assessor's Parcel Number: 009-383-005-000), Carmel Area Land Use Plan. The parcel is zoned MDR/2-D (CZ) [Medium Density Residential, 2 units per acre with Design Control Overlays (Coastal Zone)], which principally allows the first single family dwelling and uses accessory to the main dwelling (20.12.040.A & H of the Monterey County Zoning Ordinance). The project proposes the demolition of the existing single family dwelling in order to construct a new single family dwelling and a guesthouse accessory to the main dwelling. Therefore, the project is an allowed land use for this site.
- c) The project planner conducted a site inspection on November 2, 2011 to verify that the project on the subject parcel conforms to the plans listed above.
- d) According to 20.146.050.e.10 of the Monterey County Coastal Implementation Plan, Part 4, an on-site drainage device shall be designed and installed to accommodate runoff. The project proposes a catch basin and storm-water pump to properly catch all run-off and storm-water so not to create potential erosion or run-off impacts to adjacent properties.
- e) According to Chapter 20.58 of the Monterey County Zoning Ordinance, the proposed single family dwelling and guesthouse will require three parking spaces (1 covered, two uncovered). The proposed dwelling provides one covered parking space (260 square foot attached garage). There is not enough room to have two uncovered parking spaces on the property without encroaching into the front setback. Pursuant to Chapter 20.58.050 of the Monterey County Zoning Ordinance, parking in the front setback may be allowed with a Coastal Administrative Permit.
- f) According to Section 20.146.090.A.1 and of the Monterey County Coastal Implementation Plan, Part 4 and County resource maps, the property is located within 750 feet from a known archaeological resource. An archaeological report was prepared by Archaeological Consulting which identified that the site has been disturbed by previous development and the project should not be delayed due to archaeological reasons. Also, a Phase 1 Historic Assessment was prepared by Kent Seavey because the existing structure was identified as being over 50 years in age. The assessment concludes that the existing house lacks any historic significance.
- g) The project was referred to the Carmel/Carmel Highlands Land Use Advisory Committee (LUAC) on February 6, 2012 for review. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors per Resolution No. 08-338, this application did warrant referral to the LUAC because the project require a discretionary permit for a new single family dwelling. The LUAC unanimously

supported the project with a vote of 8-0.

- h) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN110567.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: RMA - Planning Department, Cypress Fire Protection District, Public Works, Environmental Health Bureau, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
 - b) Staff identified potential impacts to Historical Resources and Archaeological Resources. Technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff independently reviewed these reports and concurs with their conclusions. The following reports have been prepared:
 - “Preliminary Archaeological Assessment” (LIB120013) prepared by Archaeological Consulting, Salinas, CA, on September 20, 2011; and
 - “Phase 1 Historical Review” (LIB120012) prepared by Kent Seavey, Pacific Grove, CA, on December 7, 2011.
 - c) Staff conducted a site inspection on November 2, 2011 to verify that the site is suitable for this use.
 - d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN110567.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by RMA - Planning Department, Cypress Fire Protection District, Public Works, Environmental Health Bureau, and Water Resources Agency. The respective departments/agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities are available for the new single family dwelling. The project will use existing connections to Cam-Am Water and Carmel Sanitary District.
 - c) Preceding findings and supporting evidence for PLN110567.

4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.
- EVIDENCE:**
- a) Staff reviewed Monterey County RMA - Planning Department and Building Services Department records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on November 2, 2011 and researched County records to assess if any violation exists on the subject property.
 - c) There are no known violations on the subject parcel.
 - d) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN110567.
5. **FINDING:** **CEQA (Exempt):** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303(a) categorically exempts the development of a new single family dwelling.
 - b) The development proposed requires the demolition of the existing main dwelling to construct a new main dwelling.
 - c) No adverse environmental effects were identified during staff review of the development application during a site visit on November 2, 2011.
 - d) The proposed project will not create the impacts listed per Section 15300.2 of the CEQA Guidelines (Exceptions).
 - e) See preceding and following findings and supporting evidence.
6. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission
- EVIDENCE:**
- a) Section 20.86.030.A of the Monterey County Zoning Ordinance.
 - b) Section 20.86.080.A of the Monterey County Zoning Ordinance (Coastal Commission). The project is subject to appeal by the California Coastal Commission because project is located between the ocean and the first public road.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

1. Find the project categorically exempt per Section 15303(a) of the CEQA Guidelines; and
2. Approve a Combined Development Permit consisting of: 1) a Coastal Administrative Permit to allow the demolition of an existing 2,731 square foot single family dwelling with an attached 408 square foot garage and the construction of a 2,162 square foot two-story single family dwelling with a 253 square foot attached garage, 260 square foot guesthouse and associated grading (Cut: 36 cubic yards, Fill: 36 cubic yards); 2) a Coastal Administrative Permit to allow development within 750 feet of a known Archaeological Resource; 3) a Coastal Administrative Permit to allow parking within the front setback; and 4) Design Approval. Colors and materials consist of cotton (white) stucco exterior with a Spanish moss (brown/green) Cabot semi-solid trim, dark bronze aluminum windows, cream veneer stone patio, walkway and driveway areas and natural wood shake roof, in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 29th day of March, 2012.

Jacqueline Onciano, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON _____

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE [_____]

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS / IS NOT APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning Department and Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Monterey County Planning Department

DRAFT Conditions of Approval/Mitigation Monitoring Reporting Plan

PLN110567

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: This Coastal Administrative Permit (PLN110567) allows 1) a Coastal Administrative Permit to allow the demolition of an existing 2,731 square foot single family dwelling with an attached 408 square foot garage and the construction of a 2,162 square foot two-story single family dwelling with a 253 square foot attached garage, 260 square foot guesthouse and associated grading (Cut: 36 cubic yards, Fill: 36 cubic yards); 2) Coastal Administrative Permit to allow development within 750 feet of a known Archaeological Resource; 3) Coastal Administrative Permit to allow parking within the front setback; and 4) Design Approval. Colors and materials consist of cotton (white) stucco exterior with a Spanish moss (brown/green) Cabot semi-solid trim, dark bronze aluminum windows, cream veneer stone patio, walkway and driveway areas and natural wood shake roof. The property is located at 2798 14th Street, Carmel (Assessor's Parcel Number 009-383-005-000), Carmel Area Land Use Plan, Coastal Zone. This permit was approved in accordance with County ordinances and land use regulations subject to the following terms and conditions. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of the RMA - Planning Department. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning Department)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: The applicant shall record a notice which states: "A permit (Resolution _____) was approved by the Zoning Administrator for Assessor's Parcel Number 009-383-005-000 on March 29, 2012. The permit was granted subject to 10 conditions of approval which run with the land. A copy of the permit is on file with the Monterey County RMA - Planning Department." Proof of recordation of this notice shall be furnished to the Director of the RMA - Planning Department prior to issuance of building permits or commencement of the use. (RMA - Planning Department)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits or commencement of use, the Owner/Applicant shall provide proof of recordation of this notice to the RMA - Planning Department.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. The Monterey County RMA - Planning Department and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery. (RMA - Planning Department)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis. Stop work within 50 meters (165 feet) of uncovered resource and contact the Monterey County RMA - Planning Department and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD014(A) - LIGHTING-EXTERIOR LIGHTING PLAN

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of the RMA - Planning Department, prior to the issuance of building permits. (RMA - Planning Department)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to the RMA - Planning Department for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to occupancy and on an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

5. PD019(B) - DEED RESTRICTION-GUESTHOUSE (COASTAL)

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: The applicant shall record a deed restriction stating the regulations applicable to a Guesthouse (Coastal) as follows:

- * Only 1 guesthouse shall be allowed per lot.
- * Detached guesthouses shall be located in close proximity to the principal residence.
- * Guesthouses shall share the same utilities with the main residence, unless prohibited by public health requirements.
- * The guesthouse shall not have cooking or kitchen facilities, including but not limited to microwave ovens, hot plates and toaster ovens.
- * The guesthouse shall have a maximum of 6 linear feet of counter space, excluding counter space in a bathroom. There shall be a maximum of 8 square feet of cabinet space, excluding clothes closets.
- * The guesthouse shall not exceed 425 square feet of livable floor area.
- * The guesthouse shall not be separately rented, let or leased from the main residence whether compensation be direct or indirect.
- * Subsequent subdivisions which divide a main residence from a guesthouse shall be prohibited.
- * The guesthouse shall be designed in such a manner as to be visually consistent and compatible with the main residence on site and other residences in the area.
- * The guesthouse height shall not exceed 12 feet nor be more than one story.

(RMA - Planning Department)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits, the Owner/Applicant shall submit a signed and notarized document to the Director of RMA-Planning Department for review and signature by the County.

Prior to occupancy or commencement of use, the Owner/Applicant shall submit proof of recordation of the document to the Director of the RMA-Planning Department.

6. PD032(A) - PERMIT EXPIRATION

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: The permit shall be granted for a time period of 3 years, to expire on March 29, 2015 unless use of the property or actual construction has begun within this period. (RMA-Planning Department)

Compliance or Monitoring Action to be Performed: Prior to the expiration date stated in the condition, the Owner/Applicant shall obtain a valid grading or building permit and/or commence the authorized use to the satisfaction of the Director of Planning. Any request for extension must be received by the Planning Department at least 30 days prior to the expiration date.

7. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: Public Works Department

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to the RMA-Planning Department and the Department of Public Works for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project and shall provide the following information: Duration of the construction, hours of operation, an estimate of the number of truck trips that will be generated, truck routes, number of construction workers, parking areas for both equipment and workers, and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the Construction/grading phase of the project. (Cypress Fire Protection District)

Compliance or Monitoring Action to be Performed: 1. Prior to issuance of the grading permit or building permit, the applicant or owner or contractor shall prepare a CMP and shall submit the CMP to the RMA-Planning Department and the Department of Public Works for review and approval.

2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

8. WR001 - DRAINAGE PLAN

Responsible Department: Water Resources Agency

Condition/Mitigation Monitoring Measure: The applicant shall provide a drainage plan, prepared by a registered civil engineer or licensed architect, to mitigate on-site and off-site impacts from impervious surface stormwater runoff. Drainage improvements shall be constructed in accordance with plans approved by the Water Resources Agency. (Water Resources Agency)

Compliance or Monitoring Action to be Performed: Prior to issuance of any construction permit, the owner/applicant shall submit a drainage plan with the construction permit application.

The Building Services Department will route a plan set to the Water Resources Agency for review and approval.

