

MONTEREY COUNTY ZONING ADMINISTRATOR

Meeting: March 29, 2012		Time: 1:30 PM		Agenda Item No.: 1	
Project Description: Combined Development Permit consisting of: 1) a Coastal Administrative Permit and Design Approval for a remodel and 1,611 square foot addition to an existing 4,316 square foot single family dwelling and the remodel and addition to an existing 912 square foot one-story detached garage to include a 722 square foot expansion to the first floor to create an attached garage; 2) a Coastal Development Permit to allow for a 783 square foot caretaker unit as a second floor addition to the garage (grading to consist of 10 cubic yards of fill); and 3) Variance to increase structural coverage from 5,257 square feet to 7,590 square feet and reduce impervious surface coverage from 5,314 square feet to 601 square feet. Overall lot coverage is to be decreased from 10,571 square feet to 8,191 square feet.					
Project Location: 1415 Lisbon Ln, Pebble Beach			APN: 008-231-012-000		
Planning File Number: PLN110605			Owner: Aldrich, Richard d & Joan B TRS		
			Agent: IDG – Anatoly Ostretsov		
Planning Area: Del Monte Forest (Coastal)			Flagged and staked: Yes		
Zoning Designation: : LDR/1.5-D (CZ) [Low Density Residential, 1.5 acres per unit with Design Control Overlay(Coastal Zone)]					
CEQA Action: Categorically Exempt per Section 15301(e)(1)					
Department: RMA - Planning Department					

RECOMMENDATION:

Staff recommends that the Zoning Administrator adopt a resolution (**Exhibit C**) to:

- 1) Find the project CEQA Exempt per Section 15301(e)(1); and
- 2) Approve PLN110605, based on the findings and evidence and subject to the conditions of approval (**Exhibit C**);

PROJECT OVERVIEW:

The proposed project is to allow a remodel and 1,611 square foot addition to an existing 4,316 square foot single family dwelling, and the remodel and addition to an existing 912 square foot one-story detached garage to include a 722 square foot expansion to the first floor and a 783 square foot caretaker unit as a second floor addition to the garage. When completed, the garage/caretaker unit and single family dwelling will become connected structures, thereby allowing the caretaker unit the same maximum height (30') as the single family dwelling. The project will result in an increase in structural coverage from 5,257 square feet to 7,590 square feet, while reducing impervious surface coverage from 5,314 square feet to 601 square feet. Overall lot coverage is to be decreased from 10,571 square feet to 8,191 square feet. The reduction in impervious surface coverage will be achieved by the removal of concrete in parking areas to be replaced with permeable material (Eco-Stone® permeable pavement and white pea gravel).

OTHER AGENCY INVOLVEMENT: The following agencies and departments reviewed this project:

- RMA - Public Works Department
- Environmental Health Bureau
- √ Water Resources Agency
- √ Pebble Beach Community Services District (Fire)
- California Coastal Commission

Agencies that submitted comments are noted with a check mark ("√"). Conditions recommended by the Water Resources Agency and Pebble Beach Community Services District have been incorporated into the Condition Compliance/Mitigation Monitoring and Reporting Plan attached to the draft resolution (**Exhibit C**).

The project was reviewed by the Del Monte Forest Land Use Advisory Committee on February 2, 2012. The Committee recommended Approval of the project as proposed by a vote of 7-0.

Note: The decision on this project is appealable to the Board of Supervisors.



Steve Mason, Assistant Planner
(831) 755-5228, masons@co.monterey.ca.us
March 9, 2012

cc: Front Counter Copy; Zoning Administrator; Pebble Beach Community Services District; Public Works Department; Environmental Health Bureau; Water Resources Agency; California Coastal Commission; Laura Lawrence, Planning Services Manager; Steve Mason, Project Planner; Carol Allen, Senior Secretary; Richard Aldrich, Owner; Anatoly Ostretsov, Agent; The Open Monterey Project; LandWatch; Planning File PLN110605

Attachments: Exhibit A Project Data Sheet
Exhibit B Project Discussion
Exhibit C Draft Resolution, including:
• Conditions of Approval
• Site Plan, Floor Plan and Elevations,
Exhibit D Vicinity Map
Exhibit E Advisory Committee Minutes (Del Monte Forest LUAC)
Exhibit F Justification Letters (Caretaker Unit & Variance)

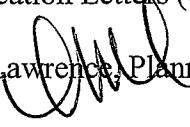
This report was reviewed by Laura Lawrence, Planning Services Manager


EXHIBIT A

Project Information for PLN110605

Project Information:

Project Name:	ALDRICH RICHARD D & JOAN B TRS		
Location:	1415 LISBON LN PEBBLE BEACH		
Permit Type:	Combined Development Permit		
Environmental Status:	Exempt	Final Action Deadline (884):	4/18/2012
Existing Structures (sf):	5237	Coverage Allowed:	9,000 SF
Proposed Structures (sf):	7590	Coverage Proposed:	8,191 SF
Total Sq. Ft.:	7590	Height Allowed:	30'
Tree Removal:	n/a	Height Proposed:	25'-7"
Water Source:	Public	FAR Allowed:	17.5%
Water Purveyor:	Cal-Am	FAR Proposed:	15.4%
Sewage Disposal (method):	Public Sewer	Lot Size:	1.26
Sewer District:	PBCSD	Grading (cubic yds.):	10

Parcel Information:

Primary APN:	008-231-012-000	Seismic Hazard Zone:	I, UNDETERMINED
Applicable Plan:	Del Monte Forest LUP	Erosion Hazard Zone:	Moderate
Advisory Committee:	Del Monte Forest Advisory Committee	Fire Hazard Zone:	Very High
Zoning:	LDR/1.5-D(CZ)	Flood Hazard Zone:	No FEMA rating
Land Use Designation:	Residential 1U/1.5 acre	Archaeological Sensitivity:	Moderate
Coastal Zone:	Del Monte Forest	Viewshed:	No
Fire District:	Pebble Beach CSD	Special Setbacks on Parcel:	No

Reports on Project Parcel:

Soils Report #:	n/a
Biological Report #:	n/a
Geologic Report #:	n/a
Forest Management Rpt. #:	n/a
Archaeological Report #:	LIB120002
Traffic Report #:	n/a

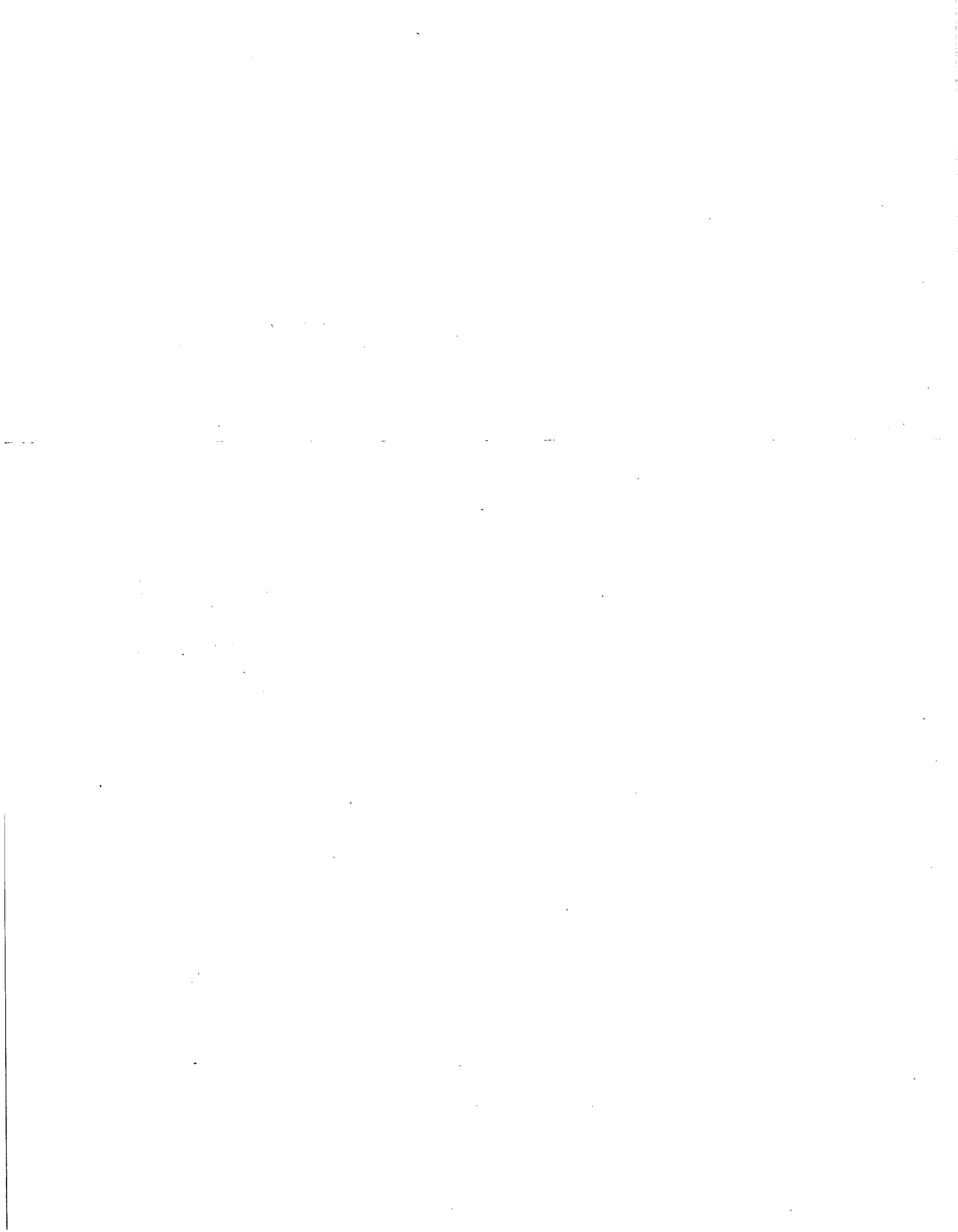


EXHIBIT B DISCUSSION

Project Description

Combined Development Permit consisting of: 1) a Coastal Administrative Permit and Design Approval for a remodel and 1,611 square foot addition to an existing 4,316 square foot single family dwelling and the remodel and addition to an existing 912 square foot one-story detached garage to include a 722 square foot expansion to the first floor to create an attached garage; 2) a Coastal Development Permit to allow for a 783 square foot caretaker unit as a second floor addition to the garage (grading to consist of 10 cubic yards of fill); and 3) Variance to increase structural coverage from 5,257 square feet to 7,590 square feet and reduce impervious surface coverage from 5,314 square feet to 601 square feet. Overall lot coverage is to be decreased from 10,571 square feet to 8,191 square feet.

