



**STAFF REPORT**  
**Monterey County Design Approval**  
**Resource Management Agency - Planning Department**  
168 W. Alisal St. 2<sup>nd</sup> Floor, Salinas, CA 93901  
(831) 755-5025; FAX (831) 757-9516

---

**Date:** May 29, 2014

**To:** Jacqueline Onciano, Zoning Administrator

**From:** Lucy Bernal (831) 755-5235.  
[bernall@co.monterey.ca.us](mailto:bernall@co.monterey.ca.us)

**cc:** Front Counter Copy; Lucy Bernal Planner; Luke Connolly, Planning Services Manager; The Open Monterey Project; Land Watch; Ray Fernandez, Property Owner; Project File PLN140209

**Re:** Fernandez (PLN140209)

**Location:** Assessor's Parcel Number: 007-341-023-000  
1033 Marcheta Lane , Pebble Beach  
Greater Monterey Peninsula Area Plan

**Environmental Status:** Categorically exempt per CEQA Guidelines section 15303 (a)

Design Approval to allow the construction of a 4,059 square foot, (890 square foot are located entirely below grade, two-story, single family dwelling and a 279 square foot, attached garage and the removal of a 9" diameter Coast Live Oak and a 16" diameter Monterey Pine. The proposed tree removal is necessary to accommodate the proposed dwelling. Project includes approximately 575 cubic yards of cut and 55 cubic yard of fill. The property is located at 1033 Marcheta Lane, Pebble Beach (Assessor's Parcel Number 007-341-023-000), Greater Monterey Peninsula Area Plan.

Staff conducted a site visit on April 22, 2014 to verify that the project is consistent with the plans listed below and concluded that it is.

The Fernandez project, as described above, is consistent with the policies of the Monterey County 2010 General Plan, the Greater Monterey Peninsula Area Plan, and the Monterey County Zoning Ordinance (Title 21).

The proposed project was reviewed by the Del Monte Forest Land Use Advisory Committee (LUAC) on May 15, 2014. The LUAC voted (5-0-2) to recommend approval of the project, as designed.

**Recommendation:**

The proposed residential development is consistent with the 2010 General Plan and applicable MDR/B-6-D-RES zoning designation.

Therefore, staff is recommending approval of the Design Approval subject to the conditions in **Exhibit B**.

- 1) Approve the Design Approval subject to the conditions and mitigations in **Exhibit B**.

Attachments: Exhibit A Project Data Sheet  
Exhibit B Recommended Conditions of Approval  
Exhibit C Site Plan, Floor Plans, and Elevations  
Exhibit D Vicinity Map  
Exhibit E Design Approval Request Form  
Exhibit F Toro LUAC minutes

This report was reviewed by  Luke Connolly, Planning Service Manager.

## EXHIBIT A

### Project Information for PLN140209

**Application Name:** Fernandez Ted A & Fernandez Rosa V  
**Location:** 1033 Marcheta Ln, Pebble Beach  
**Applicable Plan:** Greater Monterey Peninsula  
**Primary APN:** 007-341-023-000  
**Advisory Committee:** Del Monte Forest Advisory Committee  
**Coastal Zone:** No  
**Permit Type:** Design Approval  
**Final Action Deadline (884):** 7/27/2014  
**Environmental Status:** Categorical Exemption  
**Zoning:** MDR/B-6-D-RES  
**Land Use Designation:** RESIDENTIAL 4U/AC

#### Project Site Data:

**Lot Size:** .20  
**Coverage Allowed:** 35%  
**Coverage Proposed:** 33.65%  
**Existing Structures (sf):** 0  
**Height Allowed:** 30  
**Proposed Structures (sf):** 3169  
**Height Proposed:** 27  
**Total Sq. Ft.:** 9059  
**FAR Allowed:** 35%  
**Special Setbacks on Parcel:**  
**FAR Proposed:** 34.98%

#### Resource Zones and Reports:

**Seismic Hazard Zone:** III  
**Soils Report #:** N/A  
**Erosion Hazard Zone:** Low  
**Biological Report #:** N/A  
**Fire Hazard Zone:** High  
**Forest Management Rpt. #:** N/A  
**Flood Hazard Zone:** X (unshaded)  
**Geologic Report #:** N/A  
**Archaeological Sensitivity:** high  
**Archaeological Report #:** LIB140177  
**Visual Sensitivity:** None  
**Traffic Report #:** N/A

#### Other Information:

**Water Source:** CAL-AM  
**Grading (cubic yds.):** 575  
**Water Purveyor:** CAL-AM  
**Sewage Disposal (method):** SEWER  
**Fire District:** Pebble Beach CSD  
**Sewer District Name:** Pebble Beach Company  
**Tree Removal:** 2

# Monterey County RMA Planning

## DRAFT Conditions of Approval/Implementation Plan/Mitigation Monitoring and Reporting Plan

PLN140209

### 1. PD001 - SPECIFIC USES ONLY

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** This Administrative Design Approval (PLN140209) to allow for the construction of a 4,059 square foot two-story single family dwelling and a 279 square foot attached single-car garage and the removal of a 9" diameter Coast live oak & a 16" diameter Monterey pine to facilitate the construction of a new single family dwelling: Grading approximately 575 cubic yards of cut and 55 cubic yard of fill. The property is located 1033 Marcheta Lane, Pebble Beach (Assessor's Parcel Number 007-341-023-000), Greater Monterey Peninsula Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of RMA - Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

### 2. PD002 - NOTICE PERMIT APPROVAL

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** The applicant shall record a Permit Approval Notice. This notice shall state:  
"A Administrative Design Approval (Resolution Number 140209) was approved by Zoning Administrator for Assessor's Parcel Number 007-341-023-000 on June 26, 2014. The permit was granted subject to 3 conditions of approval which run with the land. A copy of the permit is on file with Monterey County RMA - Planning."

Proof of recordation of this notice shall be furnished to the Director of RMA - Planning prior to issuance of building permits or commencement of the use. (RMA - Planning)

**Compliance or Monitoring Action to be Performed:** Prior to the issuance of grading and building permits or commencement of use, the Owner/Applicant shall provide proof of recordation of this notice to the RMA - Planning.