9. WR049 - WATER AVAILABILITY CERTIFICATION

Responsible Department: Water Resources Agency

Condition/Mitigation Monitoring Measure: The applicant shall provide the Monterey County Water Resources Agency proof of water availability in the form of a complete Monterey Peninsula Water Management District Water Release Form. (Water Resources Agency)

Compliance or Monitoring Action to be Performed: Prior to issuance of any construction permit, the owner/applicant shall submit a Water Release Form to the Water Resources Agency for review and approval.

A copy of the Water Release Form can be obtained at the Monterey Peninsula Water Management District, the Water Resources Agency, or online at:
www.mcwra.co.monterey.ca.us.

10. FIRE021 - FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM (STANDARD)

Responsible Department: Fire

Condition/Mitigation Monitoring Measure: The building(s) and attached garage(s) shall be fully protected with automatic fire sprinkler system(s). Installation shall be in accordance with the applicable NFPA standard. A minimum of four (4) sets of plans for fire sprinkler systems must be submitted by a California licensed C-16 contractor and approved prior to installation. This requirement is not intended to delay issuance of a building permit. A rough sprinkler inspection must be scheduled by the installing contractor and completed prior to requesting a framing inspection. (Cypress Fire Protection District)

Compliance or Monitoring Action to be Performed:

1. Prior to issuance of building permit, the applicant or owner shall enumerate as "Fire Dept. Notes" on plans.
2. Prior to framing inspection, the applicant or owner shall schedule fire dept. rough sprinkler inspection.
3. Prior to final building inspection, the applicant or owner shall schedule fire dept. final sprinkler inspection.

SITE PHOTOS

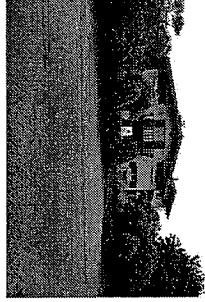


PHOTO 1

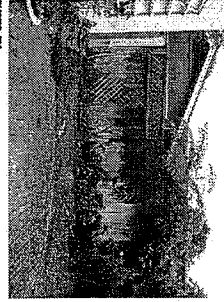


PHOTO 2



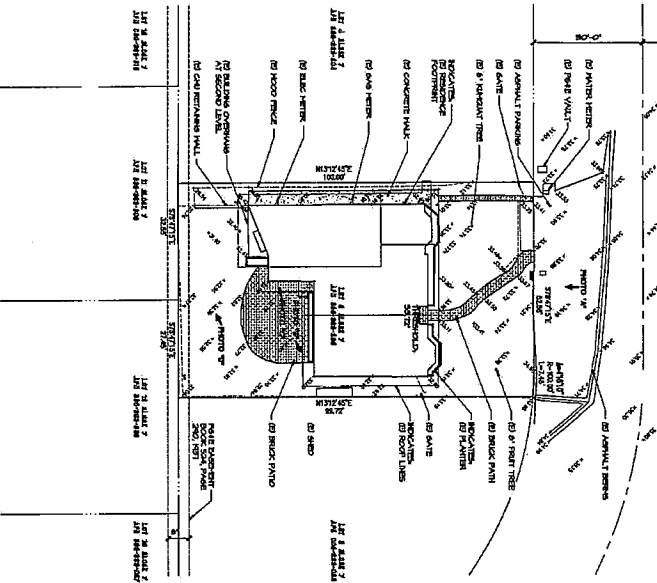
PHOTO 3



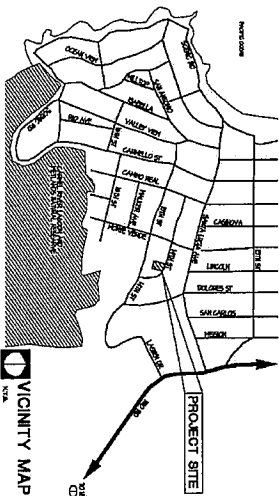
PHOTO 4

NORTH
NO PART OF THIS
DRAWING IS TO BE
REPRODUCED OR
TRANSMITTED IN
ANY FORM OR BY
ANY MEANS

14TH AVE
(1/4" = 100' COUNTY ROAD)



EXISTING SITE PLAN
SCALE: 1/8" = 10'

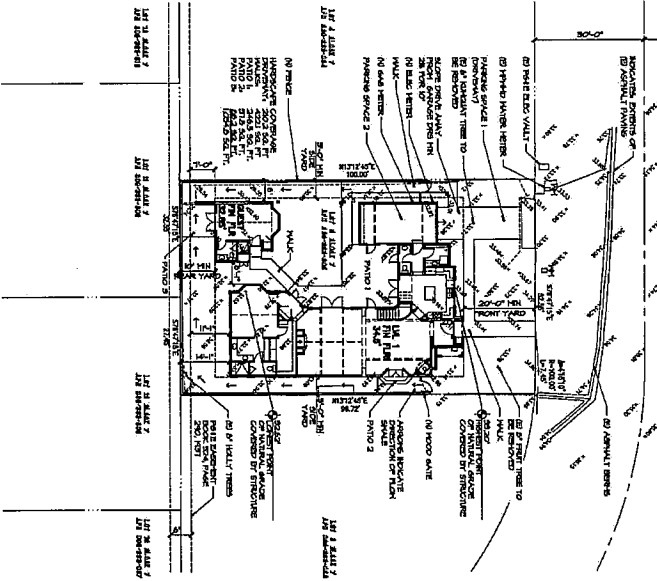


VICINITY MAP

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

14TH AVE
(1/4" = 100' COUNTY ROAD)



PROPOSED SITE PLAN
SCALE: 1/8" = 10'

PROJECT DATA

PROJECT: ASSIST 14TH AVE
SITE ADDRESS: 2788 14TH AVE, CARMEL, CA 95020
OWNER: MARIETTE ASSOCIATES ARCHITECTURE
DATE: 10-20-11
SCALE: 1/8" = 10'
DESIGNER: MARIETTE ASSOCIATES ARCHITECTURE
PROJECT NO.: 11-011
DATE: 11-01-11
PROJECT NO.: 11-011

ALLOWABLE COVERAGE:
 45%
PROPOSED F.A.P.:
 45%

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

DATE	PRINTS ISSUED FOR	REVISION DATE
10-20-11	APPLICATION REQUEST	01-09-12
12-21-11	DEVELOPMENT APPLICATION	



project
CARMEL RESIDENCE
 2788 14TH AVE
 CARMEL, CALIFORNIA

Ronald Gene Markes
 Principal
**MARIETTE ASSOCIATES
 ARCHITECTURE**
 2545 Almaden Avenue, Suite 100
 Clovis, California 95611
 P: 503.722.6600 F: 503.722.6600

C O I S T S B

SHEET NUMBER: 11-011
 SHEET NAME: ONE
 OF ONE

WALL LEGEND LETTERS INDICATE SCHEDULES FOR EXTERIOR WALL FINISHES.

- 7/8" O.D. SCHED. 40 STEEL W/ 3" INSULATION ON INSIDE
- 2x6 STUDS @ 16" ON CENTER
- 2x4 STUDS @ 16" ON CENTER
- 2x4 STUDS @ 16" ON CENTER
- INSULATED CONCRETE BLOCK WITH INSULATION ON INSIDE
- INSULATED CONCRETE BLOCK WITH INSULATION ON INSIDE
- INSULATED CONCRETE BLOCK WITH INSULATION ON INSIDE
- INSULATED CONCRETE BLOCK WITH INSULATION ON INSIDE
- INSULATED CONCRETE BLOCK WITH INSULATION ON INSIDE

SHEATH PANELS SQUARE LETTERS INDICATE THE SHEATH APPLICATION

WALL	MATERIAL	STUD/ SHEATHING	NAILING	ANCHORS	CAPACITY
①	2x6 SIPS @ 16" ON CENTER	2x6 SIPS @ 16" ON CENTER	2x6 SIPS @ 16" ON CENTER	2x6 SIPS @ 16" ON CENTER	323 kN
②	2x4 SIPS @ 16" ON CENTER	2x4 SIPS @ 16" ON CENTER	2x4 SIPS @ 16" ON CENTER	2x4 SIPS @ 16" ON CENTER	190 kN
③	2x4 SIPS @ 16" ON CENTER	2x4 SIPS @ 16" ON CENTER	2x4 SIPS @ 16" ON CENTER	2x4 SIPS @ 16" ON CENTER	190 kN
④	2x4 SIPS @ 16" ON CENTER	2x4 SIPS @ 16" ON CENTER	2x4 SIPS @ 16" ON CENTER	2x4 SIPS @ 16" ON CENTER	190 kN
⑤	2x4 SIPS @ 16" ON CENTER	2x4 SIPS @ 16" ON CENTER	2x4 SIPS @ 16" ON CENTER	2x4 SIPS @ 16" ON CENTER	190 kN