Project Issues

Variance for coverage: The Applicant's project, as proposed, would result in 8,191 square feet of site coverage (7,590 square feet of structural and 601 square feet of non-structural impervious surface). This would be an overall net reduction from the existing coverage of 10,571 square feet (5,257 square feet of structural coverage and 5,314 square feet of other impervious coverage). However, the proposed 7,590 square feet of structural coverage is in excess of the currently allowed 5,000 square feet of structural coverage according to Section 20.147.030.A.1.b of the Del Monte Forest Coastal Implementation Plan. The project application includes a Variance request to address this structural coverage issue. Other property owners in the vicinity and under identical zoning classification have been afforded the same privilege sought by the property owner of this application: 1) PLN980384 (Rachleff) approved a variance "to exceed the structure and impervious coverage limitation in the Pescadero Watershed," 2) PLN020361 (Griggs) approved a variance "to exceed the 5,000 square foot structural and 4,000 square foot non-structural Pescadero Watershed impervious surface limit," and 3) PLN020373 (Lintz) approved a variance "to exceed the 5,000 square feet structural coverage limit for the Pescadero Watershed." All three of these aforementioned project sites are located within 1 mile of the Aldrich project site, and similar to these projects, the subject project proposes to exceed the 5,000 square foot limitation on structural coverage. Removed concrete in parking areas will be replaced with permeable material (Eco-Stone® permeable pavement and white pea gravel).

Caretaker Unit: The Applicants are requesting the caretaker unit in order to provide "full-time Caretakers to maintain the property and the various buildings/structures on site." The proposed caretaker unit will be the only such unit on the lot, and will be 783 square feet in size, which meets the requirements of such units according to Monterey County Coastal Zoning Code section 20.64.030.C. Upon completion of the project, the garage/caretaker unit and single family dwelling will become connected structures, thereby allowing the caretaker unit the same maximum height (30') as the single family dwelling.

Design Review: The project site is located within a Design Control-zoned district, and, as such, requires review by the Del Monte Forest Land Use Advisory Committee for appropriateness of design, color, etc, as it applies to the "neighborhood character." Said review was conducted on February 2, 2012, at which time the Committee gave its unanimous support for the project by a 7-0 vote. Staff has also concluded, by way of site visit, that the proposed project is in keeping with the context of the overall neighborhood design. The colors and materials, consisting of off-white stucco walls, blue trim, and grey composite roofing shingles, will match those of the existing single family dwelling and detached garage. Additionally, the project area is largely

screened from public viewing by existing vegetation which fronts both Lisbon Lane and Cortez Road.

Environmental Review

The project is categorically Exempt per Section 15301(e)(1) of the CEQA Guidelines, which categorically exempts additions to existing structures provided that the addition will not result in an increase of more than 50 percent of the floor area of the structures before the addition or 2,500 square feet, whichever is less. The project proposes an addition of 2,333 square feet to existing 5,257 square foot structures, which will result in a 44 percent increase in floor area. Additionally, the project does not fall under any of the criteria which might preclude "Exempt" status, pursuant to CEQA 15300.2 ("Exceptions"): The project will not create an impact within a particularly sensitive environment, will not have a significant cumulative impact or effect on the environment, is not located on a registered Hazardous Waste Site, and will not result in damage to scenic or historic resources.

Recommendation

Staff is recommending Approval of the project as proposed.

**EXHIBIT C
DRAFT RESOLUTION**

**Before the Zoning Administrator in and for the
County of Monterey, State of California**

In the matter of the application of:

Aldrich (PLN110605)

RESOLUTION NO. [REDACTED]

Resolution by the Monterey County Zoning
Administrator:

- 1) Finding the project CEQA Exempt per Section 15301(e)(1); and
- 2) Approving a Combined Development Permit consisting of: 1) a Coastal Administrative Permit and Design Approval for a remodel and 1,611 square foot addition to an existing 4,316 square foot single family dwelling and the remodel and addition to an existing 912 square foot one-story detached garage to include a 722 square foot expansion to the first floor to create an attached garage; 2) a Coastal Development Permit to allow for a 783 square foot caretaker unit as a second floor addition to the garage (grading to consist of 10 cubic yards of fill); and 3) Variance to increase structural coverage from 5,257 square feet to 7,590 square feet and reduce impervious surface coverage from 5,314 square feet to 601 square feet. Overall lot coverage is to be decreased from 10,571 square feet to 8,191 square feet. ;

[PLN110605, Aldrich, 1415 Lisbon Lane, Pebble Beach, Del Monte Forest Land Use Plan Area (APN: 008-231-012-000)]

The Aldrich application (PLN110605) came on for public hearing before the Monterey County Zoning Administrator on March 29, 2012. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 1982 Monterey County General Plan;

- Del Monte Forest Area Land Use Plan;
- Monterey County Coastal Implementation Plan Part 5;
- Monterey County Zoning Ordinance (Title 20);

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents

- b) The property is located at 1415 Lisbon Lane, Pebble Beach (Assessor's Parcel Number 008-231-012-000), Del Monte Forest Area Land Use Plan. The parcel is zoned LDR/1.5-D(CZ) [Low Density Residential/1.5 acre minimum building site – Design Review overlay (Coastal Zone)], which allows a caretaker unit and an addition to a single family dwelling with an approved Coastal Administrative Permit, Coastal Development Permit and Design Approval. Therefore, the project is an allowed land use for this site.
- c) The project site is located within a 'D', or Design Control-zoned district, and, as such, requires review by the Del Monte Forest Land Use Advisory Committee for appropriateness of design, color, etc, as it applies to the "neighborhood character". Said review was conducted on February 2, 2012, at which time the Committee gave its unanimous support for the project by a 7-0 vote. The colors and materials, consisting of off-white stucco walls, blue trim, and grey composite roofing shingles, will match those of the existing single family dwelling and detached garage.
- d) Upon completion of the project, the garage/caretaker unit and single family dwelling will become connected structures, thereby allowing the caretaker unit the same maximum height (30') as the single family dwelling.
- e) The project planner conducted a site inspection on December 15, 2011 to verify that the project on the subject parcel conforms to the plans listed above.
- f) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN110605.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: RMA - Planning Department, Pebble Beach Community Services District, Public Works, Environmental Health Bureau, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
 - b) Although the site is not located within 750' of a known Archaeological Resource, staff identified potential impacts due to the project site's designation as "moderate" archaeological sensitivity according to County GIS references. Technical reports by outside consultants indicated that there are no physical or environmental constraints that

would indicate that the site is not suitable for the use proposed. County staff independently reviewed these reports and concurs with their conclusions. The following reports have been prepared:

- "Preliminary Archaeological Assessment of Assessor's Parcel 008-231-012, Pebble Beach, Monterey County, California," (LIB120002), prepared by Mary Doane, B.A., and Gary Breschini, Ph.D, Salinas, CA, December 29, 2011.
- c) Staff conducted a site inspection on December 15, 2011 to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN110605.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by RMA - Planning Department, Pebble Beach Community Services District, Public Works, Environmental Health Bureau, and Water Resources Agency. The respective departments/agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities are available. Water is provided by the Cal-Am Water Company and sewer services provided by Pebble Beach Community Services District.
 - c) Preceding findings and supporting evidence for PLN110605.

4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County RMA - Planning Department and Building Services Department records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on December 15, 2011 and researched County records to assess if any violation exists on the subject property.
 - c) There are no known violations on the subject parcel.
 - d) The existing single family dwelling at the site was constructed in 1974, prior to the implementation of the Monterey County Coastal Implementation Plan Part 5 and related 5,000 square foot maximum structural coverage requirement. (Chapter 20.147). No violations exist

on the property.

- e) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN110605.

5. **FINDING:** **CEQA (Exempt):** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15301(e)(1) categorically exempts additions to existing structures provided that the addition will not result in an increase of more than 50 percent of the floor area of the structures before the addition or 2,500 square feet, whichever is less.
 - b) The project proposes an addition of 2,333 square feet to two existing 5,257 square foot structures (44 percent increase in floor area).
 - c) No adverse environmental effects were identified during staff review of the development application during a site visit on December 15, 2011.
 - d) The project does not fall under any of the criteria which might preclude "Exempt" status, pursuant to CEQA 15300.2 ("Exceptions"); The project will not create an impact within a particularly sensitive environment, will not have a significant cumulative impact or effect on the environment, is not located on a registered Hazardous Waste Site, and will not result in damage to scenic or historic resources.

6. **FINDING:** **CARETAKER UNIT** – The subject project meets the regulations, standards and circumstances for caretaker units in accordance with the applicable goals, policies, and regulations of the applicable area plan and zoning codes.

- EVIDENCE:**
- a) That the establishment of the caretaker unit will not, under the circumstances of the particular application, be detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood or to the general welfare of the County (see Finding 3).
 - b) The subject property upon which the caretaker unit is to be built is in compliance with all rules and regulations pertaining to zoning uses, subdivisions and any other applicable provisions of this Title. The proposed caretaker unit will be the only such unit on the lot, and shall be 783 square feet in size, which meets the requirements of such units according to Monterey County Coastal Zoning Code section 20.64.030.C.
 - c) Upon completion of the project, the garage/caretaker unit and single family dwelling will become connected structures, thereby allowing the caretaker unit the same maximum height (30') as the single family dwelling.
 - d) That adequate sewage disposal and water supply facilities exist or are readily available, as approved by the Director of Environmental Health
 - e) That the proposed caretaker unit will not adversely impact traffic conditions in the area.
 - f) The application, plans and supporting materials submitted by the project

applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN110605.

- g) The Applicants are requesting the caretaker unit in order to provide “full-time Caretakers to maintain the property and the various buildings/structures on site” according to their Justification Letter (**Exhibit F**).
- h) Pursuant to Monterey County Code Section 20.64.030.I, “Caretaker units shall be subject to the overall buildout in Del Monte Forest as defined by Table A in the Del Monte Forest Land Use Plan.” As of January 2011, 778 of the 1,067 new residential dwellings allotted for buildout maximum remain available. Therefore, staff has determined that adequate density exists in this area of the Del Monte Forest.
- i) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN110605.

7. **FINDING:** **SITE COVERAGE (DEL MONTE FOREST WATERSHEDS) –**
The project limits structural and impervious surface coverage in order to reduce runoff within the Pescadero, Seal Rock Creek, and Sawmill Gulch Watersheds and some smaller unnamed watersheds that drain into the Carmel Bay Area of Special Biological Significance (ASBS).

