

MONTEREY COUNTY ZONING ADMINISTRATOR

Meeting: October 10, 2013 Time: 1:30 P.M.	Agenda Item No.: 3
Project Description: Consider an Administrative Permit and Design Approval to allow the construction of a 4,114 square foot single family dwelling with a 1,303 square foot attached garage/mechanical room, a 600 square foot detached guesthouse, 675 square feet of covered porches/terraces and approximately 80 linear feet of retaining wall. Grading to consist of approximately 2,020 cubic yards of cut and 160 cubic yards of fill. Project includes the removal of four protected oak trees (24, 21, 16 and 25 inches in diameter). Colors and materials to consist of antique terra cotta roof tiles, copper gutters, integral color plaster walls and natural cedar wood doors and window frames.	
Project Location: 31 Arroyo Sequoia, Carmel (Santa Lucia Preserve - Lot 111)	APN: 239-091-036-000
Planning File Number: PLN130001	Owner: David F. & Mary Kay Werner Agent: Tom Meaney
Planning Area: Greater Monterey Peninsula Area Plan	Flagged and staked: Yes
Zoning Designation : "RC/40-D-S" (Resource Conservation/40 acre minimum lot size – Design Control Zoning District –Site Plan Review Zoning District)	
CEQA Action: Consider an addendum to the Santa Lucia Preserve Final Environmental Impact Report (EIR# 94-005/Resolution# 96-059)	
Department: RMA - Planning Department	

RECOMMENDATION:

Staff recommends that the Zoning Administrator adopt a resolution (**Exhibit C**) to:

- 1) Consider an addendum to the Santa Lucia Preserve Final Environmental Impact Report (EIR# 94-005/Resolution# 96-059); and
- 2) Approve PLN130001, based on the findings and evidence and subject to the conditions of approval (**Exhibit C**).

PROJECT OVERVIEW:

The application is to allow the construction of a 4,114 square foot one-story single family dwelling, an attached 1,303 square foot garage and mechanical room and a detached 600 square foot guesthouse. The project site is a currently un-developed 8.7 parcel within the rural Santa Lucia Preserve subdivision. The removal of four protected oak trees will be required in order to accommodate the proposed structures. The removed trees will be replaced by 18 new trees pursuant to a Condition of the Use Permit which established the Santa Lucia Preserve subdivision.

OTHER AGENCY INVOLVEMENT: The following agencies and departments reviewed this project:

- √ RMA - Public Works Department
- √ Environmental Health Bureau
- √ Water Resources Agency
- √ Monterey County Regional Fire Protection District

Agencies that submitted comments are noted with a check mark ("√"). Conditions recommended by the RMA - Public Works Department, Environmental Health Bureau, Water Resources

Agency and Monterey County Regional Fire Protection District have been incorporated into the Condition Compliance/Mitigation Monitoring and Reporting Plan attached to the draft resolution (**Exhibit C**).

The proposed project has been reviewed and approved by the Santa Lucia Preserve Design Review Board on August 19, 2013.

Note: The decision on this project is appealable to the Planning Commission.



Steve Mason, Associate Planner
(831) 755-5228, masons@co.monterey.ca.us
October 1, 2013

cc: Front Counter Copy; Zoning Administrator; Monterey County Regional Fire Protection District; RMA-Public Works Department; Environmental Health Bureau; Water Resources Agency; Laura Lawrence, Planning Services Manager; Steve Mason, Project Planner; David F & Mary K Werner, Owners; Tom Meaney, Agent; The Open Monterey Project; LandWatch; Planning File PLN130001

Attachments: Exhibit A Project Data Sheet
Exhibit B Project Discussion
Exhibit C Draft Resolution, including:
• Conditions of Approval
• Site Plan, Floor Plan and Elevations, Parcel Map, Tentative Map
Exhibit D Vicinity Map
Exhibit E Addendum to Santa Lucia Preserve (EIR# 94-005/Resolution# 96-059)

This report was reviewed by Laura Lawrence, Planning Services Manager.




EXHIBIT A

Project Information for PLN130001

Application Name: Werner F David & Werner Mary Kay
Location: 31 Arroyo Sequoia, Carmel
Applicable Plan: Greater Monterey Peninsula Area Plan
Advisory Committee: SLP Design Review Committee
Permit Type: Administrative Permit
Environmental Status: Addendum
Zoning: RC/40-D-S

Primary APN: 239-091-036-000
Coastal Zone: No
Final Action Deadline (884): 10/25/2013
Land Use Designation: Resource Conservation

Project Site Data:

Lot Size: 8.7
Existing Structures (sf): 0
Proposed Structures (sf): 6093
Total Sq. Ft.: 6093

Coverage Allowed: 25%
Coverage Proposed: 1.6%
Height Allowed: 30'/15'
Height Proposed: 17.5'
FAR Allowed: n/a
FAR Proposed: n/a

Resource Zones and Reports:

Seismic Hazard Zone: III
Erosion Hazard Zone: Moderate
Fire Hazard Zone: Yes
Flood Hazard Zone: X (unshaded) - "minimal"
Archaeological Sensitivity: Moderate
Visual Sensitivity: n/a

Soils Report #: LIB130259
Biological Report #: LIB130257
Forest Management Rpt. #: LIB130260
Geologic Report #: n/a
Archaeological Report #: REF120062
Traffic Report #: n/a

Other Information:

Water Source: Private System
Water Purveyor: SLPWDS
Fire District: Monterey County Regional FPD
Tree Removal: 4 - Oak

Grading (cubic yds.): 2180
Sewage Disposal (method): Private System
Sewer District Name: SLPCSD

EXHIBIT B DISCUSSION

Project Description

The application is to allow the construction of a 4,114 square foot one-story single family dwelling, an attached 1,303 square foot garage and mechanical room and a detached 600 square foot guesthouse. The 8.78 acre project parcel is presently undeveloped, and is typical of the rural nature of lots located within the Santa Lucia Preserve. The colors and materials proposed for the structures are designed to blend with the natural surroundings, and will consist of antique terra cotta roof tiles, copper gutters, integral color plaster walls and natural cedar wood doors and window frames. Four oak trees will be removed in order to accommodate the proposed construction, and approximately 2,180 cubic yards of grading will be required.

Project Issues

The removal of four protected oak trees will be required in order to accommodate the proposed structures. One of the trees proposed for removal is diseased and in danger of falling close to proposed structures. The remainder of the 150+ oak trees on the parcel will not be affected. Tree replacement will be at a ratio of 3:1 for non-landmark and 5:1 for landmark trees. The removed trees will be replaced by 18 trees pursuant to Condition No. 24 in Use Permit PC94067 which established the subdivision.

Environmental Review

The subject application requests the removal of four protected oak trees in order to accommodate the construction of the single family dwelling and adjacent parking area. Though the tree removal amount proposed exceeds what was approved for the lot (3 trees), it is consistent with the overall removal count that was analyzed in the Santa Lucia Preserve EIR. As of September 24, 2013, 544 of the 1,480 trees approved for removal in the Preserve have been either removed or are pending approved removal. An Addendum to the EIR is included as a part of this project.

Recommendation

Staff is recommending approval of the project as proposed.

**EXHIBIT C
DRAFT RESOLUTION**

**Before the Zoning Administrator in and for the
County of Monterey, State of California**

In the matter of the application of:

Werner (PLN130001)

RESOLUTION NO. [REDACTED]

Resolution by the Monterey County Zoning
Administrator to:

- 1) Consider the Certified Santa Lucia Preserve Environmental Impact Report (EIR# 94-005/Resolution# 96-059) and the Addendum; and
- 2) Approve an Administrative Permit and Design Approval to allow the construction of a 4,114 square foot single family dwelling with a 1,303 square foot attached garage/mechanical room, a 600 square foot detached guesthouse, 675 square feet of covered porches/terraces and approximately 80 linear feet of retaining wall. Grading to consist of approximately 2,020 cubic yards of cut and 160 cubic yards of fill. Project includes the removal of four protected oak trees (24, 21, 16 and 25 inches in diameter). Colors and materials to consist of antique terra cotta roof tiles, copper gutters, integral color plaster walls and natural cedar wood doors and window frames.

[PLN130001, Werner, 31 Arroyo Sequoia, Carmel (Santa Lucia Preserve - Lot 111), Greater Monterey Peninsula Area Plan (APN: 239-091-036-000)]

The Werner application (PLN130001) came on for public hearing before the Monterey County Zoning Administrator on October 10, 2013. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **PROJECT DESCRIPTION** – The proposed project is to allow the construction of a 4,114 square foot single family dwelling with a 1,303 square foot attached garage/mechanical room, a 600 square foot detached guesthouse, 675 square feet of covered porches/terraces and approximately 80 linear feet of retaining wall. Grading to consist of approximately 2,020 cubic yards of cut and 160 cubic yards of fill. Project includes the removal of four protected oak trees (24, 21, 16 and

25 inches in diameter). Colors and materials to consist of antique terra cotta roof tiles, copper gutters, integral color plaster walls and natural cedar wood doors and window frames.

EVIDENCE: The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN130001.

2. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:

- the 2010 Monterey County General Plan
- Monterey County Zoning Ordinance (Title 21)
- Carmel Valley Master Plan

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) The property is located at 31 Arroyo Sequoia, Carmel (Santa Lucia Preserve - Lot 111) (Assessor's Parcel Number 239-091-036-000), Greater Monterey Peninsula Plan. The parcel is zoned RC/40-D-S (Resource Conservation/40 acre minimum lot size – Design Control Zoning District –Site Plan Review Zoning District), which allows the construction of the first single family dwelling and a guesthouse with an approved Administrative Permit and Design Approval. Therefore, the project is an allowed land use for this site.
- c) Design Control, or “D” zoning as provided at Chapter 21.44 of the Monterey County Ordinance (Title 21) requires design review of structures in order to assure the protection of public viewshed, neighborhood character, and the visual integrity of certain developments without imposing undue restrictions on private property. Colors and materials for the structures will consist of antique terra cotta roof tiles, copper gutters, integral color plaster walls and natural cedar wood doors and window frames. The project design, materials and color treatments chosen for the structures blend with the natural landscape and are in keeping with materials and treatment approved for other residences and structures within the Santa Lucia Preserve. The project design has been reviewed and approved by the Santa Lucia Preserve Design Review Board.
- d) Site Plan Review, or “S” zoning requires review of development in those areas of the county where development by reason of its location has the potential to adversely affect or be adversely affected by natural resources or site constraints, without imposing undue restrictions on private property. The project has been designed to eliminate development on slopes over 30%, while also minimizing removal of protected oak trees. The colors and materials have been selected so as to blend with the natural environment.
- e) The project planner conducted a site inspection on January 8, 2013, to

verify that the project on the subject parcel conforms to the plans listed above.

- f) The project was not referred to the Greater Monterey Peninsula Land Use Advisory Committee (LUAC) for review. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors per Resolution No. 08-338 this application did not warrant referral to the LUAC because it does not include development requiring CEQA review, does not involve a Lot Line Adjustment and does not require the issuance of a Variance. The project does require a Design Approval subject to review by the Zoning Administrator; however, the referral of the project to the Zoning Administrator is due to the required EIR addendum and not due to design or compatibility concerns. Additionally, projects within the Santa Lucia Preserve are subject to review and approval by the Santa Lucia Preserve Design Review Board, which functions as an internal advisory committee for design-compatibility purposes.
- g) No public hearing was held because there was no evidence of public controversy or public opposition to the proposed use. No written request for a public hearing was made. Monterey County Zoning Ordinance (Title 21), Section 21.76.060A
- h) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN130001.

3. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: RMA - Planning Department, Monterey County Regional Fire Protection District, Public Works, Environmental Health Bureau, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
 - b) Staff identified potential impacts to arboreal and biological and soils resources. The following reports have been prepared:
 - “Construction Impact Analysis – Santa Lucia Preserve Lot 111” (LIB130260), prepared by Maureen Hamb, Santa Cruz, CA, March 21, 2013
 - “Santa Lucia Preserve Lot 111 Biological Assessment” (LIB130257), prepared by Denise Duffy & Associates, Inc., Monterey, CA, February 2013
 - “Geotechnical Engineering Investigation Proposed Werner Residence Lot No. 111; Santa Lucia Preserve Carmel, Monterey County, California” (LIB130259), prepared by Allen H. Harker (Moore Twining), March 29, 2013

The above-mentioned technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff has independently reviewed these reports and concurs with their

conclusions.

- c) Staff conducted a site inspection on January 8, 2013, to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN130001.

4. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by the RMA - Planning Department, Monterey County Regional Fire Protection District, Public Works, Environmental Health Bureau, and Water Resources Agency. The respective agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities will be provided. Water service will be provided by the Santa Lucia Community Services District and the project will be served by a septic system with design approved by the Environmental Health Bureau.
 - c) Staff conducted a site inspection on January 8, 2013, to verify that the site is suitable for this use.
 - d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN13001.

5. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County RMA - Planning Department and Building Services Department records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on January 8, 2013, and researched County records to assess if any violation exists on the subject property.
 - c) There are no known violations on the subject parcel.
 - d) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN130001.

6. **FINDING:** **CEQA (Addendum):** - An Addendum to a previously certified EIR was prepared pursuant to Code of Regulations, Title 14, Section 15164 to reflect changes or additions in the project that do not cause

substantial changes or new information that would require major revisions to the adopted EIR.

- EVIDENCE:**
- a) An EIR for the Santa Lucia Preserve was prepared and certified by the Board of Supervisors on February 6, 1996 (EIR# 94-005/Resolution# 96-059) Pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15162, when an EIR has been certified, no subsequent EIR shall be prepared for the project unless the agency determines that substantial changes are proposed which require major revisions or substantial changes occur with respect to the circumstances under which the project is undertaken due to new significant environmental effects. In this case, no new information has been presented to warrant further environmental review. The proposed single family dwelling is within a designated building envelope and the proposed tree removal is within the overall tree removal analyzed for the subdivision.
 - b) An Addendum to the Santa Lucia Preserve EIR was prepared pursuant to Code of Regulations, Title 14, Section 15164 (CEQA Guidelines).
 - c) The project includes the construction of a 4,114 square foot single family dwelling with a 1,303 square foot attached garage/mechanical room, a 600 square foot detached guesthouse, 675 square feet of covered porches/terraces and approximately 80 linear feet of retaining wall. Grading to consist of approximately 2,020 cubic yards of cut and 160 cubic yards of fill.
 - d) The subject application requests the removal of four protected oak trees in order to accommodate the construction of the single family dwelling and adjacent parking area. The project is consistent with all tree removal conditions pursuant to Use Permit PC94067 (Resolution No. 96-060) for the Santa Lucia Preserve Subdivision. A condition of approval has been added to include the re-planting of 18 trees. The trees will be incorporated within the landscaping plan as a condition of approval. Though the tree removal amount proposed exceeds what was approved for the lot, it is consistent with what was analyzed in the Santa Lucia Preserve EIR (EIR# 94-005/Resolution# 96-059). As of September 24, 2013, 544 of the 1,480 trees approved for removal have been either removed or are pending approved removal. No oak trees have previously been removed, or approved for removal, on the project parcel.
 - e) A Biological Report prepared for the project (LIB130257) has concluded that, in addition the original EIR (Jones & Stokes, 1995) for the subdivision, no new occurrences of Special Status Species were identified on the subject parcel.
 - f) The Archaeological Report, "*Field Location Guide for Prehistoric Archaeological Resources on the Santa Lucia Preserve, Carmel Valley, Monterey County, California,*" (LIB080091), prepared by Gary S. Breschini, RPA and Trudy Haversat, RPA, Salinas, CA, December 15, 2000, indicates no known archaeological sites within 2,000 feet of the project site.
 - g) No adverse environmental effects were identified other than what was analyzed in the Santa Lucia Preserve EIR during staff review of the development application during a site visit on January 8, 2013.

7. **FINDING:** **SANTA LUCIA PRESERVE SUBDIVISION (PHASE A, B & C): TREE REMOVAL** – The project is consistent with all tree removal conditions pursuant to Use Permit PC94067 (Resolution No. 96-060) for the Santa Lucia Preserve Subdivision.
- EVIDENCE:**
- a) The project proposes the removal of 4 protected oak trees. The 1994 Santa Lucia Preserve Forest Management Plan (FMP) by Ralph Osterling approved as a part of the subdivision the removal of three oak trees on the property and required replacement at a ratio of 3:1 for non-landmark and 5:1 for landmark trees. Though the tree removal amount proposed exceeds what was approved for the lot, it is consistent with what was analyzed in the Santa Lucia Preserve EIR (EIR# 94-005/Resolution# 96-059)
 - b) As of September 24, 2013, 544 of the 1,480 trees approved for removal pursuant to PC94067 have been either removed or are pending approved removal.
 - c) Tree replacement will be at a ratio of 3:1 for non-landmark and 5:1 for landmark trees. The removed 4 trees will be replaced by 18 trees (Pursuant to Condition No. 24 in Use Permit PC94067).
 - d) Tree protection and maintenance measures found in the Santa Lucia Forest Management Plan have been applied as conditions to the project (Condition No. 135 in Use Permit PC94067).
 - e) The project is consistent with the Section 21.64.260 of the Monterey County Zoning Ordinance, Title 21, in that the project was sited to require the least amount of tree removal under the circumstance and avoids adverse environmental impacts.
 - f) The proposed tree removal meets the findings, pursuant to Section 21.64.260.D.5 of the Monterey County Zoning Ordinance, Title 21:
 - a) The tree removal is the minimum required under the circumstances of the case; **and**
 - b) The removal will not involve a risk of adverse environmental impacts such as: Soil Erosion, Water Quality, Ecological Impacts, Noise Pollution, Air Movement, or Wildlife Habitat;

One of the trees proposed for removal is diseased and in danger of falling close to proposed structures.

8. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Planning Commission.
- EVIDENCE:** Section 21.80.040.B of Monterey County Zoning Ordinance (Title 21)

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

- 1) Consider the Certified Santa Lucia Preserve Environmental Impact Report (EIR# 94-005/Resolution# 96-059) and the Addendum; and
- 2) Approve an Administrative Permit and Design Approval to allow the construction of a 4,114 square foot single family dwelling with a 1,303 square foot attached garage/mechanical room, a 600 square foot detached guesthouse, 675 square feet of covered porches/terraces and approximately 80 linear feet of retaining wall. Grading to

consist of approximately 2,020 cubic yards of cut and 160 cubic yards of fill. Project includes the removal of four protected oak trees (24, 21, 16 and 25 inches in diameter). Colors and materials to consist of antique terra cotta roof tiles, copper gutters, integral color plaster walls and natural cedar wood doors and window frames, in general conformance with the attached sketch and subject to the conditions, both being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 10th day of October, 2013

Jacqueline Onciano, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE [DATE]

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning Department and Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 01-31-2013

Monterey County Planning Department

DRAFT Condition of Approval Implementation Plan/Mitigation Monitoring Reporting Plan

PLN130001

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning Department

**Condition/Mitigation
Monitoring Measure:** This Administrative Permit and Design Approval allows the construction of a 4,114 square foot single family dwelling with a 1,303 square foot attached garage/mechanical room, a 600 square foot detached guesthouse, 675 square feet of covered porches/terraces and approximately 80 linear feet of retaining wall; grading of approximately 2,020 cubic yards of cut and 160 cubic yards of fill; removal of four protected oak trees (24, 21, 16 and 25 inches in diameter); Colors and materials to consist of antique terra cotta roof tiles, copper gutters, integral color plaster walls and natural cedar wood doors and window frames. The permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of the RMA - Planning Department. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled.
(RMA - Planning Department)

**Compliance or
Monitoring
Action to be Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning Department

**Condition/Mitigation
Monitoring Measure:** The applicant shall record a Permit Approval Notice. This notice shall state:
"An Administrative Permit and Design approval (Resolution Number [TBD]) was approved by the Zoning Administrator for Assessor's Parcel Number 239-091-036-000 on October 10, 2013. The permit was granted subject to 26 conditions of approval which run with the land. A copy of the permit is on file with the Monterey County RMA - Planning Department."
Proof of recordation of this notice shall be furnished to the Director of the RMA - Planning Department prior to issuance of building permits or commencement of the use.
(RMA - Planning Department)

**Compliance or
Monitoring
Action to be Performed:** Prior to the issuance of grading and building permits or commencement of use, the Owner/Applicant shall provide proof of recordation of this notice to the RMA - Planning Department.

3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. The Monterey County RMA - Planning Department and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.
(RMA - Planning Department)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact the Monterey County RMA - Planning Department and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered." When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

4. PD004 - INDEMNIFICATION AGREEMENT

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: The property owner agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the County for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. The County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his/her/its obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of property, filing of the final map, recordation of the certificates of compliance whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the County harmless.
(RMA - Planning Department)

Compliance or Monitoring Action to be Performed: Upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, recording of the final/parcel map, whichever occurs first and as applicable, the Owner/Applicant shall submit a signed and notarized Indemnification Agreement to the Director of RMA-Planning Department for review and signature by the County.

Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to the RMA-Planning Department.

5. PD009 - GEOTECHNICAL CERTIFICATION

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: Prior to final inspection, the geotechnical consultant shall provide certification that all development has been constructed in accordance with the geotechnical report.
(RMA - Planning and RMA - Building Services)

Compliance or Monitoring Action to be Performed: Prior to final inspection, the Owner/Applicant/Geotechnical Consultant shall submit certification by the geotechnical consultant to RMA-Building Services showing project's compliance with the geotechnical report.

6. PD010 - EROSION CONTROL PLAN

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: The approved development shall incorporate the recommendations of the Erosion Control Plan as reviewed by the Director of RMA - Planning and Director of RMA - Building Services. All cut and/or fill slopes exposed during the course of construction be covered, seeded, or otherwise treated to control erosion during the course of construction, subject to the approval of the Director of RMA - Planning and RMA - Building Services. The improvement and grading plans shall include an implementation schedule of measures for the prevention and control of erosion, siltation and dust during and immediately following construction and until erosion control planting becomes established. This program shall be approved by the Director of RMA - Planning and the Director of RMA - Building Services. (RMA - Planning and RMA - Building Services)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, the Owner/Applicant shall submit an Erosion Control Plan to RMA - Planning and RMA - Building Services for review and approval.

The Owner/Applicant, on an on-going basis, shall comply with the recommendations of the Erosion Control Plan during the course of construction until project completion as approved by the Director of RMA - Planning and the Director of RMA - Building Services.

Prior to final inspection, the Owner/Applicant shall provide evidence of compliance with the Implementation Schedule to RMA - Planning Department and RMA - Building Services.

7. PD011 - TREE AND ROOT PROTECTION

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of RMA - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to RMA - Planning for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to RMA-Planning after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

8. PD011(A) - TREE REMOVAL

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: Tree removal shall not occur until a construction permit has been issued in conformance with the appropriate stage or phase of development in this permit. Only those trees approved for removal shall be removed. (RMA-Planning)

Compliance or Monitoring Action to be Performed: Prior to tree removal, the Owner/ Applicant/ Tree Removal Contractor shall demonstrate that a construction permit has been issued prior to commencement of tree removal.