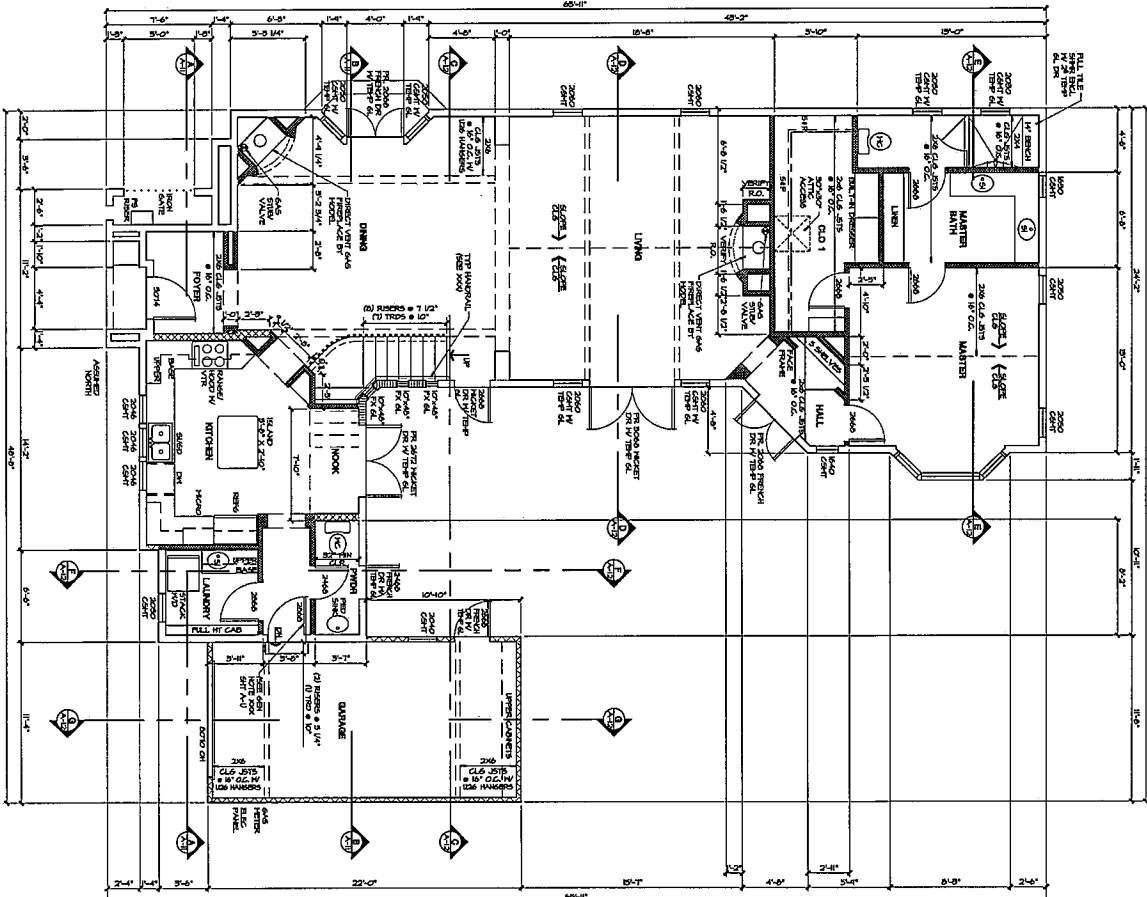
HOLD-DOWNS

MARK	WATERMARK	STUD	CAPACITY A.S.	IMBED DEPTH	FASTENERS	DTL.
①	10x8	2x6 SIPS	15 3/8"	2"	1/4" X 3" LAG BOLTS @ 24" ON CENTER	3000 LBS
②	10x8	2x4 SIPS	12 1/8"	2"	1/4" X 3" LAG BOLTS @ 24" ON CENTER	2000 LBS

1. FLOOR JOIST: ALL FLOOR JOISTS SHALL BE 2x12 SIPS AT 16" ON CENTER. ALL FLOOR JOISTS SHALL BE 2x12 SIPS AT 16" ON CENTER. ALL FLOOR JOISTS SHALL BE 2x12 SIPS AT 16" ON CENTER. ALL FLOOR JOISTS SHALL BE 2x12 SIPS AT 16" ON CENTER.

2. FLOOR JOIST: ALL FLOOR JOISTS SHALL BE 2x12 SIPS AT 16" ON CENTER. ALL FLOOR JOISTS SHALL BE 2x12 SIPS AT 16" ON CENTER. ALL FLOOR JOISTS SHALL BE 2x12 SIPS AT 16" ON CENTER. ALL FLOOR JOISTS SHALL BE 2x12 SIPS AT 16" ON CENTER.

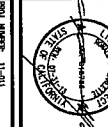
3. FLOOR JOIST: ALL FLOOR JOISTS SHALL BE 2x12 SIPS AT 16" ON CENTER. ALL FLOOR JOISTS SHALL BE 2x12 SIPS AT 16" ON CENTER. ALL FLOOR JOISTS SHALL BE 2x12 SIPS AT 16" ON CENTER. ALL FLOOR JOISTS SHALL BE 2x12 SIPS AT 16" ON CENTER.



LEVEL 1 FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION

DATE	10-20-11
DATE	12-21-11



PRINTS ISSUED FOR	REVISION DATE
APPLICATION REQUEST	
DEVELOPMENT APPLICATION	

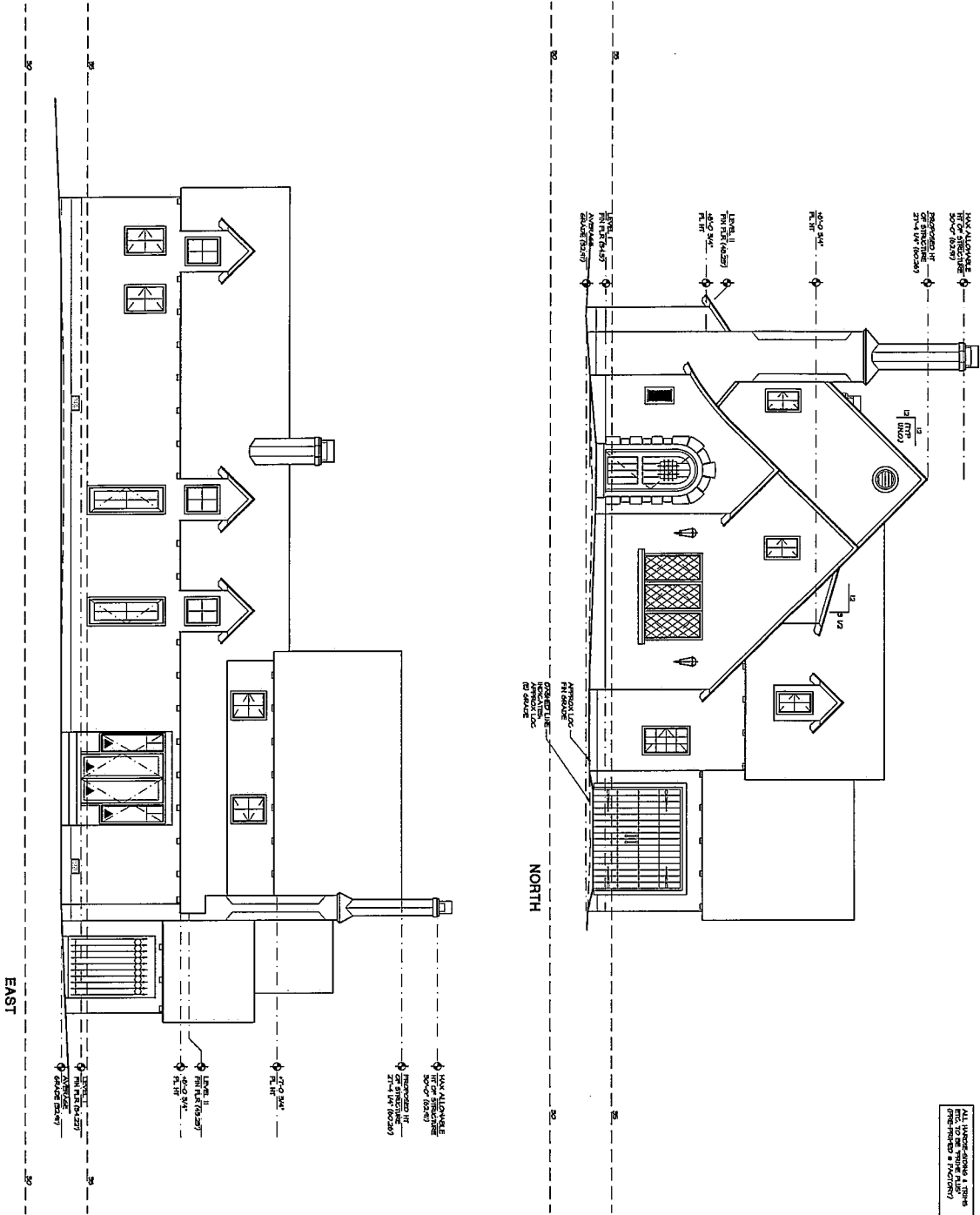
NOT FOR CONSTRUCTION

project
CARMEL RESIDENCE
 2798 14TH AVE
 CARMEL, CALIFORNIA

NOT FOR CONSTRUCTION

Revised: Denise Maricic, Principal
MARLETTE ASSOCIATES ARCHITECTURE
 2545 ALVARO AVENUE, SUITE 100
 CARMEL, CALIFORNIA 95018
 PH: 831.322.8883 FAX: 831.322.8885

CO15788



NOTE:
 THIS TYPE CONSTRUCTION PERMITTED UNDER THE CITY OF CARMEL'S ZONING ORDINANCE. ALL HEIGHTS ARE TO BE MEASURED TO THE FINISH GRADE OF THE ROOFING MATERIAL.
 ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF CARMEL'S ZONING ORDINANCE.

EXTERIOR COLOR SELECTIONS:	
SHAZZ	COLOR
IRON	COLOR 204 SAGE SPERMOS
IRON	BRONZ
SHINE IRON	MATERIAL WOOD

ROOF NOTES

- ROOF SHALL BE AS SHOWN WITH THE RESTRICTIONS OF CLIMATE IN A ZONING DISTRICT. ALL ROOFING SHALL BE IN ACCORDANCE WITH THE CITY OF CARMEL'S ZONING ORDINANCE.
- ROOF SHALL BE INSTALLED IN ACCORDANCE WITH THE DISTRICT'S MAINTENANCE AND REPAIR ORDINANCE.
- ROOF SHALL BE INSTALLED IN ACCORDANCE WITH THE DISTRICT'S MAINTENANCE AND REPAIR ORDINANCE.
- ROOF SHALL BE INSTALLED IN ACCORDANCE WITH THE DISTRICT'S MAINTENANCE AND REPAIR ORDINANCE.