- EVIDENCE:**
- a) The Del Monte Forest Coastal Implementation Plan –Part 5 limits development of parcels within the Pescadero Watershed to a maximum site coverage of 9,000 square feet. Pursuant to Section 20.147.030.A.1.b of the Del Monte Forest Coastal Implementation Plan - Part 5, structural coverage is limited 5,000 square feet, including main and accessory structures. Separately, additional impervious surfaces (less than 40% water pass through) are limited to 4,000 square feet.
 - b) The Applicant’s project, as proposed, would result in 8,191 square feet of impervious site coverage (7,590 square feet of structural and 601 square feet of other impervious surface). This would be an overall net reduction from the existing impervious coverage of 10,571 square feet (5,257 square feet of structural coverage and 5,314 square feet of other impervious coverage).
 - c) Only that amount of site disturbance (i.e. grading, clearing of vegetation) necessary for the project footprint, adequate driveway and any required landscaping shall be allowed for project construction.
 - d) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN110605.

8. **FINDING:** **VARIANCE –** Variances shall only be granted based upon the following Findings:
1. That because of special circumstances applicable to the subject property, including the size, shape, topography, location or surroundings, the strict application of development standards in the Monterey County Codes is found to deprive the subject property of privileges enjoyed by other properties in the vicinity under and

under identical zoning classification;

2. That the variance shall not constitute a grant of privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such property is situated;
3. A Variance shall not be granted for a use or activity which is not otherwise expressly authorized by the zone regulation governing the parcel of property.

- EVIDENCE:**
- a) The Applicant is requesting a variance to allow structural coverage of 7,590 square feet, 2,590 square feet in excess of the 5,000 square feet allowed pursuant to Section 20.147.030.A.1.b of the Del Monte Forest Coastal Implementation Plan. Overall impervious site coverage will be reduced by 2,380 feet as a result of the project, from 10,571 square feet to 8,191 square feet, through the removal of concrete in parking areas to be replaced with permeable material (Eco-Stone® permeable pavement and white pea gravel).
 - b) Other property owners in the vicinity and under identical zoning classification have been afforded the same privilege sought by the property owner of this application: 1) PLN980384 (Rachleff) approved a variance “to exceed the structure and impervious coverage limitation in the Pescadero Watershed,” 2) PLN020361 (Griggs) approved a variance “to exceed the 5,000 square foot structural and 4,000 square foot non-structural Pescadero Watershed impervious surface limit,” and 3) PLN020373 (Lintz) approved a variance “to exceed the 5,000 square feet structural coverage limit for the Pescadero Watershed.” All three of these aforementioned project sites are located within 1 mile of the Aldrich project site, and similar to these projects, the subject project proposes to exceed the 5,000 square foot limitation on structural coverage. As such, a privilege is not being granted to the Applicant which is inconsistent with other properties in the vicinity.
 - c) The project planner conducted a site inspection on December 15, 2011 to verify the circumstances related to the property.
 - d) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN110605.
 - e) The property has a zoning designation of LDR/1.5-D (CZ) [Low Density Residential, 1.5 acres per unit with Design Control Overlay (Coastal Zone)].
 - f) A caretaker unit and an addition to a single family dwelling with an approved Coastal Development Permit and Design Approval is allowed in the LDR zone (Section 20.14.050.I MCC). Development standards for the LDR zone are identified in Section 21.14.060 MCC.

9. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission
- EVIDENCE:**
- a) Section 20.86.070 (Action by the Board of Supervisors on Appeal) and 20.86.080.A.3 (Development Appealable to the California Coastal Commission – “Conditional Use”) Monterey County Zoning Ordinance.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

1. Find the project CEQA Exempt per Section 15301(e)(1) and;
2. Approve a Combined Development Permit consisting of: 1) a Coastal Administrative Permit and Design Approval for a remodel and 1,611 square foot addition to an existing 4,316 square foot single family dwelling and the remodel and addition to an existing 912 square foot one-story detached garage to include a 722 square foot expansion to the first floor to create an attached garage; 2) a Coastal Development Permit to allow for a 783 square foot caretaker unit as a second floor addition to the garage (grading to consist of 10 cubic yards of fill); and 3) Variance to increase structural coverage from 5,257 square feet to 7,590 square feet and reduce impervious surface coverage from 5,314 square feet to 601 square feet. Overall lot coverage is to be decreased from 10,571 square feet to 8,191 square feet; in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 29th day of March, 2012.

Jacqueline Onciano, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE DATE

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning Department and Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Monterey County Planning Department

DRAFT Conditions of Approval/Mitigation Monitoring Reporting Plan

PLN110605

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file:

Combined Development Permit consisting of: 1) a Coastal Administrative Permit and Design Approval for a remodel and 1,611 square foot addition to an existing 4,316 square foot single family dwelling and the remodel and addition to an existing 912 square foot one-story detached garage to include a 722 square foot expansion to the first floor to create an attached garage; 2) a Coastal Development Permit to allow for a 783 square foot caretaker unit as a second floor addition to the garage (grading to consist of 10 cubic yards of fill); and 3) Variance to increase structural coverage from 5,257 square feet to 7,590 square feet and reduce impervious surface coverage from 5,314 square feet to 601 square feet. Overall lot coverage is to be decreased from 10,571 square feet to 8,191 square feet.

Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of the RMA - Planning Department. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning Department)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice to contain the Resolution Number, Name of Hearing Body (Zoning Administrator), Assessor's Parcel Number (008-231-012-000), Date the permit was approved (March 29, 2012), and the statements "The permit was granted subject to 17 conditions of approval which run with the land" and "A copy of the permit is on file with the Monterey County RMA - Planning Department."
Proof of recordation of this notice shall be furnished to the Director of the RMA - Planning Department prior to issuance of building permits or commencement of the use.
(RMA - Planning Department)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits or commencement of use, the Owner/Applicant shall provide proof of recordation of this notice to the RMA - Planning Department.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. The Monterey County RMA - Planning Department and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(RMA - Planning Department)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis. Stop work within 50 meters (165 feet) of uncovered resource and contact the Monterey County RMA - Planning Department and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD011 : TREE AND ROOT PROTECTION

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: Trees which are located close to the construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by a certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of the RMA - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by a certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (RMA - Planning Department)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and/or building permits - Submit evidence of tree protection to the RMA - Planning Department for review and approval.

During Construction - Submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection - Submit photos of the trees on the property to the RMA - Planning Department after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

5. PD014(A) , LIGHTING EXTERIOR LIGHTING PLAN

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The applicant shall submit 3 copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations, Title 24, Part 6. The exterior lighting plan shall be subject to approval by the Director of the RMA - Planning Department, prior to the issuance of building permits. (RMA - Planning Department)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits - Submit three copies of the lighting plans to the RMA - Planning Department for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to Occupancy/ Ongoing - The lighting shall be installed and maintained in accordance with the approved plan.

6. PD012(D) - LANDSCAPE PLAN AND MAINTENANCE - MONTEREY PENINSULA WATER MANAGEMENT DISTRICT (SINGL

Responsible Department: Planning Department

**Condition/Mitigation
Monitoring Measure:**

The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of the RMA - Planning Department. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County RMA - Planning Department. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (RMA - Planning Department)

**Compliance or
Monitoring
Action to be Performed:**

Prior to issuance of Building Permits - Submit landscape plans and contractor's estimate to the RMA - Planning Department for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to issuance of Building Permits - Submit one (1) set landscape plans of approved by the RMA - Planning Department, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey County Water Resources Agency for review and approval.

Prior to issuance of Building Permits - Submit the RMA - Planning Department approved landscape plans, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey Peninsula Water Management District for review and approval.

Prior to issuance of Building Permits - Submit an approved water permit from the MPWMD to the RMA - Building Permit

Prior to Occupancy - Landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County RMA - Planning Department.

Ongoing - All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

7. FIRE007 - DRIVEWAYS

Responsible Department: Fire

**Condition/Mitigation
Monitoring Measure:**

Driveways shall not be less than 12 feet wide unobstructed, with an unobstructed vertical clearance of not less than 15 feet. The grade for all driveways shall not exceed 15 percent. Where the grade exceeds 8 percent, a minimum structural roadway surface of 0.17 feet of asphaltic concrete on 0.34 feet of aggregate base shall be required. The driveway surface shall be capable of supporting the imposed load of fire apparatus (22 tons), and be accessible by conventional-drive vehicles, including sedans. For driveways with turns 90 degrees and less, the minimum horizontal inside radius of curvature shall be 25 feet. For driveways with turns greater than 90 degrees, the minimum horizontal inside radius curvature shall be 28 feet. For all driveway turns, an additional surface of 4 feet shall be added. All driveways exceeding 150 feet in length, but less than 800 feet in length, shall provide a turnout near the midpoint of the driveway. Where the driveway exceeds 800 feet, turnouts shall be provided at no greater than 400-foot intervals. Turnouts shall be a minimum of 12 feet wide and 30 feet long with a minimum of 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall be located within 50 feet of the primary building. The minimum turning radius for a turnaround shall be 40 feet from the center line of the driveway. If a hammerhead/T is used, the top of the "T" shall be a minimum of 60 feet in length. (Pebble Beach Community Services District)

**Compliance or
Monitoring
Action to be Performed:**

1. Prior to issuance of grading and/or building permits, the applicant or owner shall incorporate the specification of the driveway into design and print the text of this condition as "Fire Dept. Notes" on plans.
2. Prior to requesting a final building inspection, the applicant or owner shall complete the installation of driveway improvements and obtain fire department approval the final fire inspection.

8. FIRE008 - GATES

Responsible Department: Fire

**Condition/Mitigation
Monitoring Measure:**

All gates providing access from a road to a driveway shall be located at least 30 feet from the roadway and shall open to allow a vehicle to stop without obstructing traffic on the road. Gate entrances shall be at least the width of the traffic lane but in no case less than 12 feet wide. Where a one-way road with a single traffic lane provides access to a gated entrance, a 40-foot turning radius shall be used. Where gates are to be locked, the installation of a key box or other acceptable means for immediate access by emergency equipment may be required. (Pebble Beach Community Services District)

**Compliance or
Monitoring
Action to be Performed:**

1. Prior to issuance of grading and/or building permits, the applicant or owner shall incorporate the specification of the entry gate into design and print the text of this condition as "Fire Dept. Notes" on plans.
2. Prior to requesting a final building inspection, the applicant or owner shall complete the installation of the entry gate and obtain fire department approval the final fire inspection.