9. PD012(F) - LANDSCAPE PLAN & MAINTENANCE (SFD ONLY)

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of RMA - Planning. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County RMA - Planning. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to the RMA - Planning for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures."

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County RMA - Planning.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

10. PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of RMA - Planning, prior to the issuance of building permits. (RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to RMA - Planning for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to occupancy and on an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

11. PD016 - NOTICE OF REPORT

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states:

"The following reports were prepared for this project:"

"A "Construction Impact Analysis" (Library No. LIB130260), was prepared by Maureen Hamb on March 21, 2013 and is on file in Monterey County RMA - Planning. All development shall be in accordance with this report."

"A "Biological Assessment" (Library No. LIB130257), was prepared by Denise Duffy & Associates in February, 2013 and is on file in Monterey County RMA - Planning."

" All development shall be in accordance with these reports."

(RMA - Planning)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, the Owner/Applicant shall submit proof of recordation of this notice to RMA - Planning.

Prior to occupancy, the Owner/Applicant shall submit proof, for review and approval, that all development has been implemented in accordance with the report to the RMA - Planning.

12. PD032(A) - PERMIT EXPIRATION

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: The permit shall be granted for a time period of 3 years, to expire on October 10, 2016, unless use of the property or actual construction has begun within this period. (RMA-Planning)

Compliance or Monitoring Action to be Performed: Prior to the expiration date stated in the condition, the Owner/Applicant shall obtain a valid grading or building permit and/or commence the authorized use to the satisfaction of the RMA-Director of Planning. Any request for extension must be received by RMA-Planning at least 30 days prior to the expiration date.

13. PD048 - TREE REPLACEMENT/RELOCATION

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: Within 60 days of permit approval, the applicant shall replace and or relocate each tree approved for removal as follows:

- Replacement ratio: 3:1 for non-landmark and 5:1 for landmark trees (18 replacement trees required)

Replacement tree(s) shall be located within the same general location as the tree being removed. (RMA - Planning)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall submit evidence of tree replacement to RMA-Planning for review and approval. Evidence shall be a receipt for the purchase of the replacement tree(s) and photos of the replacement tree(s) being planted.

Six months after the planting of the replacement tree(s), the Owner/Applicant shall submit evidence demonstrating that the replacement tree(s) are in a healthy, growing condition.

One year after the planting of the replacement tree(s), the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the replacement tree(s) and whether or not the tree replacement was successful or if follow-up remediation measures or additional permits are required.

14. FIRE008 - GATES

Responsible Department: Fire

Condition/Mitigation Monitoring Measure: All gates providing access from a road to a driveway shall be located at least 30 feet from the roadway and shall open to allow a vehicle to stop without obstructing traffic on the road. Gate entrances shall be at least the width of the traffic lane but in no case less than 12 feet wide. Where a one-way road with a single traffic lane provides access to a gated entrance, a 40-foot turning radius shall be used. Where gates are to be locked, the installation of a key box or other acceptable means for immediate access by emergency equipment may be required. (Monterey County Regional Fire District)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Applicant shall incorporate the specification of the entry gate into design and print the text of this condition as "Fire Department Notes" on plans.

Prior to requesting a final building inspection, the Applicant shall complete the installation of the entry gate and obtain fire department approval the final fire inspection.

15. FIRE011 - ADDRESSES FOR BUILDINGS

Responsible Department: Fire

Condition/Mitigation Monitoring Measure: All buildings shall be issued an address in accordance with Monterey County Ordinance No. 1241. Each occupancy, except accessory buildings, shall have its own permanently posted address. When multiple occupancies exist within a single building, each individual occupancy shall be separately identified by its own address. Letters, numbers and symbols for addresses shall be a minimum of 4-inch height, 1/2-inch stroke, contrasting with the background color of the sign, and shall be Arabic. The sign and numbers shall be reflective and made of a noncombustible material. Address signs shall be placed at each driveway entrance and at each driveway split. Address signs shall be visible and legible from both directions of travel along the road. In all cases, the address shall be posted at the beginning of construction and shall be maintained thereafter. Address signs along one-way roads shall be visible from both directions of travel. Where multiple addresses are required at a single driveway, they shall be mounted on a single sign. Where a roadway provides access solely to a single commercial occupancy, the address sign shall be placed at the nearest road intersection providing access to that site. Permanent address numbers shall be posted prior to requesting final clearance. (Monterey County Regional Fire District)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permit, Applicant shall incorporate specification into design and print the text of this condition as "Fire Dept. Notes" on plans.

Prior to requesting a final building inspection, Applicant shall install the required address signage and shall obtain fire department approval of the fire department final inspection.

16. FIRE021 - FIRE PROTECTION- SPRINKLER SYSTEM (STANDARD)

Responsible Department: Fire

Condition/Mitigation Monitoring Measure: The building(s) and attached garage(s) shall be fully protected with automatic fire sprinkler system(s). Installation shall be in accordance with the applicable NFPA standard. A minimum of four (4) sets of plans for fire sprinkler systems must be submitted by a California licensed C-16 contractor and approved prior to installation. This requirement is not intended to delay issuance of a building permit. A rough sprinkler inspection must be scheduled by the installing contractor and completed prior to requesting a framing inspection. (Monterey County Regional Fire District)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permit, Applicant shall print the text of this condition as "Fire Dept. Notes" on construction plans.

Prior to requesting a framing inspection, the Applicant shall obtain fire department approval of the rough sprinkler inspection.

Prior to requesting a final building inspection, the Applicant shall complete the installation of the fire sprinkler system and obtain fire department approval of the final fire sprinkler inspection.

17. FIRE007 - DRIVEWAYS

Responsible Department: Fire

Condition/Mitigation Monitoring Measure: Driveways shall not be less than 12 feet wide unobstructed, with an unobstructed vertical clearance of not less than 15 feet. The grade for all driveways shall not exceed 15 percent. Where the grade exceeds 8 percent, a minimum structural roadway surface of 0.17 feet of asphaltic concrete on 0.34 feet of aggregate base shall be required. The driveway surface shall be capable of supporting the imposed load of fire apparatus (22 tons), and be accessible by conventional-drive vehicles, including sedans. For driveways with turns 90 degrees and less, the minimum horizontal inside radius of curvature shall be 25 feet. For driveways with turns greater than 90 degrees, the minimum horizontal inside radius curvature shall be 28 feet. For all driveway turns, an additional surface of 4 feet shall be added. All driveways exceeding 150 feet in length, but less than 800 feet in length, shall provide a turnout near the midpoint of the driveway. Where the driveway exceeds 800 feet, turnouts shall be provided at no greater than 400-foot intervals. Turnouts shall be a minimum of 12 feet wide and 30 feet long with a minimum of 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall be located within 50 feet of the primary building. The minimum turning radius for a turnaround shall be 40 feet from the center line of the driveway. If a hammerhead/T is used, the top of the "T" shall be a minimum of 60 feet in length. (Monterey County Regional Fire District)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Applicant shall incorporate the specification of the driveway into design and print the text of this condition as "Fire Department Notes" on plans.

Prior to requesting a final building inspection, the Applicant shall complete the installation of driveway improvements and obtain fire department approval the final fire inspection.

18. FIRE022 - FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM - (HAZARDOUS CONDITIONS)

Responsible Department: Fire

Condition/Mitigation Monitoring Measure: The building(s) and attached garage(s) shall be fully protected with automatic fire sprinkler system(s). Installation shall be in accordance with the applicable NFPA standard. A minimum of four (4) sets of plans for fire sprinkler systems must be submitted by a California licensed C-16 contractor and approved prior to installation. This requirement is not intended to delay issuance of a building permit. A rough sprinkler inspection must be scheduled by the installing contractor completed prior to requesting a framing inspection. Due to substandard access, or other mitigating factors, small bathroom(s) and open attached porches, carports, and similar structures shall be protected with fire sprinklers. (Monterey County Regional Fire District)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permit, Applicant shall print the text of this condition as "Fire Dept. Notes" on construction plans.

Prior to requesting a framing inspection, the Applicant shall obtain fire department approval of the rough sprinkler inspection.

Prior to requesting a final building inspection, the Applicant shall complete the installation of the fire sprinkler system and obtain fire department approval of the final fire sprinkler inspection.

19. FIRE024 - FIRE ALARM SYSTEM - (SINGLE FAMILY DWELLING)

Responsible Department: Fire

Condition/Mitigation Monitoring Measure: The residence shall be fully protected with an approved household fire warning system as defined by NFPA Standard 72. Plans and specifications for the household fire warning system shall be submitted by a California licensed C-10 contractor and approved prior to installation. Household fire warning systems installed in lieu of single-station smoke alarms required by the Uniform Building Code shall be required to be placarded as permanent building equipment. (Monterey County Regional Fire District)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permit, Applicant shall print the text of this condition on the construction plans.

Prior to requesting a framing inspection, Applicant shall obtain fire department approval of the fire alarm system plans.

Prior to requesting a final building inspection, Applicant shall complete the installation of the fire alarm system, obtain fire department approval of the fire alarm acceptance test and final fire inspection.

20. FIRE027 - ROOF CONSTRUCTION - (VERY HIGH HAZARD SEVERITY ZONE)

Responsible Department: Fire

Condition/Mitigation Monitoring Measure: All new structures, and all existing structures receiving new roofing over 50 percent or more of the existing roof surface within a one-year period, shall require a minimum of ICBO Class A roof construction. (Monterey County Regional Fire District)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permit, the Applicant shall print the text of this condition as "Fire Dept. Notes" on construction plans.

21. PW0006 - CARMEL VALLEY

Responsible Department: Public Works Department

Condition/Mitigation Monitoring Measure: The Applicant shall pay the Carmel Valley Master Plan Area Traffic Mitigation fee pursuant to the Board of Supervisors Resolution NO. 95-140, adopted September 12, 1995 (Fees are updated annually based on CCI).

Compliance or Monitoring Action to be Performed: Prior to Building Permits Issuance Owner/Applicant shall pay to PBI the required traffic mitigation fee.

22. NON-STANDARD CONDITION - HYDRANTS AND FIRE FLOW

Responsible Department: Fire

Condition/Mitigation Monitoring Measure: Hydrants for fire protection shall be provided at locations approved by the fire code official and shall conform to the following requirements:

- a. FIRE FLOW - Pursuant to California Fire Code Appendix B, the minimum fire flow requirement for square foot commercial facilities built with Type construction is gallons per minute with a residual pressure of 20 psi under normal operating conditions for a duration of hours. Fire flow for facilities protected with automatic fire sprinkler systems may be reduced to gallons per minute with a residual pressure of 20 psi under normal operating conditions for a duration of hours.
- b. TIMING OF INSTALLATION - Approved fire protection water supply systems must be installed and made serviceable prior to the time of construction.
- c. HYDRANT/FIRE VALVE (ADDITION) - New hydrant(s) shall be installed as determined by the fire code official.
- d. HYDRANT/FIRE VALVE (LOCATION) - The hydrant or fire valve shall be 18 inches above grade, 8 feet from flammable vegetation, no closer than 4 feet nor further than 12 feet from a roadway, and in a location where fire apparatus using it will not block the roadway.
- e. FIRE HYDRANTS - Hydrants shall be installed in accordance with spacing set forth in California Fire Code Appendix B and in accordance with the following specifications:
- f. HYDRANT SIZE - The hydrant shall have a minimum of two (2) inch outlets NST and one (1) inch outlet NST. The riser shall be a minimum of six (6) inches and shall be wet barrel type with a coefficient of 0.9.
- g. SIGNING OF WATER SOURCES - Hydrant or fire valve identification may be allowed as specified in the State Fire Marshal's Guidelines for Fire Hydrant Markings Along State Highways and Freeways, May 1988.
(Monterey County Regional Fire District)

Compliance or Monitoring Action to be Performed: Prior to issuance of building permit, the Applicant shall print the text of this condition as "Fire Department Notes" on the improvement plans and/or construction plans, shall complete the installation of water system improvements and shall obtain fire department approval of the water system acceptance test.