**3. PD003(A) - CULTURAL RESOURCES NEGATIVE ARCHAEOLOGICAL REPORT**

**Responsible Department:** RMA-Planning

**Condition/Mitigation Monitoring Measure:** If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. Monterey County RMA - Planning and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for recovery.  
(RMA - Planning)

**Compliance or Monitoring Action to be Performed:** The Owner/Applicant shall adhere to this condition on an on-going basis.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans. The note shall state "Stop work within 50 meters (165 feet) of uncovered resource and contact Monterey County RMA - Planning and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered." When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

# FERNANDEZ RESIDENCE

## 1033 Marcheta Lane Pebble Beach, California

DMU140209

### OWNER'S I/P NOTES

- 1. THE ABOVE I/P NOTES SHALL BE READ IN CONJUNCTION WITH THE PERMITS AND ALL APPLICABLE REGULATORY CODES AND ORDINANCES IN THE JURISDICTION OF THE LOCAL AND STATE GOVERNMENTS.
- 2. THE OWNER SHALL BE RESPONSIBLE FOR THE OBTAINING AND MAINTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE GOVERNMENTS.
- 3. THE OWNER SHALL BE RESPONSIBLE FOR THE OBTAINING AND MAINTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE GOVERNMENTS.
- 4. THE OWNER SHALL BE RESPONSIBLE FOR THE OBTAINING AND MAINTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE GOVERNMENTS.
- 5. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE OBTAINING AND MAINTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE GOVERNMENTS.
- 6. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE OBTAINING AND MAINTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE GOVERNMENTS.
- 7. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE OBTAINING AND MAINTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE GOVERNMENTS.
- 8. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE OBTAINING AND MAINTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE GOVERNMENTS.
- 9. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE OBTAINING AND MAINTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE GOVERNMENTS.
- 10. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE OBTAINING AND MAINTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE GOVERNMENTS.

### PROJECT DATA CONT.

**BUILDING SITE COVERAGE**

AREA	AREA
MAXIMUM BUILDING COVERAGE	1441 SF
GARAGE	244 SF
DRIVEWAY	278 SF
HAUL DRIVE	148 SF
DECK	133 SF
COVERED PATIO	222 SF
PORCH	402 SF
EXTENDED STAIRS	57 SF
<b>TOTAL</b>	<b>3244 SF</b>

**BUILDING SITE COVERAGE** = 20%  
**ALLOWED** = 33% SF (DECK)  
**PROPOSED** = 3244 SF (TOTAL)

**PERVIOUS COVERAGE**

AREA	AREA
COVERED BY STRUCTURE	324 SF
COVERED BY SERVICES SERVICES	688 SF
<b>TOTAL</b>	<b>1012 SF</b>

**PERVIOUS COVERAGE**

AREA	AREA
DRIVEWAY + PAVEMENT	1441 SF
COURTYARD	440 SF
TRUCK PAVEMENT	38 SF
BARBER PATIO	244 SF
REAR PATIO	150 SF
<b>TOTAL</b>	<b>2313 SF</b>

**TREE REMOVAL**

TREE	TRUNK DIA. IN QUARTER INCHES
1 (PINE)	6"
1 (PINE)	12"
1 (PINE)	24"
<b>TOTAL</b>	<b>3 TREE SPECIFIED FOR REMOVAL</b>

### PROJECT DATA

**OWNER:** 1033 MARCHETA LANE  
PEBBLE BEACH, CA 95551  
TEL: (831) 426-0831

**ARCHITECT:** ERIC MILLER ARCHITECTS, INC.  
5746A RIVE AVE. SUITE 100  
PACIFIC GROVE, CA 95526  
TEL: (831) 372-7810

**LAND DESIGNER:** HERRICK & BROWN  
2015 JEFFERSON ST. SUITE 200  
PACIFIC GROVE, CA 95526

**PROJECT ADDRESS:** 1033 MARCHETA LANE  
PEBBLE BEACH, CALIFORNIA

**LOT SIZE:** 1.409 AC  
**APN:** 007-241-023  
**GENERAL MAP AND ZONING:** R10  
**COASTAL COMMISSION:** (C) 100-34468  
**TYPE OF CONSTRUCTION:** (V-A-2)  
**MAX. BUILDING HEIGHT:** 37'-0"  
**PROPOSED PATIO/DECK AREA:** 1,012 SQUARE FEET  
**HATCH SERVICE PAV./CONC:** 1,012 SQUARE FEET  
**SEWER SERVICE PROVISIONS:** 1012 SQUARE FEET  
**REFERENCE:** 1012 SQUARE FEET  
**MEAS:** 1012

**PROJECT DESCRIPTION:**  
 PROPOSED NEW CONSTRUCTION OF TOTAL 3,244 SQ. FT. SINGLE FAMILY RESIDENCE WITH 3 CAR GARAGE AND 210 SQ. FT. COVERED PATIO.  
**FLOOR AREA RATIO:** 2.31  
**FLOOR AREA:** 3,244 SQ. FT. (TOTAL)  
**FLOOR AREA VARIO:** 2,500 SQ. FT. (DECK)  
**PROPOSED:** 3,244 SQ. FT. (TOTAL)

**FLOOR AREA**

AREA	AREA
PROPOSED FLOOR AREA	3,244 SF
EXISTING FLOOR AREA	0 SF
<b>TOTAL</b>	<b>3,244 SF</b>

### SHEET INDEX

- A-01 COVER SHEET
- A-02 SITE ELEVATION
- A-03 PROPOSED NEW CONSTRUCTION
- A-04 SITE ELEVATION
- A-05 EXISTING FLOOR PLAN
- A-06 PROPOSED FLOOR PLAN
- A-07 PROPOSED PATIO/DECK AREA
- A-08 EXISTING ELEVATIONS
- A-09 EXISTING ELEVATIONS
- A-10 EXISTING ELEVATIONS
- A-11 EXISTING ELEVATIONS
- A-12 EXISTING ELEVATIONS
- A-13 EXISTING ELEVATIONS
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- A-22 EXISTING ELEVATIONS
- A-23 EXISTING ELEVATIONS
- A-24 EXISTING ELEVATIONS
- A-25 EXISTING ELEVATIONS
- A-26 EXISTING ELEVATIONS
- A-27 EXISTING ELEVATIONS
- A-28 EXISTING ELEVATIONS
- A-29 EXISTING ELEVATIONS
- A-30 EXISTING ELEVATIONS



**TITLE SHEET**

PROJECT NAME: **Fernandez Residence**  
 1033 Marcheta Lane  
 Pebble Beach, California  
 A.P.N. 007-241-023-000

