

MONTEREY COUNTY ZONING ADMINISTRATOR

Meeting: August 30, 2012 Time: 1:40 P.M.	Agenda Item No.: 3
Project Description: Consider an Administrative Permit to allow the construction of a 2,820 square foot two-story single family dwelling with an attached 792 square foot three-car garage and a detached 600 square foot guest house within a "Visually Sensitive" zoning district. Project to include the removal of one 16" Monterey pine tree. Grading to consist of approximately 780 cubic yards of cut and 870 cubic yards of fill.	
Project Location: 1250 Olmsted Road, Monterey	APN: 259-131-010-000
Planning File Number: PLN110651	Owner: Aresso LLC Agent: Ray Parks, Architect
Planning Area: Greater Monterey Peninsula Area Plan	Flagged and staked: Yes
Zoning Designation: RDR/B6-UR-VS [Rural-Density Residential / Building Site District - Urban Reserve – “Visual Sensitivity” District]	
CEQA Action: Categorically Exempt per Section 15303(a)	
Department: RMA - Planning Department	

RECOMMENDATION:

Staff recommends that the Zoning Administrator adopt a resolution (**Exhibit C**) to:

- 1) Find the project CEQA Exempt per Section 15303(a); and
- 2) Approve PLN110651, based on the findings and evidence and subject to the conditions of approval (**Exhibit C**)

PROJECT OVERVIEW:

The proposed project is to allow the construction of a 2,820 square foot two-story single family dwelling with an attached 792 square foot three-car garage and a detached 600 square foot guest house within an area designated as "Visually Sensitive." Due to various access restrictions (primarily easements and traffic safety concerns) the site will be accessed through an easement which is shared with Foothill Elementary School.

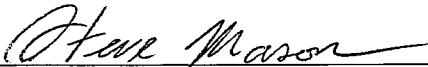
OTHER AGENCY INVOLVEMENT: The following agencies and departments reviewed this project:

- √ RMA - Public Works Department
Environmental Health Bureau
- √ Water Resources Agency
- √ Monterey County Regional Fire Protection District
City of Monterey
Monterey Peninsula Unified School District

Agencies that submitted comments are noted with a check mark (“√”). Conditions recommended by the RMA - Public Works Department, Water Resources Agency and the Monterey County Regional Fire Protection District have been incorporated into the Condition Compliance/Mitigation Monitoring and Reporting Plan attached to the draft resolution (**Exhibit C**).

The project was reviewed by the Greater Monterey Peninsula Land Use Advisory Committee on April 4, 2012. The Committee recommended Approval of the project as proposed by a vote of 5-0.

Note: The decision on this project is appealable to the Board of Supervisors.



Steve Mason, Assistant Planner
(831) 755-5228, masons@co.monterey.ca.us
August 15, 2012

cc: Front Counter Copy; Monterey County Regional Fire Protection District; Public Works Department; Environmental Health Bureau; Water Resources Agency; City of Monterey; Monterey Peninsula Unified School District; Laura Lawrence, Planning Services Manager; Steve Mason, Project Planner; Carol Allen, Senior Secretary; Aresso LLC, Owner; Ray Parks, Agent; The Open Monterey Project; LandWatch; Planning File PLN110651

Attachments: Exhibit A Project Data Sheet
Exhibit B Project Discussion
Exhibit C Draft Resolution, including:
• Conditions of Approval
• Site Plan, Floor Plan and Elevations,
Exhibit D Vicinity Map & Satellite Photo
Exhibit E Advisory Committee Minutes (Greater Monterey Peninsula LUAC)
Exhibit F Public Correspondence

This report was reviewed by Laura Lawrence, Planning Services Manager



EXHIBIT A

Project Information for PLN110651

Project Information:

Project Name: ARESSO LLC	
Location: 1250 Olmsted Road, Monterey	
Permit Type: Administrative Permit	
Environmental Status: Exempt	Final Action Deadline (884): 8/21/2012
Existing Structures (sf): 0	Coverage Allowed: 25%
Proposed Structures (sf): 4212	Coverage Proposed: 1.5%
Total Sq. Ft.: 4212	Height Allowed: 30'
Tree Removal: 1 - 16" Monterey pine	Height Proposed: 29'
Water Source: Public system	FAR Allowed: n/a
Water Purveyor: Canada Woods Water Co.	FAR Proposed: n/a
Sewage Disposal (method): Public sewer	Lot Size: 7.32
Sewer District: MRWPCA	Grading (cubic yds.): 1650

Parcel Information:

Primary APN: 259-131-010-000	Seismic Hazard Zone: VI
Applicable Plan: Greater Monterey Peninsula	Erosion Hazard Zone: Moderate
Advisory Committee: Greater Monterey Peninsula Advisory Committee	Fire Hazard Zone: Very High
Zoning: RDR/B6-UR-VS	Flood Hazard Zone: No FEMA rating
Land Use Designation: Residential - Rural Density 5 Acres+/Unit	Archaeological Sensitivity: Moderate
Coastal Zone: No	Viewshed: Highly Sensitive
Fire District: Monterey County Regional FPD	Special Setbacks on Parcel: No

Reports on Project Parcel:

Soils Report #: LIB120085
Biological Report #: LIB120083
Geologic Report #: n/a
Forest Management Rpt. #: LIB120084
Archaeological Report #: LIB120086
Traffic Report #: LIB120204

EXHIBIT B DISCUSSION

Project Description

The project consists of an Administrative Permit to allow the construction of a 2,820 square foot two-story single family dwelling with an attached 792 square foot three-car garage and a detached 600 square foot guest house within an area designated as "Visually Sensitive." The project will include the removal of one 16" Monterey pine tree, with grading to consist of approximately 780 cubic yards of cut and 870 cubic yards of fill.

Project Issues

The project was reviewed by the Greater Monterey Peninsula LUAC on April 4, 2012 at which time the project was approved by a vote of 5-0. The project was initially scheduled to be approved administratively by the Director of Planning on July 18, 2012 pursuant to Monterey County Code 21.70.030, however, the project was subsequently referred for public hearing (pursuant to 21.70.060.A.5) following receipt of a letter on July 16, 2012. Concerns were noted from a resident at the neighboring subdivision of Fisherman's Flats regarding impacts to "uphill views" from their neighborhood. (See **EXHIBIT F**). A subsequent meeting between the project architect, Fisherman's Flats Homeowners Association (HOA) members and residents of Fisherman's Flats was held on Monday, August 6, in order to discuss these concerns. A letter from the HOA indicating the HOA's support for the project contingent upon certain conditions discussed at the meeting was received by staff on August 15, 2012 (See **EXHIBIT F**) requesting that the following two items be addressed:

1. The owners will landscape the property to ease the visual impact. This landscape is to include "fast" growing trees (preferably not Cypress) in front of the structure, along Foothill Blvd and along the easement road on Via Casoli. The planting of fast growing trees would reduce the visual impact for the immediate neighbors.
2. The owners are asked to adhere to the "earth tone" color scheme. To include a tan plastered exterior house, garage

The #1-listed HOA concern will be addressed with an amended landscape plan to be presented to the Zoning Administrator as an addendum at the public hearing on August 30, 2012.

The #2-listed HOA concern is addressed in **Exhibit C, "Finding 1" (Consistency), "Evidence c)"**:

The colors and materials for the single family dwelling and the guesthouse are to be comprised of muted brown earth-tones:

- Terra cotta tile roofing, MCA-brand "San Ramon Blend" (catalogue# B351)
- Concrete patio to be Davis Colors-brand "San Diego Buff" (catalogue# 5237)
- Plaster walls to be painted with Kelly Moore-brand "Supreme Bean" paint (catalogue# KM4030-2)
- Wood trim to be painted with "Palace Hill" paint (KM4027-1)
- Wood timbers to be painted with "Fallen Leaf" paint (KM4032-5)

The project site is located within a "VS," or "Visually Sensitive" District, however, the project is not expected to create a substantially adverse visual impact when viewed from a common public viewing area. Pursuant to General Plan policy GMP-3.3, the section of the parcel containing the

building site is located outside of the “highly-sensitive” viewshed area south of Highway 68, and is not visible from the Highway 68 Scenic Highway Corridor. The project site is visible only briefly as viewed while passing on Olmsted Road and landscaping consisting of native trees is proposed to provide buffer between the single family dwelling and Olmsted Road. The project has also been designed to minimize tree removal. One 16” Monterey pine will be removed in order to accommodate a Fire Department-mandated driveway turnaround.

The subject parcel is encumbered with a number of easements (both scenic and utility) and well lots. Additionally, the southernmost portion of the parcel borders a small section of land under Pebble Beach Company ownership, which prevents direct access from the project site to Olmsted Road (see **EXHIBIT C – “Site Plan #2”**). The site is presently accessed (primarily for utility purposes) through the existing short-term parking area utilized by neighboring Foothill Elementary School. The parking area is located within a 100-foot wide open space easement, shared use of which was granted to the school by then-owner Monterra Ranch Properties LLC by way of Board Resolution 04-007 (Planning project PLN030649). Said easement allows for the placement of gates, fences, and similar structures. The revised access plan (see **EXHIBIT C – “Entry Gate”**) has been re-designed under guidance from the Planning, Public Works and Fire Departments, and has been reviewed and approved by the Monterey Peninsula Unified School District.

Environmental Review

The project is categorically “Exempt” per Section 15303(a) of the CEQA Guidelines, which categorically exempts one single-family residence, or a second dwelling unit in a residential zone. Additionally, the project does not fall under any of the criteria which might preclude “Exempt” status, pursuant to CEQA 15300.2 (“Exceptions”): The project will not create an impact within a particularly sensitive environment, will not have a significant cumulative impact or effect on the environment, is not located on a registered Hazardous Waste Site, and will not result in damage to scenic or historic resources.

The subject parcel consists primarily of Monterey Pine Forest and Coast Live Oak Woodland-Savanna, with an understory of Coastal Prairie and non-native grasses. The building site has been selected to minimize impacts to these ecosystems. One 16” Monterey pine is proposed for removal, as well as four dead/fallen oak trees in order to accommodate the revised access plan.

A Biological Assessment has been prepared for the project which has concluded that the project, as designed, will have a minimal impact on locally significant biotic features and special status species protected by local, state or federal regulations. California Natural Diversity Database (CNDDB) elements occurring on the parcel are Monterey pine forest and Hooker’s manzanita. The Monterey pine tree proposed removal will be replaced with two Monterey pine seedlings in close proximity to the removed tree. There is one Manzanita plant on the parcel (identified as “Rare Plant” in **EXHIBIT C – “Cover Sheet A.1”**). The Manzanita bush is located approximately 25’ from the existing access road and approximately 600’ from the proposed site for the single family dwelling and guesthouse, and shall be protected during construction and retained.

Recommendation

Staff is recommending approval of the project as proposed.

**EXHIBIT C
DRAFT RESOLUTION**

**Before the Zoning Administrator in and for the
County of Monterey, State of California**

In the matter of the application of:

Aresso LLC (PLN110651)

RESOLUTION NO. [REDACTED]

Resolution by the Monterey County Zoning
Administrator:

- 1) Finding the project CEQA Exempt per Section 15303(a); and
- 2) Approving an Administrative Permit to allow the construction of a 2,820 square foot two-story single family dwelling with an attached 792 square foot three-car garage and a detached 600 square foot guest house within a "Visually Sensitive" zoning district. Project to include the removal of one 16" Monterey Pine tree. Grading to consist of approximately 780 cubic yards of cut and 870 cubic yards of fill;

[PLN110651, Aresso LLC, 1250 Olmsted Road,
Monterey, Greater Monterey Peninsula Area Plan
(APN: 259-131-001-000)]

The Aresso LLC application (PLN110651) came on for public hearing before the Monterey County Zoning Administrator on August 30, 2012. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 2010 Monterey County General Plan;
 - Greater Monterey Peninsula Area Plan;
 - Monterey County Zoning Ordinance (Title 21);No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents
- b) The property is located at 1250 Olmsted Road, Monterey (Assessor's Parcel Number 008-231-012-000), Greater Monterey Peninsula Area Plan. The parcel is zoned RDR/B6-UR-VS [Rural-Density Residential

– Building Site District - Urban Reserve – Visual Sensitivity District], which allows a single family dwelling and a guesthouse with an approved Administrative Permit. Therefore, the project is an allowed land use for this site.

- c) The project site is located within a “VS”, or “Visually Sensitivity” district, and, as such, requires review by the Greater Monterey Peninsula Land Use Advisory Committee for appropriateness of design, color, etc, as it applies to the “neighborhood character” as well as it’s potential visual impact. Said review was conducted on April 4, 2012, at which time the Committee gave its unanimous support for the project by a 5-0 vote. The colors and materials for the single family dwelling and the guesthouse are to be comprised of muted brown earth-tones:
- Terra cotta tile roofing, MCA-brand “San Ramon Blend” (catalogue# B351)
 - Concrete patio to be Davis Colors-brand “San Diego Buff” (catalogue# 5237)
 - Plaster walls to be painted with Kelly Moore-brand “Supreme Bean” paint (catalogue# KM4030-2)
 - Wood trim to be painted with “Palace Hill” paint (KM4027-1)
 - Wood timbers to be painted with “Fallen Leaf” paint (KM4032-5)
- d) Pursuant to recommendations as outlined in General Plan policy GMP-3.3, the section of the parcel containing the building site is located outside of the “highly-sensitive” viewshed area south of Highway 68, and is not visible from the Highway 68 Scenic Highway Corridor. The project site is visible only briefly as viewed while passing on Olmsted Road.
- e) Pursuant to General Plan Policy PS-3.1, evidence of a sustainable long-term water supply must be provided for development for which a discretionary permit is required, while exempting the first single family dwelling on an existing lot of record. The project as proposed is exempted from Policy 3.1 as it includes only the first single family dwelling on the parcel and an accessory structure which, by itself, would not require a discretionary permit.
- f) The project planner conducted a site inspection on April 23, 2012 to verify that the project on the subject parcel conforms to the plans listed above.
- g) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN110651.
- h) The subject parcel includes an “Urban Reserve” zoning overlay. Pursuant to Monterey County Code 21.50.030: “A development proposed within an "UR" District which requires an Administrative Permit, Use Permit, subdivision or similar discretionary permit shall be referred to the appropriate city for review and recommendation prior to action by an Appropriate Authority.” The project plans have been routed to the City of Monterey Planning Department and the Monterey Peninsula School District offices. No objections to the project on the

part of either agency have been raised.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.
- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: Monterey County RMA - Planning Department, Public Works, Environmental Health Bureau, and Water Resources Agency. The project plans have also been sent to the City of Monterey Planning Department and the Monterey Peninsula Unified School District for their review. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
 - b) Although the site is not located within 750' of a known Archaeological Resource, staff identified potential impacts due to the project site's designation as "moderate" archaeological sensitivity according to County GIS references. Technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff independently reviewed these reports and concurs with their conclusions. The following reports have been prepared:
 - "Archaeological Report, Re: Assessor's Parcel 259-131-010, Monterey County, California," (LIB120086), prepared by Gary S. Breschini, Ph.D, Salinas, CA, June 28, 2011
 - "Borromeo Residence Tree Resource Assessment/Forest Management Plan," (LIB120084), prepared by Frank Ono, Pacific Grove, CA, November 30, 2011
 - "Biological Assessment APN 259-131-001," (LIB120083), prepared by Nicole Nedeff, Carmel Valley, CA, August 2, 2011
 - "Geotechnical Investigation for Proposed Single Family Residence," (LIB120085), prepared by Haro, Kasunich and Associates, Inc., Watsonville, CA, August 16, 2011
 - c) The project proposes the removal of one 16" Monterey pine tree and four dead/fallen Oak trees.
 - d) Staff conducted a site inspection on April 23, 2012 to verify that the site is suitable for this use.
 - e) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN110651.
3. **FINDING:** **VISUAL SENSITIVITY** - The project, as conditioned, will not create a substantially adverse visual impact when viewed from a common public viewing area.
- EVIDENCE:**
- a) Pursuant to General Plan policy GMP-3.3, the building site is located outside of the "highly-sensitive" viewshed area south of Highway 68, and is not visible from the Highway 68 Scenic Highway Corridor.