23. PW0040 - HIGHWAY 1 SHORT TERM IMPROVEMENTS

Responsible Department: Public Works Department

Condition/Mitigation Monitoring Measure: Applicant shall Contribute \$833 (2013 Dollar) to County of Monterey as payment of the project's pro rata share at the cost of short-term operational improvements to State Highway One.

Compliance or Monitoring Action to be Performed: Prior to Issuance of Building Permits Owner/Applicant shall pay to PBI required Traffic Mitigation Fee.

24. PW0043 - REGIONAL DEVELOPMENT IMPACT FEE

Responsible Department: Public Works Department

Condition/Mitigation Monitoring Measure: Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule.

Compliance or Monitoring Action to be Performed: Prior to issuance of Building Permits Owner/Applicant shall pay Monterey County Building Services Department the traffic mitigation fee. Owner/Applicant shall submit proof of payment to the DPW.

25. PW0044 - CONSTRUCTION MANAGEMENT PLAN

Responsible Department: Public Works Department

Condition/Mitigation Monitoring Measure: The applicant shall submit a Construction Management Plan (CMP) to the RMA-Planning Department and the Department of Public Works for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project and shall provide the following information:
Duration of the construction, hours of operation, an estimate of the number of truck trips that will be generated, truck routes, number of construction workers, parking areas for both equipment and workers, and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the Construction/grading phase of the project.

Compliance or Monitoring Action to be Performed:

1. Prior to issuance of the Grading Permit or Building Permit Owner/Applicant/ Contractor shall prepare a CMP and shall submit the CMP to the RMA-Planning Department and the Department of Public Works for review and approval.
2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

26. WR001 - DRAINAGE PLAN

Responsible Department: Water Resources Agency

Condition/Mitigation Monitoring Measure: The applicant shall provide a drainage plan, prepared by a registered civil engineer or licensed architect, to mitigate on-site and off-site impacts from impervious surface stormwater runoff. Drainage improvements shall be constructed in accordance with plans approved by the Water Resources Agency. (Water Resources Agency)

Compliance or Monitoring Action to be Performed:

Prior to issuance of any construction permit, the owner/applicant shall submit a drainage plan with the construction permit application.

The Building Services Department will route a plan set to the Water Resources Agency for review and approval.

- NOTES**
- GENERAL**
1. Project will comply with the 2018 U.S.G. and 2018 California Residential & TIR 24, Plumbing, Mechanical, Electrical, and Fire codes.
 2. Grading under separate permit.
 3. Fire sprinklers under separate permit.
 4. All materials shall be installed in accordance with the approved job copy of the plans submitted to the Monterey County Building Division.
 5. These plans and specifications under deferred substantial, TIR 24, shall be in accordance with any Fire Hazard Severity Zone or Wildland-Urban Interface Fire Risk that may be in effect for the project at the time of construction per (C.R.C. 15277) for exterior fire exposure requirements.
 6. Zone or Wildland-Urban Interface Fire Risk shall be in accordance with any Fire Hazard Severity Zone or Wildland-Urban Interface Fire Risk that may be in effect for the project at the time of construction per (C.R.C. 15277) for exterior fire exposure requirements.
 7. Provide a copy of permit and maintenance manual to building department for review per (C.R.C. 4.410).
 8. Provide a copy of permit and maintenance manual to building department for review per (C.R.C. 4.410).
 9. Provide a copy of permit and maintenance manual to building department for review per (C.R.C. 4.410).
 10. Provide a copy of permit and maintenance manual to building department for review per (C.R.C. 4.410).

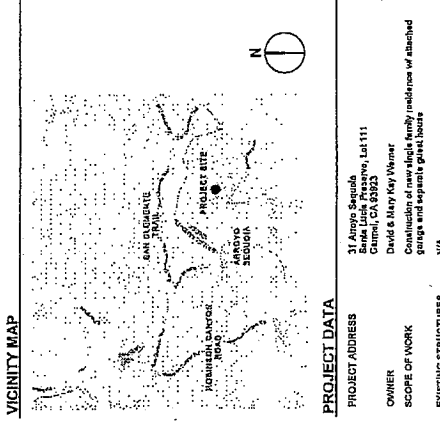
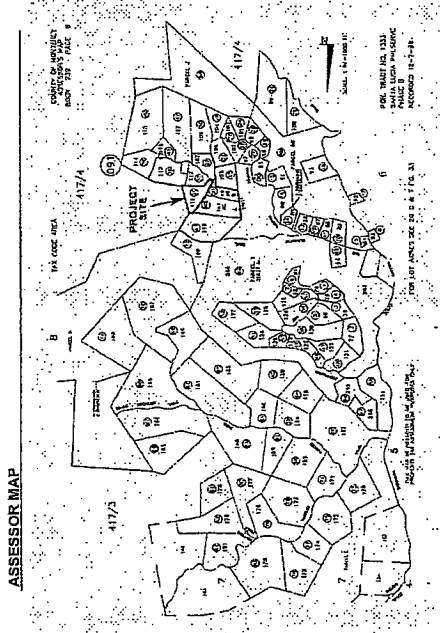
- NOTIFICATIONS**
1. Prior to the start of any work, the contractor shall notify the following:
 2. After foundation excavation have been made and prior to placing reinforcing steel and formwork
 3. Prior to all concrete pour.
 4. After foundation excavation have been made and prior to placing reinforcing steel and formwork
 5. Prior to all concrete pour.
 6. When rough framing is completed and prior to start of finish work.
 7. Prior to covering any plywood sheathing walls.
 8. Prior to covering any exterior sheathing walls.

- CONTRACTOR'S RESPONSIBILITIES FOR FOUNDATION EXCAVATION**
1. All retaining walls within 24 ft. of proposed ground elevations shall be temporarily braced with trench shields.
 2. The bracing shall be braced 6 ft. outside the depth of each retaining wall, and shall be braced every 4 ft. to the maximum extent.
 3. No 8# steel rods, or construction materials shall be stored or placed within 6 ft. of the depth of all walls.
 4. One worker for the duration of a RFD approved excavation.
 5. Any trenching operation shall be done with a RFD approved trench box.
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 9. Any trenching operation shall be done with a RFD approved trench box.
 10. Any trenching operation shall be done with a RFD approved trench box.

- TREE PROTECTION AND REPLACEMENT**
1. All trees with a diameter of 4 inches or greater shall be protected with a RFD approved trench box.
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 10. All trees with a diameter of 4 inches or greater shall be protected with a RFD approved trench box.

- SPECIAL INSPECTIONS**
1. All special inspections shall conform to section 1701 of the Uniform Building Code.
 2. Required for all concrete with a design ultimate 28 day compressive strength in excess of 2500 psi.
 3. Required for all limitations of special masonry.
- STRUCTURAL**
1. All structural steel shall be installed in accordance with the approved job copy of the plans submitted to the Monterey County Building Division.
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- SOILS**
1. All soils shall be tested in accordance with the approved job copy of the plans submitted to the Monterey County Building Division.
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PROJECT DATA

PROJECT ADDRESS: 31 Arroyo Sequoia Santa Lucia Preserve, Lot 111 Carmel, CA 93923

OWNER: David & Mary Kay Werner

SCOPE OF WORK: Construction of new single family residence w/ attached garage and separate guest house

EXISTING STRUCTURES: N/A

BUILDING DATA

OCCUPANCY GROUP	R-3
TYPE OF CONSTRUCTION	VR
STORIES	1
FLOOR AREAS	4114.5 SF
RESIDENCE - GARAGE/MECH.	1303.9 SF
RESIDENCE - COVERED PORCH/TERRACE	395.5 SF
TOTAL GROSS	5813.9 SF

ZONING DATA

APN	208-091-036-000
LOT SIZE	202,468.97 SQ. FT. AC
LOT COVERAGE / FLOOR AREA RATIO	1.6% / 4016
IMPERVIOUS COVERAGE	Structures: Residence & Guest House 4462.3 SF Total Impervious: 4857.8 SF
AVERAGE NATURAL GRADE	96.35
GENERAL LAND USE DESIGNATION	Resource Conservation
HEIGHT LIMITS	30' from average natural grade
GRADING	Yes, refer to site plan, under separate permit
TREES TO BE REMOVED	151 CV
SPRINKLER SYSTEM	Yes, refer to site plan, under separate permit
WATER SERVICE	Yes, under separate permit
SEWER SERVICE	Yes, under separate permit
COASTAL ZONE	N/A
WILD/LAND/URBAN INTERFACE	Yes

CONSULTANTS

ARCHITECT	LANDSCAPE ARCHITECT
31 Arroyo Sequoia Santa Lucia Preserve, Lot 111 Carmel, CA 93923	849 Almir Avenue, Suite C #319 Santa Cruz, CA 95060 507.763.8191/507.241.7725
CIVIL ENGINEER / SURVEY	MECHANICAL ENGINEER
2469 Grand Road, Suite G Monterey, CA 93940 831.652.8723	25485 Central Expressway, Suite 100 Carmel, CA 93923 831.712.5235
ELECTRICAL ENGINEER	STRUCTURAL ENGINEER
195 West Alameda Avenue, Suite B Santa Barbara, CA 93105 805.569.9216	3201 Highway 168, Suite 100 San Luis Obispo, CA 93406 805.962.6511/805.543.6511
GEOTECHNICAL ENGINEER	CONTRACTOR
20271 Yelling Associates, Inc. Fresno, CA 93721 559.288.7021	Clay & Baker, Inc. Carmel, CA 93923 831.601.0615

SHEET INDEX

ARCHITECTURAL	CIVIL
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A0.1 Specifications & Notes	C2 Drainage Plans
A0.2 Specifications & Notes	C3 Erosion Control Plans
A0.3 Specifications & Notes	C4 Site Sections
A1.0 Construction Management Plan	LANDSCAPE
A1.1 Architectural Site Plan - 20'	L1.0 Landscape Plan/Modification Zone Plan
A1.2 Residence Floor Plans - 1st	L1.1 Landscape Plan/Modification Zone Plan
A1.3 Residence Floor Plans - 2nd	L2.0 Landscape Details
A1.4 Residence Floor Plans - 3rd	L3.0 Planting Plan
A1.5 Residence Floor Plans - 4th	L4.0 Irrigation Plan
A1.6 Residence Floor Plans - 5th	L4.1 Irrigation Notes & Legends
A1.7 Residence Floor Plans - 6th	L4.2 Irrigation Schedule
A1.8 Residence Floor Plans - 7th	L4.3 Irrigation Details
A1.9 Residence Floor Plans - 8th	L4.4 Lighting Plan
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A1.11 Residence Floor Plans - 10th	L4.6 Lighting Schedule
A1.12 Residence Floor Plans - 11th	L4.7 Door & Window Schedule
A1.13 Residence Floor Plans - 12th	L4.8 Architectural Details

NOTES

CONSTRUCTION NOTES

1. Water at active construction area is to be collected per day. Frequency should be based upon the type of operation, soil, and wind exposure.
2. All construction materials shall be stored in a manner that the construction information is readily available during construction. The contractor shall record the name, phone number, and date of all complaints and take remedial action if necessary, within 24 hours of receipt of the complaint or inquiry.
3. All construction materials shall be stored in a manner that the construction information is readily available during construction. The contractor shall record the name, phone number, and date of all complaints and take remedial action if necessary, within 24 hours of receipt of the complaint or inquiry.
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TREE PROTECTION AND REPLACEMENT