9. FIRE011 - ADDRESSES FOR BUILDINGS

Responsible Department: Fire

Condition/Mitigation Monitoring Measure: All buildings shall be issued an address in accordance with Monterey County Ordinance No. 1241. Each occupancy, except accessory buildings, shall have its own permanently posted address. When multiple occupancies exist within a single building, each individual occupancy shall be separately identified by its own address. Letters, numbers and symbols for addresses shall be a minimum of 4-inch height, 1/2-inch stroke, contrasting with the background color of the sign, and shall be Arabic. The sign and numbers shall be reflective and made of a noncombustible material. Address signs shall be placed at each driveway entrance and at each driveway split. Address signs shall be visible and legible from both directions of travel along the road. In all cases, the address shall be posted at the beginning of construction and shall be maintained thereafter. Address signs along one-way roads shall be visible from both directions of travel. Where multiple addresses are required at a single driveway, they shall be mounted on a single sign. Where a roadway provides access solely to a single commercial occupancy, the address sign shall be placed at the nearest road intersection providing access to that site. Permanent address numbers shall be posted prior to requesting final clearance. (Pebble Beach Community Services District)

Compliance or Monitoring Action to be Performed:

1. Prior to issuance of building permit, the applicant or owner shall incorporate specification into design and print the text of this condition as "Fire Dept. Notes" on plans.
2. Prior to requesting a final building inspection, the applicant or owner shall install the required address signage and shall obtain fire department approval of the fire department final inspection.

10. FIRE019 - DEFENSIBLE SPACE REQUIREMENTS - (STANDARD)

Responsible Department: Fire

Condition/Mitigation Monitoring Measure: Manage combustible vegetation from within a minimum of 100 feet of structures, or to the property line, whichever is closer. Trim tree limbs to a minimum height of 6 feet from the ground. Remove tree limbs from within 10 feet of chimneys. Additional and/or alternate fire protection or firebreaks approved by the fire authority may be required to provide reasonable fire safety. Environmentally sensitive areas may require alternative fire protection, to be determined by Reviewing Authority and the Director of Planning and Building Inspection. (Pebble Beach Community Services District)

Compliance or Monitoring Action to be Performed:

1. Prior to issuance of grading and/or building permit, the applicant or owner shall incorporate specification into design and print the text of this condition as "Fire Dept. Notes" on construction plans.
2. Prior to requesting a final building inspection, the applicant or owner shall complete the vegetation management and shall obtain fire department approval of the final fire inspection.

11. FIRE021 - FIRE PROTECTION- SPRINKLER SYSTEM (STANDARD)

Responsible Department: Fire

Condition/Mitigation Monitoring Measure: The building(s) and attached garage(s) shall be fully protected with automatic fire sprinkler system(s). Installation shall be in accordance with the applicable NFPA standard. A minimum of four (4) sets of plans for fire sprinkler systems must be submitted by a California licensed C-16 contractor and approved prior to installation. This requirement is not intended to delay issuance of a building permit. A rough sprinkler inspection must be scheduled by the installing contractor and completed prior to requesting a framing inspection. (Pebble Beach Community Services District)

Compliance or Monitoring Action to be Performed:

1. Prior to issuance of grading and/or building permit, the applicant or owner shall print the text of this condition as "Fire Dept. Notes" on construction plans.
2. Prior to requesting a framing inspection, the applicant or owner shall obtain fire department approval of the rough sprinkler inspection.
3. Prior to requesting a final building inspection, the applicant or owner shall complete the installation of the fire sprinkler system and obtain fire department approval of the final fire sprinkler inspection.

12. FIRE029 - ROOF CONSTRUCTION - (CYPRESS/PEBBLE BEACH)

Responsible Department: Fire

Condition/Mitigation Monitoring Measure: All new structures, and all existing structures receiving new roofing over 25 percent or more of the existing roof surface within a one-year period, shall require a minimum of ICBO Class A roof construction. (Pebble Beach Community Services District)

Compliance or Monitoring Action to be Performed:

1. Prior to issuance of building permit, the applicant or owner shall print the text of this condition as "Fire Dept. Notes" on construction plans.

13. FIRE030 - OTHER NON-STANDARD CONDITIONS , SOLAR

Responsible Department: Fire

Condition/Mitigation Monitoring Measure: FIRE030 - SOLAR (NON-STANDARD CONDITION)
Installation shall be in accordance with California State Guidelines and a minimum of 1 set of plans will be submitted to the Fire Department by a California licensed C-46 Solar contractor and approved prior to installation. Solar sheet will be obtained from the Fire Department, filled out and submitted to the Fire Department. (Pebble Beach Community Services District)

Compliance or Monitoring Action to be Performed:

1. Prior to issuance of a building permit, the applicant or owner shall enumerate as "Fire Dept. Notes" on plans.
2. Prior to final building inspection, the applicant or owner shall schedule Fire Department clearance inspection.

14. WR049 - WATER AVAILABILITY CERTIFICATION

Responsible Department: Water Resources Agency

Condition/Mitigation Monitoring Measure: The applicant shall provide the Monterey County Water Resources Agency proof of water availability in the form of a complete Monterey Peninsula Water Management District Water Release Form. (Water Resources Agency)

Compliance or Monitoring Action to be Performed: Prior to issuance of any construction permit, the owner/applicant shall submit a Water Release Form to the Water Resources Agency for review and approval.

A copy of the Water Release Form can be obtained at the Monterey Peninsula Water Management District, the Water Resources Agency, or online at:
www.mcwra.co.monterey.ca.us.

15. PD018 B , DEED RESTRICTION CARETAKER UNIT (COASTAL)

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: The applicant shall record a deed restriction stating the regulations applicable to a caretaker unit as follows:

- Only one caretaker unit per lot shall be allowed.
- The caretaker shall be employed principally on the lot for purposes of care and protection of persons, plants, animals, equipment, or other facilities on-site or on contiguous lots under same ownership.
- The minimum lot size for establishment of a caretaker unit in areas not served by sewers shall be two acres. The minimum lot size for establishment of a caretaker unit in the Carmel Planning Area shall be 40 acres.
- Caretaker units shall not be subject to density requirements of the zoning district in which the lot is located, except in North County. In North County, caretakers units shall not be permitted on lots less than 5 acres if located in an area not served by public sewer systems.
- The maximum floor area for a caretaker unit is 850 square feet.
- A minimum of one covered off-street parking space shall be provided for the caretaker unit.
- The caretaker unit shall not be separately rented, let or leased from the main residence whether compensation be direct or indirect.
- Subsequent subdivisions which divide a main residence from a caretaker unit shall not be permitted except where lots created meet minimum lot size and density requirements of the existing zoning.
- Caretaker units are not permitted on any lot less than 10 acres where a senior citizen unit exists. Senior citizen units may be converted to a caretaker unit, subject to a Coastal Administrative Permit.
(RMA - Planning Department)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits - Submit signed and notarized document to the Director of RMA - Planning Department for review and signature by the County.

Prior to occupancy or commencement of use - Proof of recordation of the document shall be submitted to the RMA - Planning Department.

16. PD041 HEIGHT VERIFICATION

Responsible Department: Building

Condition/Mitigation Monitoring Measure: The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of the RMA- Building Services Department for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (RMA - Planning Department and Building Services Department)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits - The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection

Prior to the foundation pre-pour inspection - The applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of the RMA- Building Services Department for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.

Prior to the final inspection - The applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of the RMA- Building Services Department for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.

17. PD032(A) - PERMIT EXPIRATION

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: The permit shall be granted for a time period of 3 years, to expire on March 29, 2015 unless use of the property or actual construction has begun within this period. (RMA - Planning Department)

Compliance or Monitoring Action to be Performed: The applicant shall obtain a valid grading or building permit and/or commence the authorized use to the satisfaction of the Director of Planning. Any request for extension must be received by the Planning Department at least 30 days prior to the expiration date.

JUN A. SILLANO, AIA



JOHN E. MATTHAMS

781 LIGHTHOUSE AVE.
PACIFIC BEACH, CA
92025

PH: (619) 435-1120
FAX: (619) 435-1120
EMAIL: john@idg.com
WEB: www.idg.com

DISCLAIMER:
THIS PLAN IS THE PROPERTY OF IDG ARCHITECTURE & PLANNING & INTERIORS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. NO PART OF THIS PLAN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF IDG ARCHITECTURE & PLANNING & INTERIORS.

STAMPS:

PROJECT/CLIENT:
PROPOSED REMODEL FOR:
ALDRICH
RESIDENCE

PROJECT ADDRESS:
1415 LISBON LN.
& CORTEZ RD.
PEBBLE BEACH, CA.

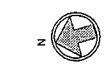
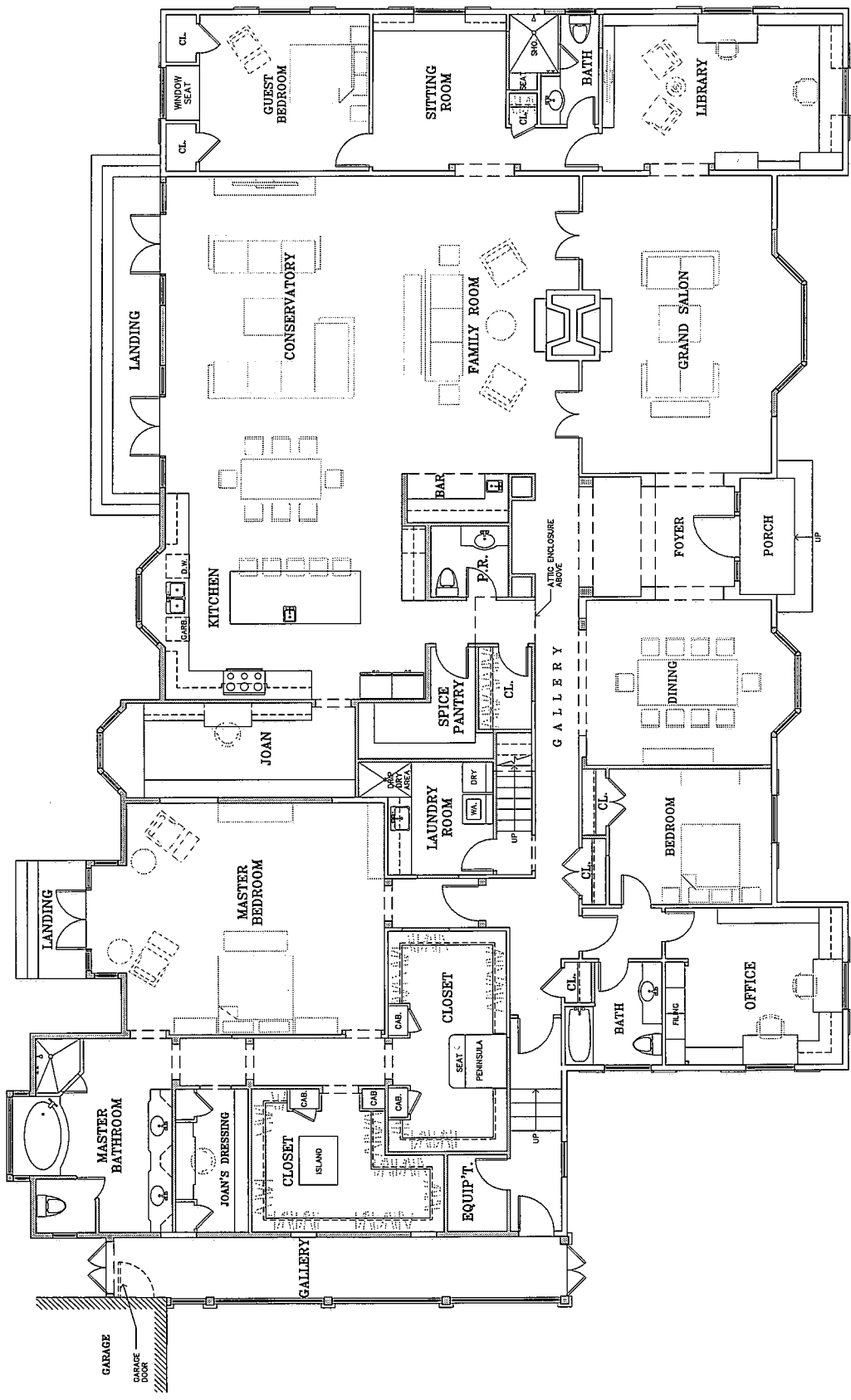
APH: 008-231-012