- b) The project site is visible only briefly as viewed while passing on Olmsted Road. Additionally, landscaping consisting of native trees is proposed to provide buffer between the single family dwelling and Olmsted Road.
 - c) The project has been designed to minimize tree removal. Placement of the project elsewhere on the parcel would require additional tree removals.
 - d) The colors and materials for the single family dwelling and the guesthouse are to be comprised of muted brown earth-tones intended to blend with the natural surroundings.
4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.
- EVIDENCE:**
- a) Staff reviewed Monterey County RMA - Planning Department and Building Services Department records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on April 23, 2012 and researched County records to assess if any violation exists on the subject property.
 - c) There are no known violations on the subject parcel.
 - d) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN110651.
5. **FINDING:** **CEQA (Exempt):** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303(a) categorically exempts one single family dwelling or an accessory dwelling unit in a residential zone.
 - b) The project proposes the construction of a 2,820 square foot two-story single family dwelling with an attached 792 square foot three-car garage and a detached 600 square foot guest house
 - c) No adverse environmental effects were identified during staff review of the development application during a site visit on April 23, 2012. One protected Manzanita plant on the parcel (identified as "Rare Plant" in **EXHIBIT C – "Cover Sheet A.1"**) shall be protected during construction and retained. The Manzanita bush is located approximately 25' from the existing access road and approximately 600' from the proposed site for the single family dwelling and guesthouse.
 - d) The project does not fall under any of the criteria which might preclude "Exempt" status, pursuant to CEQA 15300.2 ("Exceptions"); The project will not create an impact within a particularly sensitive environment, will not have a significant cumulative impact or effect on the environment, is not located on a registered Hazardous Waste Site, and will not result in damage to scenic or historic resources.
 - e) No adverse environmental effects were identified during staff review of the development application during a site visit on April 23, 2012.

6. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Planning Commission.
EVIDENCE: Section 21.80.040 of the Monterey County Zoning Ordinance (Title 21).

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

1. Find the project CEQA Exempt per Section 15303(a) and;
2. Approve an Administrative Permit to allow the construction of a 2,820 square foot two-story single family dwelling with an attached 792 square foot three-car garage and a detached 600 square foot guest house within a "Visually Sensitive" zoning district. Project to include the removal of one 16" Monterey pine tree. Grading to consist of approximately 780 cubic yards of cut and 870 cubic yards of fill; in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 30th day of August, 2012.

Jacqueline Onciano, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE DATE

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning Department and Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Monterey County Planning Department

DRAFT Conditions of Approval/Mitigation Monitoring Reporting Plan

PLN110651

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: This permit, for the construction of a 2,820 square foot two-story single family dwelling with an attached 792 square foot three-car garage and a detached 600 square foot guest house within an area designated as "Visually Sensitive." Project to include the removal of one 16" Monterey pine tree. Grading to consist of approximately 780 cubic yards of cut and 870 cubic yards of fill, was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. The 7.32-acre parcel is located at 1250 Olmsted Road, Monterey, immediately south of Foothill Elementary School (Assessor's Parcel Number 259-131-010-000), Greater Monterey Peninsula Area Plan. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of the RMA - Planning Department. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled.
(RMA - Planning Department)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: The applicant shall record a notice which states: "A permit (Resolution# TBD) was approved by the Zoning Administrator for Assessor's Parcel Number 259-131-010-000 on August 30, 2012. The permit was granted subject to 24 conditions of approval which run with the land. A copy of the permit is on file with the Monterey County RMA - Planning Department." Proof of recordation of this notice shall be furnished to the Director of the RMA - Planning Department prior to issuance of building permits or commencement of the use. (RMA - Planning Department)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits or commencement of use: Proof of recordation of this notice shall be furnished to the RMA - Planning Department.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. The Monterey County RMA - Planning Department and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery. (RMA - Planning Department)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis. Stop work within 50 meters (165 feet) of uncovered resource and contact the Monterey County RMA - Planning Department and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD007 - GRADING-WINTER RESTRICTION

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: No land clearing or grading shall occur on the subject parcel between October 15 and April 15 unless authorized by the Director of RMA - Building Services Department. (RMA - Planning Department and Building Services Department)

Compliance or Monitoring Action to be Performed: Ongoing:
Obtain authorization from the Director of RMA - Building Services Department to conduct land clearing or grading between October 15 and April 15.

5. PD009 - GEOTECHNICAL CERTIFICATION

Responsible Department: Building

Condition/Mitigation Monitoring Measure: Prior to final inspection, the geotechnical consultant shall provide certification that all development has been constructed in accordance with the geotechnical report. (RMA - Planning Department and Building Services Department)

Compliance or Monitoring Action to be Performed: Prior to final inspection:
Applicant shall submit certification by the geotechnical consultant to the RMA - Building Services Department showing project's compliance with the geotechnical report

6. PD010 - EROSION CONTROL PLAN AND SCHEDULE

Responsible Department: Building

Condition/Mitigation Monitoring Measure: The approved development shall incorporate the recommendations of the Erosion Control Plan as reviewed by the Director of RMA - Planning and Director of Building Services. All cut and/or fill slopes exposed during the course of construction be covered, seeded, or otherwise treated to control erosion during the course of construction, subject to the approval of the Director of RMA - Planning and Director of RMA - Building Services. The improvement and grading plans shall include an implementation schedule of measures for the prevention and control of erosion, siltation and dust during and immediately following construction and until erosion control planting becomes established. This program shall be approved by the Director of RMA - Planning and Director of RMA - Building Services. (RMA - Planning Department and RMA - Building Services Department)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits: An Erosion Control Plan shall be submitted to the RMA - Planning Department and the RMA - Building Services Department prior to issuance of building and grading permits.

Ongoing: Comply with the recommendations of the Erosion Control Plan during the course of construction until project completion as approved by the Director of RMA - Planning and Director of RMA - Building Services.

Prior to final inspection: Evidence of compliance with the Implementation Schedule shall be submitted to the RMA - Planning Department and the RMA - Building Services Department

7. PD011 - TREE AND ROOT PROTECTION

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: Trees which are located close to the construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by a certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of the RMA - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by a certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits.(RMA - Planning Department)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and/or building permits: Submit evidence of tree protection to the RMA - Planning Department for review and approval.

During Construction:
Submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection:
Submit photos of the trees on the property to the RMA - Planning Department after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

8. PD048 - TREE REPLACEMENT/RELOCATION

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: Within 60 days of permit approval, the applicant shall replace and or relocate each tree approved for removal as follows:

- Replacement ratio: 2 to 1
- Replacement ratio recommended by arborist: 2 to 1

Replacement tree(s) shall be located within the same general location as the tree being removed. (RMA - Planning Department)

Compliance or Monitoring Action to be Performed: Within 60 days after approval:
The Owner/Applicant shall submit evidence of tree replacement to the RMA-Planning Department for review and approval. Evidence shall be a receipt for the purchase of the replacement tree(s) and photos of the replacement tree(s) being planted

Six months after planting:

Six months after the planting of the replacement tree(s), the Owner/ Applicant shall submit evidence demonstrating that the replacement tree(s) are in a healthy, growing condition.

One year after planting:

One year after the planting of the replacement tree(s), the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the replacement tree(s) and whether or not the tree replacement was successful or if follow-up remediation measures or additional permits are required.

9. PD012(D) LANDSCAPE PLAN AND MAINTENANCE - MONTEREY PENINSULA WATER MANAGEMENT DISTRICT (SINGLI

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of the RMA - Planning Department. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County RMA - Planning Department. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (RMA - Planning Department)

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits: Submit landscape plans and contractor's estimate to the RMA - Planning Department for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to issuance of Building Permits: Submit one (1) set landscape plans of approved by the RMA - Planning Department, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey County Water Resources Agency for review and approval.
Submit an approved water permit from the MPWMD to the RMA - Building Department

Prior to Occupancy: Landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County RMA - Planning Department.

Ongoing: All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

10. PD014(B) - LIGHTING - EXTERIOR LIGHTING PLAN (VISUAL SENSITIVITY DISTRICT - RIDGELINE DEVELOPMENT)

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. Exterior lights shall have recessed lighting elements. Exterior light sources that would be directly visible from when viewed from a common public viewing area, as defined in Section 21.06.195, are prohibited. The applicant shall submit 3 copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations, Title 24, Part 6. The exterior lighting plan shall be subject to approval by the Director of the RMA - Planning Department, prior to the issuance of building permits. (RMA - Planning Department)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits: Submit three copies of the lighting plans to the RMA - Planning Department for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to Occupancy/ Ongoing: The lighting shall be installed and maintained in accordance with the approved plan.

11. FIRE007 - DRIVEWAYS

Responsible Department: Fire

**Condition/Mitigation
Monitoring Measure:**

Driveways shall not be less than 12 feet wide unobstructed, with an unobstructed vertical clearance of not less than 15 feet. The grade for all driveways shall not exceed 15 percent. Where the grade exceeds 8 percent, a minimum structural roadway surface of 0.17 feet of asphaltic concrete on 0.34 feet of aggregate base shall be required. The driveway surface shall be capable of supporting the imposed load of fire apparatus (22 tons), and be accessible by conventional-drive vehicles, including sedans. For driveways with turns 90 degrees and less, the minimum horizontal inside radius of curvature shall be 25 feet. For driveways with turns greater than 90 degrees, the minimum horizontal inside radius curvature shall be 28 feet. For all driveway turns, an additional surface of 4 feet shall be added. All driveways exceeding 150 feet in length, but less than 800 feet in length, shall provide a turnout near the midpoint of the driveway. Where the driveway exceeds 800 feet, turnouts shall be provided at no greater than 400-foot intervals. Turnouts shall be a minimum of 12 feet wide and 30 feet long with a minimum of 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall be located within 50 feet of the primary building. The minimum turning radius for a turnaround shall be 40 feet from the center line of the driveway. If a hammerhead/T is used, the top of the "T" shall be a minimum of 60 feet in length. (Monterey County Regional Fire District)

**Compliance or
Monitoring
Action to be Performed:**

1. Prior to issuance of grading and/or building permits, the applicant or owner shall incorporate the specification of the driveway into design and print the text of this condition as "Fire Department Notes" on plans.
2. Prior to requesting a final building inspection, the applicant or owner shall complete the installation of driveway improvements and obtain fire department approval the final fire inspection.

12. FIRE008 - GATES

Responsible Department: Fire

**Condition/Mitigation
Monitoring Measure:**

All gates providing access from a road to a driveway shall be located at least 30 feet from the roadway and shall open to allow a vehicle to stop without obstructing traffic on the road. Gate entrances shall be at least the width of the traffic lane but in no case less than 12 feet wide. Where a one-way road with a single traffic lane provides access to a gated entrance, a 40-foot turning radius shall be used. Where gates are to be locked, the installation of a key box or other acceptable means for immediate access by emergency equipment may be required. (Monterey County Regional Fire District)

**Compliance or
Monitoring
Action to be Performed:**

1. Prior to issuance of grading and/or building permits, the applicant or owner shall incorporate the specification of the entry gate into design and print the text of this condition as "Fire Department Notes" on plans.
2. Prior to requesting a final building inspection, the applicant or owner shall complete the installation of the entry gate and obtain fire department approval the final fire inspection.

13. FIRE011 - ADDRESSES FOR BUILDINGS

Responsible Department: Fire

Condition/Mitigation Monitoring Measure: All buildings shall be issued an address in accordance with Monterey County Ordinance No. 1241. Each occupancy, except accessory buildings, shall have its own permanently posted address. When multiple occupancies exist within a single building, each individual occupancy shall be separately identified by its own address. Letters, numbers and symbols for addresses shall be a minimum of 4-inch height, 1/2-inch stroke, contrasting with the background color of the sign, and shall be Arabic. The sign and numbers shall be reflective and made of a noncombustible material. Address signs shall be placed at each driveway entrance and at each driveway split. Address signs shall be visible and legible from both directions of travel along the road. In all cases, the address shall be posted at the beginning of construction and shall be maintained thereafter. Address signs along one-way roads shall be visible from both directions of travel. Where multiple addresses are required at a single driveway, they shall be mounted on a single sign. Where a roadway provides access solely to a single commercial occupancy, the address sign shall be placed at the nearest road intersection providing access to that site. Permanent address numbers shall be posted prior to requesting final clearance. (Monterey County Regional Fire District)

Compliance or Monitoring Action to be Performed:

1. Prior to issuance of building permit, applicant or owner shall incorporate specification into design and print the text of this condition as "Fire Dept. Notes" on plans.
2. Prior to requesting a final building inspection, the applicant or owner shall install the required address signage and shall obtain fire department approval of the fire department final inspection.

14. FIRE015 - FIRE HYDRANTS/FIRE VALVES

Responsible Department: Fire

Condition/Mitigation Monitoring Measure: A fire hydrant or fire valve is required. The hydrant or fire valve shall be 18 inches above grade, 8 feet from flammable vegetation, no closer than 4 feet and no further than 12 feet from a roadway, and in a location where fire apparatus using it will not block the roadway. The hydrant serving any building shall be not less than 50 feet and not more than 1000 feet by road from the building it is to serve. Minimum hydrant standards shall include a brass head and valve with at least one 2 1/2 inch National Hose outlet supplied by a minimum 4 inch main and riser. More restrictive hydrant requirements may be applied by the Reviewing Authority. Each hydrant/valve shall be identified with a reflectorized blue marker, with minimum dimensions of 3 inches, located on the driveway address sign, non-combustible post or fire hydrant riser. If used, the post shall be within 3 feet of the hydrant/valve, with the blue marker not less than 3 feet or greater than 5 feet above the ground, visible from the driveway. On paved roads or driveways, reflectorized blue markers shall be permitted to be installed in accordance with the State Fire Marshal's Guidelines for Fire Hydrant Markings Along State Highways and Freeways, May 1988. (Monterey County Regional Fire District)

Compliance or Monitoring Action to be Performed:

1. Prior to issuance of grading and/or building permit, the applicant or owner shall incorporate specification into design and print the text of this condition as "Fire Dept. Notes" on construction plans.
2. Prior to requesting a final building inspection, the applicant or owner shall complete the installation of the water system improvements and shall obtain fire department approval of the final fire inspection.

15. FIRE019 - DEFENSIBLE SPACE REQUIREMENTS - (STANDARD)

Responsible Department: Fire

Condition/Mitigation Monitoring Measure: Manage combustible vegetation from within a minimum of 100 feet of structures, or to the property line, whichever is closer. Trim tree limbs to a minimum height of 6 feet from the ground. Remove tree limbs from within 10 feet of chimneys. Additional and/or alternate fire protection or firebreaks approved by the fire authority may be required to provide reasonable fire safety. Environmentally sensitive areas may require alternative fire protection, to be determined by Reviewing Authority and the Director of Planning and Building Inspection. (Monterey County Regional Fire District)

Compliance or Monitoring Action to be Performed:

1. Prior to issuance of grading and/or building permit, the applicant or owner shall incorporate specification into design and print the text of this condition as "Fire Dept. Notes" on construction plans.
2. Prior to requesting a final building inspection, the applicant or owner shall complete the vegetation management and shall obtain fire department approval of the final fire inspection.