DATE: 5/20/14  
 SCALE: N.T.S.  
 SHEET: 2/4

DATE PLOTTED: 12/17  
 SHEET: 2/4

**A-0.1**  
 SHEET OF

**ARCHITECT:**

**ERIC MILLER ARCHITECTS, INC.**

157 GRAND AVENUE SUITE 105 PACIFIC GROVE, CA 95550  
 PHONE: (831) 372-6410 • FAX: (831) 372-7810 • WEB: www.ericmillerarchitects.com

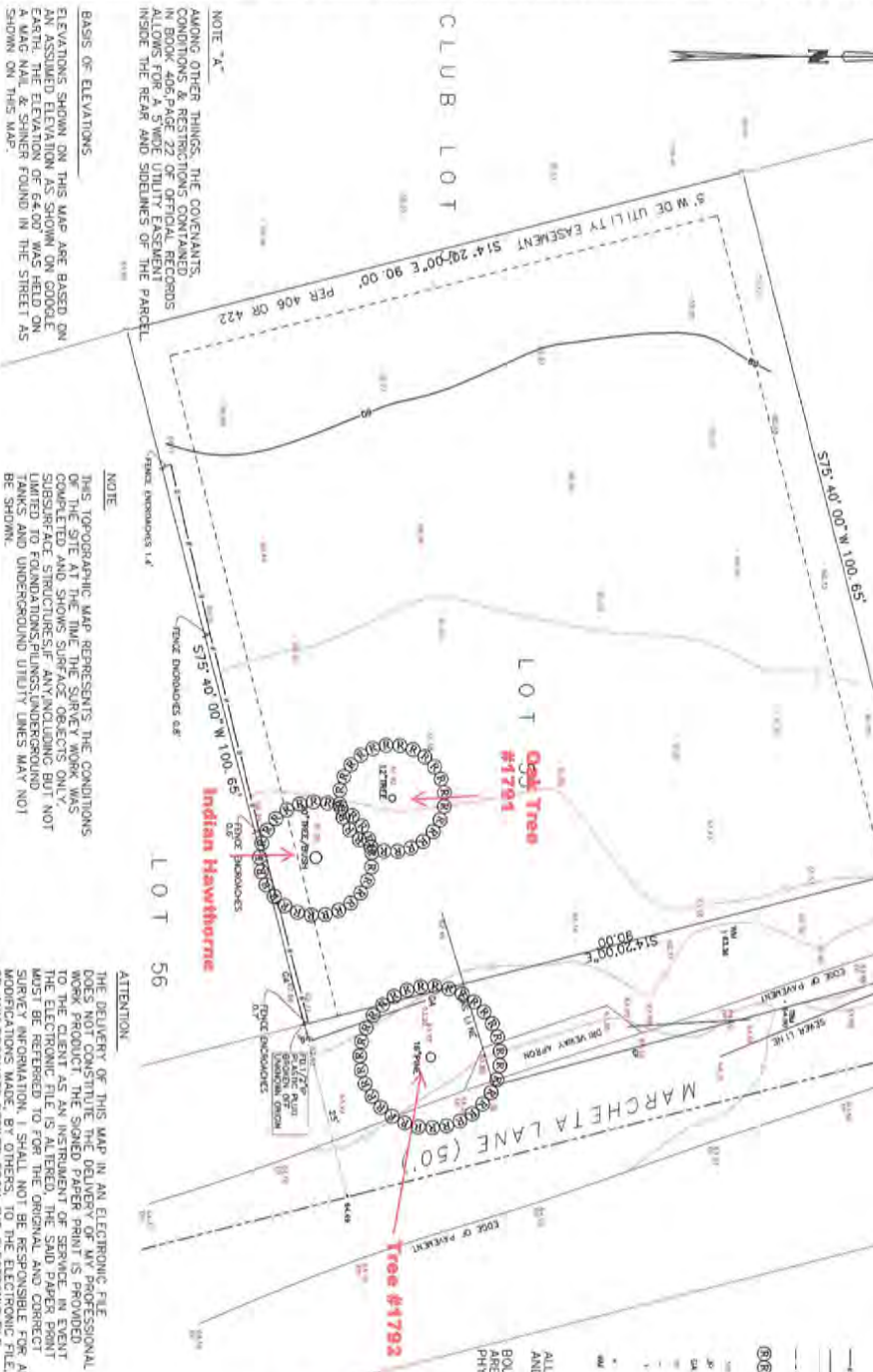
**CONSULTANT:**

ERIC MILLER ARCHITECTS, INC.

ALL USE OF THIS DRAWING AND INSTRUMENT IS BASED UPON THE ASSUMPTION THAT THE INFORMATION CONTAINED HEREIN IS CORRECT AND COMPLETE. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION AND DATA PROVIDED HEREON. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

**BASIS OF BEARINGS**  
 THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE MONTEREY PENINSULA SUBDIVISION AS FOUND MONUMENTED AND RECORDED AS NORTH 59°12'18" EAST ON PARCEL MAP RECORDED IN BOOK 449 OF MAPS, PAGES 47 AND 48, SANTA CLARA COUNTY RECORDS.

LOT 54  
 201  
 MONTEREY PENINSULA  
 COUNTY SUBDIVISION #2  
 VOLUME 3, CITIES & TOWNS, PAGE 29



**NOTE "A"**  
 AMONG OTHER THINGS, THE COVENANTS, CONDITIONS & RESTRICTIONS CONTAINED IN BOOK 406, PAGE 22 OF OFFICIAL RECORDS ALLOWS FOR A 5' WIDE UTILITY EASEMENT INSIDE THE REAR AND SIDELINES OF THE PARCEL.

**NOTE**  
 THIS TOPOGRAPHIC MAP REPRESENTS THE CONDITIONS OF THE SITE AT THE TIME THE SURVEY WORK WAS COMPLETED AND SHOWS SURFACE OBJECTS ONLY. SUBSURFACE STRUCTURES, IF ANY, INCLUDING BUT NOT LIMITED TO FOUNDATIONS, FILLS, UNDERGROUND UTILITY LINES AND UNDERGROUND UTILITY LINES MAY NOT BE SHOWN.

**ATTENTION**  
 THE DELIVERY OF THIS MAP IN AN ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF ANY PROFESSIONAL WORK PRODUCT. THE SIGNED PAPER PRINT IS PROVIDED TO THE CLIENT AS AN INSTRUMENT OF SERVICE. IN EVENT THE ELECTRONIC FILE IS ALTERED, THE SAID PAPER PRINT SHALL BE THE INSTRUMENT OF SERVICE. THE SURVEY INFORMATION I SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE BY OTHERS TO THE ELECTRONIC FILE OR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE.