1. All trees to be removed shall be marked with a white flag or paint, indicating the location of the tree to be removed.
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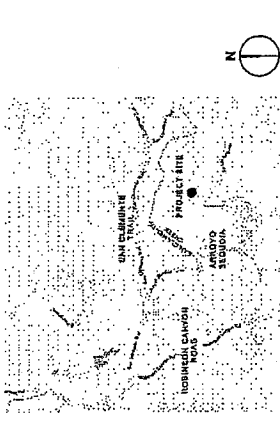
CONSTRUCTION ACTIVITY

- CONSTRUCTION DURATION: 18 Months, beginning upon permit issuance
- CONSTRUCTION WORKERS: Monday-Friday 8 AM - 5 PM
- CONSTRUCTION VEHICLES: 4 regular pickup trucks
- CONSTRUCTION RECYCLING: 80% for all lumber
- CONSTRUCTION WASTE MANAGEMENT: Trash and unrecycled debris are collected on site in a portable trailer and removed by towing behind a regular pickup truck. All toxic materials are to be disposed or recycled per local ordinances.
- CONSTRUCTION GRADING: Yes, refer to site plans, under separate permit

CONSTRUCTION COORDINATION

1. Construction coordination shall be maintained throughout the project. The contractor shall coordinate with all other construction activities to avoid conflicts and ensure the project is completed on time.
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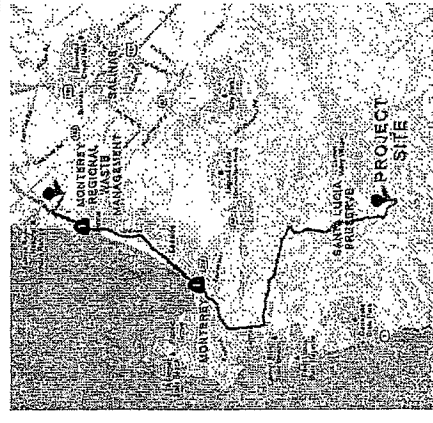
VICINITY MAP



PROJECT DATA

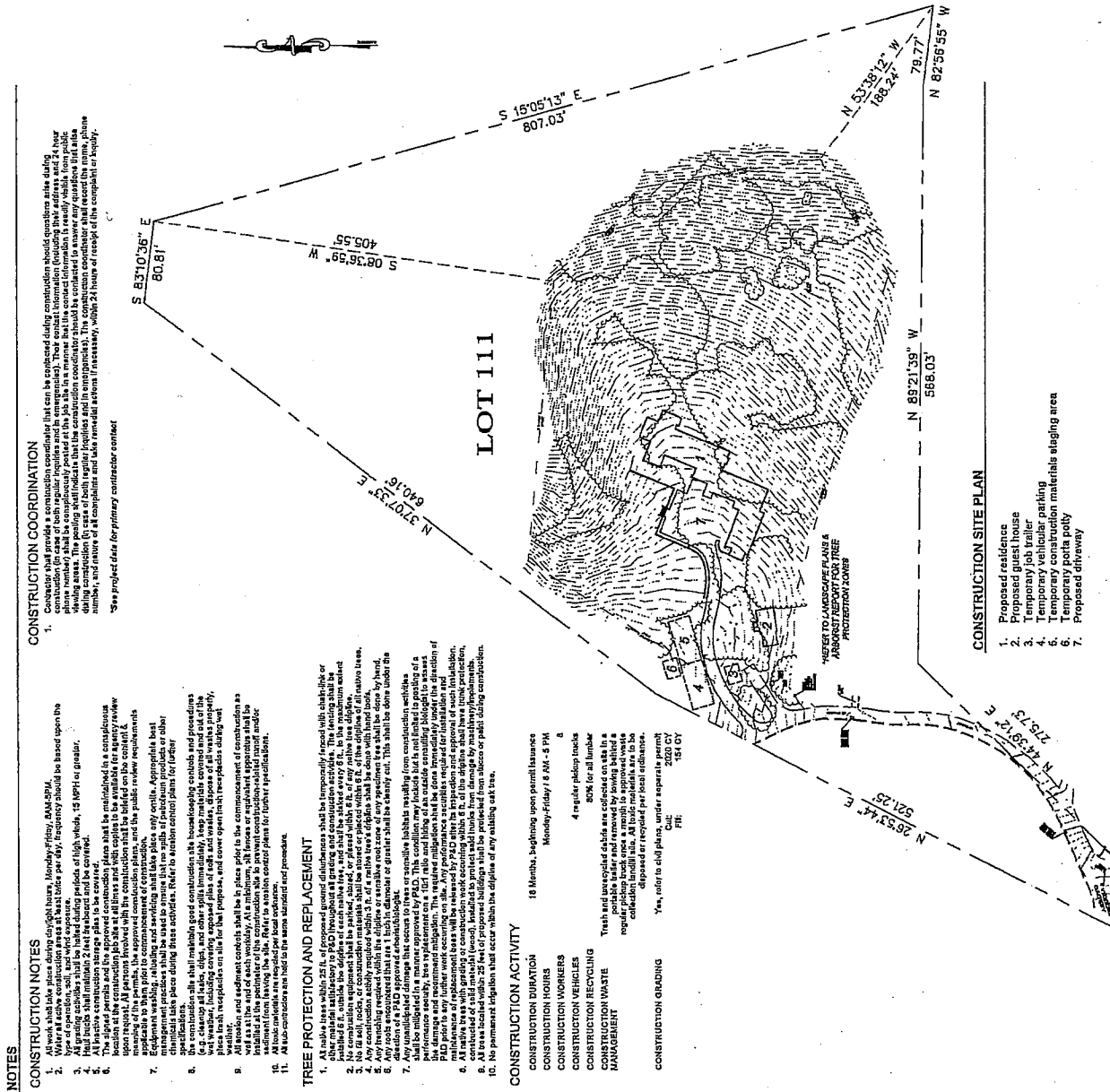
PROJECT ADDRESS: 31 Arroyo Laguna, Lot 111, Carmel, CA 93923
PRIMARY CONTRACTOR: Chris J. Baker, Inc., 10185 Colwood Circle, San Jose, CA 95128, cjbaker@comcast.net
OWNER: David & Mary Kay Werner, Construction of new single family residence w/ attached garage and separate guest house
APN: 238-091-005-000

CONSTRUCTION WASTE HAULING ROUTE



DIRECTIONS

1. From project site, travel north on Arroyo Laguna Rd. for 0.2 miles.
2. Turn left onto Highway 101 for 1.5 miles.
3. Turn right onto Highway 101 for 0.5 miles.
4. Turn left onto Highway 101 for 0.5 miles.
5. Turn right onto Highway 101 for 0.5 miles.
6. Turn left onto Highway 101 for 0.5 miles.
7. Turn right onto Highway 101 for 0.5 miles.
8. Turn left onto Highway 101 for 0.5 miles.
9. Turn right onto Highway 101 for 0.5 miles.
10. Turn left onto Highway 101 for 0.5 miles.
11. Turn right onto Highway 101 for 0.5 miles.



NOTES

1. Grading under separate permit.
2. Final construction and grade notes with civil plans.
3. Final grade around the proposed structure shall slope away from the foundation a minimum of 5% for a minimum distance of 10 feet.
4. Final grade shall be suitable from the street or road fronting the property. Address numbers shall be 4" in height, 12" min. slope with area of contrasting color to half background. Where address can not be viewed from public way provide signage on minimum 6' high.

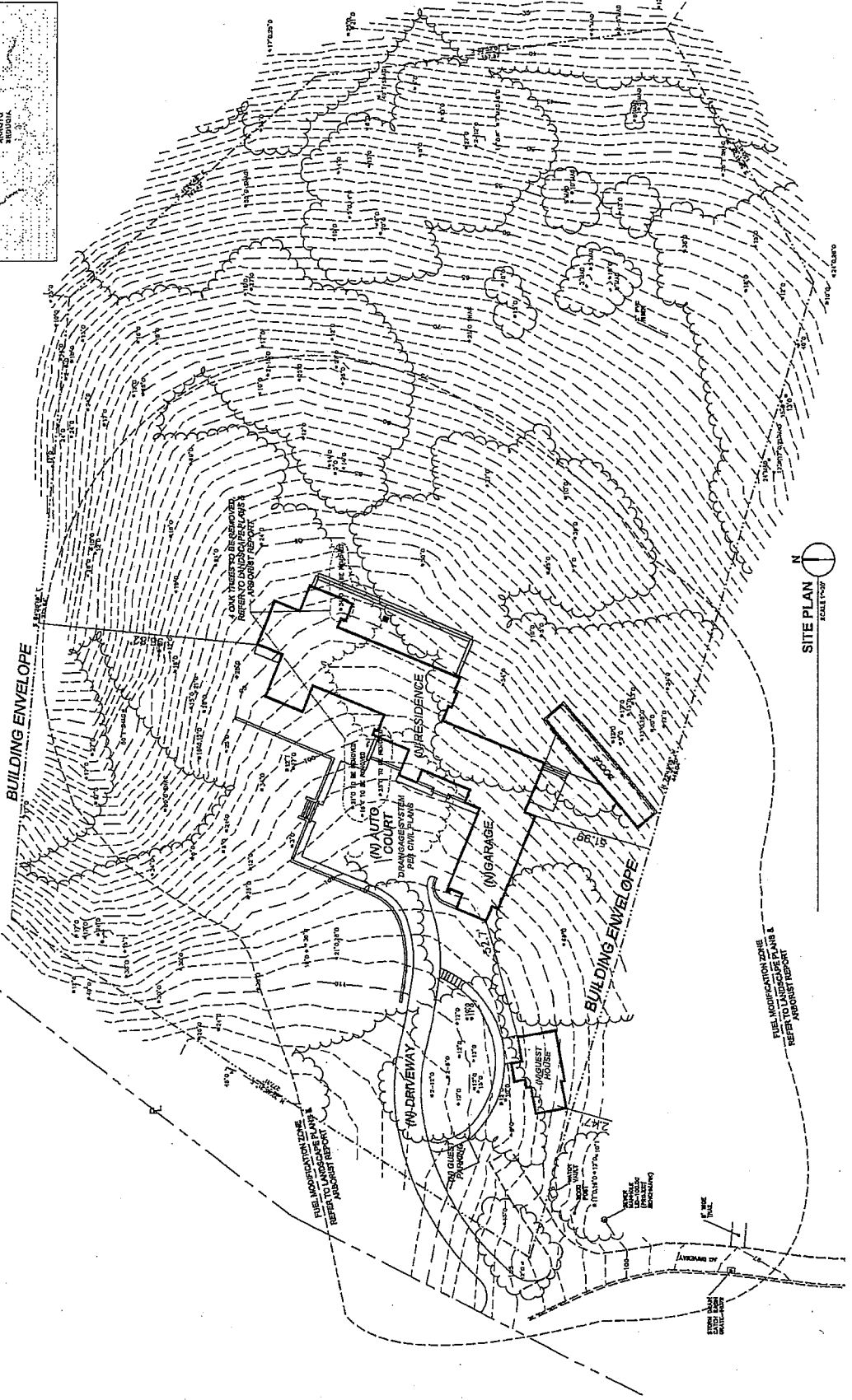
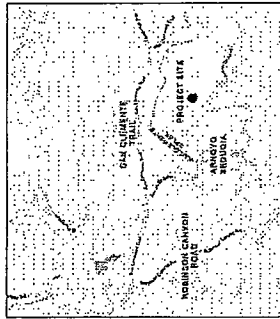
PROJECT DATA