16. FIRE021 - FIRE PROTECTION- SPRINKLER SYSTEM (STANDARD)

Responsible Department: Fire

Condition/Mitigation Monitoring Measure: The building(s) and attached garage(s) shall be fully protected with automatic fire sprinkler system(s). Installation shall be in accordance with the applicable NFPA standard. A minimum of four (4) sets of plans for fire sprinkler systems must be submitted by a California licensed C-16 contractor and approved prior to installation. This requirement is not intended to delay issuance of a building permit. A rough sprinkler inspection must be scheduled by the installing contractor and completed prior to requesting a framing inspection. (Monterey County Regional Fire District)

Compliance or Monitoring Action to be Performed:

1. Prior to issuance of grading and/or building permit, the applicant or owner shall print the text of this condition as "Fire Dept. Notes" on construction plans.
2. Prior to requesting a framing inspection, the applicant or owner shall obtain fire department approval of the rough sprinkler inspection.
3. Prior to requesting a final building inspection, the applicant or owner shall complete the installation of the fire sprinkler system and obtain fire department approval of the final fire sprinkler inspection.

17. FIRE027 - ROOF CONSTRUCTION - (VERY HIGH HAZARD SEVERITY ZONE)

Responsible Department: Fire

Condition/Mitigation Monitoring Measure: All new structures, and all existing structures receiving new roofing over 50 percent or more of the existing roof surface within a one-year period, shall require a minimum of ICBO Class A roof construction. (Monterey County Regional Fire District)

Compliance or Monitoring Action to be Performed:

1. Prior to issuance of building permit, the applicant or owner shall print the text of this condition as "Fire Dept. Notes" on construction plans.

18. FIRE030 - OTHER NON-STANDARD CONDITION - DRY STAND PIPE

Responsible Department: Fire

Condition/Mitigation Monitoring Measure: Fire department connections (FDC) and dry standpipes with fire valves. The locations of the inlets and outlets are to be determined by the fire department. A minimum of four sets of plans including flow calculations, soil reports, thrust block dimensions, anodes ect. , prepared by either the installing California licensed contractor or a registered California engineer. as per NFPA 14, 24 and other applicable standards must be submitted to and approved by the fire department prior to installation. An underground inspection and 200 psi hydrostatic pressure test are required before the pipes can be covered. The dry standpipe system must be serviced and maintained as per NFPA standards and manufacturers recommendations. Driveway turn outs for fire apparatus is required at the locations of the FDC's. (Monterey County Regional Fire District)

Compliance or Monitoring Action to be Performed:

1. Prior to issuance of building permit, the applicant or owner shall enumerate as "Fire Dept. Notes" on plans.
2. Prior to installation, the applicant or owner shall obtain Fire Dept. approval of system.
3. Prior to final building inspection the DSP system shall be inspected and tested by the Fire Dept.

19. PD016 NOTICE OF REPORT

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states: "A Biological Assessment report has been prepared for this parcel by Nocole Nedeff, Consulting Ecologist, dated August 2, 2011 and is on record in the Monterey County RMA - Planning Department , Library No. LIB120083. All development shall be in accordance with this report." (RMA - Planning Department)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits:
Proof of recordation of this notice shall be furnished to the RMA - Planning Department.

Prior to Occupancy:
Submit proof that all development has been implemented in accordance with the report to the RMA - Planning Department for review and approval.

20. PD041 - HEIGHT VERIFICATION

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of the RMA- Building Services Department for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (RMA - Planning Department and Building Services Department)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading or building permits:
1) The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection.

Prior to the foundation pre-pour inspection:
2) The applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of the RMA - Building Services Department for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.

Prior to the final inspection:
3) The applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of the RMA - Building Services Department for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.

21. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works Department

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the DPW.

22. WR049 - WATER AVAILABILITY CERTIFICATION

Responsible Department: Water Resources Agency

Condition/Mitigation Monitoring Measure: The applicant shall provide the Monterey County Water Resources Agency proof of water availability in the form of a complete Monterey Peninsula Water Management District Water Release Form. (Water Resources Agency)

Compliance or Monitoring Action to be Performed: Prior to issuance of any construction permit, the owner/applicant shall submit a Water Release Form to the Water Resources Agency for review and approval.

A copy of the Water Release Form can be obtained at the Monterey Peninsula Water Management District, the Water Resources Agency, or online at: www.mcwra.co.monterey.ca.us.

23. PD035 - UTILITIES - UNDERGROUND

Responsible Department: Public Works Department

Condition/Mitigation Monitoring Measure: All new utility and distribution lines shall be placed underground. (RMA - Planning Department; Public Works)

Compliance or Monitoring Action to be Performed: Install and maintain utility and distribution lines underground.

24. PD032(A) - PERMIT EXPIRATION

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: The permit shall be granted for a time period of 3 years, to expire on August 30, 2015 unless use of the property or actual construction has begun within this period. (RMA - Planning Department)

Compliance or Monitoring Action to be Performed: The applicant shall obtain a valid grading or building permit and/or commence the authorized use to the satisfaction of the Director of Planning. Any request for extension must be received by the Planning Department at least 30 days prior to the expiration date.

Borromeo Residence

1 Olmsted Road

Monterey, California

APN 259-131-010

Project:
 Borromeo Residence
 2801 Monterey-Salinas HWY
 Monterey, CA 93940

Assessors Parcel No:
 RDH-86-UR-NS

Land Use Designation:
 Plan No:
 Owner:

Arresco LLC
 1000 W. 2nd St, Suite 4026
 Monterey, CA 93902

Project Planner:
 Monterey County RMA-
 168 West Alisal
 Salinas, CA 93901

Architect:
 Ray Parks & Associates Inc.
 13111 Monterey Rd., Suite 100
 Carmel, CA 93921
 831-621-1647

Surveyor/Civil Engineer:
 Borromeo Residence
 2801 Monterey-Salinas HWY
 Monterey, CA 93940

Geotechnical Engineer:
 Hsu, Kanuchi & Associates Inc.
 1750 S. Bascom Ave., Suite 200
 Westwood, CA 94096
 831-722-4175

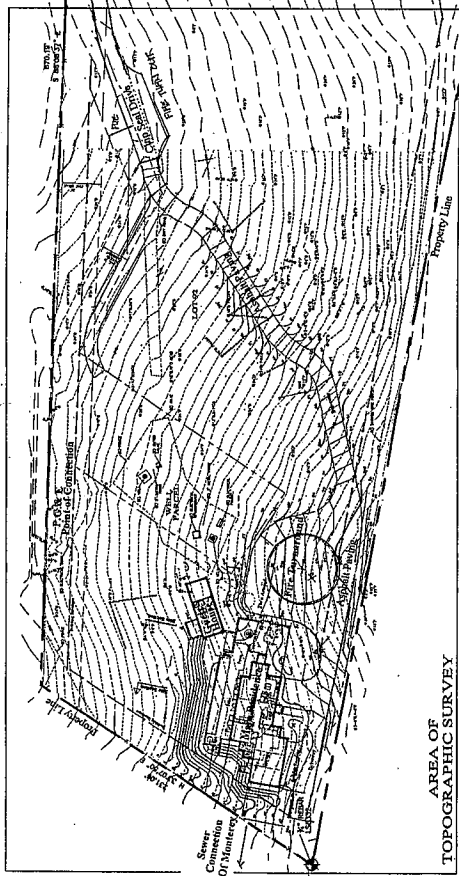
Architectural:
 P.O. Box 397
 Salinas, CA 93912

Land Use Consultant:
 Land Use Consultants
 Environmental Planning & Design
 1000 W. 2nd St, Suite 312
 Monterey, CA 93940

Monetary Assessment:
 Monterey Planning Department
 831-494-1426

Monetary Assessment:
 Monterey Planning Department
 1680 McCarty Rd.
 Monterey, CA 93924

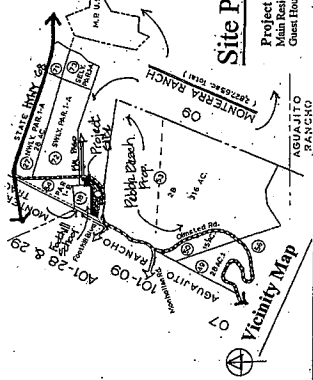
Forest Management Plan:
 Frank Doe Forester
 11700 Highway Ave
 Pacific Grove, CA 93950



LEGEND

- PROPERTY LINE
- - - - - BOUNDARY
- FENCE LINE
- MOOR CORNER
- MOOR CORNER
- MOOR CORNER
- MOOR CORNER
- MOOR CORNER
- MOOR CORNER
- MOOR CORNER

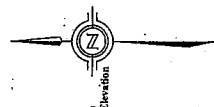
Planning Data
 APN: 259-131-010-000
 Zoning: RDR(B)-4-UR-VS
 Land Use: Residential
 Para No: 11 021
 Allowable Lot Cover: 25% 79,715 sq.ft.
 Allowable Floor Area: 100,000 sq.ft.
 Proposed Floor Area: 25% 111,285 sq.ft.
 Proposed Volume: 1648 Cu.Yds
 Tree Removal: one (1) 16" Fine
 Proposed Parking: 3 Covered; 2 uncovered
 Sewer: City of Monterey
 Water: Canada Woods Water Co.
 Gas & Electric: P.G. & E.



Project Description
 Main Residence 3,612 Sq. Ft.
 Guest House 350 Sq. Ft.

Sheet Index

A.1	Site Plan
A.2	Site Plan
A.3	First Floor Plan
A.4	Second Floor Plan
A.5	G. Room Plan & Elevation
A.6	Elevations
A.7	Elevations
A.8	Building Sections
A.9	Site Sections
A.10	Grading
A.11	Landscaping Plan
A.12	Entry Gate



Borromeo Residence
 Owners: Arresco LLC
 P.O. Box 2084 Carmel, CA 93926
 APN: 259-131-010

Ray Parks & Associates Inc.
 Post Office Box 5473 Carmel, CA 93921
 Phone: 831-621-1647 Fax: 831-621-0425
 Email: rpa@rayparkassociates.com

Cover Sheet

Job Number: 11-023
Last Revised: N/A
Scale: AS SHOWN
Date: 7/21/11
Designed By: N/A
Drawn By: ARS

Revised By: N/A
Last Revised: N/A
Scale: AS SHOWN
Date: 7/21/11
Designed By: N/A
Drawn By: ARS

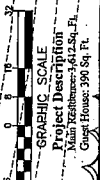
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 11/11/11
 11/11/11

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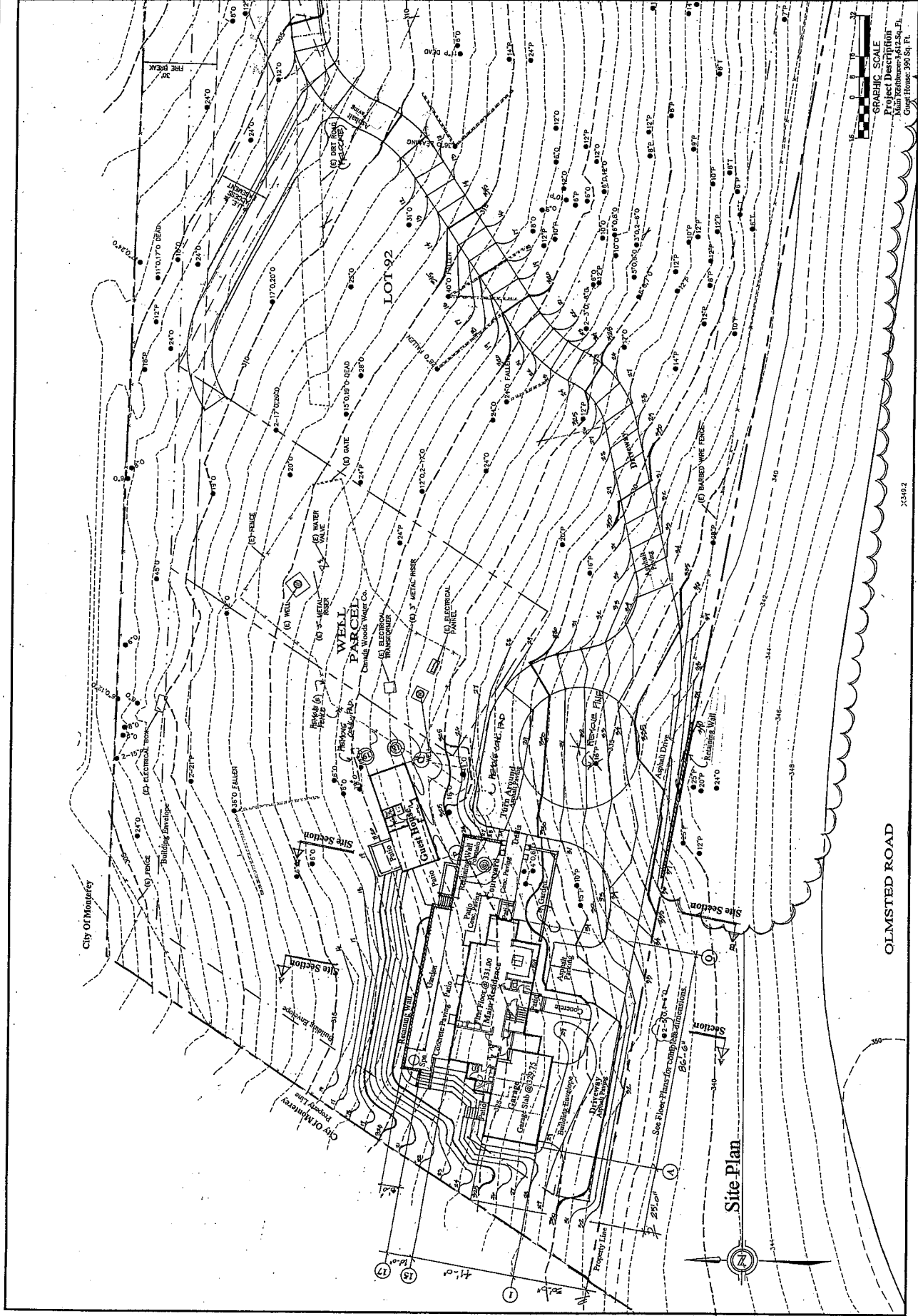
Borromeo Residence
Owner: Arross LLC
P.O. Box 2084 Menlo Park, Ca 94026
APN: 259-131-010

Ray Parks & Associates Inc.
Post Office Box 5473
Carmel Ca. 93921
Phone: 831-621-1617 Fax: 831-626-6182
www.rpa.com

Site Plan
DRAWN BY: MRS
DESIGNED BY: M/A
DATE: 7-12-11
SCALE: AS SHOWN
JOB NUMBER: 11-023
LAST REVISION: 7-20-11
REVISED BY: CIS



GRAPHIC SCALE
Project Description
Main Residence: 44 U.S.F.
Guest House: 390 Sq. Ft.