EXTERIOR ELEVATIONS

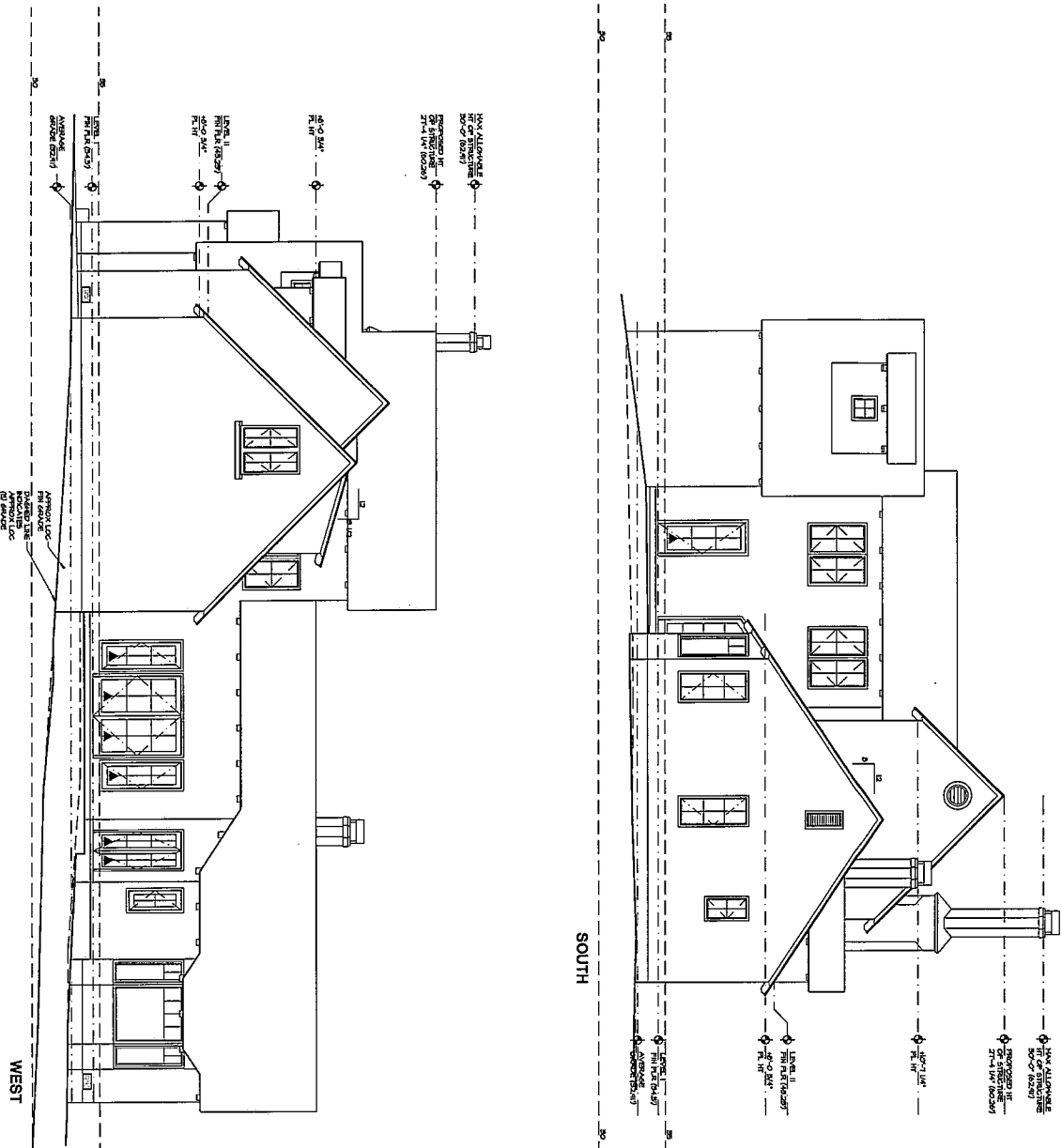
SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION

	<p>project CARMEL RESIDENCE</p> <p>2798 14TH AVE CARMEL, CALIFORNIA</p>	<p>RONALD GENE WORKTER Principal</p> <p>MARLETTE ASSOCIATES ARCHITECTURE</p> <p>2565 Alvarado Avenue, Suite 100 San Jose, California 95128 TEL: 415.352.8863 FAX: 415.352.8866</p>
<p>DATE</p> <p>10-20-11</p> <p>12-21-11</p>	<p>PRINTS ISSUED FOR</p> <p>APPLICATION REQUEST</p> <p>DEVELOPMENT APPLICATION</p>	<p>REVISION DATE</p> <p>1</p> <p>2</p> <p>3</p> <p>4</p> <p>5</p> <p>6</p> <p>7</p> <p>8</p> <p>9</p> <p>10</p>

NOT FOR CONSTRUCTION

ROLL NUMBER: 1-4-11
 SHEET NUMBER: A-8
 OF 03



NOT FOR CONSTRUCTION
 THIS IS A PRELIMINARY DRAWING AND IS NOT TO BE USED FOR CONSTRUCTION. ALL DIMENSIONS AND LOCATIONS ARE APPROXIMATE AND SUBJECT TO CHANGE WITHOUT NOTICE.

ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 FIN FLOOR + 2'-0"
 FIN FLOOR + 4'-0"
 FIN FLOOR

EXTERIOR COLOR SELECTIONS

BRICK	GREEN
WOOD	GRAY FOR SILL & SHIMMER
SHAKE ROOF	BROWN
	MIXED, HICK

ROOF NOTES

1. ROOF SHALL BE AS SHOWN IN THE REQUIREMENTS OF CHAPTER 1A & 1B OF THE CALIFORNIA BUILDING CODE.
2. ROOF SHALL BE INSULATED IN ACCORDANCE WITH SECTION 11.04.01.01.
3. ROOF SHALL BE FINISHED WITH A SHINGLE OR SHINGLE-LIKE PRODUCT.
4. ROOF SHALL BE FINISHED WITH A SHINGLE OR SHINGLE-LIKE PRODUCT.
5. ROOF SHALL BE FINISHED WITH A SHINGLE OR SHINGLE-LIKE PRODUCT.
6. ROOF SHALL BE FINISHED WITH A SHINGLE OR SHINGLE-LIKE PRODUCT.

EXTERIOR ELEVATIONS
 SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION

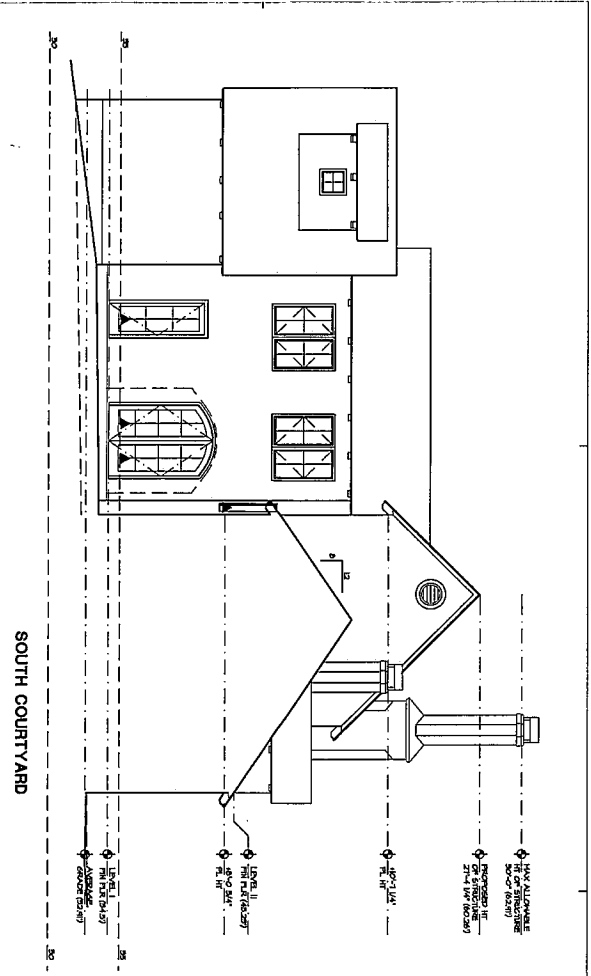
DATE	PRINTS ISSUED FOR	REVISION DATE
10-20-11	APPLICATION REQUEST	
12-21-11	DEVELOPMENT APPLICATION	

project
CARMEL RESIDENCE
 2798 14TH AVE
 CARMEL, CALIFORNIA

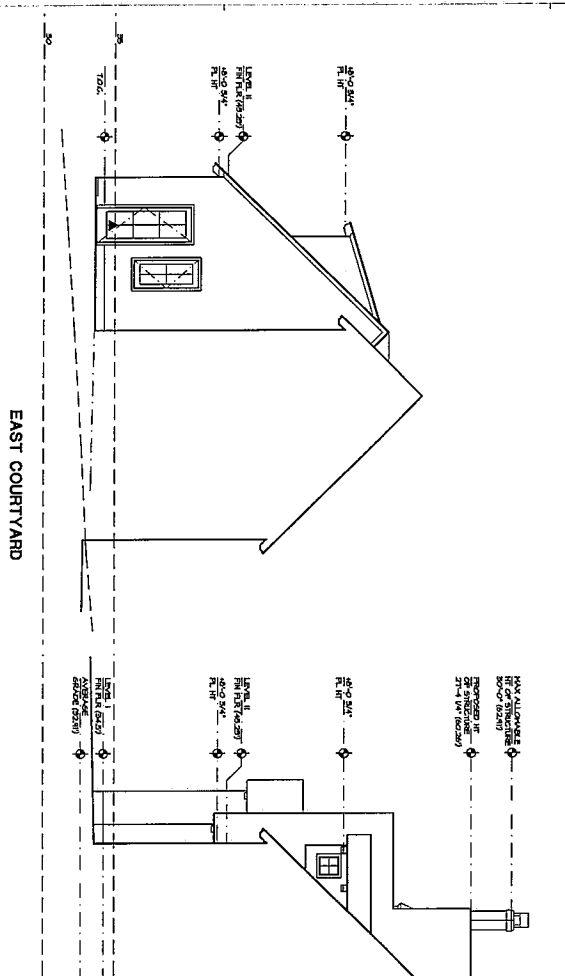
Noted Gene Wickett
 Project
**MARLETTE ASSOCIATES
 ARCHITECTURE**
 2545 Annual Avenue, Suite 100
 1100 S. Bascom Avenue, Suite 100
 Palo Alto, CA 94304
 Tel: 650.372.8883 Fax: 650.372.8886

C O I 5 7 8 6

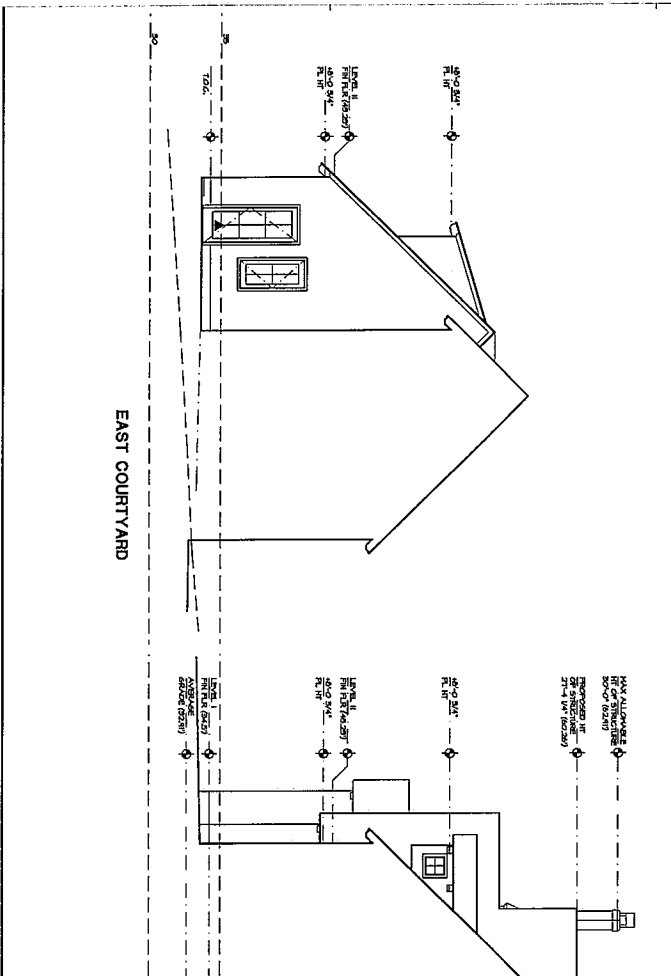
PROJECT NO. 11-011
 SHEET NUMBER
A-9
 03 OF 06



SOUTH COURTYARD



EAST COURTYARD



WEST COURTYARD

EXTERIOR ELEVATIONS
SCALE 1/4"=1'-0"

NOTE: ALL MATERIALS, FINISHES, AND COLORS TO BE APPROVED BY ARCHITECT PRIOR TO CONSTRUCTION. ALL MATERIALS TO BE MATCHED TO THE EXISTING BUILDING.