OCCUPANCY GROUP: R-3
 TYPE OF CONSTRUCTION: V-B
 STORIES: 1
 PROPOSED FLOOR AREAS: 4114.8 SF
 RESIDENCE - GARAGE MECH: 1300.8 SF
 RESIDENCE - COVERED PORCH/TERRACE: 675.3 SF
 GUEST HOUSE: 239.091-4356-000
 LOT SIZE: 382,450.8 SF / 8.76 AC
 LOT AREA: 8482.2 SF
 IMPERVIOUS COVERAGE: 8482.2 SF
 IMPERVIOUS SURFACES: Driveway, walk & terraces
 Total Impervious: 14214.3 SF
 AVERAGE NATURAL GRADE: 86.35

GENERAL LAND USE DESIGNATION: R-3
 REQUIRED SETBACKS: 5' Front, 5' Side, 5' Rear
 HEIGHT LIMITS: Yes, refer to civil plans, under separate permit
 GRADING: Cut: 2000 CY, Fill: 151 CY
 TREES TO BE REMOVED: Yes, refer to submit report & landscape plans
 LANDSCAPE: 0
 SEWER SYSTEM: Savor
 SPRINKLER: Yes, under separate permit
 COASTAL ZONE: N/A
 WILD URBAN INTERFACE: Yes

Resource Conservation
 10-000-05
 Res. 207
 Res. 208
 Res. 209
 Res. 210
 Res. 211
 Res. 212
 Res. 213
 Res. 214
 Res. 215
 Res. 216
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 Res. 298
 Res. 299
 Res. 300

VICINITY MAP



SITE PLAN
 SCALE: 1" = 10'-0"

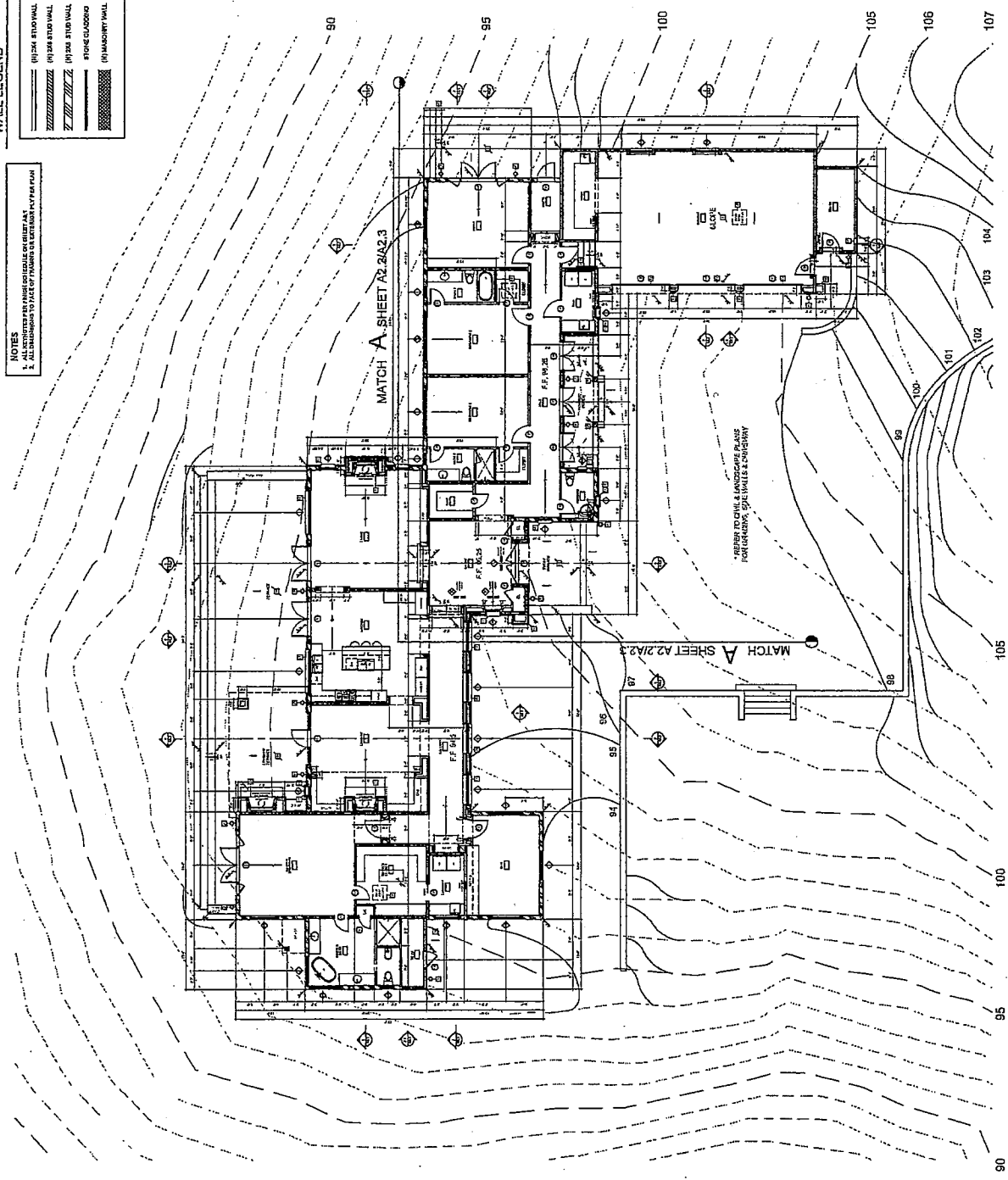
FUEL MODIFICATION ZONE
 REFER TO LANDSCAPE PLANS &
 SUBMIT REPORT

NOT FOR CONSTRUCTION

WALL LEGEND

	1/2\"
	1/2\"
	1/2\"
	1/2\"
	1/2\"

NOTES
 1. ALL INTERIORS TO FINISH TO INDICATED OR QUANTITY AS SHOWN.
 2. ALL DIMENSIONS TO FACE UNLESS INDICATED OTHERWISE.



NOT FOR CONSTRUCTION

RESIDENCE FLOOR PLAN
 SCALE 1/8" = 1'-0"

A2.1



WERNER RESIDENCE
 31 ARROYO SECUIA
 CARMEL, CALIFORNIA

TOM WEANEY ARCHITECT

228 STATE STREET SUITE 210 SANTA BARBARA, CA 93101 TEL. 805.961.7888 FAX 805.961.4272 CARMEL, CA

111



WERNER RESIDENCE
31 ARROYO SEQUOIA
CARMEL, CALIFORNIA

GUEST HOUSE
FRONT AND REAR
FLOOR PLANS

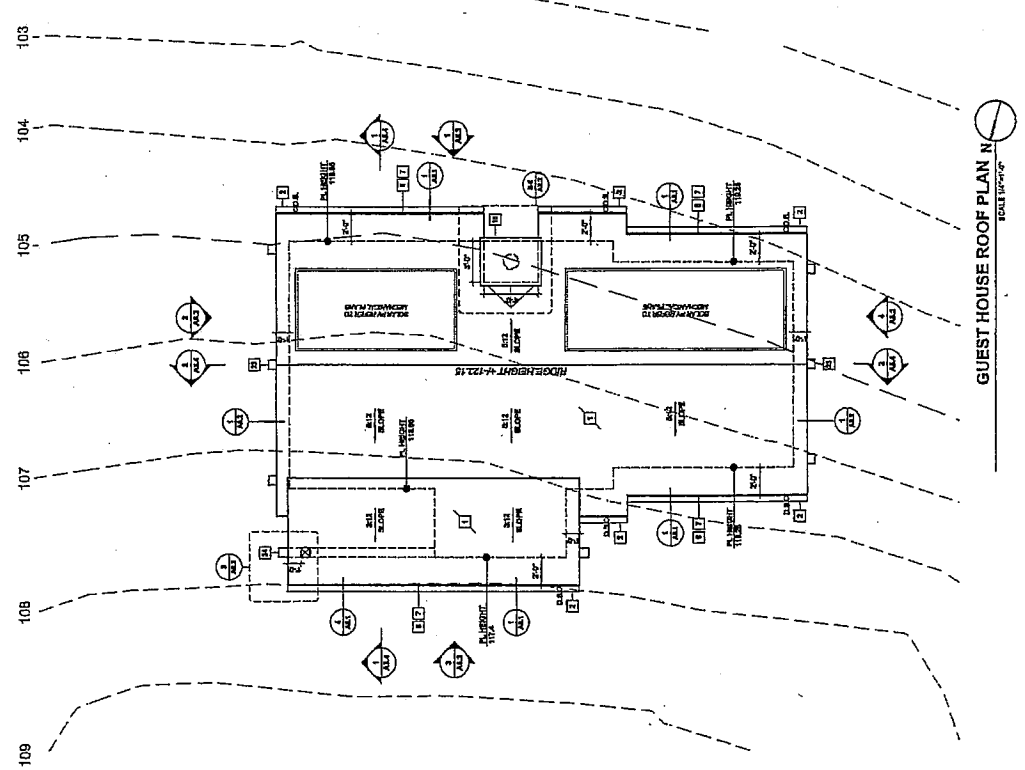
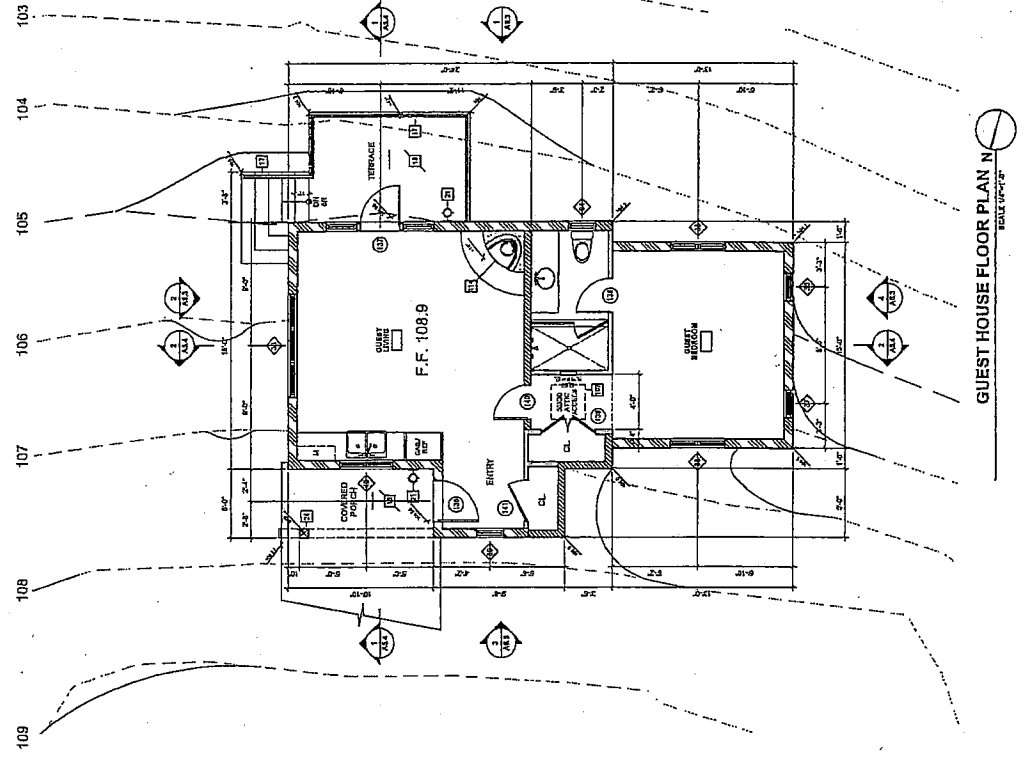
TOM MEANEY ARCHITECT
328 STATE STREET SUITE 200 SANTA BARBARA, CA 93101 TEL: 805.968.7868 FAX: 805.968.4278
WWW.TOMMEANEY.COM