**TOPOGRAPHIC MAP**  
 SCALE: 1/8" = 1'-0"

**TECHNICAL INFORMATION**  
 ASSESSOR'S PARCEL NUMBER: 007-341-023  
 ADDRESS OF PROJECT:  
 CLIENTS NAMES: TED & ROSA FERNANDEZ  
 1033 MARCHETA LANE  
 90599 SERRA/BEACH, CA  
 SIZE OF LOT: 9,059 SQ FEET/BEACH, CA

- LEGEND**
- INDICATES RECORD BOUNDARY LINE
  - INDICATES INSIDE EDGE OF EASEMENT
  - SEE NOTE "A"
  - INDICATES EXISTING FENCE LINE
  - OR --- INDICATES EXISTING CONTOUR LINE
  - INDICATES CENTER LINE OF RIGHT OF WAY
  - INDICATES APPROXIMATE DRIPLINE OF TREES
  - INDICATES SPOT ELEVATION
  - INDICATES JOINT SERVICES POLE
  - INDICATES GUY ANCHOR
  - INDICATES EDGE OF PARCEMENT
  - INDICATES MONUMENT FOUND AS NOTED
  - INDICATES SET 1/2" x 3/8" REBAR TAGGED LS 5418
  - INDICATES SET 8" SPIRE TAGGED LS 5418
  - INDICATES WATER METER

ALL DISTANCES AND ELEVATIONS SHOWN ARE IN FEET AND DECIMALS THEREOF.  
 BOUNDARY LINES DELINEATED ON THIS MAP ARE IN RED AND ARE BASED ON THE SURVEYOR'S OPINION UTILIZING FOUND PHYSICAL EVIDENCE AND RECORD DATA.

**Annotation Prepared By:**  
 June 3, 2014  
 Frank Ono, S.A.P. Member #48004  
 ISA Certified Arbolista #536



**CALIBRATIC SCALE**  
 1 inch = 1 foot

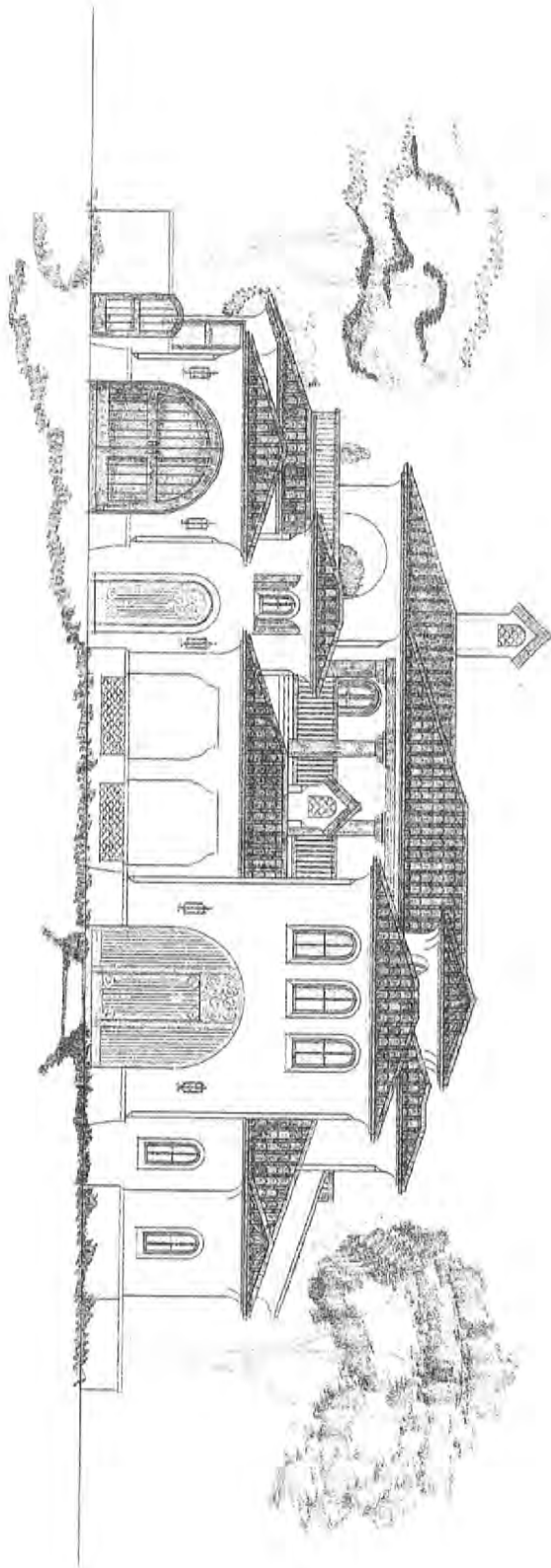
<b>REVISION</b>				
<b>DATE</b>	<b>BY</b>	<b>DESCRIPTION</b>	<b>SCALE</b>	<b>DATE</b>
<b>ROBERT J. CRAIG</b> LICENSED LAND SURVEYOR 9055 FINE W. MC CORMICK (P.O. BOX 150) SAN JOSE, CALIFORNIA 95131 www.RobertCraig.com State License #C12925				
<b>TOPOGRAPHIC MAP</b> PREPARED FOR: CLIENT'S NAME PROJECT NAME SCALE OF DRAWING DATE OF SURVEY				
DATE: 06/03/2014 DRAWING NO.: 007-341-023 SHEET NUMBER: 01 TOTAL SHEETS: 02				

**TOPOGRAPHIC MAP**  
 DATE: 6/3/14  
 SCALE: 1/8" = 1'-0"  
 SHEET: 12/11  
 OF: A-1.0

**ARCHITECT**  
**ERIC MILLER ARCHITECTS, INC.**  
 157 GRAND AVENUE SUITE 106 PACIFIC GROVE, CA 93950  
 PHONE (831) 372-6410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitect.com

**CONSULTANT:**  
 Exhibit C  
 Page 2 of 14 Pages

REVISION



A-0.2  
SHEET OF

DATE: 05/24/14  
SCALE: N.T.S.  
FORM: DM  
JOB NUMBER: 0217

**STREET ELEVATION**  
JOB NAME:  
**Fernandez Residence**  
1033 Marcheta Lane  
Plebe Beach, California  
A.P.N. 007-341-028-000