X-349.2

OLMSTED ROAD

Site Plan



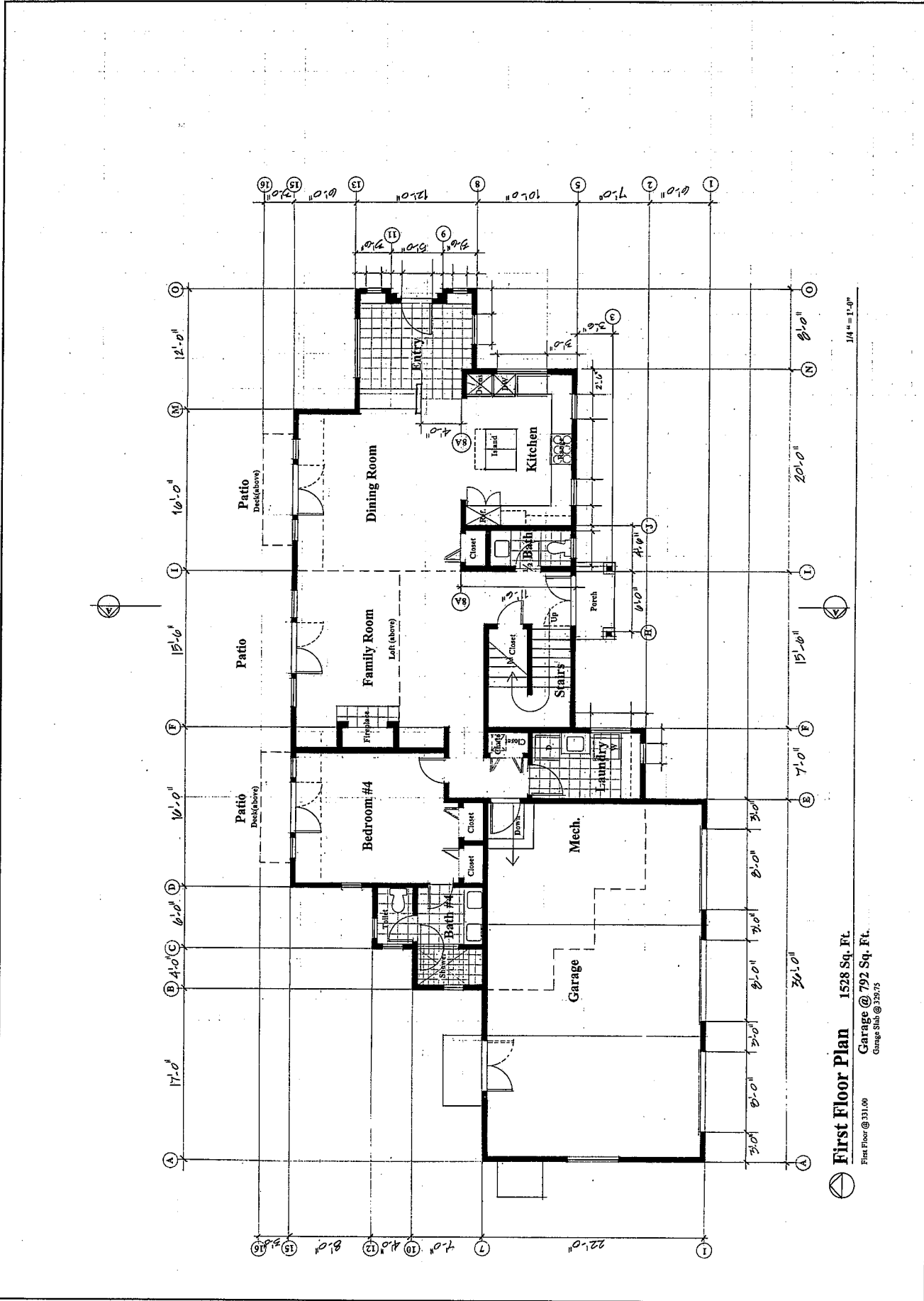
NO.	REVISIONS

Ray Parks & Associates Inc.
 Post Office Box 5473 Carmel Ca. 93921
 Phone 831-624-1677 Fax 831-626-0426 ray@raypark.com

**Main Residence
 First Floor Plan**

Bortomeo Residence
 Owner: Aresso LLC
 P.O. Box 2084 Menlo Park, Ca 94026
 APN: 259-131-010

Scale: 1/4" = 1'-0"
 Date: _____
 Drawn: _____
 Checked: _____
 Title: _____
A.3
 Sheet No. _____ of _____



First Floor Plan 1528 Sq. Ft.
 First Floor @ 331.00
 Garage @ 792 Sq. Ft.
 Garage Slab @ 326.75

REVISIONS	BY

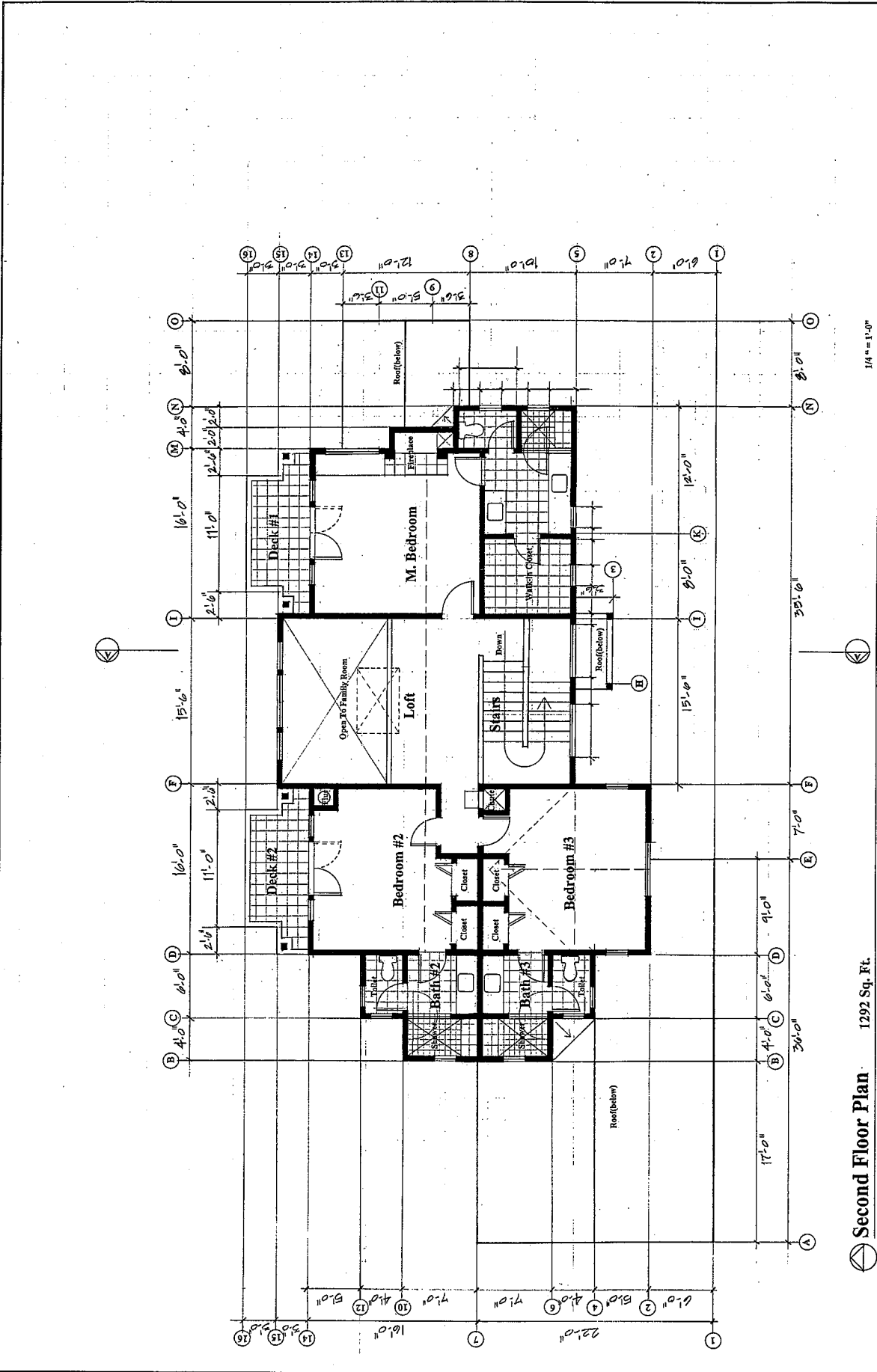
Ray Parks & Associates Inc.
 Post Office Box 5473 Carmel Ca. 93921
 Phone: 831-424-1527 Fax: 831-926-4258 rpa@rpafr.com

Second Floor Plan
Main Residence

Borromeo Residence
 Owner: Aresso LLC
 P.O. Box 2084 Menlo Park, Ca 94026
 APN: 259-131-010

Date: _____
 Scale: 1/4" = 1'-0"
 Drawn: _____
 App: _____
 Check: _____

A.4
 Sheet



Second Floor Plan 1292 Sq. Ft.
 Second Floor @ 341.00

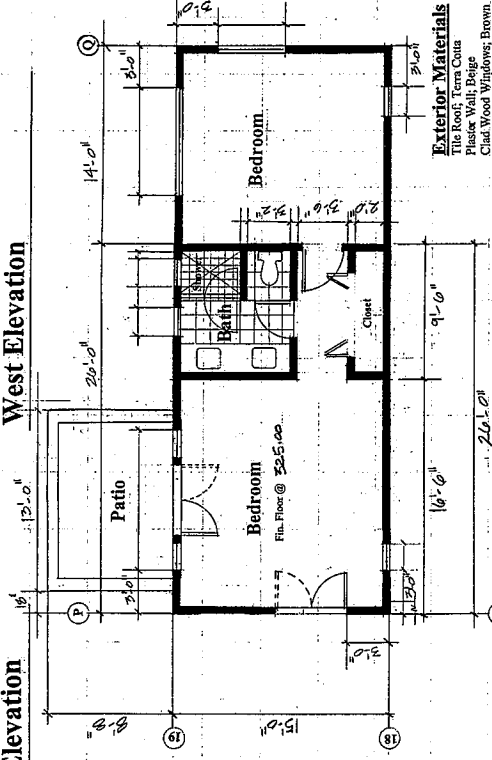
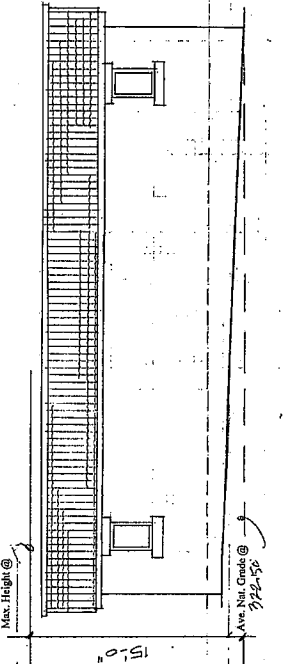
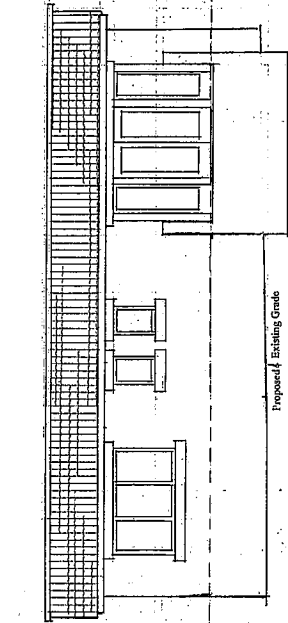
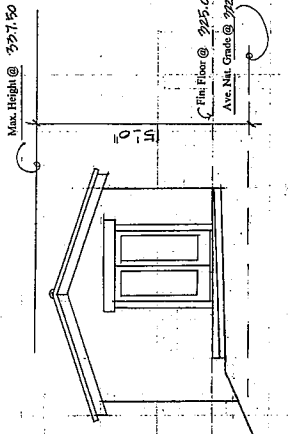
REVISIONS BY

Ray Parks & Associates Inc.
 Post Office Box 5473 Carmel Ca. 93921
 Phone 831-424-1417 Fax 831-626-0426 ray@rayparks.com

**Guest Room
 Floor Plan
 Elevation**

Borromeo Residence
 Owner: Aresso LLC
 P.O. Box 2084 Menlo Park, Ca 94026
 APN: 259-131-010

Date: _____
 Scale: 1/4" = 1'-0"
 Drawn: _____
 Job: _____
 Sheet: **A.5**
 Of: _____



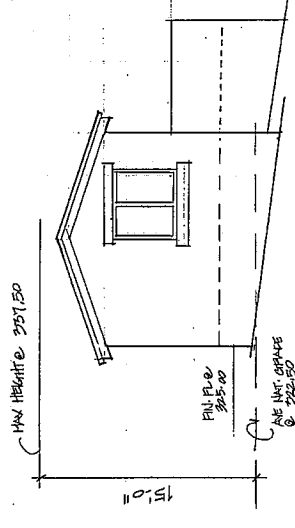
Exterior Materials
 Tile Roof; Terra Cotta
 Plaster Wall; Beige
 Clad Wood Windows; Brown
 Wood Doors; Brown

Floor Plan 600 Sq. Ft.
 1/4" = 1'-0"
 Fin. Floor @ 3255.00

South Elevation

North Elevation

West Elevation



East Elevation

REVISIONS BY

NO.	DESCRIPTION	DATE

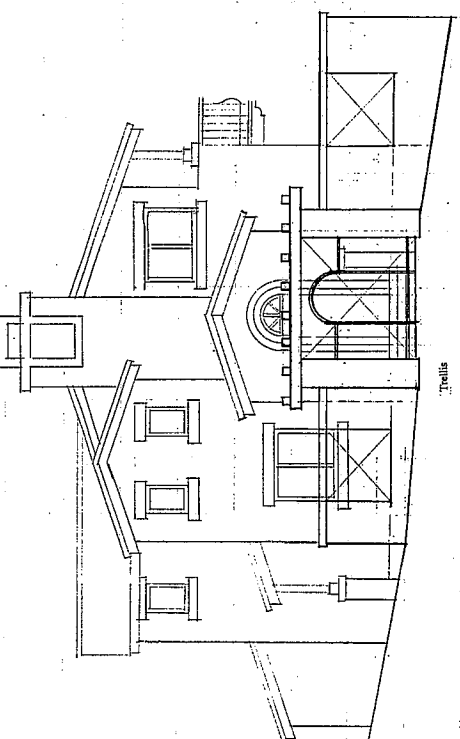
Ray Parks & Associates Inc.
Post Office Box 5473 Carmel Ca. 93921
Phone 831-624-1467 Fax 831-626-0426 rpy @ raypark.com

Main Residence Elevation

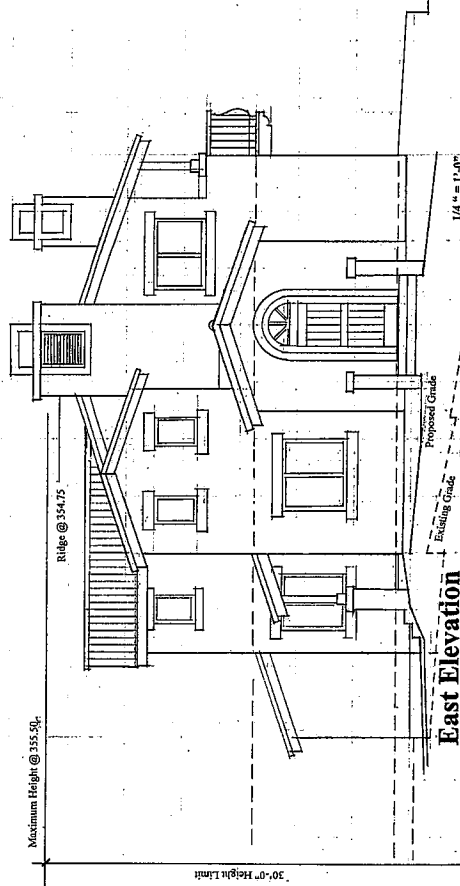
Borromeo Residence
Owner: Aresso LLC
P.O. Box 2084 Menlo Park, Ca 94026
APN: 259-131-010