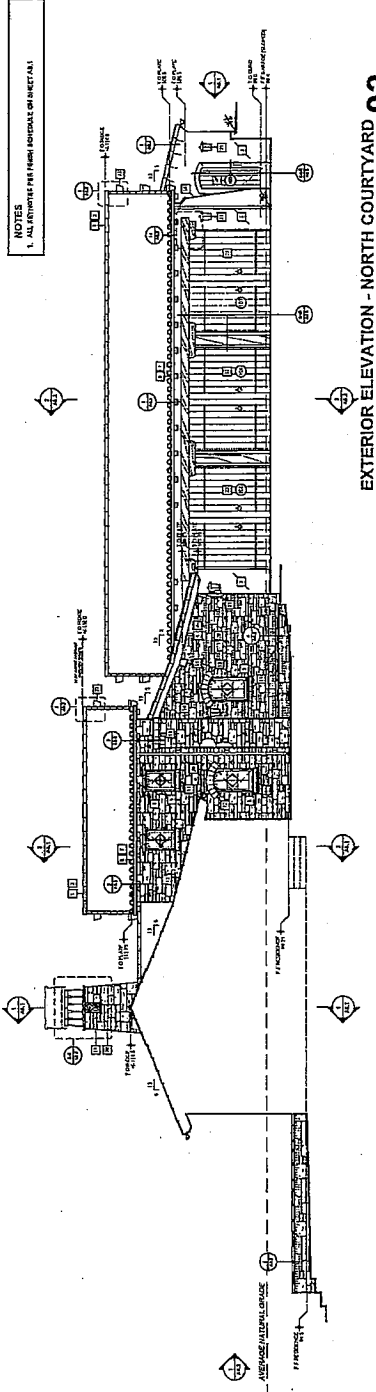
NOT FOR CONSTRUCTION

WALL LEGEND

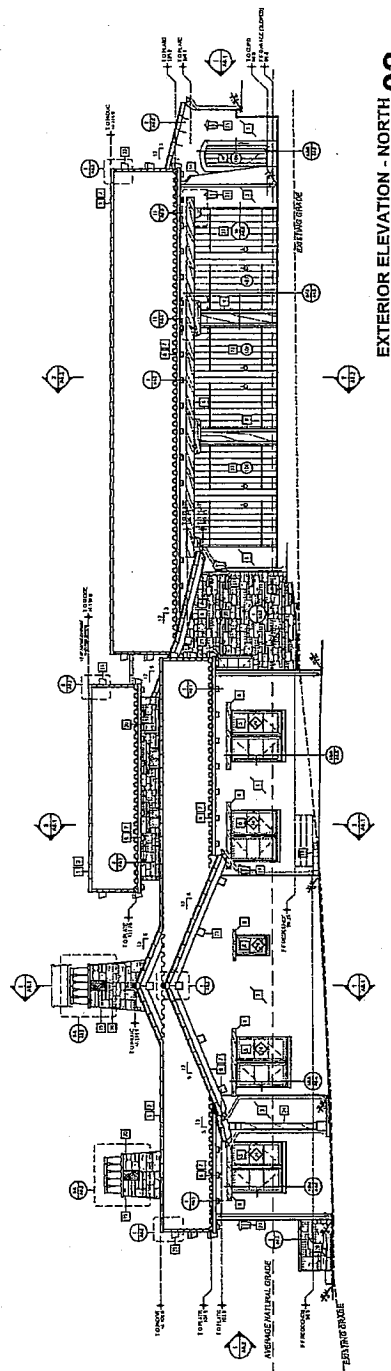
	1/2\"
	1/2\"
	1/2\"
	STONE BLOCK WALL
	MASONRY WALL

- NOTES**
1. REFER TO THE PANEL LOCATIONS ON SHEET A2.1
 2. ALL DIMENSIONS TO FACE OF FINISH OR EXTERIOR FINISH UNLESS NOTED OTHERWISE

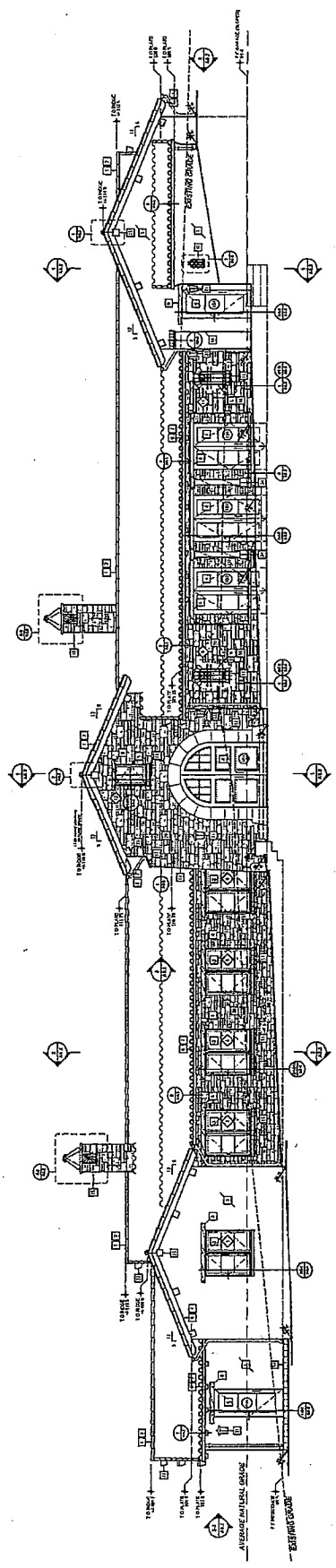




EXTERIOR ELEVATION - NORTH COURTYARD **03**



EXTERIOR ELEVATION - NORTH **02**



EXTERIOR ELEVATION - WEST **01**

NOTES
1. ALL DIMENSIONS ARE SHOWN UNLESS OTHERWISE NOTED.

T.M. ARCHITECT
704 MEANEY ARCHITECT
4229 STATE STREET SUITE 240 SANTA BARBARA, CA 93101 TEL: 805.965.7988 FAX: 805.965.4274 CARMEL, CA

WERNER RESIDENCE
31 ARROYO SEQUOIA
CARMEL, CALIFORNIA

EXTERIOR ELEVATIONS

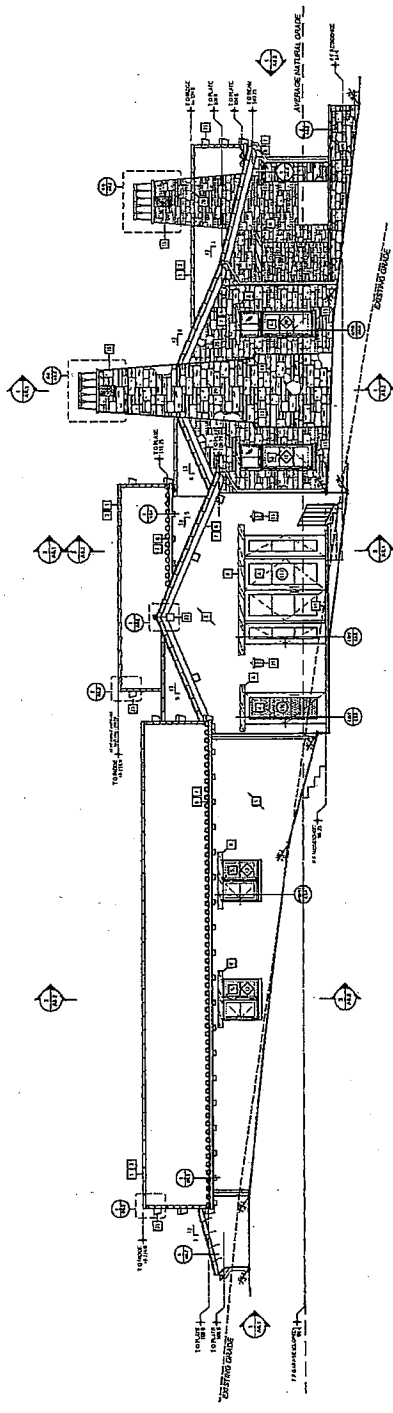


DATE: 11/11/11

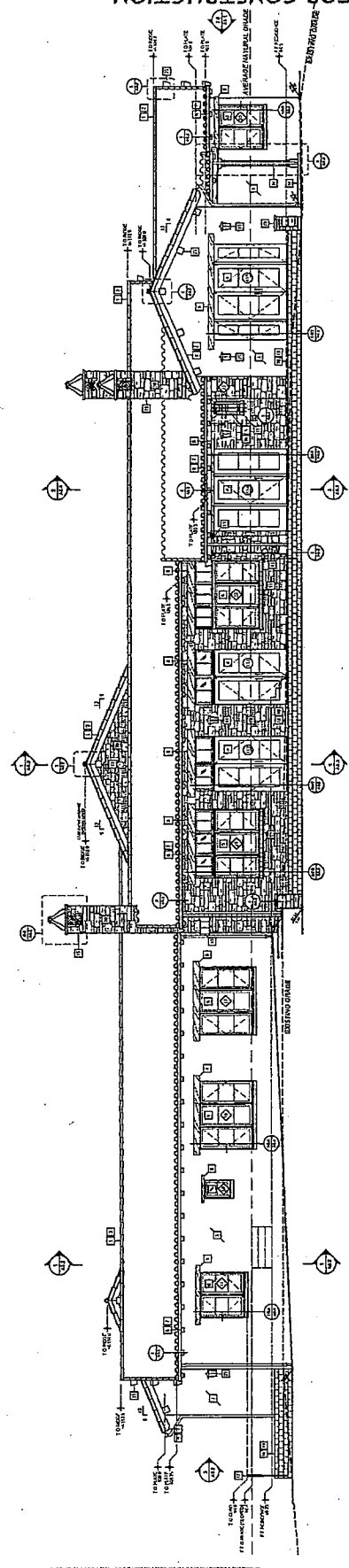
NOT FOR CONSTRUCTION

A6.1

NOTES
 1. ALL DIMENSIONS PER FOUNDATION ON SHEET A-1



EXTERIOR ELEVATION - SOUTH 02
SCALE 1/8" = 1'-0"



EXTERIOR ELEVATION - EAST 01
SCALE 1/8" = 1'-0"

NOT FOR CONSTRUCTION

T M
 TOM MEANEY ARCHITECT
 222 STATE STREET SUITE 240 SANTA BARBARA, CA 93101 TEL. 805.966.7668 (R) 805.966.4272 (H) WWW.TOMMEANEY.COM