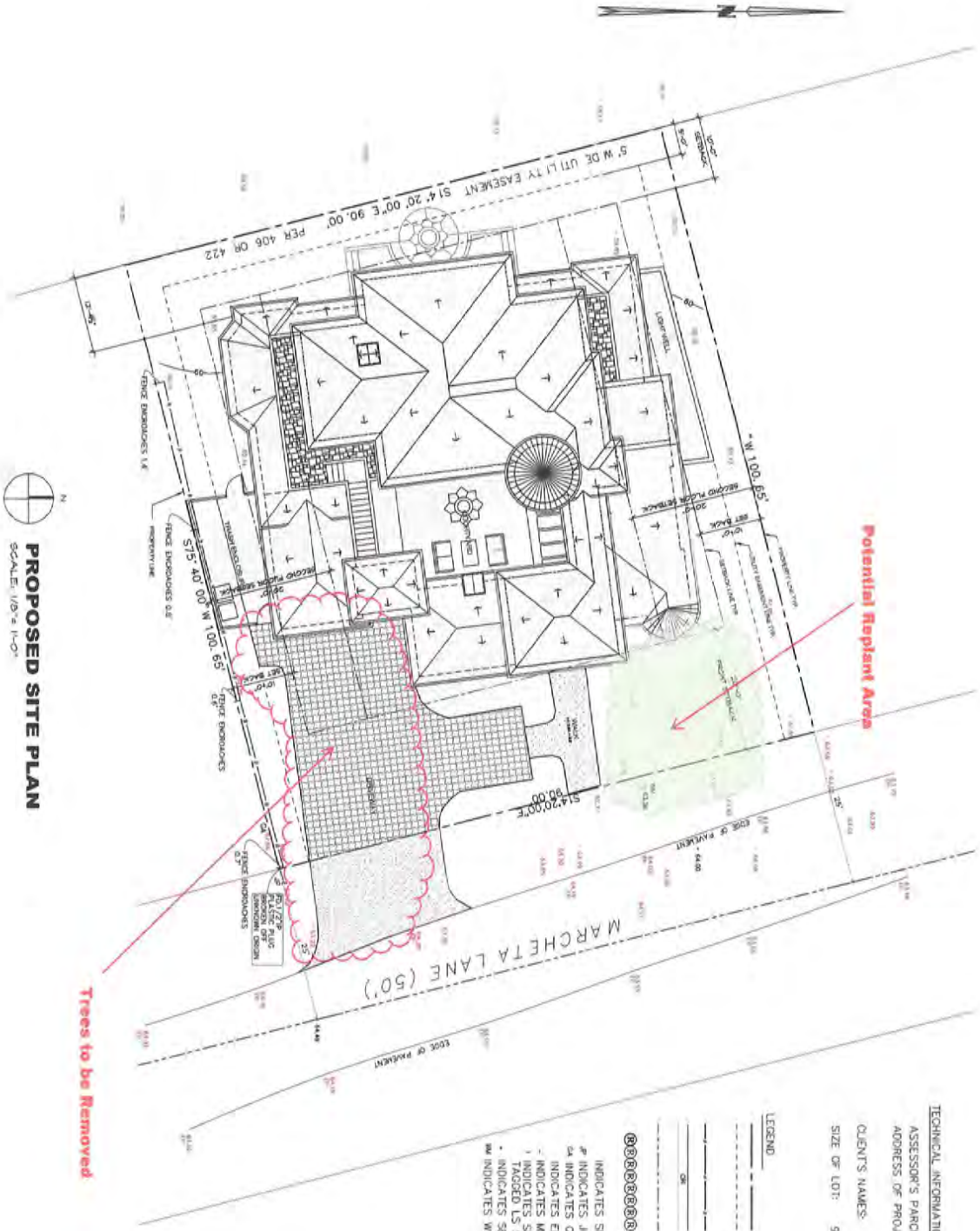
ARCHITECT  
**ERIC MILLER ARCHITECTS, INC.**  
157 GRAND AUBURN PACIFIC GROVE, CA 93950  
PHONE: (831) 370-0410 • FAX: (831) 378-1949 • WEB: www.ericmillerarchitects.com

CONSULTANT:  
NO. 100  
NO. 200  
NO. 300  
NO. 400  
NO. 500  
NO. 600  
NO. 700  
NO. 800  
NO. 900  
NO. 1000

Exhibit C  
Page 2 of 16 Pages



THE USE OF THIS DRAWING AND INSTRUMENTS IS SOLELY FOR THE USE OF THE CLIENT AND NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF ERIC MILLER ARCHITECTS, INC. ANY REPRODUCTION OR ALTERATION OF THIS DRAWING IS SOLELY AT THE USER'S RISK AND ERIC MILLER ARCHITECTS, INC. SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE, LOSS OR INJURY CAUSED BY THE USER'S MISUSE OF THIS DRAWING. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AUTHORITIES.



**PROPOSED SITE PLAN**  
SCALE: 1/8" = 1'-0"

Trees to be Removed

Potential Replant Area

**TECHNICAL INFORMATION**

ASSESSOR'S PARCEL NUMBER: 007-341-023  
ADDRESS OF PROJECT: 1033 MARCHETA LANE, PEBBLE BEACH, CA  
CLIENT'S NAMES: TED & ROSA FERNANDEZ  
SIZE OF LOT: 9,059 SQ. FT. +/-