Date	Drawn	Job	Sheet

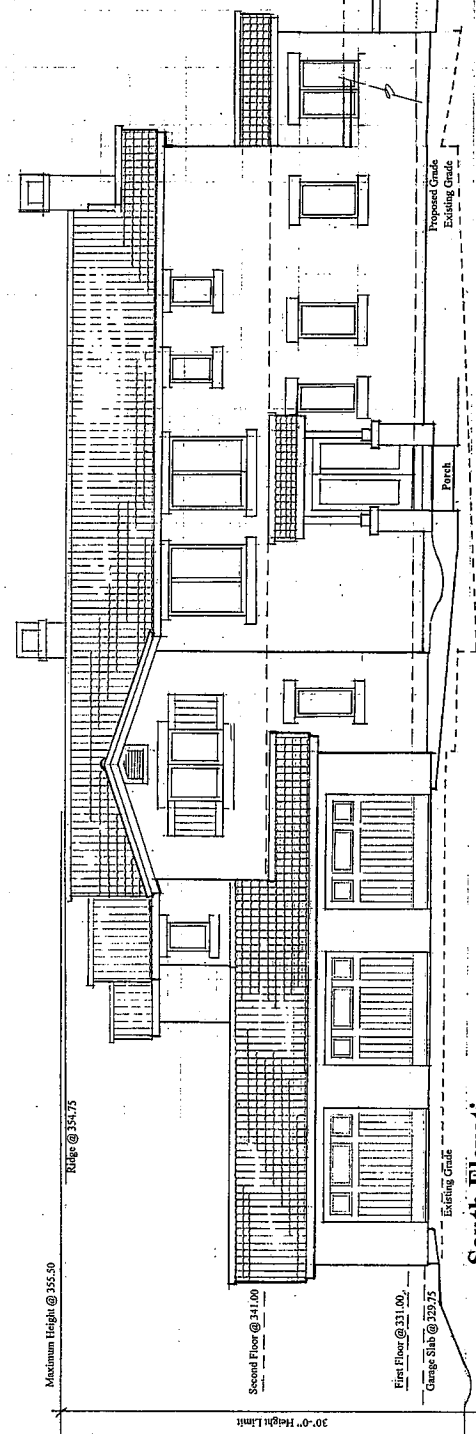
Scale: **A6**
Drawing



Court Yard Entry Elevation



East Elevation



South Elevation

Exterior Materials
Tile Roof: Terra Cotta
Plaster Walls: Beige
Clad Wood Windows; Brown
Wood Doors; Brown

Maximum Height @ 355.50'

Ridge @ 354.75'

30'-0" Height Limit

Ave. Natural Grade @ 325.40'

Maximum Height @ 355.50'

Ridge @ 354.75'

Second Floor @ 341.00'

First Floor @ 331.00'

Garage Slab @ 323.75'

30'-0" Height Limit

Ave. Nat. Grd 325.90'

1/4" = 1'-0"

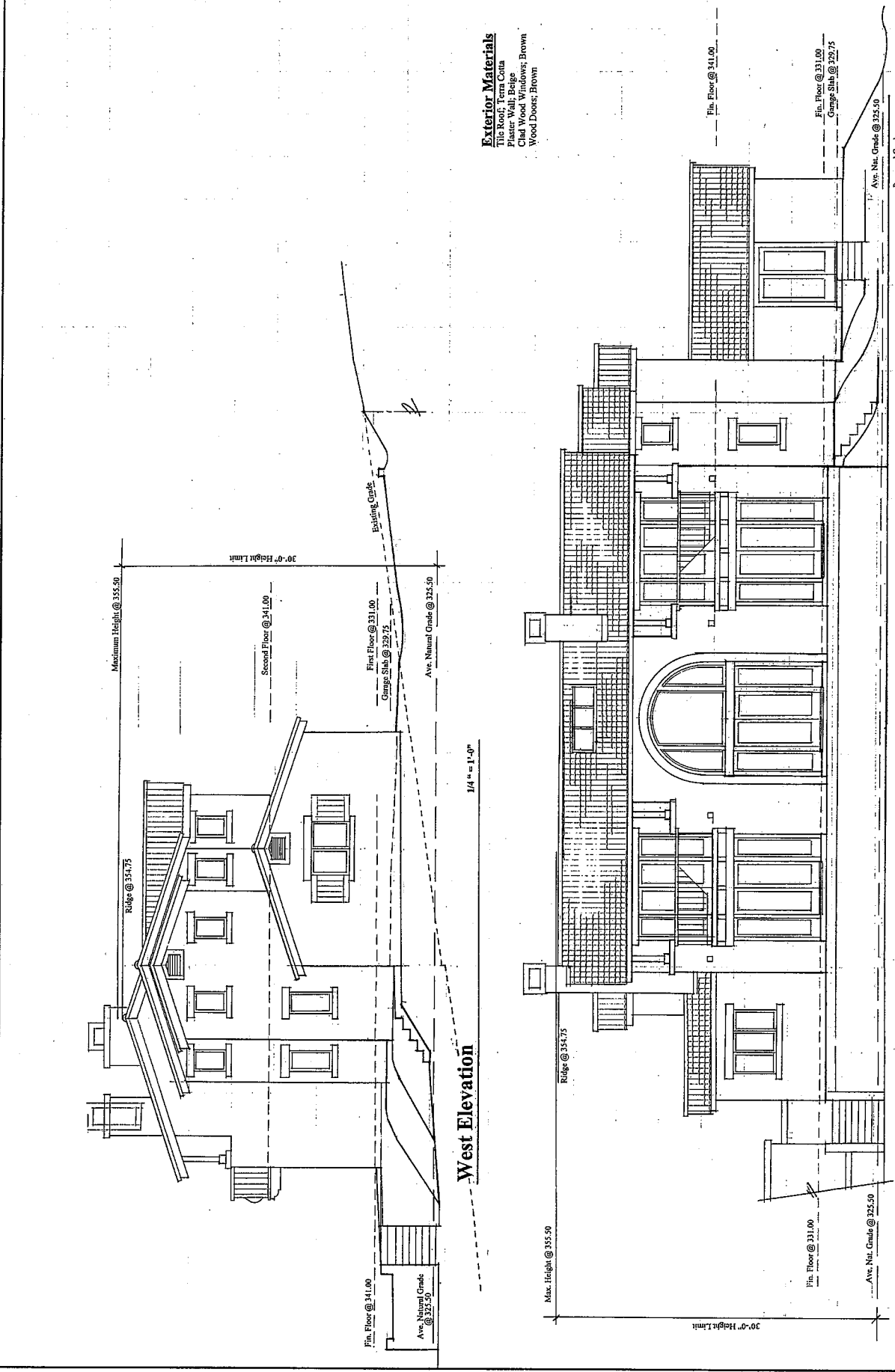
REVISIONS BY

Ray Parks & Associates Inc.
 Post Office Box 5473 Carmel Ca. 93921
 Phone 831-624-1647 Fax 831-626-0426 ray@raypark.com

**Main Residence
 Elevation**

Borromeo Residence
 Owner: Aresso LLC
 P.O. Box 2084 Menlo Park, Ca 94026
 APN: 259-131-010

Sheet
 A-7
 Date
 Drawn
 Job
 Scale
 1/4" = 1'-0"



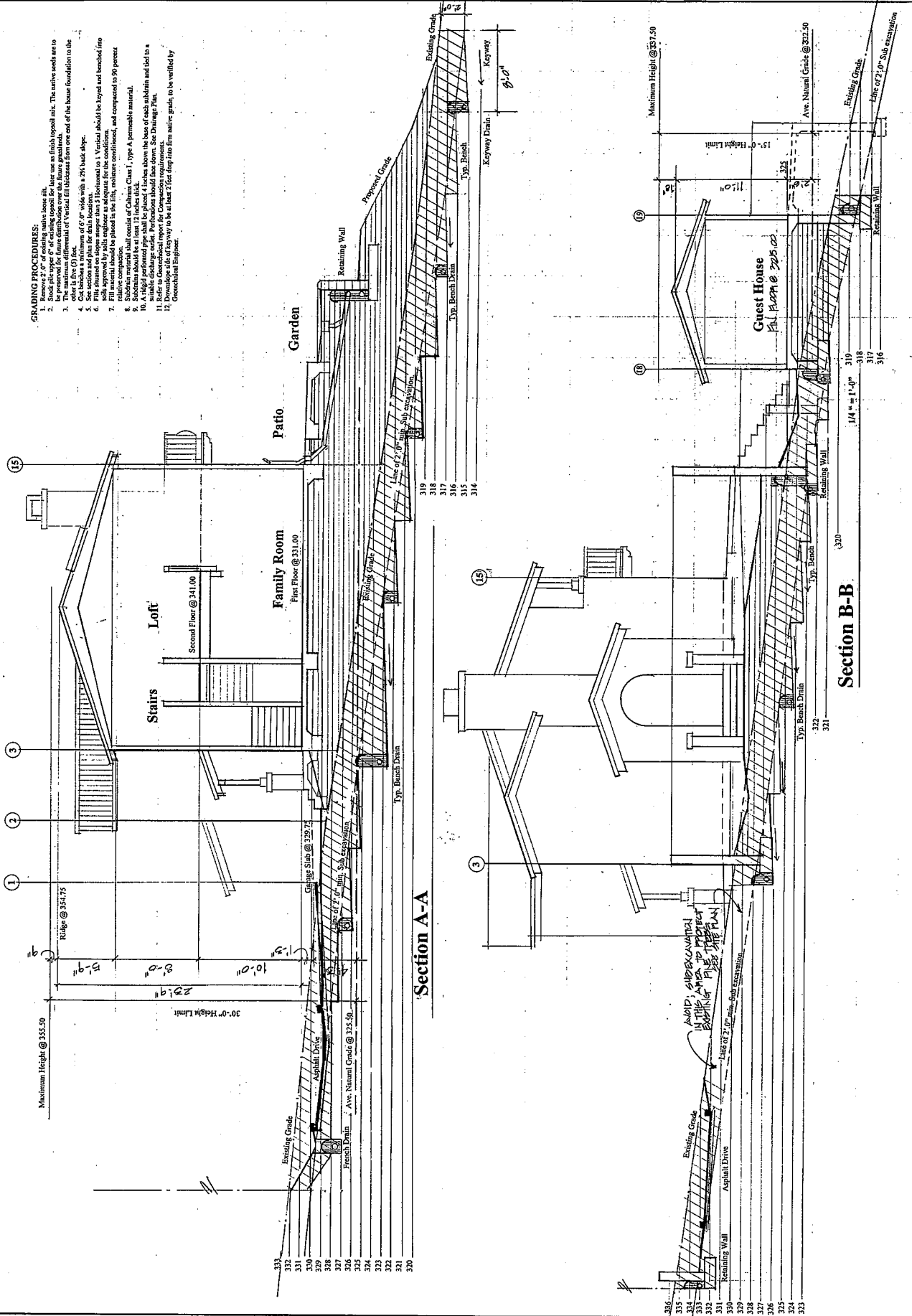
Exterior Materials
 Tile Roof; Terra Cotta
 Plaster Wall; Beige
 Clad Wood Windows; Brown
 Wood Doors; Brown

West Elevation

North Elevation

1/4" = 1'-0"

GRAVING PROCEDURES:
 1. All excavations shall be backfilled with select fill.
 2. Backfill upper 6" of existing topsoil for later use as finish topsoil mix. The entire area to be reserved for future distribution over the future landscape.
 3. All excavations shall be backfilled with vertical fill placement from one end of the house foundation to the other to give (3) feet.
 4. Cut trenches a minimum of 6" wide with a 2% back slope.
 5. All trenching shall be performed by a licensed contractor.
 6. Fill placed on slopes steeper than 5:1 should be compacted to 95 percent.
 7. Fill placed on slopes steeper than 5:1 should be compacted to 95 percent.
 8. Substrate material shall consist of Caltrans Class 1, Type A permeable material.
 9. A rigid perforated pipe shall be placed 4 inches above the base of each substrate and tied to a multiple discharge outlet. Perforations should face down. See Drainage Plan.
 10. Downslope side of Keyway to be at least 2' feet deep from main grade, to be verified by Geotechnical Engineer.



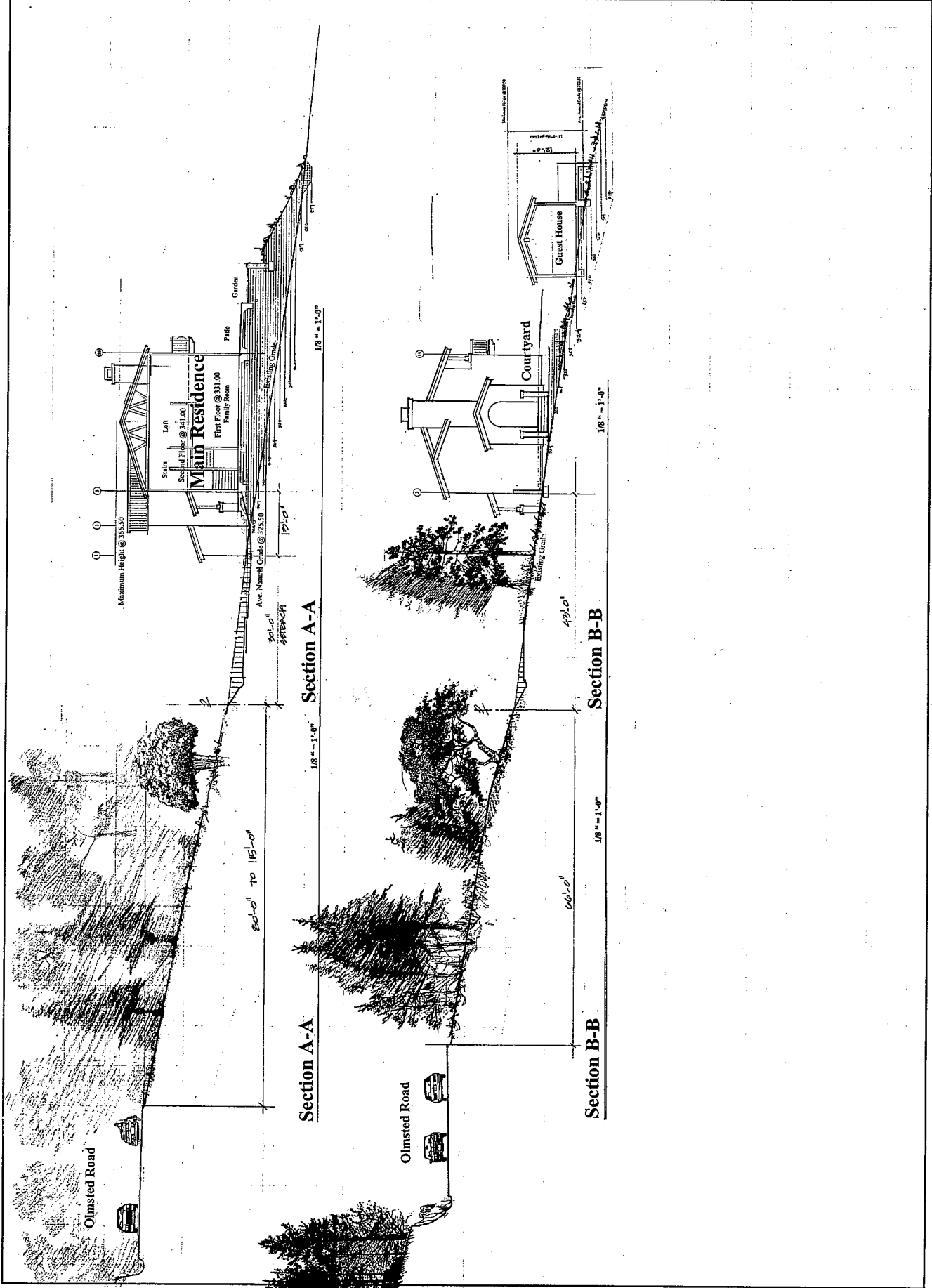
REVISIONS	BY

Ray Parks & Associates Inc.
 Post Office Box 5473 Carmel Ca. 93921
 Phone 831-424-1647 Fax 831-426-0426 rpa@raypark.com