DATE: 01-03-12
DESIGN APPROVAL

REVISIONS:
1
2
3
4
5
6
7
8
9
10

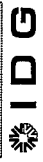
FLOOR PLAN

SHEET NO.
A2.0



PROPOSED MAIN LEVEL FLOOR PLAN

JUN A. SILLANO, AIA



ARCHITECT

JOHN E. MATTHAMS

751 LIGHTHOUSE AVE.
PACIFIC HEIGHTS CA
94060

PH: (415) 554-1201
FAX: (415) 554-1250
WWW: www.jedmatthams.com
MOB: (415) 435-9200

DISCLAIMER: THIS DOCUMENT AND THE WORKS IT REPRESENTS ARE THE PROPERTY OF JUN A. SILLANO, AIA AND JOHN E. MATTHAMS, ARCHITECTS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THIS DOCUMENT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECTS IS STRICTLY PROHIBITED. THE ARCHITECTS AND JUN A. SILLANO, AIA AND JOHN E. MATTHAMS, ARCHITECTS, SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS IN CONNECTION WITH THIS PROJECT.

STAMPS:

FOR AS-BUILT
PROPOSED REMODEL FOR:
ALDRICH
RESIDENCE

PROJECT ADDRESS:

1415 LISBON LN.
& CORTEZ RD.
PEBBLE BEACH, CA.

APN: 008-231-012

DATE: 01-03-13

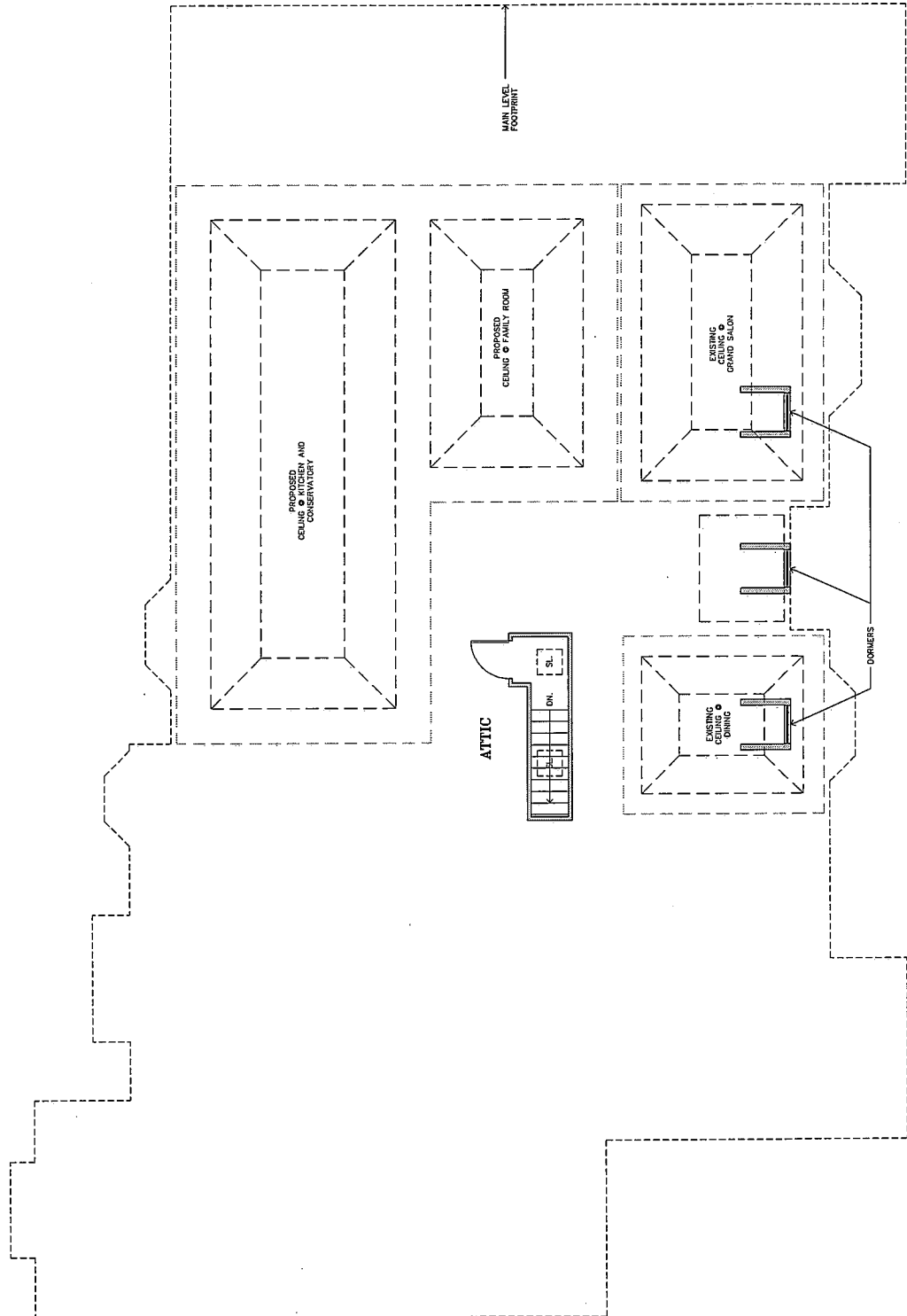
DESIGN APPROVAL

REVISIONS:

ATTIC ACCESS

SHEET NO.

A3.0



WALL LEGEND

- 2x EXISTING WALL TO REMAIN
- 2x6 EXTERIOR STUD FRAMED WALL
- 2x4 INTERIOR STUD FRAMED WALL, U.O.N.



PROPOSED ACCESS TO ATTIC SPACE

1/4"=1'-0"

JUN A. BILLANO, AIA



JOHN E. MATTHIAS

7811 LIGHTHOUSE AVE.
PALMDALE, CA 93550

PH (831) 848-1301
FX (831) 848-1280
WWW.IDGARCHITECT.COM

DISCLAIMER: ARCHITECT HAS NOT CONDUCTED A VISUAL SURVEY OF THE PROJECT SITE. THE ARCHITECT HAS BEEN ADVISED BY THE CLIENT THAT THE PROJECT SITE IS LOCATED AT THE ADDRESS LISTED ABOVE AND THAT THE CLIENT HAS OBTAINED ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT. THE ARCHITECT HAS NOT CONDUCTED A VISUAL SURVEY OF THE PROJECT SITE. THE ARCHITECT HAS BEEN ADVISED BY THE CLIENT THAT THE PROJECT SITE IS LOCATED AT THE ADDRESS LISTED ABOVE AND THAT THE CLIENT HAS OBTAINED ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT.

STAIRS:

PROJECT NAME:
PROPOSED REMODEL FOR:
**ALDRICH
RESIDENCE**

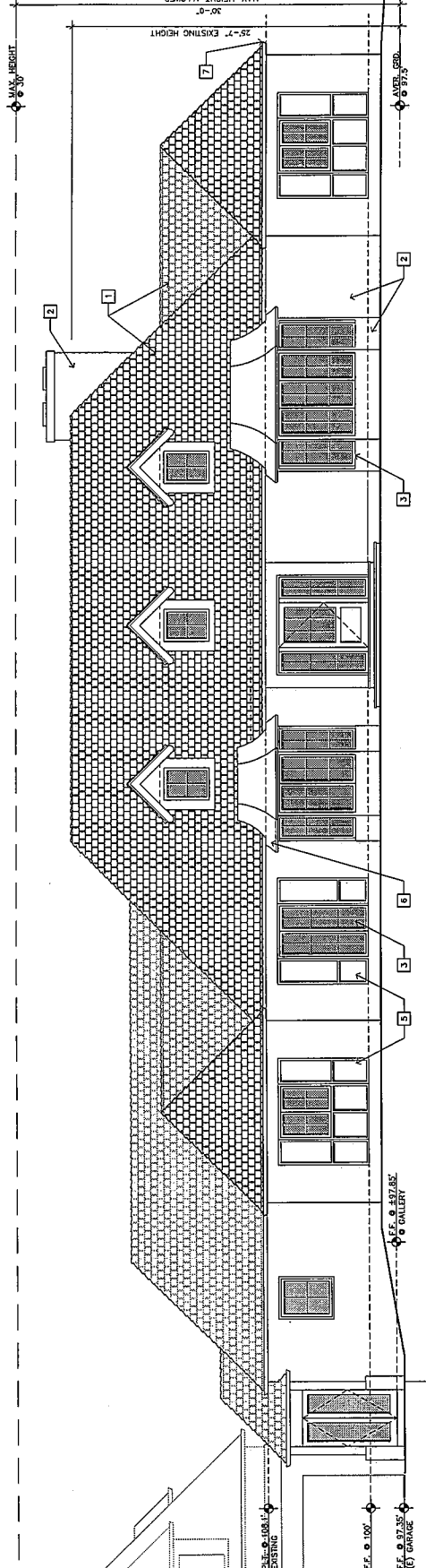
PROJECT ADDRESS:
**1415 LISBON LN.
& CORTEZ RD.,
PEBBLE BEACH, CA.**
APN: 008-231-012