**LEGEND**

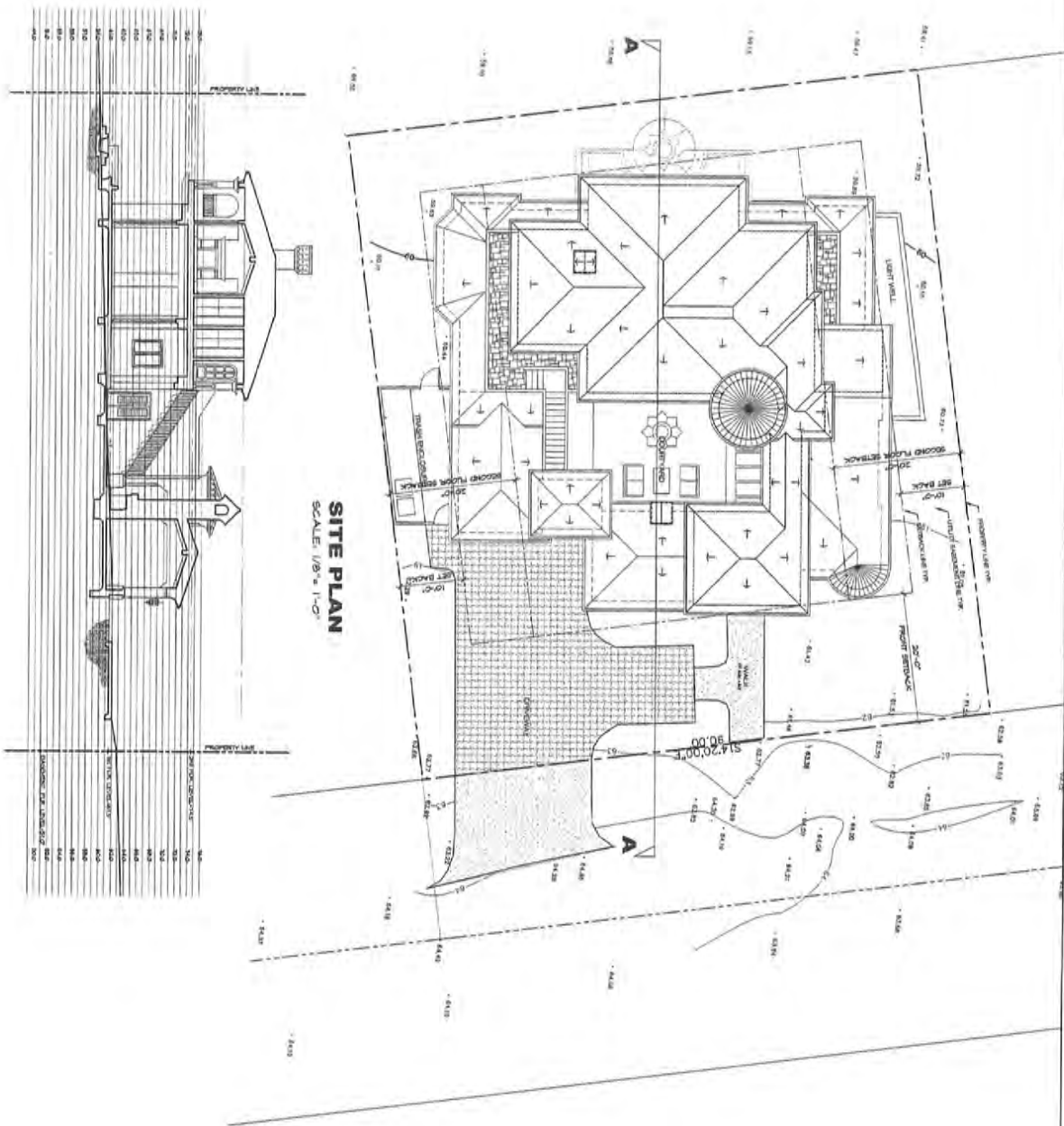
- INDICATES RECORD BOUNDARY LINE
- - - INDICATES INSIDE EDGE OF EASEMENT
- - - SEE NOTE A.
- - - INDICATES EXISTING FENCE LINE
- - - INDICATES EXISTING CONTOUR LINE
- - - INDICATES CENTER LINE OF RIGHT OF WAY
- ⊙ INDICATES APPROXIMATE DRIPLINE OF TREES
- ⊙ INDICATES SPOT ELEVATION
- ⊙ INDICATES JOINT SERVICES POLE
- ⊙ INDICATES QTY ANCHOR
- ⊙ INDICATES EDGE OF PAVEMENT
- ⊙ INDICATES MONUMENT FOUND AS NOTED
- ⊙ INDICATES SET 1/2" x 3/8" REBAR TAGGED US 5418
- ⊙ INDICATES SET 8" SPIRE TAGGED US 5418
- ⊙ INDICATES WATER METER

<b>PROPOSED SITE PLAN</b>	
DATE:	3/26/14
SCALE:	1/8" = 1'-0"
TITLE:	DM
JOB NUMBER:	1217
PROJECT NAME: <b>Fernandez Residence</b> 1033 Marcheta Lane Pebble Beach, California A.P.N. 007-341-023-000	

ARCHITECT:	<b>ERIC MILLER ARCHITECTS, INC.</b>
157 GRAND AVE 108 PACIFIC GROVE, CA 93950 PHONE (811) 372-0410 • FAX (811) 372-7940 • WEB: www.ericmillerarchitects.com	