EXTERIOR COLOR SELECTIONS:	
BRICK	CLAY
WOOD	CELESTIAL BLUE STAINLESS
SHINGLES	SHINGLES
SHINGLES	SHINGLES
SHINGLES	SHINGLES

- ROOF NOTES**
- ROOF SHALL BE AS PER THE REQUIREMENTS OF CHAPTER 19.1. ALL MATERIALS TO BE APPROVED BY ARCHITECT PRIOR TO CONSTRUCTION.
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NOT FOR CONSTRUCTION

ROLL NUMBER: 11-011

SHEET NUMBER: A-10

03 OF 07

DATE	PRINTS ISSUED FOR	REVISION DATE
10-20-11	APPLICATION REQUEST	
12-21-11	DEVELOPMENT APPLICATION	

project

CARMEL RESIDENCE

2798 14TH AVE
CARMEL, CALIFORNIA

NOT FOR CONSTRUCTION

Rollie Gene Marlette
Principal

**MARLETTE ASSOCIATES
ARCHITECTURE**

2565 Alhambra Avenue, Suite 100
Covina, California 91724
Tel: 909.922.8888 Fax: 909.922.8889

C O I S 7 8 6

WALL LEGEND (NOTE: SEE EXISTENCE ELEVATIONS FOR EXISTING WALL HEIGHTS)

- | | | | |
|------------|--------------------------|----------------|--|
| XXXXXXX | 24" CMU 8" H | INDICATES FROM | |
| XXXXXXX | 24" CMU 6" H | OF OLD WORK | |
| XXXXXXXXXX | 24" CMU 6" H (INTERIOR) | | |
| XXXXXXXXXX | 24" CMU 6" H (EXTERIOR) | | |
| XXXXXXX | REINFORCED CONCRETE WALL | | |
| XXXXXXX | INDICATED ABOVE | | |

FOUNDATION NOTES

- FOUNDATION DESIGN SHALL BE BASED UPON THE SOIL BEARING CAPACITY FOR SPREAD AND CONTINUOUS FOOTINGS SUPPORTED ON COMPACTED FILL AS SHOWN FOR THE GEOTECHNICAL INVESTIGATION REPORT, JOB #17-008, PREPARED BY DAVID ENGINEERING GROUP, INC. DATED MARCH 14, 2011.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY RECOMMENDATIONS FROM THE SOILS REPORT PREPARED FOR THIS PROJECT TO THE GEOTECHNICAL INVESTIGATION REPORT PREPARED BY DAVID ENGINEERING GROUP, INC. JOB #17-008, DATED MARCH 14, 2011.
- ALL FOOTINGS SHALL BE SET ON OR ABOVE THE FOOTING ELEVATION SHOWN ON THIS DRAWING. THE BOTTOM OF THE FOOTING SHALL BE FINISHED TO THE ELEVATION SHOWN.
- FOUNDATION DESIGN SHALL BE BASED UPON THE SOIL BEARING CAPACITY FOR SPREAD AND CONTINUOUS FOOTINGS SUPPORTED ON COMPACTED FILL AS SHOWN FOR THE GEOTECHNICAL INVESTIGATION REPORT, JOB #17-008, PREPARED BY DAVID ENGINEERING GROUP, INC. DATED MARCH 14, 2011.
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FOOTING SCHEDULE (SEE FOUNDATION NOTES ITEM 5.B.1)

MARK	SIZE	REINFORCEMENT	PROVISIONS
F1	30" x 24" x 8" W	4#3	CONCRETE
F2	30" x 24" x 8" W	4#3	CONCRETE
F3	30" x 24" x 8" W	4#3	CONCRETE
F4	30" x 24" x 8" W	4#3	CONCRETE
F5	30" x 24" x 8" W	4#3	CONCRETE
F6	30" x 24" x 8" W	4#3	CONCRETE
F7	30" x 24" x 8" W	4#3	CONCRETE
F8	30" x 24" x 8" W	4#3	CONCRETE
F9	30" x 24" x 8" W	4#3	CONCRETE
F10	30" x 24" x 8" W	4#3	CONCRETE

SHEAR PANELS (DOUBLE LETTER INDICATES THE DESIRED APPLICATION)

SHEAR WALL	MATERIAL	STUDS/ BRACING	NAILING	ANCHOR BOLTS	CAPACITY
W1	3000 P.S.I. CONCRETE	2" x 4" @ 16" O.C.	16D @ 12" O.C.	1/2" x 12" @ 40' O.C.	225 KIP
W2	3000 P.S.I. CONCRETE	2" x 4" @ 16" O.C.	16D @ 12" O.C.	1/2" x 12" @ 40' O.C.	225 KIP
W3	3000 P.S.I. CONCRETE	2" x 4" @ 16" O.C.	16D @ 12" O.C.	1/2" x 12" @ 40' O.C.	225 KIP
W4	3000 P.S.I. CONCRETE	2" x 4" @ 16" O.C.	16D @ 12" O.C.	1/2" x 12" @ 40' O.C.	225 KIP
W5	3000 P.S.I. CONCRETE	2" x 4" @ 16" O.C.	16D @ 12" O.C.	1/2" x 12" @ 40' O.C.	225 KIP

HOLD-DOWNS

MATERIAL	HTD.	CORNER	A.B.	FIN.	PLASTER	D.T.L.
CONC.	10" x 10" @ 4" O.C.	10" x 10" @ 4" O.C.	10" x 10" @ 4" O.C.	10" x 10" @ 4" O.C.	10" x 10" @ 4" O.C.	10" x 10" @ 4" O.C.

GENERAL NOTES

- FOUNDATION DESIGN SHALL BE BASED UPON THE SOIL BEARING CAPACITY FOR SPREAD AND CONTINUOUS FOOTINGS SUPPORTED ON COMPACTED FILL AS SHOWN FOR THE GEOTECHNICAL INVESTIGATION REPORT, JOB #17-008, PREPARED BY DAVID ENGINEERING GROUP, INC. DATED MARCH 14, 2011.
- ALL FOOTINGS SHALL BE SET ON OR ABOVE THE FOOTING ELEVATION SHOWN ON THIS DRAWING. THE BOTTOM OF THE FOOTING SHALL BE FINISHED TO THE ELEVATION SHOWN.
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- ALL FOOTINGS SHALL BE SET ON OR ABOVE THE FOOTING ELEVATION SHOWN ON THIS DRAWING. THE BOTTOM OF THE FOOTING SHALL BE FINISHED TO THE ELEVATION SHOWN.

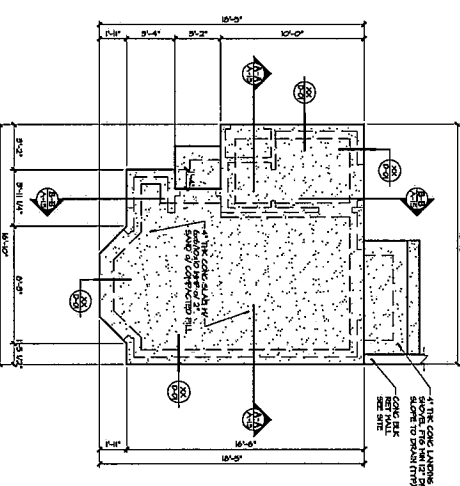
MATERIAL ALLOWABLE SOIL BEARING CAPACITY FOR SPREAD AND CONTINUOUS FOOTINGS SUPPORTED ON COMPACTED FILL IS SHOWN FOR THE GEOTECHNICAL INVESTIGATION REPORT, JOB #17-008, PREPARED BY DAVID ENGINEERING GROUP, INC. DATED MARCH 14, 2011.

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY RECOMMENDATIONS FROM THE SOILS REPORT PREPARED FOR THIS PROJECT TO THE GEOTECHNICAL INVESTIGATION REPORT PREPARED BY DAVID ENGINEERING GROUP, INC. JOB #17-008, DATED MARCH 14, 2011.

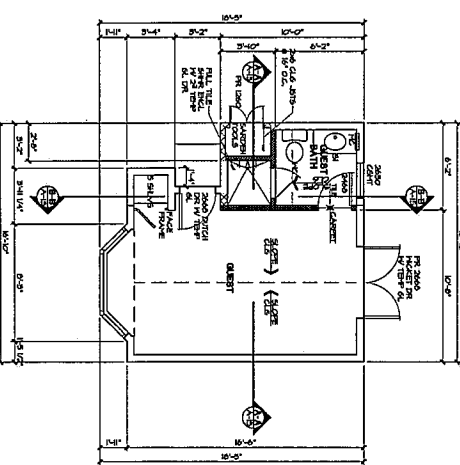
-ALL FOOTINGS SHALL BE SET ON OR ABOVE THE FOOTING ELEVATION SHOWN ON THIS DRAWING. THE BOTTOM OF THE FOOTING SHALL BE FINISHED TO THE ELEVATION SHOWN.

-SHALE AS NECESSARY AROUND STRUCTURE TO PROVIDE 18" OF FOOTING DRAINAGE FOR 6" FEET.