DATE: 01-03-12
DESIGN APPROVAL

- REVISIONS:
- △
 - △
 - △
 - △
 - △

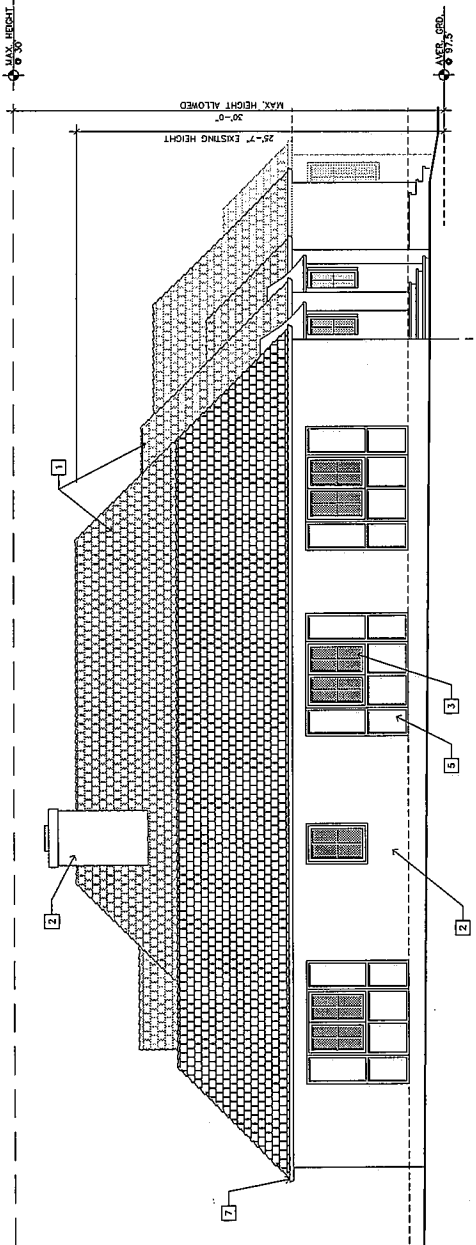
PROPOSED
ELEVATIONS

SHEET NO.
A3.2



PROPOSED SOUTH ELEVATION

1/4"=1'-0"

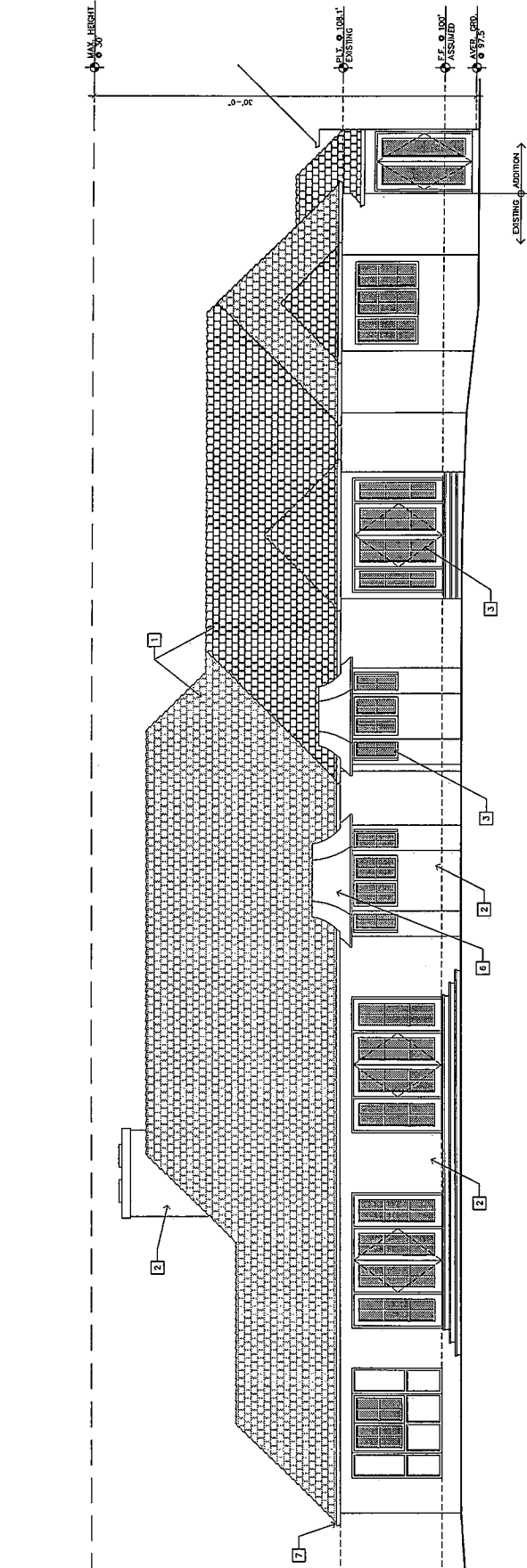


PROPOSED EAST ELEVATION

1/4"=1'-0"

EXTERIOR FINISH LEGEND

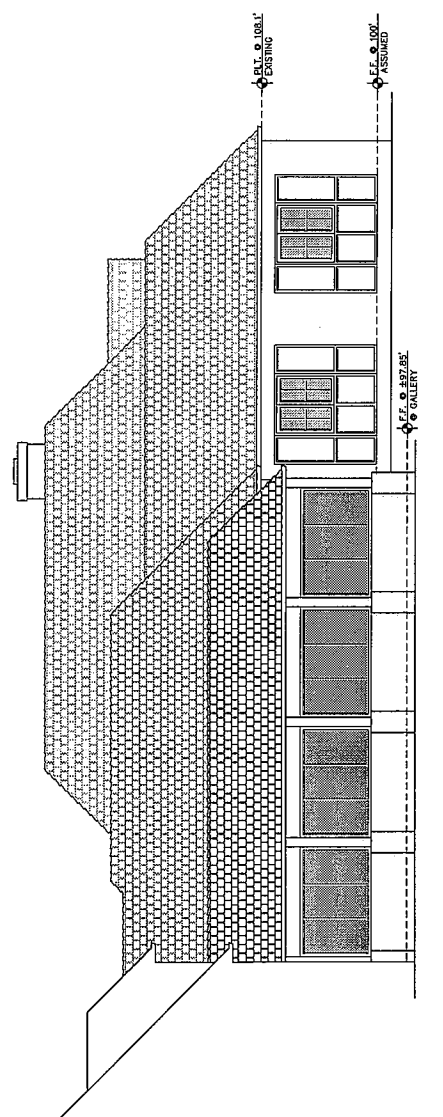
- 1 ASPHALT SHINGLES ROOF
- 2 STUCCO
- 3 METAL CLAD WOOD DOORS AND WINDOWS
- 4 WOOD DOORS
- 5 WOOD SHUTTERS
- 6 COPPER ROOF
- 7 COPPER GUTTER AND DOWNSPOUTS



PROPOSED NORTH ELEVATION
 1/4"=1'-0"

EXTERIOR FINISH LEGEND

- 1 ASPHALT SHINGLES ROOF
- 2 STUCCO
- 3 METAL CLAD WOOD DOORS AND WINDOWS
- 4 WOOD DOORS
- 5 WOOD SHUTTERS
- 6 COPPER ROOF
- 7 COPPER GUTTER AND DOWNSPOUTS



PROPOSED WEST ELEVATION
 1/4"=1'-0"

JUN A. SILLANO, AIA



ARCHITECTURE & INTERIORS
JOHN E. MATTHEWS

781 LUCHINO DRIVE, AVE.
PACIFIC GROVE CA.
95026

PH (805) 654-1261
FAX (805) 654-1260
EMAIL jmatthews@idg.com
WWW www.idg.com

DISCLAIMER:
THIS DOCUMENT IS THE PROPERTY OF IDG ARCHITECTURE & INTERIORS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, REPRODUCED, TRANSMITTED, OR IN ANY MANNER DISSEMINATED TO ANY OTHER PARTY WITHOUT THE WRITTEN CONSENT OF IDG ARCHITECTURE & INTERIORS. ANY SUCH REPRODUCTION OR DISSEMINATION WITHOUT THE WRITTEN CONSENT OF IDG ARCHITECTURE & INTERIORS IS STRICTLY PROHIBITED AND WILL BE CONSIDERED A VIOLATION OF THE ARCHITECTURAL PROFESSION'S ETHICS AND STANDARDS OF PRACTICE.

STAMPS:

PROJECT NO. 08-03-12
PROPOSED REMODEL FOR:
ALDRICH
RESIDENCE

PROJECT ADDRESS:
1415 LISBON LN.
& CORTEZ RD.
PEBBLE BEACH, CA.

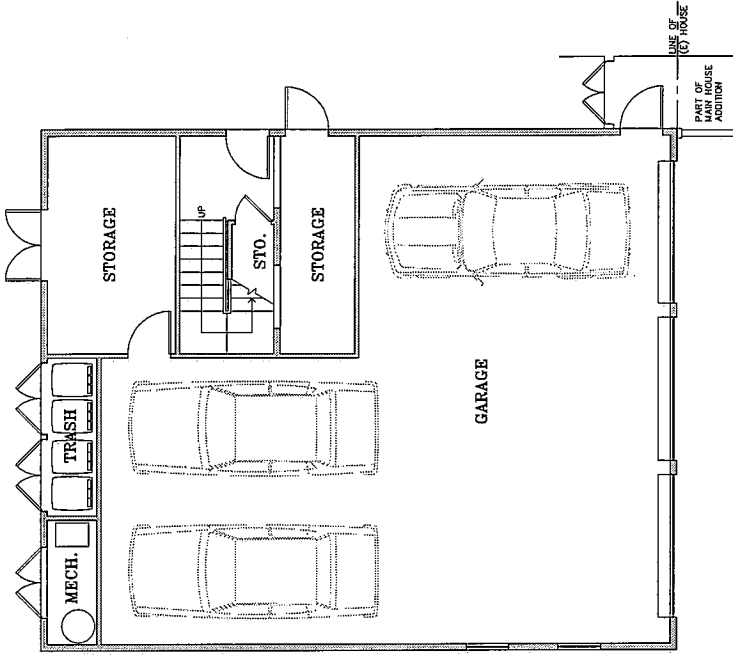
APN: 008-231-012

DATE: 01-03-12
DESIGN APPROVAL

REVISIONS:
1
2
3
4
5
6
7
8
9
10

GARAGE AND
CARETAKER UNIT

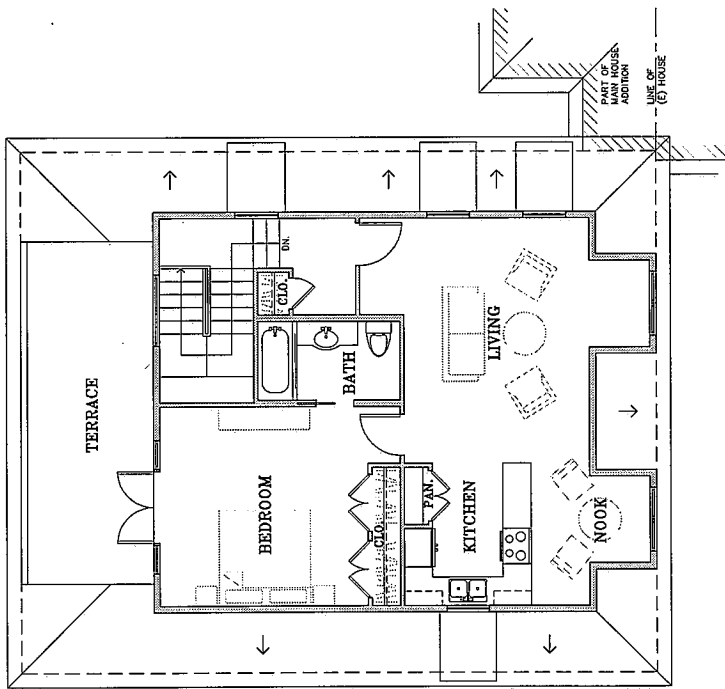
SHEET NO.
A4.0



PROPOSED ATTACHED GARAGE MAIN LEVEL
1/4"=1'-0"

WALL LEGEND

- 2X EXISTING WALL TO REMAIN
- 2X EXTERIOR STUD FRAMED WALL
- 2X INTERIOR STUD FRAMED WALL, U.G.N.