CONSULTANT:	<b>Exhibit C</b>
Page 4 of 16 Pages	

**A-1.1**  
SHEET 32



**SITE SECTION A-A**  
SCALE: 1/8" = 1'-0"

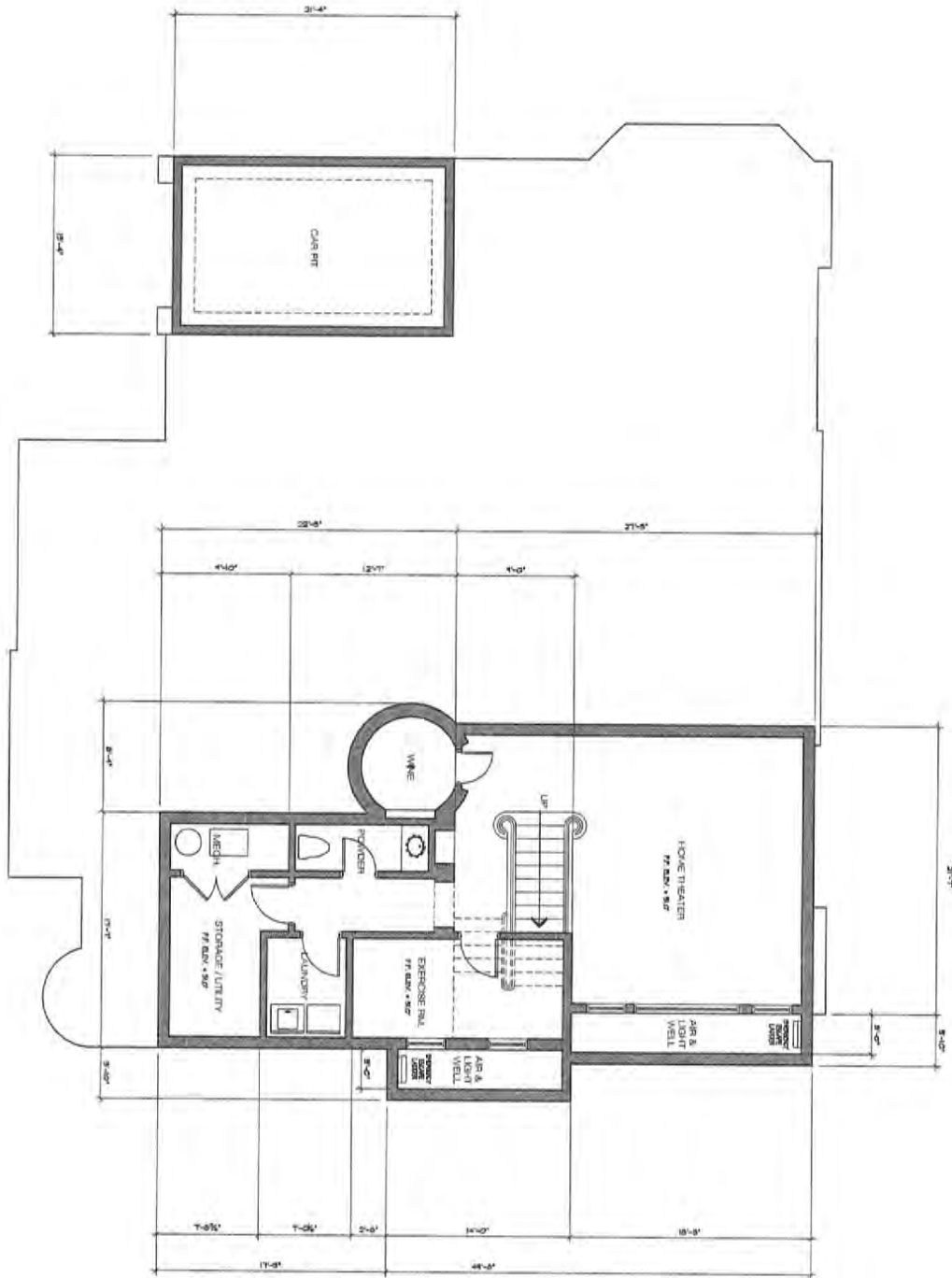
**SITE PLAN**  
SCALE: 1/8" = 1'-0"

FINISH	ELEVATION
CEILING	8'-0"
FLOOR	7'-0"
ROOF	10'-0"
...	...
FOUNDATION	0'-0"

<p><b>A-12</b></p>	<p><b>SITE SECTION</b></p>	<p>ARCHITECT</p> <p><b>ERIC MILLER ARCHITECTS, INC.</b></p> <p>157 GRAND AVE. #100 PACIFIC GROVE, CA 93950 PHONE (831) 372-0410 • FAX (831) 372-7840 • WWW.ERICMILLERARCHITECTS.COM</p>	<p>CONSULTANT:</p> <p><i>C</i></p>	<p>NO. _____</p> <p>REV. _____</p>
	<p>DATE: 5/8/11</p> <p>SCALE: 1/8" = 1'-0"</p> <p>DRAWN: CH</p> <p>DESIGNED: LCH</p>	<p>JOB NAME:</p> <p><b>Fernandez Residence</b></p> <p>1038 Marcheta Lane Pebble Beach, California A.P.N. 007-341-023-000</p>	<p>Page <b>5</b> of <b>16</b> Pages</p>	<p>NO. _____</p> <p>REV. _____</p>



**BASEMENT FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



<b>A-2.0</b>	<b>DATE</b> 05/24/11	
	<b>SCALE</b> 1/4" = 1'-0"	
SHEET 22	<b>JOB NAME</b>	
	<b>BASEMENT FLOOR PLAN</b>	
12/11	<b>CLIENT</b> JMI	
	<b>PROJECT</b> Fernandez Residence	
	<b>ADDRESS</b> 1028 Marcheta Lane Pacific Beach, California	
	<b>APN</b> 007-841-028-000	

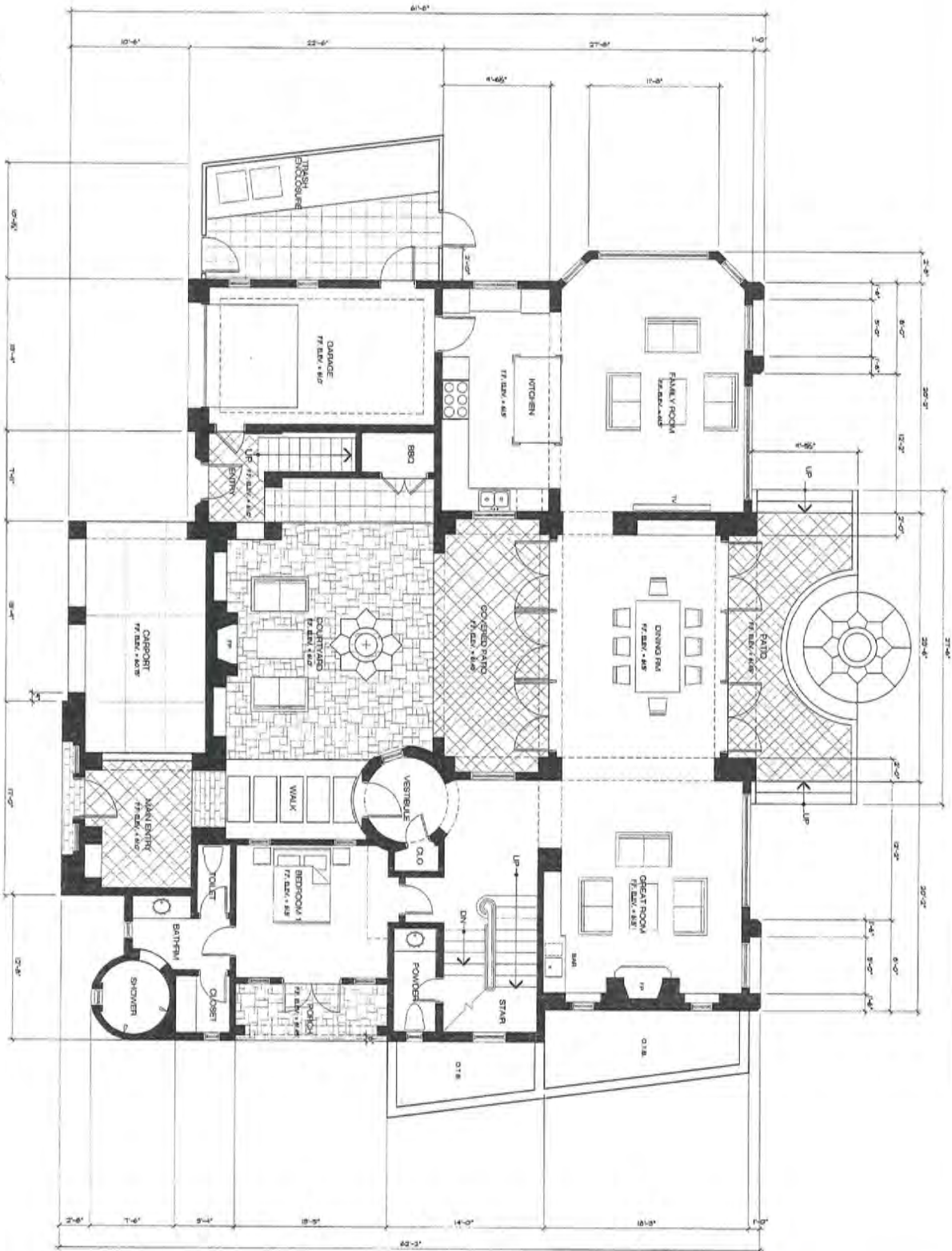
<b>ARCHITECT</b>	
<b>ERIC MILLER ARCHITECTS, INC.</b>	
157 GRAND 8th St 109 PACIFIC GROVE, CA 93950	
PHONE (831) 372-0410 • FAX (831) 372-7049 • WEB: www.ericmillerarchitects.com	