FOUNDATION PLAN
SCALE 1/8"=1'-0"



FLOOR PLAN
SCALE 1/8"=1'-0"



APPROVED ARCHITECT MARLETTE ASSOCIATES ARCHITECTURE
GUEST HOUSE
PLAN
SCALE 1/8"=1'-0"

<p>NOT FOR CONSTRUCTION</p> <p>DATE: 10-20-11, 12-21-11</p> <p>PRINTS ISSUED FOR: APPLICATION REQUEST, DEVELOPMENT APPLICATION</p>	<p>NOT FOR CONSTRUCTION</p> <p>REVISION DATE</p> <p>1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11</p>	<p>NOT FOR CONSTRUCTION</p> <p>project CARMEL RESIDENCE 2798 14TH AVE CARMEL, CALIFORNIA</p>	<p>NOT FOR CONSTRUCTION</p> <p>Client: David Garcia Principal: Marlette Associates 2845 ANIMATED AVENUE, SUITE 100 CARMEL, CALIFORNIA 95008 TEL: 408.325.4300 FAX: 408.325.4300</p>
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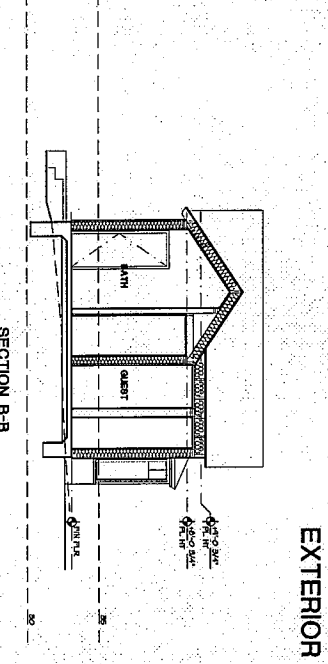
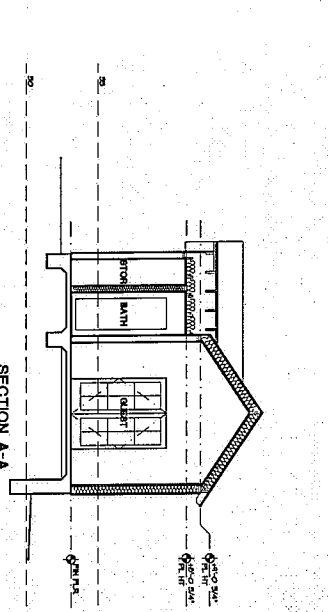
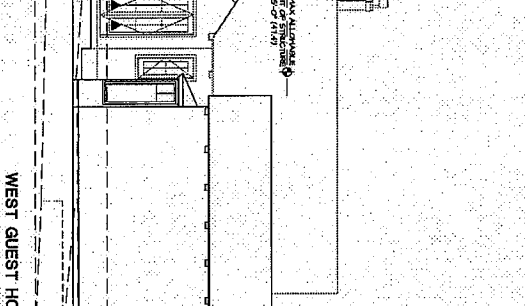
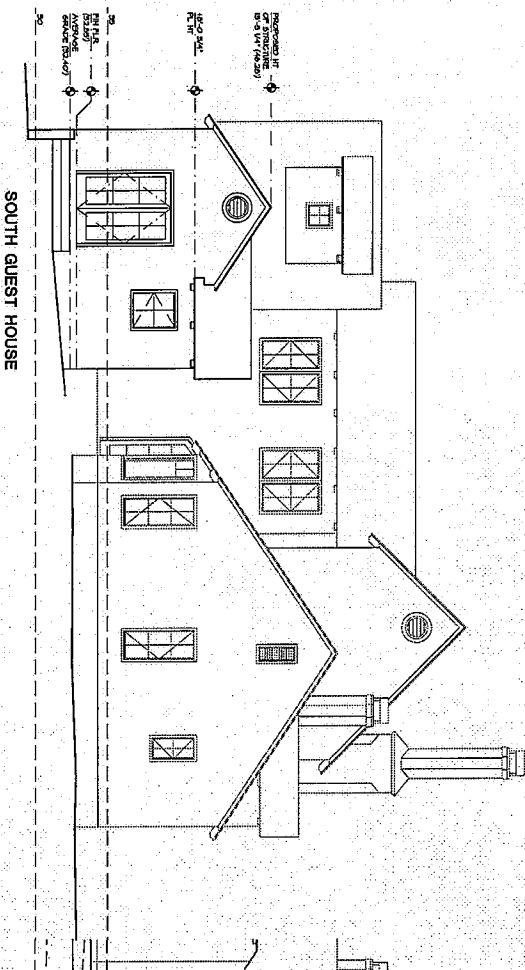
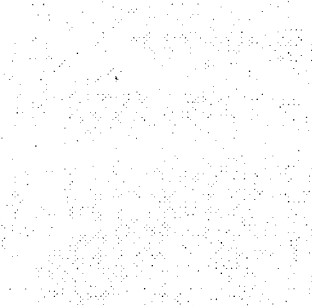
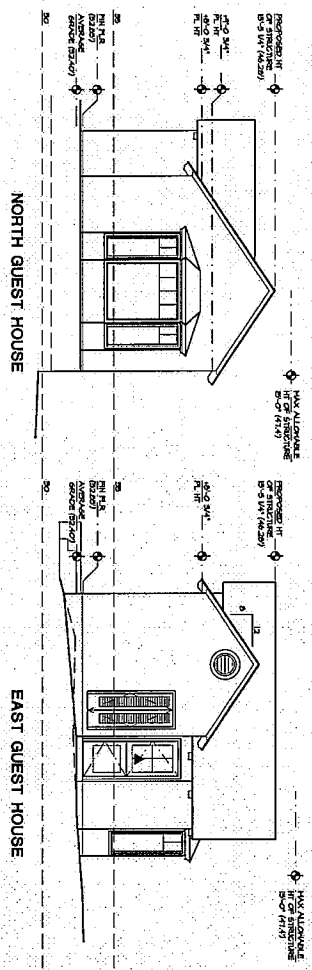
C O I S T B 6

10 of 11

SHEET NUMBER
A-13

DATE: 11-11-11

SCALE: 1/8"=1'-0"



NOTE: THIS CONCEPTUAL PLAN IS FOR INFORMATION ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

- ROOF NOTES**
1. ALL ROOFING SHALL BE PERFORMED BY A LICENSED ROOFER.
 2. ROOFING SHALL BE PERFORMED IN ACCORDANCE WITH THE CALIFORNIA ROOFING CODE (CRC).
 3. ROOFING SHALL BE PERFORMED IN ACCORDANCE WITH THE CALIFORNIA ROOFING CODE (CRC).
 4. ROOFING SHALL BE PERFORMED IN ACCORDANCE WITH THE CALIFORNIA ROOFING CODE (CRC).

EXTERIOR ELEVATIONS

SECTIONS

NOT FOR CONSTRUCTION

DATE	PRINTS ISSUED FOR	REVISION DATE
10-20-11	APPLICATION REQUEST	
12-21-11	DEVELOPMENT APPLICATION	

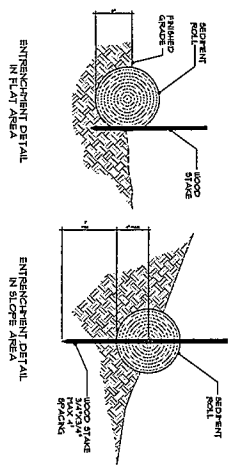
project
CARMEL RESIDENCE
2798 14TH AVE
CARMEL, CALIFORNIA

NOT FOR CONSTRUCTION

Ronald Corne Marlette
MARLETTE ASSOCIATES
ARCHITECTURE
2545 Alameda Avenue, Suite 100
Carmel, CA 93921
PH: 831.923.1234 FAX: 831.923.1234

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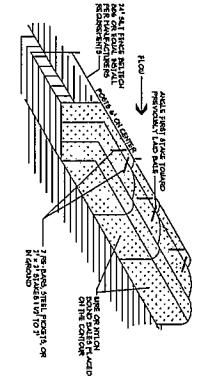
ROLL NUMBER: 11-24-11
SHEET NUMBER: A-15



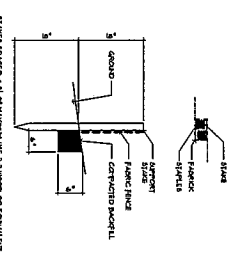
1 SEDIMENT LOG DETAIL
SCALE: N1/2"

EROSION CONTROL NOTES

AT ALL TIMES THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT SOIL EROSION AND PREVENT SEDIMENT FROM ENTERING THE STREET DRAINAGE SYSTEM. ACCEPTABLE HEADINGS FOR SLOPES SHALL BE LIMITED TO THE FOLLOWING: 1:1 FOR ALL SLOPES EXCEPT WHERE SHOWN OTHERWISE. SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY UPON EXPOSURE. ALL EXPOSED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY UPON EXPOSURE. ALL EXPOSED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY UPON EXPOSURE.



2 STRAW BALE
SCALE: N1/2"



3 SILT FENCE DETAIL
SCALE: N1/2"

SILT FENCE

1. SILT FENCES SHALL BE INSTALLED ON LEVEL CONTIGUOUS AND N-ACCOMPANY WITH THE PROJECT'S SPECIFICATION AND SHOULD BE STRUTTED.
2. THE ENDS OF THE SILT FENCE SHOULD BE TURNED UPHILL TO PREVENT SEDIMENT LAZING RUN-OFF FROM FLOWING AROUND THE FENCE.
3. SUFFICIENT AREA SHOULD EXIST BEHIND THE FENCE TO ALLOW FLOWING WITHOUT FLOODING OR OVER TOPPING THE FENCE.
4. SILT FENCES SHALL BE INSPECTED MONTHLY DURING DRY PERIODS. AFTER EACH RAINFALL, REPAIRS SHOULD BE MADE IMMEDIATELY TO ANY DAMAGED PORTION OF THE FENCE. SEDIMENT AND DEBRIS SHOULD BE REMOVED FROM THE UPSTREAM SIDE OF THE FENCE IMMEDIATELY UPON EXPOSURE OF THE FENCE. REPAIRS SHOULD BE MADE IMMEDIATELY UPON EXPOSURE OF THE FENCE.
5. SILT FENCES SHALL NOT BE USED FOR CONCENTRATED FLOW.