PROPOSED CARETAKER UNIT ABOVE GARAGE
1/4"=1'-0"

PROJECT/CLIENT:
**ALDRICH
 RESIDENCE**

PROJECT ADDRESS:
 14115 LISBON LN.
 & CORTEZ RD.
 PEBBLE BEACH, CA

APN: 008-231-012

DATE: 01-03-12
 DESIGN APPROVAL

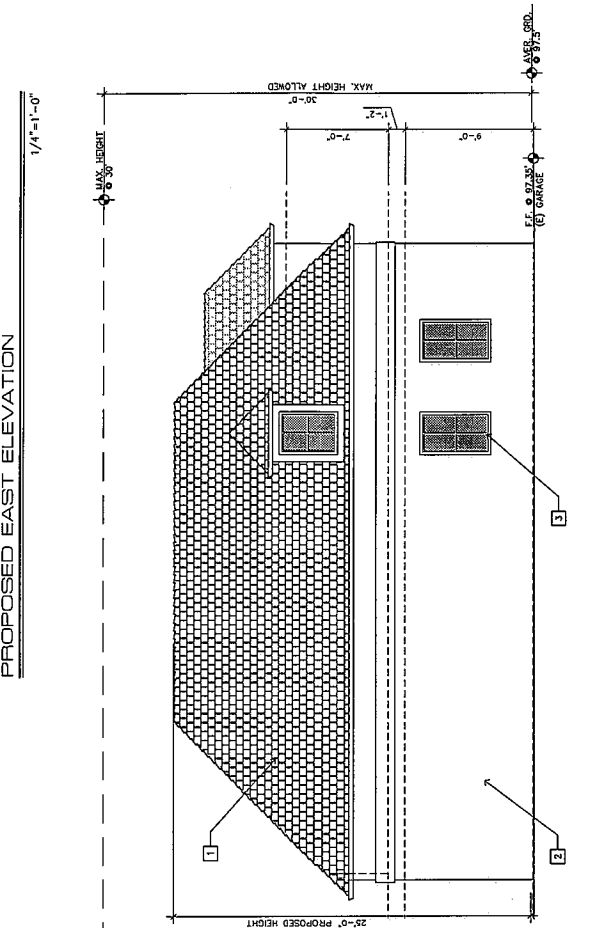
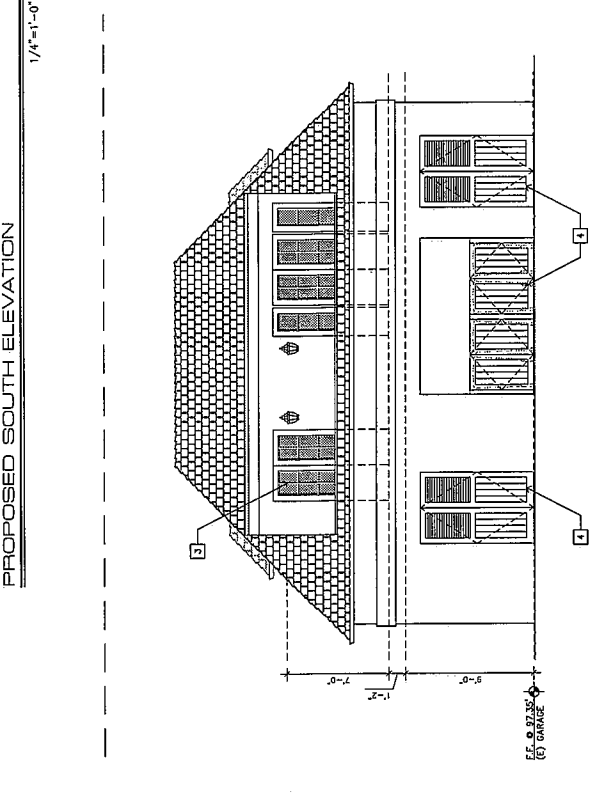
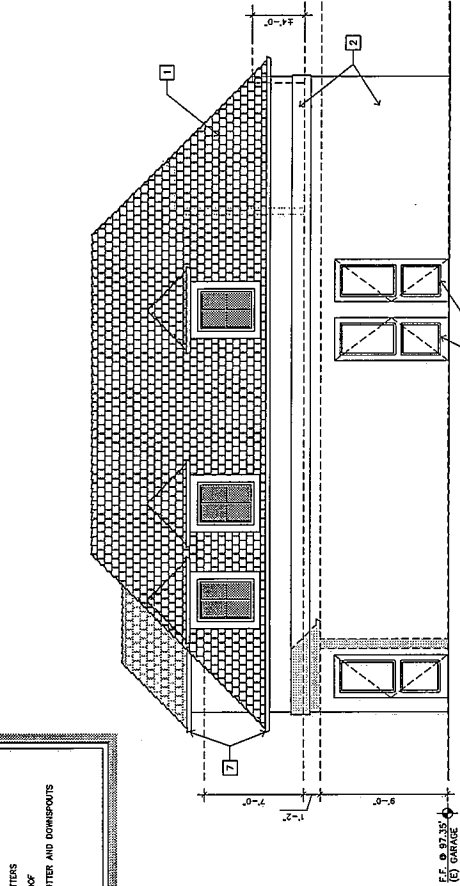
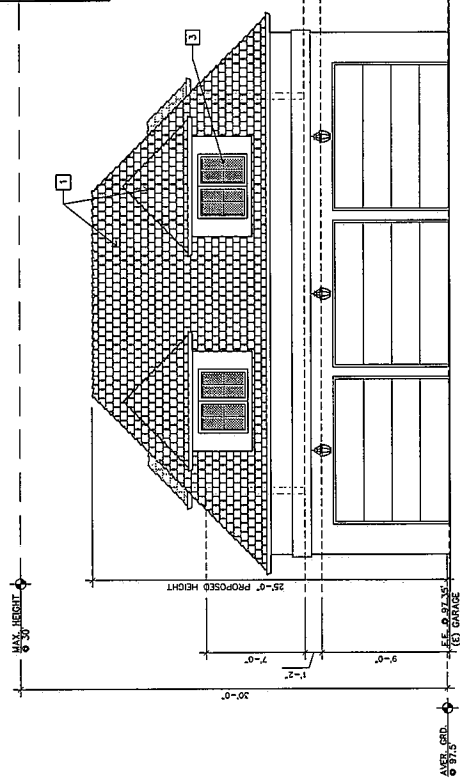
RESPONSE:

PROPOSED GARAGE
 ELEVATIONS

SHEET NO.
A4.2

EXTERIOR FINISH LEGEND

1	ASPHALT SHINGLES ROOF
2	STUCCO
3	METAL CLAD WOOD DOORS AND WINDOWS
4	WOOD DOORS
5	WOOD SHUTTERS
6	COPPER ROOF
7	COPPER GUTTER AND DOWNSPOUTS



DISCLAIMER:
 JUN A. SILLANO, AIA, ARCHITECT, IS NOT PROVIDING ARCHITECTURAL SERVICES FOR THIS PROJECT. THE ARCHITECTURAL SERVICES FOR THIS PROJECT WERE PROVIDED BY JOHN E. MATTHEWS, ARCHITECT, WHO IS NOT A LICENSED ARCHITECT IN THE STATE OF CALIFORNIA. THE ARCHITECTURAL SERVICES FOR THIS PROJECT WERE PROVIDED BY JUN A. SILLANO, AIA, ARCHITECT, WHO IS NOT A LICENSED ARCHITECT IN THE STATE OF CALIFORNIA. THE ARCHITECTURAL SERVICES FOR THIS PROJECT WERE PROVIDED BY JOHN E. MATTHEWS, ARCHITECT, WHO IS NOT A LICENSED ARCHITECT IN THE STATE OF CALIFORNIA. THE ARCHITECTURAL SERVICES FOR THIS PROJECT WERE PROVIDED BY JUN A. SILLANO, AIA, ARCHITECT, WHO IS NOT A LICENSED ARCHITECT IN THE STATE OF CALIFORNIA.