Site Section

Borromeo Residence
 Owner: Aresso LLC
 P.O. Box 2084 Menlo Park, Ca 94026
 APN: 259-131-010

Sheet A.9
 Scale 1/8" = 1'-0"
 Date: Drawn: Job:



Olmsted Road

Olmsted Road

Section A-A

Section A-A

Section B-B

Section B-B

Section B-B

Guest House

Courtyard

Main Residence

Left Social Filter @ 341.00
 First Floor @ 331.00
 Family Room

Maximum Height @ 355.50

80'-0" to 115'-0"

1/8" = 1'-0"

1/8" = 1'-0"

1/8" = 1'-0"

1/8" = 1'-0"

1/8" = 1'-0"

1/8" = 1'-0"

Ave. Natural Grade @ 325.50

Existing Grade

Garden

PAVING

PAVING

PAVING

PAVING

PAVING

PAVING

PAVING

PAVING

PAVING

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PAVING



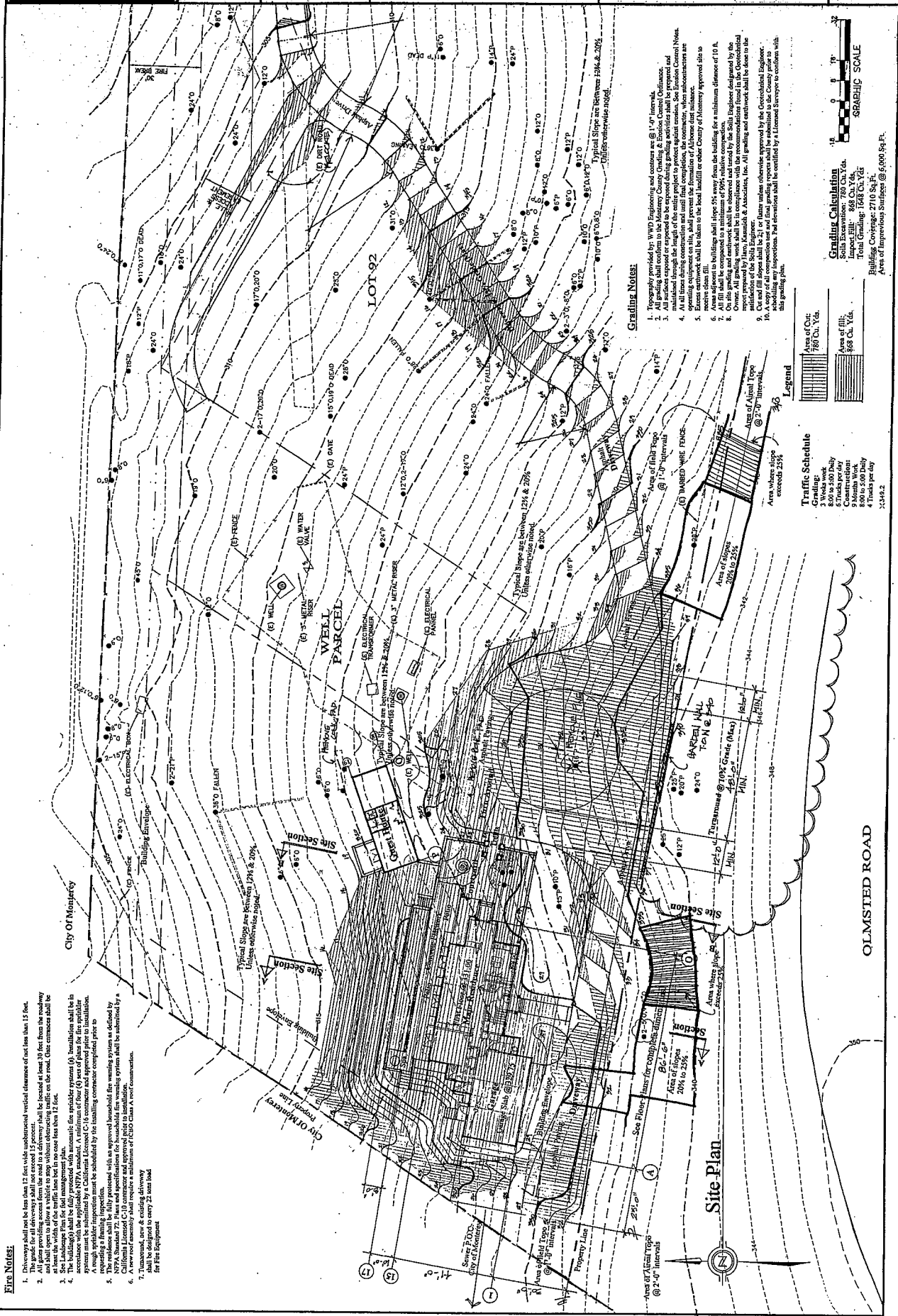
DATE: 7-12-11
 DESIGNED BY: MA
 DRAWN BY: MS

SCALE: AS SHOWN
 JOB NUMBER: 11-023
 LAST REVISED: 7-20-11
 REVISED BY: CIS

Grading
 Ray Parks & Associates Inc.
 Post Office Box 5473, Carmel, Ca. 93921
 Phone 831-424-1647 Fax 831-424-0245 www.rpa.com

Owner: Aresso LLC
 P.O. Box 7084 Menlo Park, Ca 94026
 APN: 259-131-010

A.10



- Fire Notes:**
1. Fire hydrant to be located within 15 feet of the proposed vertical clearance of not less than 15 feet.
 2. All gates providing access from the road to a driveway shall be located at least 30 feet from the roadway.
 3. All gates providing access from the road to a driveway shall be located at least 30 feet from the roadway.
 4. All gates providing access from the road to a driveway shall be located at least 30 feet from the roadway.
 5. The site shall be fully protected with an approved household fire warning system as defined by a California Licensed C-16 contractor and approved prior to installation.
 6. A new roof assembly shall require a minimum of R-30 Class A roof construction.
 7. Unexcavated, new & existing driveway shall be constructed to carry 21 tons load for fire equipment.

- Grading Notes:**
1. Topography provided by WWP Engineers and Associates at @ 1'-0" intervals.
 2. All grading shall conform to the Monterey County Ordinance at @ 1'-0" intervals.
 3. All surfaces exposed or expected to be exposed during grading activities shall be prepared and maintained to the length of the entire project to prevent siltation erosion. See Erosion Control Notes.
 4. All fill areas shall be compacted to a minimum of 95% relative compaction. See Erosion Control Notes.
 5. Existing equipment on site, shall prevent the formation of All home dust nuisance.
 6. Erosion control shall be taken to the local landfill or other County of Monterey approved site to
 7. Areas adjacent to buildings shall slope 5% away from the building for a minimum distance of 10 ft.
 8. All fill shall be compacted to a minimum of 95% relative compaction.
 9. Grading shall be in compliance with the recommendations listed in the Geotechnical report prepared by James Kamahaka & Associates, Inc. All grading and earthwork shall be done to the satisfaction of the County of Monterey.
 10. A copy of all completion test and final grading reports shall be submitted to the County prior to the start of construction. The information shall be certified by a Licensed Surveyor to conform with this grading plan.

Typical Slope are between 12% & 20%
 Unless otherwise noted

Typical Slope are between 12% & 20%
 Unless otherwise noted

Typical Slope are between 12% & 20%
 Unless otherwise noted

Grading Calculation
 Slope: 20%
 Total Grading: 1648 Cu. Yds.
 Import: 868 Cu. Yds.
 Export: 780 Cu. Yds.
 Building Coverage: 2710 Sq. Ft.
 Area of Impervious Surfaces @ 6,000 Sq. Ft.

Legend

Area of Cut:	760 Cu. Yds.
Area of Fill:	868 Cu. Yds.

Traffic Schedule

Grading:	8 Trucks per day
Woods work:	6 Trucks per day
Construction:	800 to 500 daily
4 Trucks per day	



Area where slope exceeds 25%

Area of Final Topo @ 1'-0" intervals

Area of Slopes 20% to 25%

Area of Slopes 12% to 20%

Area of Slopes 5% to 12%

Area of Slopes 2% to 5%

Area of Slopes 1% to 2%

Area of Slopes 0% to 1%

Area of Slopes 0% to 0%

Area of Slopes 0% to 0%

Area of Slopes 0% to 0%

Area of Slopes 0% to 0%

Area of Slopes 0% to 0%

Area of Slopes 0% to 0%

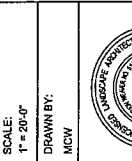
Area of Slopes 0% to 0%

Area of Slopes 0% to 0%

Area of Slopes 0% to 0%

EPD - Landscape Architecture
 455 Canyon del Rey Blvd., Box #312
 Monterey, CA 93940
 Tel: 831.372.4100
 Web: www.epda.com

DATE: 03-15-2012
 SCALE: 1" = 20'-0"
 DRAWN BY: MCW



1. Matthew Weaver, CMAJ5128
 is the author of this plan and is duly licensed with all Monterey County Landscaping requirements.
 2. This plan is based on field notes, site visit, and limited turf and low flow, water conserving irrigation methods.

PROJECT TITLE:
Borromio Residence

Owner:
 Anesco LLC
 PO Box 2084
 Menlo Park, CA 94026
 A.P.N.: 259-931-010



SHEET TITLE:
 LANDSCAPE MASTER PLAN & FULL MANAGEMENT PLAN

SHEET #
L1.

LANDSCAPE NOTES:

FUEL MANAGEMENT: ALL NON-NATIVE PLANT MATERIAL SHALL BE FIRE RESISTANT. REFER TO MONTEREY COUNTY BROCHURE: FIRE RESISTANT LANDSCAPING. NATIVE MANZANITA SHRUBS ARE NOT ON FIRE SAFE LIST. ANY ADDITIONAL MANZANITA SHRUBS SHALL BE PLANTED IN THE PART OF THE REGULAR MAINTENANCE.

LANDSCAPE WITHIN 30 FEET SHALL BE DRIP IRRIGATED. VEGETATION MANAGEMENT PER MONTEREY COUNTY FIRE DEPARTMENT REQUIREMENTS SHALL OCCUR ONCE OR TWICE ANNUALLY WITHIN 100 FEET OF THE DRIVEWAY AND OCCASIONAL MOWING OF THE GRASS LAND VEGETATION.

SHRUB AND TREE PROTECTION: IT WILL BE NECESSARY TO PROTECT EXISTING SHRUBS AND TREES TO REMAIN UNTIL THE PROTECTION IS ESTABLISHED. TEMPORARY DEBR FENCING IS SUGGESTED. CONSTRUCTION OCCURS SHALL BE PROTECTED PER MONTEREY COUNTY TREE PROTECTION STANDARDS. ONLY HAND TRENCHING SHALL BE ALLOWED WITHIN THE DRIP LINE OF EXISTING TREES.

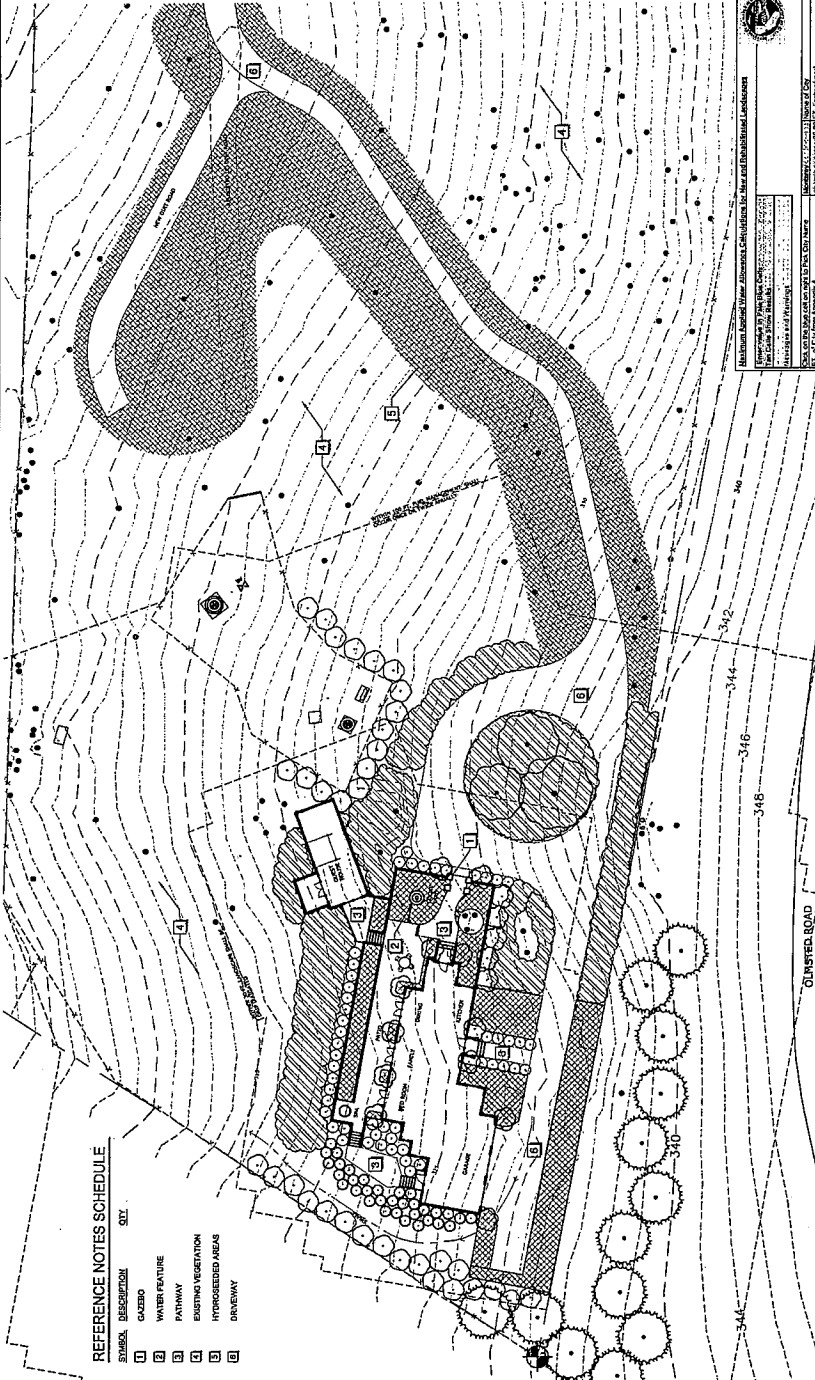
NATIVE SHRUB PLANTING AND HYDRO SEEDING: ALL NATIVE PLANT MATERIAL SHALL BE PLANTED IN LATE FALL, WHEN FIRST RAIN HAS FALLEN, BUT NOT LATER THAN AFTER FEBRUARY 28. DURING THE FIRST YEAR AFTER PLANTING, ALL NATIVE SHRUBS SHALL BE MONITORED. YOUNG PLANTS WILL NEED TO BE HAND WATERED DURING DRY SPRING, SUMMER, FALL AND WINTER MONTHS UNTIL ESTABLISHED. IF WINTER RAINFALL AVERAGES ARE NOT MET, IT IS NECESSARY TO SOAK THE AREA FOR 8 HOURS TO MIMIC RAINFALL ONCE A MONTH (2 TIMES A MONTH FOR A SEVERELY DRY WINTER) UNTIL THE SHRUBS ARE ESTABLISHED. WATER FREQUENTLY, BUT DEEPLY, ONCE A MONTH IN SUMMER TO HELP PRODUCE DEEPER ROOTS. FOR ADDITIONAL CARE REFER TO BOOK: CARE & MAINTENANCE OF SOUTHERN NATIVE PLANT GARDENS-MANCHO SANTA ANA BOTANIC GARDEN.