GRAVEL BAG BARRIERS

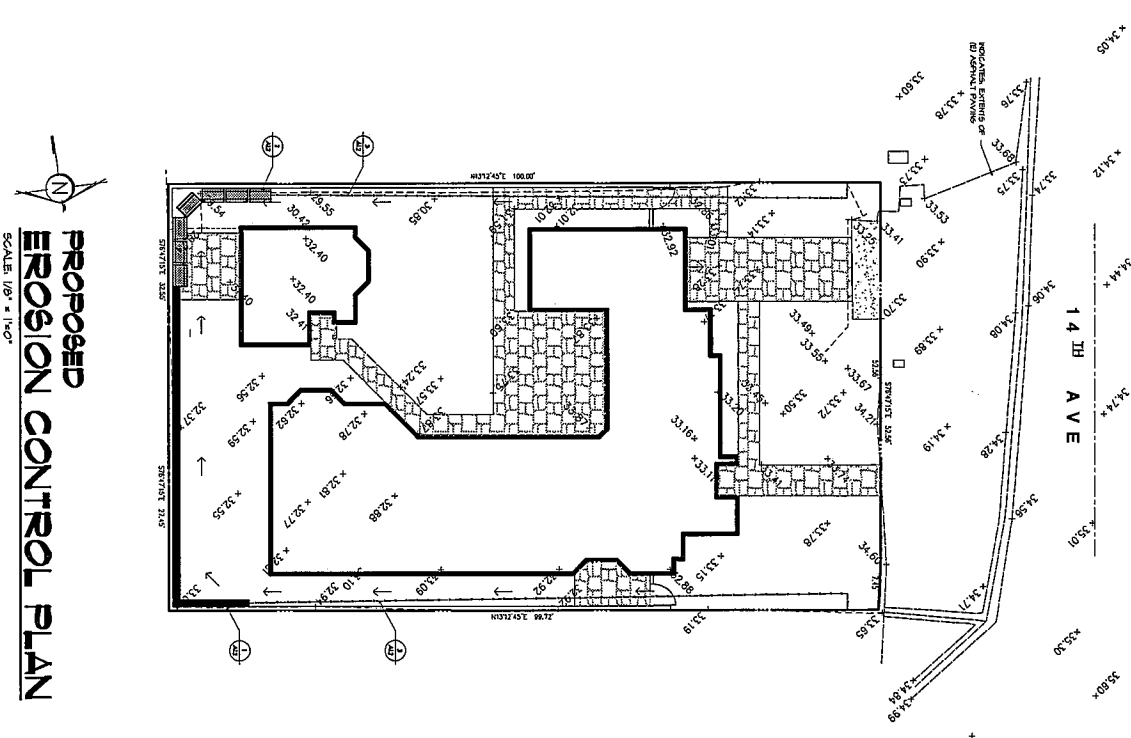
1. GRAVEL BAG BARRIERS SHALL BE INSTALLED AROUND EXISTING AND NEW STORM DRAIN INLETS AS REQUIRED TO PREVENT ANY SEDIMENT FROM ENTERING THE STREET DRAINAGE SYSTEM.
2. GRAVEL BAG BARRIERS SHALL BE INSPECTED MONTHLY DURING DRY PERIODS. AFTER EACH RAINFALL, REPAIRS SHOULD BE MADE IMMEDIATELY TO ANY DAMAGED PORTION OF THE BARRIER. SEDIMENT AND DEBRIS SHOULD BE REMOVED FROM THE PERIPHERY OF THE BAG IMMEDIATELY UPON EXPOSURE OF THE BAG.
3. GRAVEL BAGS SHALL BE INSTALLED ON ALL EXISTING INLETS IN THE PUBLIC RIGHT OF WAY WHICH ARE PROTECTED BY THE PROJECT.

CONSTRUCTION BARRIERS

1. RUN-OFF FROM CONSTRUCTION BARRIERS SHALL BE DIRECTED AWAY FROM THE STREET DRAINAGE SYSTEM.
2. THE ENDS OF THE BARRIER SHOULD BE TURNED UPHILL TO PREVENT SEDIMENT LAZING RUN-OFF FROM FLOWING AROUND THE BARRIER.
3. SUFFICIENT AREA SHOULD EXIST BEHIND THE BARRIER TO ALLOW FLOWING WITHOUT FLOODING OR OVER TOPPING THE BARRIER.
4. CONSTRUCTION BARRIERS SHALL BE INSPECTED MONTHLY DURING DRY PERIODS. AFTER EACH RAINFALL, REPAIRS SHOULD BE MADE IMMEDIATELY TO ANY DAMAGED PORTION OF THE BARRIER. SEDIMENT AND DEBRIS SHOULD BE REMOVED FROM THE UPSTREAM SIDE OF THE BARRIER IMMEDIATELY UPON EXPOSURE OF THE BARRIER.
5. CONSTRUCTION BARRIERS SHALL NOT BE USED FOR CONCENTRATED FLOW.

SCOUR STABILIZATION

1. ALL EXPOSED SCOPES SHOULD IMMEDIATELY BE STABILIZED WITH EROSION CONTROL MEASURES.
2. IMMEDIATELY UPON EXPOSURE OF ANY SCOUR, STABILIZATION SHALL BE INSTALLED IMMEDIATELY UPON EXPOSURE OF THE SCOUR.
3. STABILIZATION SHALL BE INSTALLED IMMEDIATELY UPON EXPOSURE OF THE SCOUR.
4. STABILIZATION SHALL BE INSTALLED IMMEDIATELY UPON EXPOSURE OF THE SCOUR.



JOHN MANDURRAGO
DESIGN STUDIOS
P. O. BOX 77, CORRAL BRIDGE-SOL, CA 93911 831-433-1533

12-16-11
1117
A12

AGGEM RESIDENCE
2748 14TH STREET
CARMEL, CALIFORNIA
APN. # 009-383-005

LEGEND:

---	1" SCH. 40 MAIN LINE	⊗	3/4" HOBBING
P.O.C.	POINT OF CONNECTION	⊕	PAVING LIGHTING
⊕	1 1/2" 3/4" OFF VALVE (BALL VALVE)	⊗	EXISTING TREE TO BE REMOVED
⊗	UPC RC 4000 3/4" BACK FLOOR PREVENTER	⊙	EXISTING TREES TO STAY
⊙	VALVE BOX W/ 3/4" 180°/90° VALVES	⊗	NEW LOG CANOPY TREES

EROSION CONTROL NOTES

AT ALL TIMES THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT SOIL EROSION AND PREVENT ADJACENT LOT'S RUN-OFF FROM ENTERING THE STORM DRAINAGE SYSTEM. ACCEPTABLE TECHNIQUES THAT INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: INSTALLATION OF BARRIERS SUCH AS STRIP BARRIERS, CHECK DAMS, SILT FENCES, GEOTEXTILES, SLOPE PROTECTION, ETC. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL TECHNIQUES IN PLACE AT THE END OF EACH WORKING DAY.

1. SILT FENCES SHALL BE INSTALLED ON LEVEL TERRAINS AND IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION AND SHOULD REMAIN IN PLACE UNTIL THE DISTURBED AREA IS REVEGETATED.
2. THE BODY OF THE SILT FENCE SHOULD BE TYPED UNTIL TO PREVENT SEQUEST LADEN RUN-OFF FROM FLOODING AROUND THE FENCE.
3. PONDING AREAS SHOULD EXIST BEHIND THE FENCE TO ALLOW SEDIMENTATION.
4. SILT FENCES SHALL BE INSPECTED MONTHLY DURING DRY PERIODS. AFTER EACH RAINFALL, REPAIRS SHOULD BE MADE IMMEDIATELY TO ANY DAMAGED PORTION OF THE FENCE. SEDIMENT AND DEBRIS SHOULD BE REMOVED FROM THE UPSTREAM SIDE OF THE FENCE ONCE IT REACHES ONE THIRD OF THE FENCE HEIGHT OR IF HEAVY.
5. SILT FENCES SHALL NOT BE USED FOR CONCENTRATED FLOW.

GENERAL LANDSCAPE NOTES

1. EXISTING PAD AREAS SHALL BE INSTALLED AS SHOWN BEHIND AND NEAR EXISTING DRIVEWAYS AS REQUIRED TO PREVENT ANY EXISTING LOT'S RUN-OFF FROM ENTERING THE STORM DRAINAGE SYSTEM.

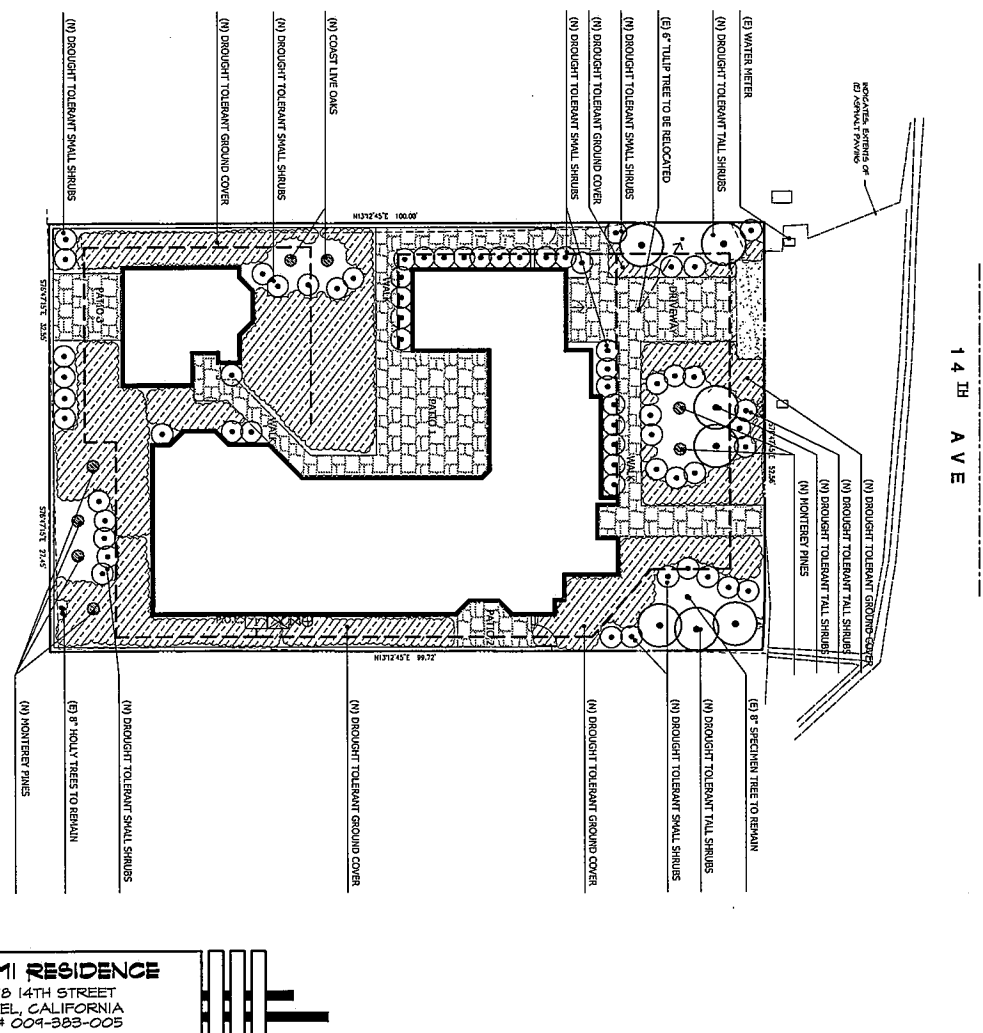
2. GEOTEXTILE BARRIERS SHALL BE INSTALLED MONTHLY DURING DRY PERIODS, WEEKLY DURING THE RAINY SEASON AND IMMEDIATELY REPAIRED AFTER EACH RAINFALL. REPAIRS SHOULD BE MADE IMMEDIATELY TO ANY DAMAGED PORTION OF THE BARRIER. SEDIMENT AND DEBRIS SHOULD BE REMOVED FROM THE UPSTREAM SIDE OF THE BARRIER. BARRIERS SHALL NOT BE USED FOR CONCENTRATED FLOW.