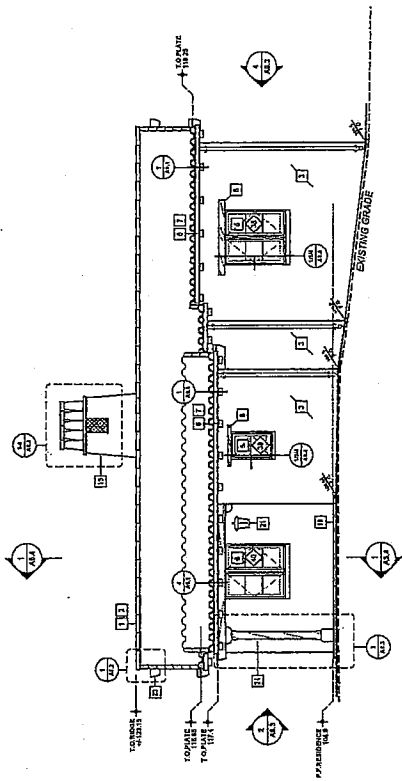
WERNER RESIDENCE
 31 ARROYO SEQUOIA
 CARMEL, CALIFORNIA
 EXTERIOR ELEVATIONS



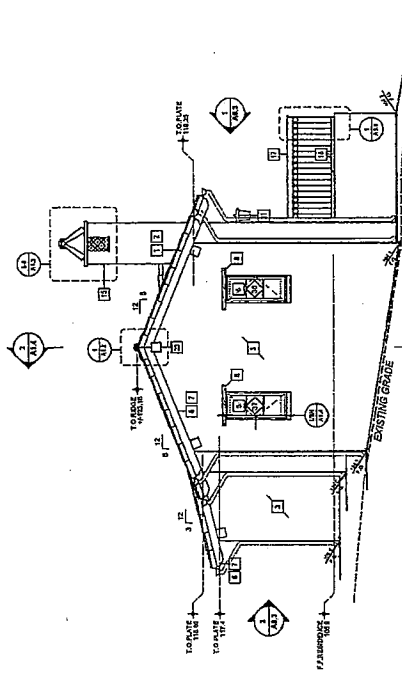
111
 MAY 2013

A6.2

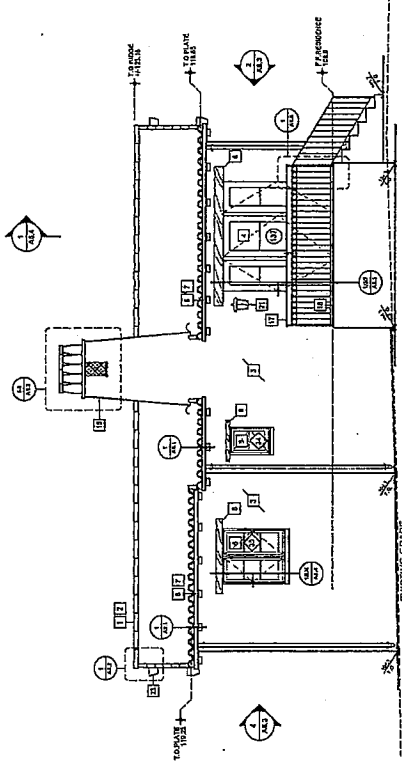
NOTES
 1. ALL DIMENSIONS UNLESS OTHERWISE INDICATED



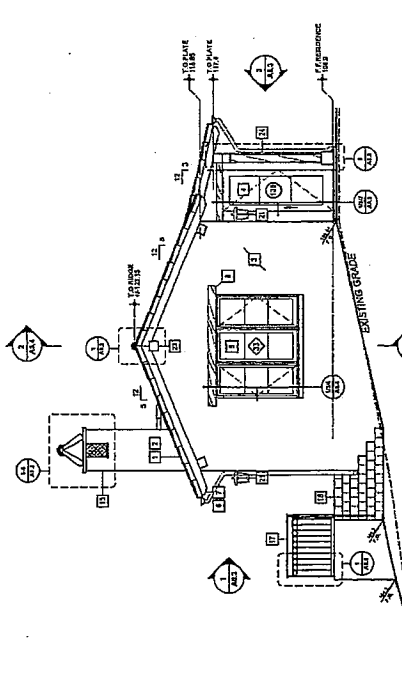
GUEST HOUSE EXTERIOR ELEVATION - NORTH
 SCALE 1/8" = 1'-0"



GUEST HOUSE EXTERIOR ELEVATION - WEST
 SCALE 1/8" = 1'-0"



GUEST HOUSE EXTERIOR ELEVATION - SOUTH
 SCALE 1/8" = 1'-0"



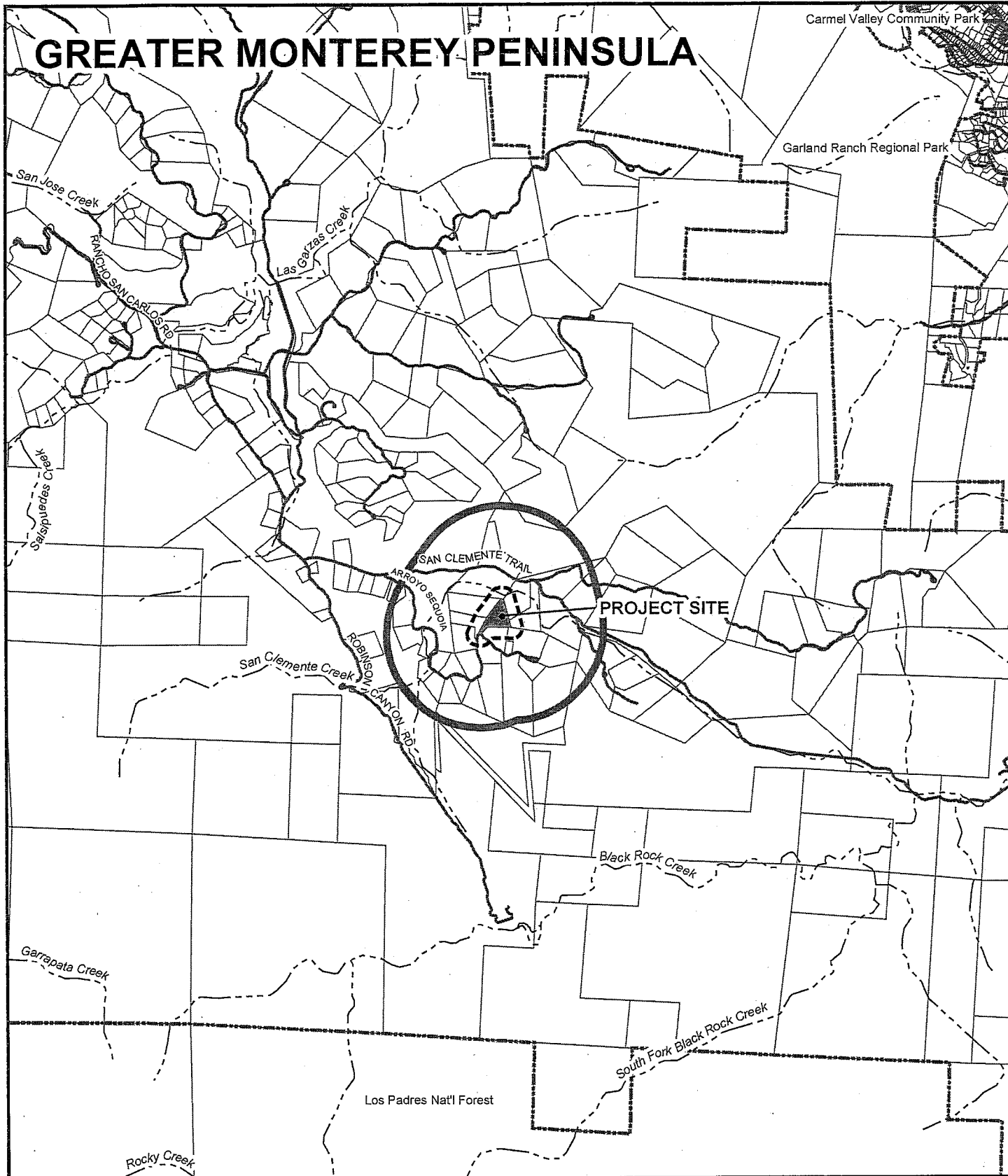
GUEST HOUSE EXTERIOR ELEVATION - EAST
 SCALE 1/8" = 1'-0"

NOT FOR CONSTRUCTION



EXHIBIT D

GREATER MONTEREY PENINSULA



APPLICANT: WERNER

APN: 239-091-036-000

FILE # PLN130001



2500' Limit

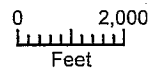


300' Limit

Water



City Limits



PLANNER: MASON

EXHIBIT E

Addendum Pursuant to the California Environmental Quality Act Article 11, Section 15164

Werner **Planning File No. *PLN130001*** ***Administrative Permit and Design Approval***

1. Introduction

This technical addendum has been prepared pursuant to Article 11, Section 15164 of the California Environmental Quality Act guidelines to make minor technical changes to the project analyzed in Santa Lucia Preserve (SLP) Final Environmental Impact Report, certified February 6, 1996, by Board of Supervisors Resolution No. 96-059. A Combined Development Permit (PC94067), Resolution 96-060, that was approved and as amended (Resolution 97-036 approved April 16, 1997), implemented the EIR and Forest Management Plan, prepared by Ralph Osterling Consultants, Inc. (Incorporated in the SLP Resource Management Plan). Mitigation measures were included as conditions of approved Santa Lucia Preserve subdivision Phases A-C. The Combined Development Permit consisted of a Vesting Tentative Subdivision Map, Major Use Permits for Tree Removal and Development on Slopes in Excess of 30%; among other components. The environmental implications of such actions were addressed within the Santa Lucia Final Environmental Impact Report, Resolution No. 96-060. The approved Combined Development Permit included a Use Permit for the removal of 1,480 trees (451 trees for home sites and 1,029 trees for driveway construction). One of the parcels created by the final map for the subdivision Phase B (Lot 111) is the subject site. None of the conditions described in Section 15162 calling for preparation of a subsequent EIR or negative declaration have occurred.

This technical addendum has been prepared pursuant to Article 11, Section 15164 of the California Environmental Quality Act guidelines to make minor technical changes to the project analyzed in the Santa Lucia Preserve Final Environmental Impact Report, certified February 6, 1996, by Board of Supervisors Resolution No. 96-059.

Article 11, Section 15164 provides in pertinent part of the following:

- (b) An addendum to an adopted negative declaration may be prepared if only minor technical changes or additions are necessary or none of the conditions described in Section 15162 calling for the preparation of a subsequent EIR or negative declaration have occurred.

An addendum need not be circulated for public review but can be included in or attached to the final EIR or adopted Negative Declaration

2. Scope and Purpose of this Addendum

The purpose of this addendum is to identify minor technical changes and provide clarifications of the site-specific conditions for the proposed residential development. The Combined Development Permit, Resolution No. 96-060, approved the removal of 451 protected trees for building sites and 1,029 protected trees for roads and driveways subject to the recommendations prescribed by the "Rancho San Carlos Forest Management Plan" prepared by Ralph Osterling Consultants, Inc., San Mateo, February 18, 1984.

This parcel, Lot 111, of the Santa Lucia Preserve subdivision was allotted the removal of three (3) protected trees for the building site. This project proposes to remove four (4) protected trees. Environmental impacts due to foreseen construction activities have been addressed by the EIR, which suggested appropriate mitigation measures to avoid significantly adverse environmental impacts. These measures were incorporated into this project as conditions of approval of the Use Permit approval. Mitigation Measure 1 and Use Permit (PC94067, Condition 24) which required the replacement of oak trees on-site, is incorporated into this project as Condition No. 12. Similarly, Mitigation Measure No. 67 (Condition No. 3) of Resolution 96-060 requires that work stop should cultural resources be unearthed and prescribes specific direction in such an event, and has been applied to this project as Condition 3.

3. Conclusion

The purpose of this addendum is to identify minor technical changes and provide clarifications of the site-specific conditions and the scope of work for the proposed residential development. Staff has reviewed the Santa Lucia Preserve Environmental Impact Report, Resolution No. 96-060 and the proposed residential development for consistency with the environmental considerations contained within. Staff finds that the site-specific conditions and the scope of work on the site including grading and tree removal are not substantial changes and therefore do not warrant the preparation of a subsequent environmental document.