IRRIGATION SYSTEM: ALL IRRIGATION WITHIN 30 FT. OF THE RESIDENCE SHALL BE DRIP IRRIGATION. A SMART ET CONTROLLER AND WEATHER STATION WILL BE INSTALLED PER LANDSCAPE WATER ORDINANCE. FOR THE HYDROSEEDED AREAS ALONG THE DRIVEWAY AND WHERE NEW TREES WILL BE PLANTED A WATERLINE WITH QUICK CONNECT AND VALVE SHALL BE INSTALLED. REFER TO THE LANDSCAPING INSTRUCTIONS FOR TREE ESTABLISHMENT.

SOIL AMENDMENTS AND MULCH: MULCH AREAS WITH 3 INCHES THICK LAYER OF FINELY SHREDED WOOD CHIPS. AREAS CALLED OUT AS NATIVE LANDSCAPE THAT HAVE BEEN IMPACTED BY CONSTRUCTION SHALL RECEIVE RESTORATION OF THE TOP SOIL BY APPLYING A COMBINATION OF MULCH AND PSYCHORRHAZE. THIS WILL BE DONE AS SOON AS POSSIBLE. THESE CALLS OUT AS RESTORED AS SOON AS POSSIBLE. DISTURBED SHALL BE LEFT UNTREATED. REPLACEMENT OAK AND PINE TREES SHALL BE OF LOCAL ORIGIN AND SHALL BE FROM A NURSERY THAT IS OR CAN BE CERTIFIED FREE FROM SUDDEN OAK DEATH. TREES SHOULD NOT BE PLANTED WITHIN 10 FEET OF EXISTING TREES OR EACH OTHER.

NON-NATIVE INVASIVE SPECIES: REFER TO BIOLOGICAL REPORT FOR NON NATIVE AND INVASIVE SPECIES TO BE REMOVED BEFORE AND DURING CONSTRUCTION. A BIOLOGIST SHALL MONITOR A LICENSED BIOLOGIST FOR IDENTIFY AND TREAT NON NATIVE AND INVASIVE SPECIES FOR ERADICATION.

RECOMMENDED MAINTENANCE PRACTICES: IRRIGATE TREES PLANTED DURING THE DRY SEASON. WATER TREES FREQUENTLY DURING MONTHS AND TWICE A WEEK THEREAFTER UNTIL THE BARKY SEASON. IT MAY BE NECESSARY TO WATER MORE FREQUENTLY DURING PARTICULARLY HOT, DRY WEATHER. CONSTRUCT A WATERING BERM AROUND THE PLANTING HOLE AND A SMALLER INNER TEMPORARY BERM AROUND THE PLANTING HOLE AND A SMALLER INNER TEMPORARY BERM. APPLY WATER FREQUENTLY TO THE ROOT BALL. KEEP THE ROOT BALL MOIST UNTIL ROOTS GROW OUT INTO THE FILL SOIL AND BEYOND, USUALLY UP TO 4 WEEKS. IRRIGATE TREES PLANTED IN THE LATE WINTER TO EARLY SPRING ON A WEEKLY BASIS, WHEN AM IS TACKLING. BEGIN WATERING TWICE A WEEK WITH THE APPROACH OF WARM, DRY WEATHER. WATER TREES FREQUENTLY DURING THE BARKY SEASON. PLANTING HOLE DEPTH. KEEP THE SOIL MOIST, NOT WET. TOO MUCH WATER IS JUST AS BAD AS TOO LITTLE. DURING THE SECOND YEAR, WATER ON A WEEKLY BASIS BEGINNING IN THE LATE SPRING CONTINUING THROUGH EARLY FALL. ALLOW ENOUGH TIME FOR THE WATER TO PENETRATE THE SOIL TO A DEPTH OF 6 TO 12 INCHES. IF DRIP IRRIGATION IS USED, EXPAND THE SYSTEM AS THE TREE GROWS. IN THE THIRD YEAR, MONTHLY DEEP WATERING SHOULD SUFFICE. IN THE FOURTH YEAR, MONTHLY DEEP WATERING SHOULD SUFFICE. DURING THE SUMMER OF THE FOURTH OR FIFTH YEAR, SOME TREES WILL SURVIVE THE SUMMER WITH NO FURTHER IRRIGATION. MOST TREES WILL BENEFIT FROM PERIODIC, BUT INFREQUENT DEEP WATERING, PARTICULARLY DURING DROUGHTS. FREQUENCY AND DURATION DEPENDING ON SOIL TYPE, WEATHER, DRAINAGE AND TREE SPECIES.



REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	NOTE
1	EXISTING VEGETATION	
2	WATER FEATURE	
3	PATHWAY	
4	EXISTING VEGETATION	
5	HYDROSEEDED AREAS	
6	DRIVEWAY	

CONCEPT PLANT SCHEDULE

SYMBOL	PLANT SPECIES	QUANTITY	AREA (sq ft)
1	PLANT SPECIES	13	6,477 sf
2	PLANT SPECIES	3	3,186 sf
3	PLANT SPECIES	272 SF	
4	PLANT SPECIES	658 SF	14,983 sf
5	PLANT SPECIES	2,001 SF	
6	PLANT SPECIES	1,171 SF	

PLANT SPECIES LIST:

- PLANT SPECIES 1:** ...
- PLANT SPECIES 2:** ...
- PLANT SPECIES 3:** ...
- PLANT SPECIES 4:** ...
- PLANT SPECIES 5:** ...
- PLANT SPECIES 6:** ...

REVISIONS	BY

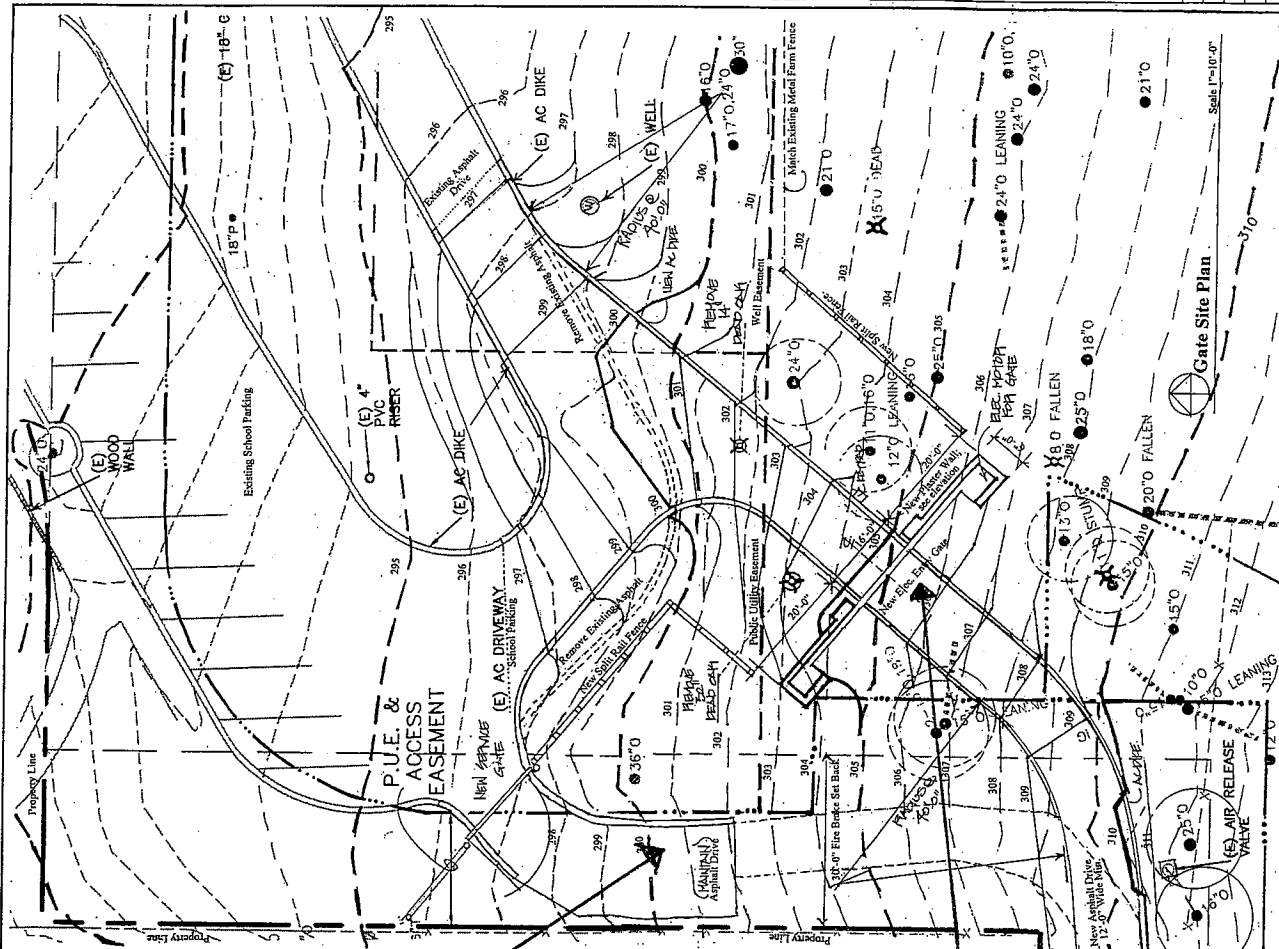
Ray Parks & Associates Inc.
 Post Office Box 5473, Carroll Ca. 93921
 Phone 831-421-1617 Fax 831-626-0426 ray@raypark.com

Entry Gate
 P.C. 00651: PALLINGA
 R.P. 00651: GRAYLICK TEMPL

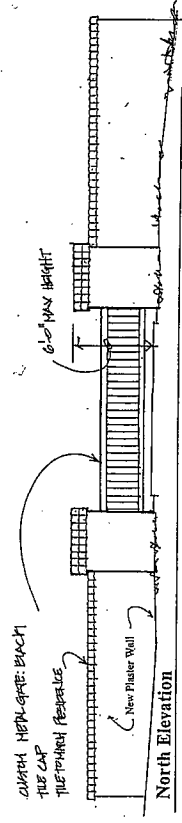
Bortomeo Residence
 Owner: Arresso LLC
 P.O. Box 2084 Menlo Park, Ca 94026
 APN: 259-131-010

Scale 1"=10'-0"
 Date: 11/10/07
 Sheet: 1 of 1

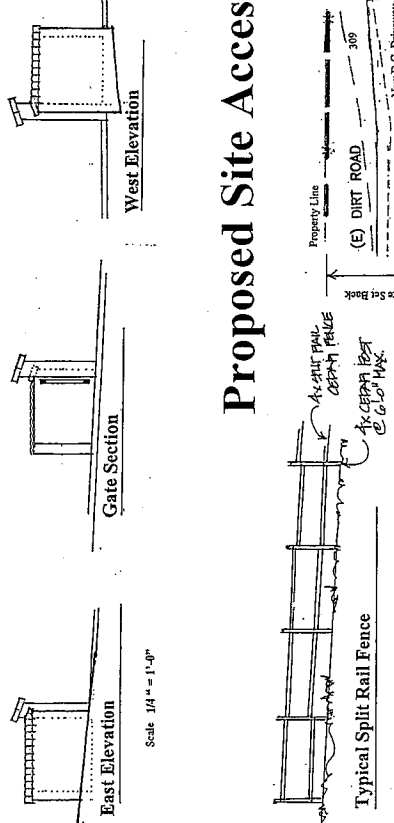
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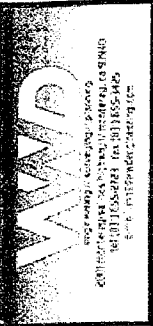
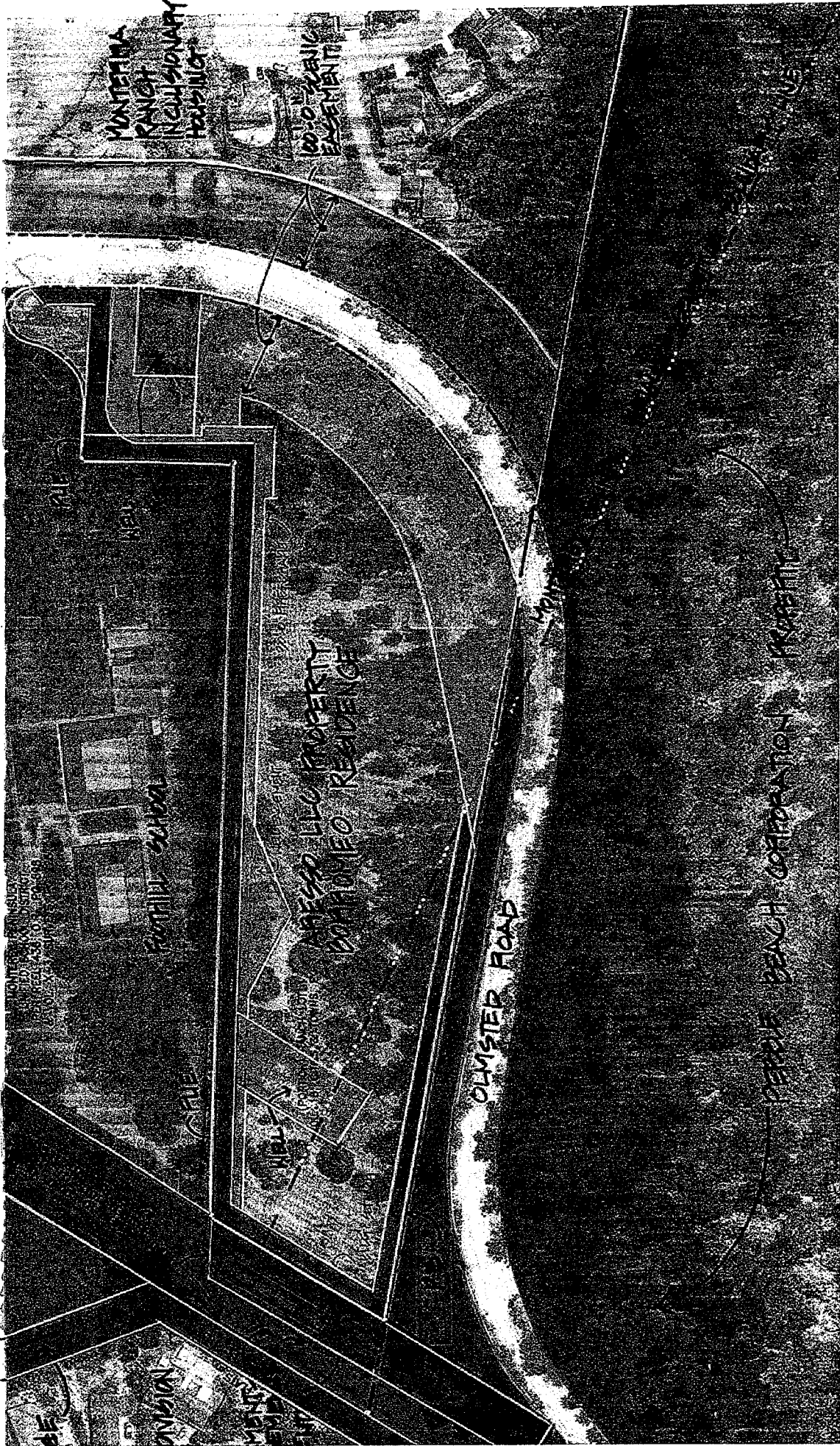
Existing Site Access



Proposed Site Access



Scale 1/4" = 1'-0"



DESIGNED BY: MRS
 DATE: 7-12-11
 SCALE: AS SHOWN
 JOB NUMBER: 11-021
 LAST REVISED: 7-20-11
 REVISED BY: CS

Ray Parks & Associates Inc.
 Post Office Box 5473 Carmel Ca, 93921
 Phone 831-331-0641 Fax 831-331-0426 (a) (c) raypark.com