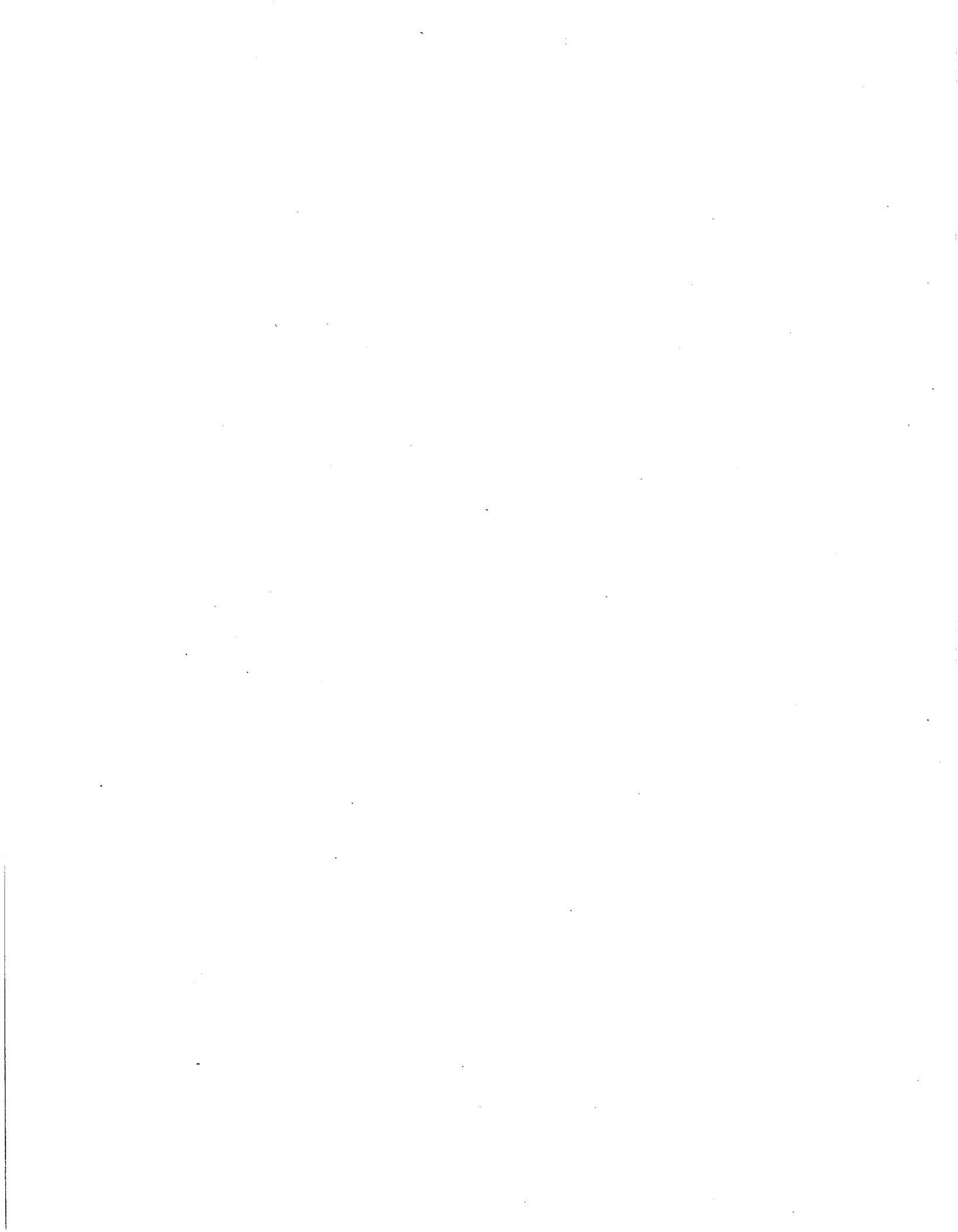


EXHIBIT D DEL MONTE FOREST

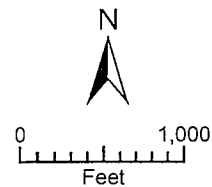


APPLICANT: ALDRICH

APN:008-231-012-000

FILE # PLN110605

Water 2500' Limit 300' Limit City Limits



PLANNER: MASON

EXHIBIT E

MINUTES

Del Monte Forest Land Use Advisory Committee

Thursday, February 2, 2012

1. Meeting called to order by DEWAR at 3:03 pm

2. Roll Call

Members Present: KIM CANEER, SANDI VERBANEC, JOELLA SZABO, SANDY GETREU, LORI LIETZKE, JUNE STOCK, ROD DEWAR

Members Absent: NONE

3. Approval of Minutes:

A. January 5, 2011 minutes

Motion: VERBANEC (LUAC Member's Name)

Second: SZABO (LUAC Member's Name)

Ayes: CANEER, VERBANEC, SZABO, GETREU, LIETZKE, STOCK, DEWAR

Noes: φ

Absent: ~~VERBANEC~~ φ

Abstain: GETREU

4. **Public Comments:** The Committee will receive public comment on non-agenda items that are within the purview of the Committee at this time. The length of individual presentations may be limited by the Chair.

NONE

5. Scheduled Item(s)

6. Other Items:

A) Election of Officers:

LUAC member nominated for Chairperson: DEWAR

Motion: ACCLAMATION (LUAC Member's Name)

Second: _____ (LUAC Member's Name)

Ayes: CANEER, VERBANEC, SZABO, GETREU, LIETZKE, STOCK

Noes: φ

Absent: φ

Abstain: φ

LUAC member nominated for Secretary: LIETZKE

Motion: ACCLAMATION (LUAC Member's Name)

Second: _____ (LUAC Member's Name)

Ayes: DEWAR, CANEER, VERBANEC, SZABO, GETREU, STOCK

Noes: φ

Absent: φ

Abstain: φ

B) Preliminary Courtesy Presentations by Applicants Regarding Potential Projects

None

C) Announcements

NONE

7. Meeting Adjourned: 3:18 pm

Minutes taken by: LIETZKE

Minutes received via email February 3, 2012

Action by Land Use Advisory Committee Project Referral Sheet

Monterey County Planning Department
168 W Alisal St 2nd Floor
Salinas CA 93901
(831) 755-5025

Advisory Committee: **Del Monte Forest**

Please submit your recommendations for this application by: **February 2, 2012**

Project Title: ALDRICH RICHARD D & JOAN B TRS

File Number: PLN110605

File Type: PC

Planner: MASON

Location: 1415 LISBON LN PEBBLE BEACH

Project Description:

Combined Development Permit consisting of: 1) a Coastal Administrative Permit and Design Approval for a remodel and 1,611 square foot addition to an existing 4,316 square foot single family dwelling and the remodel and addition to an existing 912 square foot one-story detached garage to include a 722 square foot expansion to the first floor to create an attached garage; 2) a Coastal Administrative Permit to allow for a 783 square foot Caretaker's Unit as a second floor addition to the garage; and 3) Variance to allow 2,590 square feet of structural lot coverage over the 5,000 square foot allowance according to the Pescadero Watershed coverage limitation by increasing structural coverage from 5,257 square feet to 7,590 square feet and reducing impervious surface coverage from 5,314 square feet to 601 square feet. Overall lot coverage is to be decreased from 10,571 square feet to 8,191 square feet. The property is located at 1415 Lisbon Lane, Pebble Beach (Assessor's Parcel Number 008-231-012-000), northwest corner of the intersection of Lisbon Lane and Cortez Road, Del Monte Forest Land Use Plan Area, Coastal Zone.

Was the Owner/Applicant/Representative Present at Meeting? Yes No

DESIGNER: JOHN MATTHAMS

Was a County Staff/Representative present at meeting? STEVE MASON (Name)

PUBLIC COMMENT:

Name	Site Neighbor?		Issues / Concerns (suggested changes)
	YES	NO	
MATTHAMS		X	PRESENTED PROJECT

LUAC AREAS OF CONCERN

Concerns / Issues (e.g. site layout, neighborhood compatibility; visual impact, etc)	Policy/Ordinance Reference (If Known)	Suggested Changes - to address concerns (e.g. relocate; reduce height; move road access, etc)

ADDITIONAL LUAC COMMENTS

None

RECOMMENDATION :

Motion by ~~CANEER~~ GETREU (LUAC Member's Name)

Second by CANEER (LUAC Member's Name)

Support Project as proposed

Recommend Changes (as noted above)

Continue the Item

Reason for Continuance: _____

Continued to what date: _____

AYES: DEWAR, CANEER, VERBANEC, SZABO, GETREU, LIETZKE, STOCK

NOES: ∅

ABSENT: ∅

ABSTAIN: ∅

EXHIBIT F

INTERNATIONAL DESIGN GROUP ARCHITECTURE ■ INTERIOR DESIGN

Date: January 3, 2012

To: Monterey County Planning Department

From: Jun A. Sillano, A.I.A.
IDG, Inc. dba International Design Group

Owner: Mr. and Mrs. Richard Aldrich

Parcel: 1415 Lisbon Lane, Pebble Beach
APN: 008-231-012

RE: Letter of Justification for Caretaker's Unit

Mr. and Mrs. Richard Aldrich are requesting a Caretaker Unit on their 1.26-acre parcel. The Aldrichs will need full-time Caretakers to maintain the property and the various buildings/structures on site. The Caretaker Unit proposed will adhere to the following regulations:

1. Only one Caretaker Unit per lot to be allowed
2. The Caretaker shall be employed principally on the lot for purposes of care and protection of persons, plants, animals, equipment or other facilities on-site or on contiguous lots under the same ownership
3. Caretaker Units shall not be subject to density requirements of the zoning district in which the lot is located
4. The maximum floor area for the Caretaker Unit is 850 square feet per LDR/1.5-D(CZ) zone regulations. Proposed area is 783 square feet.
5. The Caretaker Unit shall not be separately rented or leased to other than the Caretaker whether compensation is direct or indirect
6. The Applicant shall record a deed restriction as a condition of project approval, stating that the Caretaker Unit shall not be rented to anyone other than the Caretaker



INTERNATIONAL DESIGN GROUP
ARCHITECTURE ■ INTERIOR DESIGN

January 3, 2012

Steve Mason
Project Planner
Monterey County Planning and Building Department

RE: Proposed Remodel and Addition:
Aldrich Residence
1415 Lisbon Lane, Pebble Beach
APN 008-231-012

Dear Steve,

In addition to seeking approval for a remodel and addition to an existing single-family residence at the above-mentioned address, we hereby request a variance for impervious lot coverage. Our reasons and justifications for the variance request are as follows:

A. Lot Coverage Variance

1. The granting of a variance will provide the Owners of this property with no special privilege inconsistent with the limitations upon other properties in the vicinity and zone in which the subject property is situated. The Monterey County Planning and Building Department previously issued variances similar to that requested.
2. The existing conditions at the property are 5,257 square feet of structural and 5,314 square feet of impervious surfaces with a total of 10,571 square feet. The proposed conditions of the property will be 7,590 square feet of structural and 601 square feet of impervious surfaces with a total of 8,191 square feet of combined structural and impervious lot coverage. This will provide a net reduction of 2,380 square feet of lot coverage, thereby making the project comply with the intent of the Land Use Plan of controlling offsite impacts from run-off to the Carmel Bay area of biological significance. Also, the proposed project intends to retain surface and roof water run-off on site or direct the water to existing drainage facilities subject to the approval of the Monterey County Water Resources Agency.
3. That because of special circumstances applicable to the subject property, including size, shape, location or surroundings, the strict application of this title is depriving the subject property of privileges enjoyed by other properties in the vicinity and under identical Zone Classifications.

Please refer to the drawings dated January 3, 2012 for additional information and let us know if you need further clarification or you have any questions.

Sincerely,

Jun A. Sillano, A.I.A.,
IDG, Inc. dba International Design Group