3. THE BODIES OF THE BARRIERS SHOULD BE TYPED UNTIL TO PREVENT SEQUEST LADEN RUN-OFF FROM FLOODING AROUND THE BARRIER.

CONSTRUCTION EROSION CONTROL NOTES

1. RUN-OFF FROM CONSTRUCTION ENTRANCES SHALL BE DIRECTED TO A DRAINAGE SYSTEM OR TO A COLLECTION POINT. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL REMAIN IN PLACE UNTIL THE DISTURBED AREA IS REVEGETATED.

1. FIBER ROLL SHALL BE INSTALLED ON LEVEL TERRAINS AND IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION AND SHOULD REMAIN IN PLACE UNTIL THE DISTURBED AREA IS REVEGETATED.
 2. THE BODIES OF THE FIBER ROLL SHOULD BE TYPED UNTIL TO PREVENT SEQUEST LADEN RUN-OFF FROM FLOODING AROUND THE FIBER ROLL.
 3. FIBER ROLL BARRIERS SHALL BE INSPECTED MONTHLY DURING DRY PERIODS, WEEKLY DURING THE RAINY SEASON AND IMMEDIATELY REPAIRED AFTER EACH RAINFALL. REPAIRS SHOULD BE MADE IMMEDIATELY TO ANY DAMAGED PORTION OF THE ROLL. SEDIMENT AND DEBRIS SHOULD BE REMOVED FROM THE UPSTREAM SIDE OF THE ROLL.
 4. FIBER ROLL SHALL NOT BE USED FOR CONCENTRATED FLOW.
- SOIL STABILIZATION**
1. ALL EXPOSED SOILS SHOULD TEMPORARILY BE STABILIZED WITH A SOIL STABILIZER UNTIL THE DISTURBED AREA IS REVEGETATED.
 2. TEMPORARY SOIL STABILIZATION CAN BE ACHIEVED BY SEEDING, MULCHING AND OR PLACEMENT OF GEOTEXTILES OR MATS.



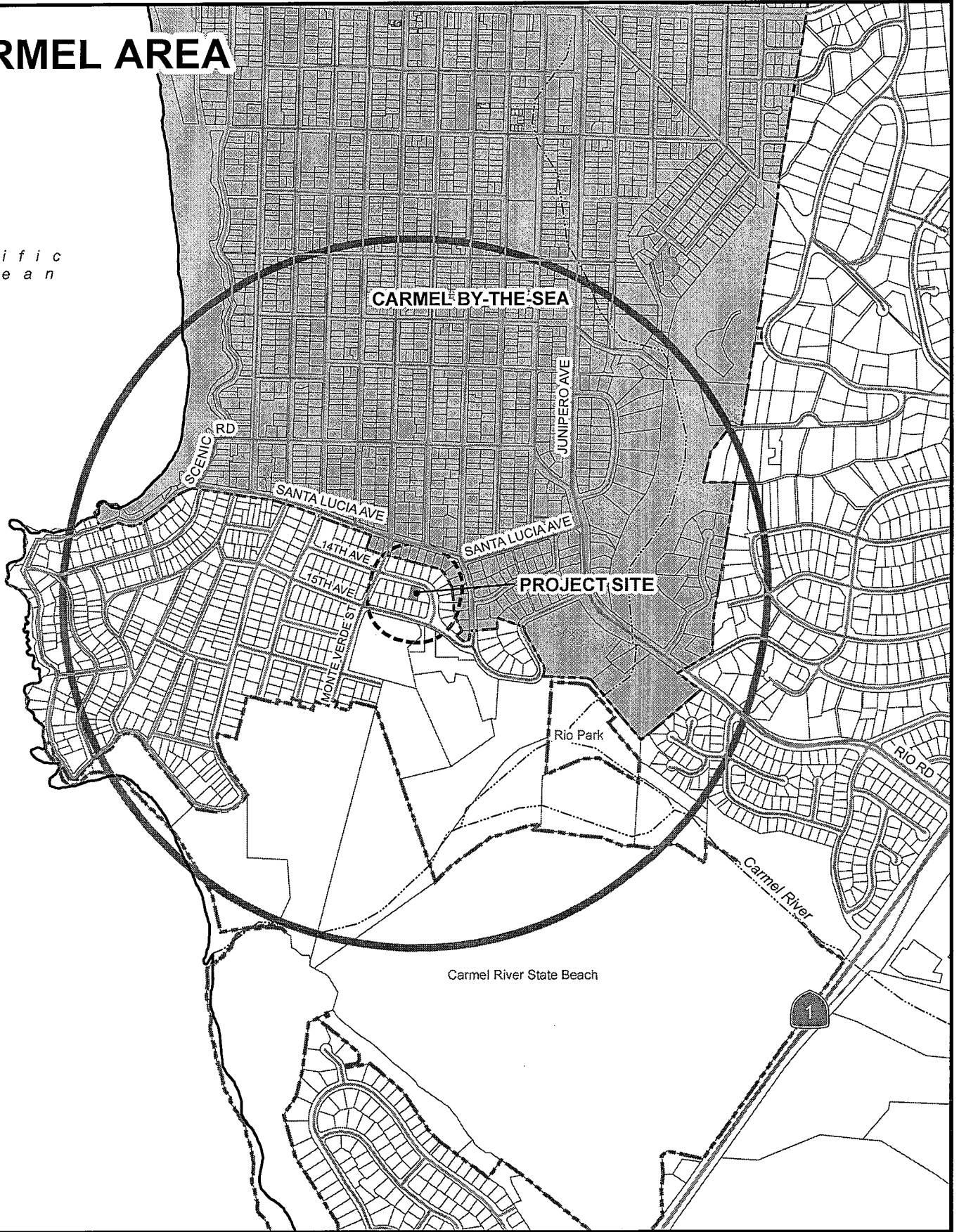
PROPOSED LANDSCAPE PLAN
SCALE: 1/8" = 1'-0"

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CARMEL AREA

Pacific
Ocean

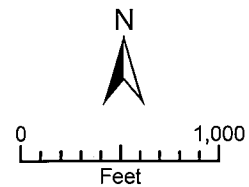


APPLICANT: ASSEMI

APN:009-383-005-000

FILE # PLN110567

Water 2500' Limit 300' Limit City Limits



PLANNER: LISTER

Action by Land Use Advisory Committee Project Referral Sheet

Monterey County Planning Department
168 W Alisal St 2nd Floor
Salinas CA 93901
(831) 755-5025

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FEB 10 2012

Advisory Committee: Carmel Unincorporated/Highlands

**MONTEREY COUNTY
PLANNING & BUILDING
INSPECTION DEPT**

Please submit your recommendations for this application by: **February 6, 2012**

Project Title: ASSEMI CHERYL
File Number: PLN110567
File Type: ZA
Planner: LISTER
Location: 2798 14TH ST CARMEL

Project Description:

Combined Development Permit consisting of: 1) a Coastal Administrative Permit to allow the demolition of an existing 2,731 square foot single family dwelling with an attached 408 square foot garage and the construction of a 2,162 square foot two-story single family dwelling with a 253 square foot attached garage and 260 square foot guesthouse; 2) Coastal Administrative Permit to allow development within 750 feet of a known Archaeological Resource; and 3) Design Approval. Colors and materials consistent of cotton (white) stucco exterior with a spanish moss (brown/green) cabot semi-solid trim, dark bronze aluminum windows, cream veneer stone patio, walkway and driveway areas and natural wood shake roof. The property is located at 2798 14th Street, Carmel (Assessor's Parcel Number 009-383-005-000), Carmel Area Land Use Plan, Coastal Zone.

Was the ~~Owner~~ Applicant/Representative present at meeting? Yes No

Ron Markette (Arch)
Don McBRIDE (Builder)
Mrs. Assemi (home)

Was a County Staff/Representative present at meeting? Craig Spencer (Name)

PUBLIC COMMENT:

Name	Site Neighbor?		Issues / Concerns (suggested changes)
	YES	NO	
x Alfred Saadaf	x		good
Hana Priestly across the street.	x		approves of project. - can the Tulip tree be saved? - possible reduction of front gable height.

LUAC AREAS OF CONCERN

Concerns / Issues (e.g. site layout, neighborhood compatibility; visual impact, etc)	Policy/Ordinance Reference (If Known)	Suggested Changes - to address concerns (e.g. relocate; reduce height; move road access, etc)
Continue Stone that is around front door to cover chimney		
Not enough "off street Parking"		Make driveway wider to fit 2 cars
Too much white on front of house (stucco)		submit a more-off white sample
Save tulip tree		

ADDITIONAL LUAC COMMENTS

RECOMMENDATION :

Motion by: Hall - to approve (LUAC Member's Name)

Second by: Rainer (LUAC Member's Name)

- Support Project as proposed
- Recommend Changes (as noted above)
- Continue the Item

Reason for Continuance: _____

Continued to what date: _____

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FEB 10 2012

MONTEREY COUNTY
PLANNING & BUILDING
INSPECTION DEPT

AYES: Weber, Davis, VALD, Mehen, Hirst, Jeschick, Hall, Rainer

NOES: None

ABSENT: None

ABSTAIN: None