Site Plan # 2

Borromeo Residence
 Owner: Aresso LLC
 P.O. Box 2084 Menlo Park, Ca 94026
 APN: 259-131-010

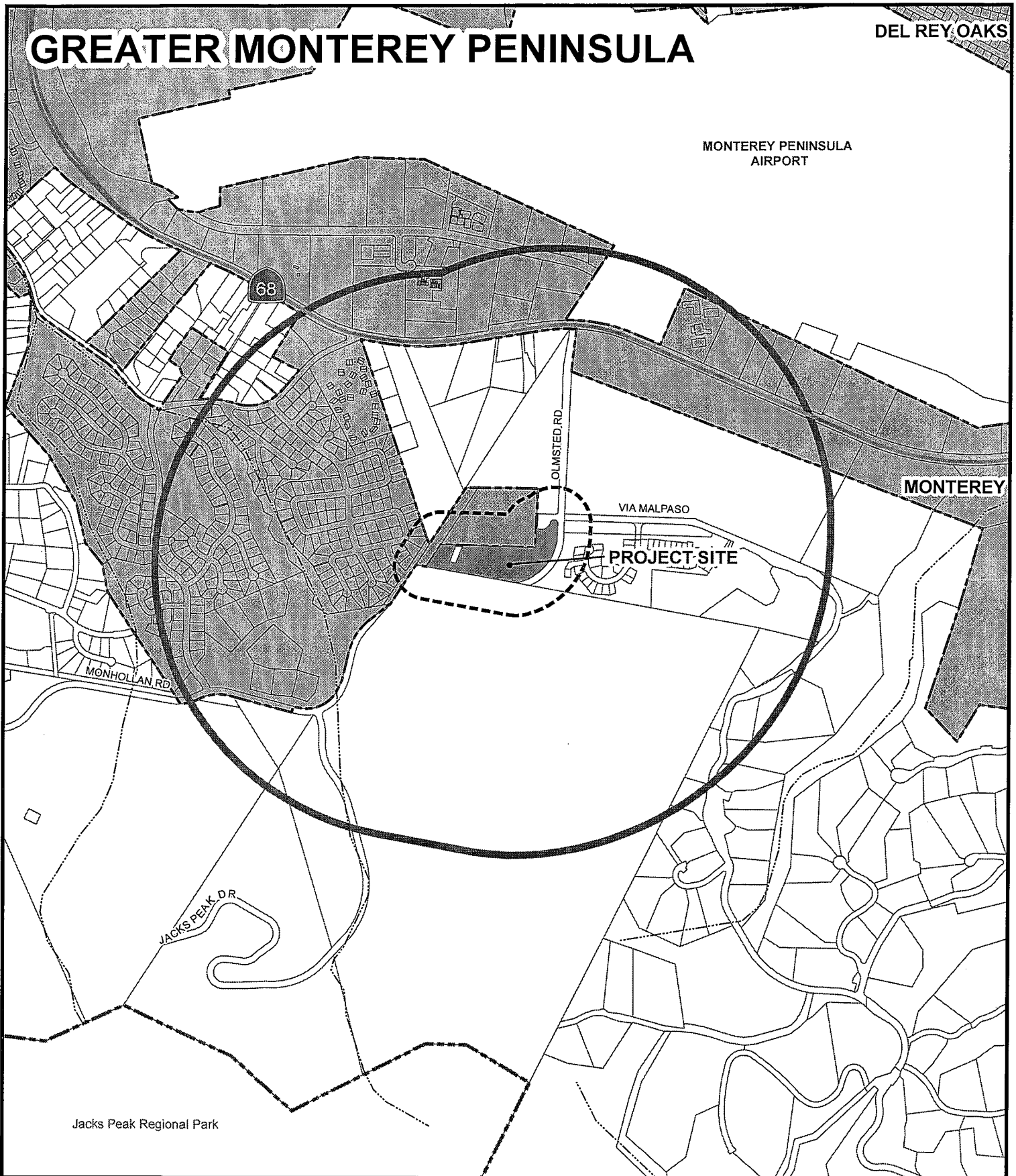
EXHIBIT D

VICINITY MAP

GREATER MONTEREY PENINSULA

DEL REY OAKS

MONTEREY PENINSULA
AIRPORT

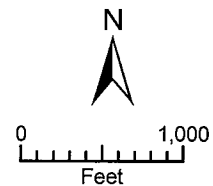


APPLICANT: ARESSO LLC

APN: 259-131-010-000

FILE # PLN110651

Water 2500' Limit 300' Limit City Limits



PLANNER: MASON

EXHIBIT E

LUAC MINUTES

Action by Land Use Advisory Committee Project Referral Sheet

Monterey County Planning Department
168 W Alisal St 2nd Floor
Salinas CA 93901
(831) 755-5025

RECEIVED

APR 10 2012

Advisory Committee: Greater Monterey Peninsula

Please submit your recommendations for this application by: April 4, 2012

MONTEREY COUNTY
PLANNING & BUILDING
INSPECTION DEPT

Project Title: ARESSO LLC
File Number: PLN110651
File Type: PC
Planner: MASON
Location: NO ADDRESS ASSIGNED TO DATE

Project Description:

Use Permit to allow the construction of a 2,820 square foot two-story single family dwelling with an attached 792 square foot three-car garage and a detached 390 square foot guest house within an area designated as "Visually Sensitive." Project to include the removal of one 16" Monterey Pine tree. Grading to consist of 780 cubic yards of cut and 868 cubic yards of fill. The 7.32-acre parcel (no assigned address presently) is located on the north side of Olmsted Road, immediately south of Foothill Elementary School, Monterey (Assessor's Parcel Number 259-131-010-000), Greater Monterey Peninsula Area Plan.

Was the Owner/Applicant/Representative Present at Meeting? Yes No

RAY PARKS

PUBLIC COMMENT:

Name	Site Neighbor?		Issues / Concerns (suggested changes)
	YES	NO	
Ray Parks			architect
John Hitchcock	✓		should be reviewed from Joe Casoli

LUAC AREAS OF CONCERN

Concerns / Issues (e.g. site layout, neighborhood compatibility; visual impact, etc)	Policy/Ordinance Reference (If Known)	Suggested Changes - to address concerns (e.g. relocate; reduce height; move road access, etc)
easements - chance of future road/ driveway from Via Cebo;		
screening the house from Olmstead - with trees		
people park now on edge of road/trail		signs for "no parking" should be installed
coordination with school re: change in use of existing driveway		

ADDITIONAL LUAC COMMENTS

roofing should be natural looking to blend
in with environment
screen structure

RECEIVED

APR 10 2012

MONTEHEY COUNTY
PLANNING & BUILDING
INSPECTION DEPT.

RECOMMENDATION:

Motion by: Larry Rierson (LUAC Member's Name)

Second by: Phil Smith (LUAC Member's Name)

- Support Project as proposed
- Recommend Changes (as noted above)
- Continue the Item

Reason for Continuance: _____

Continued to what date: _____

AYES: 5

NOES: 0

ABSENT: 1 (Jacobs)

ABSTAIN: 0

EXHIBIT F
PUBLIC CORRESPONDENCE

July 16, 2012

Monterey County Resource Management Agency
Planning Department
168 West Alisal Street, 2nd Floor
Salinas, CA 93901

RE: Project File Number: PLN110651
Project Title: ARESSO LLC
Project Location: 1250 OLMSTEAD ROAD, MONTEREY

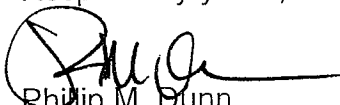
To whom it may concern,

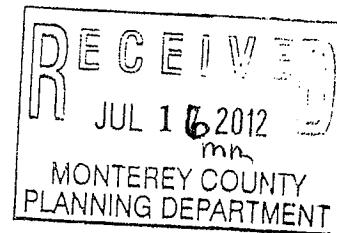
As a long time resident of Fisherman's Flats I am concerned about the impact that the proposed single family residence, in its present location as currently flagged, will have on the view shed for the adjacent neighborhood.

The overall height and location of the proposed residence in this previously undeveloped open area of the site looks out of place with the adjacent neighborhood and forested area and has a direct impact on the uphill views of the roof line from the neighborhood and park below. This feeling is shared by myself and many of my neighbors here in Fisherman's Flats.

In as much as this project is in a visually sensitive area, I am hereby requesting that a public hearing be scheduled for this project and additional information be provided addressing how the finished project will be graded and landscaped to alleviate the overall visual impact to the neighborhood below.

Respectfully yours,


Philip M. Dunn
2120 San Vito Circle
Monterey, CA, 93940



Mason, Steve x5228

From: Ray Parks [ray@rayparks.com]
Sent: Thursday, July 19, 2012 3:48 PM
To: Mason, Steve x5228
Subject: Borromeo Res
Attachments: Borr Easements.jpg

Hey Steve,

Regarding the neighbor's letter... I wanted to send a quick summary of issues we've considered to locate the structures where they are proposed.

1. The selected site provides the maximum amount of open space for screening Highway 68 and the School Site; our top priorities.
2. The selected site has some of the least slopes on the property and is the most disturbed due to past construction activities; Monterra Ranch staging area.
3. This selected site is the least forested area on the property.
4. The structures are located outside the official view shed limit line.
5. The property does have a number of restrictions and easements which greatly influences where the structures could be located. See the attached map we provided; within staff report.
6. The proposed residence in the best location feasible because, if the structures were located at any other location on this property; that would have triggered a more significant issue.
7. The residence is under the height limit and complies with all other County standards regarding size. The proposed residence is smaller then the typical residence located in Monterra Ranch or the Jacks' Peak area.
8. The project was unanimously approved by the areas LUAC and there were Fisher mans' Flats representatives in attendance at the site visit and the LUAC meeting. One of the committee members lives in Fisher mans' Flats and understands "all of the neighbors concerns" and history of this property. She also walked the site with me to ask a number of specific questions regarding our proposal.
9. The screening issue was specifically addressed at the LUAC meeting and is covered in their notes. A preliminary landscape plan was provided to address screening, fuel management, erosion control and water conservation.
10. The proposal does not "Ridge Line" as viewed from down below nor do the structures block any neighbors views.
11. We also provided a number of reports as part of our proposal including soils, biological, forest management, and archeological. In short we really did our homework on this one.
12. I think it is self evident that we are already very committed to this location for the structures and see no significant reason to relocate the structures based on this recent letter.
13. After a great deal of time and consideration has gone into this proposal and the Planning Staff has recommended approval.

Response to the Letter:

For all the logic stated above my client and I are committed to the current location for the proposed structures. My main concern regarding this recent letter is the writer is requesting more information which already exists and their inquiry will cause more delays.

1. As part of the planning package we have included a preliminary grading, drainage, erosion control, and landscape plans which is available for public review and comment.

08/06/2012

2. We have also completed extensive grading plans, drainage plans, and erosion control measures which are currently under review by the building department. These plans have been prepared by my office with a Civil engineer, a Geotechnical engineer, PG&E, and input from various County agencies to date. These plans are technical engineering documents and are not open to public comment or review.
3. The landscape plans are another issue. We have deliberately delayed that landscape design work until the screening issue, the grading issue and the adjacent properties are resolved to the satisfaction of all involved.
4. My client has already obtained an easement from the Monterra Ranch, at considerable expense, to enhance the screening possibilities between Fisher mans' Flats to the west and our proposed structures.
5. The client is currently in conversations with Pebble Beach Company to possibly obtain more adjacent land in an effort to enhance the screening of the proposed structures from Olmsted Road to the South.
6. The staking has been up for more than six months, the neighbors were notified in April of the LUAC meeting, and the plans have been available for public review for weeks. I believe we have discovered the issues outlined in the recent neighbors letter fairly early in the process. Furthermore, my client has also taken exceptional measures to improve the potential landscape screening surrounding the project for the improvement of all the adjacent neighbors at his sole expense.
7. My client has spent the past year with me, a great deal of time, research, and expense in developing this proposal to meet all of the Monterey County ordinances, policies, and concerns so as to develop an exceptional residential project. As a result we felt it best to have our position clearly documented for the record.

I hope this outline helps explain the planning logic behind our proposal which we have submitted and that the staffs' recommendation for approval is upheld. Thanks for your help and if I can be of any help in expediting this matter please let me know.

Best regards,
Ray Parks

Mason, Steve x5228

From: Ray Parks [ray@rayparks.com]
Sent: Tuesday, July 31, 2012 11:22 AM
To: Tonyflores831@gmail.com
Subject: Fishermen's Flats HOA

Attachments: Borromeo Opposition.pdf



Borromeo
Opposition.pdf (230 K)

Hello Tony,

Thanks again for taking my phone call yesterday. As suggested, I'm writing this letter to request an informal meeting of your HOA board or the executive group at your earliest convenience. The reason I'm requesting this meeting is to discuss the feelings expressed in a letter sent to Monterey County by a Mr Philip Dunn, a resident of Fishermen's Flats. I have attached that letter for your review.

I'm the architect for the project and would like to discuss this letter or any concerns the HOA board may consider significant regarding this new home. There is some urgency as the County Zoning Administrator [ZA] is scheduled to review the project on August 30th. This single letter has already caused delays. It's my job to avoid confusion and provide practical solutions for the ZA to consider. Most importantly, my client does not want any ill will generated with their new neighbors.

I look forward to hearing from you and Thanks again for your help.

Best regards,
Ray Parks

Mason, Steve x5228

From: Tony Flores [tonyflores831@gmail.com]
Sent: Wednesday, August 08, 2012 12:25 PM
To: Ray Parks
Cc: Mason, Steve x5228
Subject: Re: FFHOA

Thanks Rays, I'm glad you we're able to answer the homeowners questions and concerns.

I'm copy Kelly Davi who is our FFHOA Secretary and is currently working on the letter.

Kelly, could you please accommodate Ray's request below into the rough draft letter you're currently working on.

Thanks
-Tony

On Wed, Aug 8, 2012 at 11:18 AM, Ray Parks <ray@rayparks.com> wrote:

> Tony,
> Thanks again for putting together that FFHOA meeting in the park on
> Monday night. I thought it went very well and the opposition was
> dispersed after some communication. I was happy to inform the owner
> {Mr. & Mrs. Borromeo} and Monterey County [Steve Mason] planning staff person of this
progress.
> The result of the event was to be a letter written on behalf of the
> FFHOA explaining they're position and requests. Please send that
> letter to Steve Mason, as soon as feasible, so it can become part of
> his latest staff report and that makes for less paper work. I also
> suggest for clarity sake; that the letter state that you [FFHOA]
> supports the project under the certain conditions; that we outlined at the meeting.
> Thanks once again for all your help.
> Best regards,
> Ray Parks

August 15, 2012

RE: Project File Number: PLN110651
Project Title: ARESSO LLC
Project Location: 1250 Olmsted Road, Monterey

To whom it may concern,

The Fishermen's Flats neighbors have met with the architect regarding this project, expressing our concerns about the grading, landscaping, and roof line for this project. We have come to the conclusion that we support this project under the following conditions:

- 1) The owners will landscape the property to ease the visual impact. This landscape is to include "fast" growing trees (preferably not Cypress) in front of the structure, along Foothill Blvd and along the easement road on Via Casoli. The planting of fast growing trees would reduce the visual impact for the immediate neighbors.
- 2) The owners are asked to adhere to the "earth tone" color scheme. To include a tan plastered exterior house, garage and additional unit with a mixed brown tile roof. (No pink or bright red roof tiles)

Mr. Parks, the architect, has informed us, the neighbors, the structure will be built according to these specifications.

Respectfully,

Kelly Davi
Secretary

Tony Flores
President

FFHOA
Fishermen's Flats Neighborhood Association