<b>CONSULTANT:</b>	
Exhibit C	
Page 6 of 16 Pages	
<b>REVISION</b>	<b>NO.</b>



**FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"



A-2.1  
SHEET OF

<b>FIRST FLOOR PLAN</b>	
DATE:	08/14/10
SCALE:	1/4" = 1'-0"
NAME:	SM
DESIGNER:	SM
DATE:	12/17
DESIGNER:	SM

**Fernandez Residence**  
 1033 Marchesa Lane  
 Pebble Beach, California  
 A.P.N. 007-341-023-000

ARCHITECT	ERIC MILLER ARCHITECTS, INC.	CONSULTANT	Exhibit C
157 GRAND SUITE 106	PACIFIC GROVE, CA 93950		
PHONE (831) 372-6410	FAX (831) 372-7640	WEB: www.ericmillerarchitects.com	

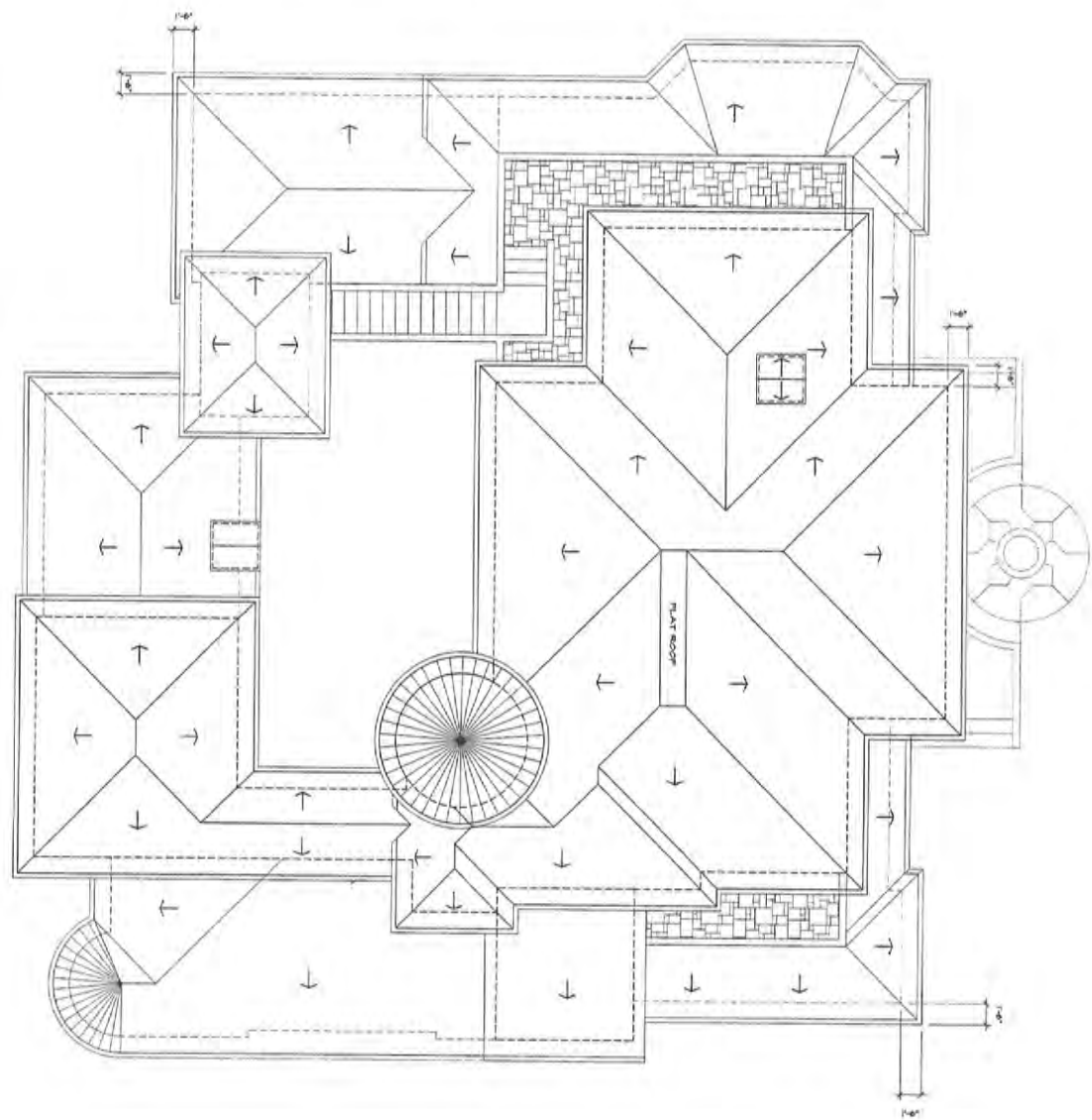
Page 7 of 16 Pages

REVISION	NO.





**ROOF PLAN**  
SCALE: 1/4" = 1'-0"



**A-2.3**  
SHEET OF

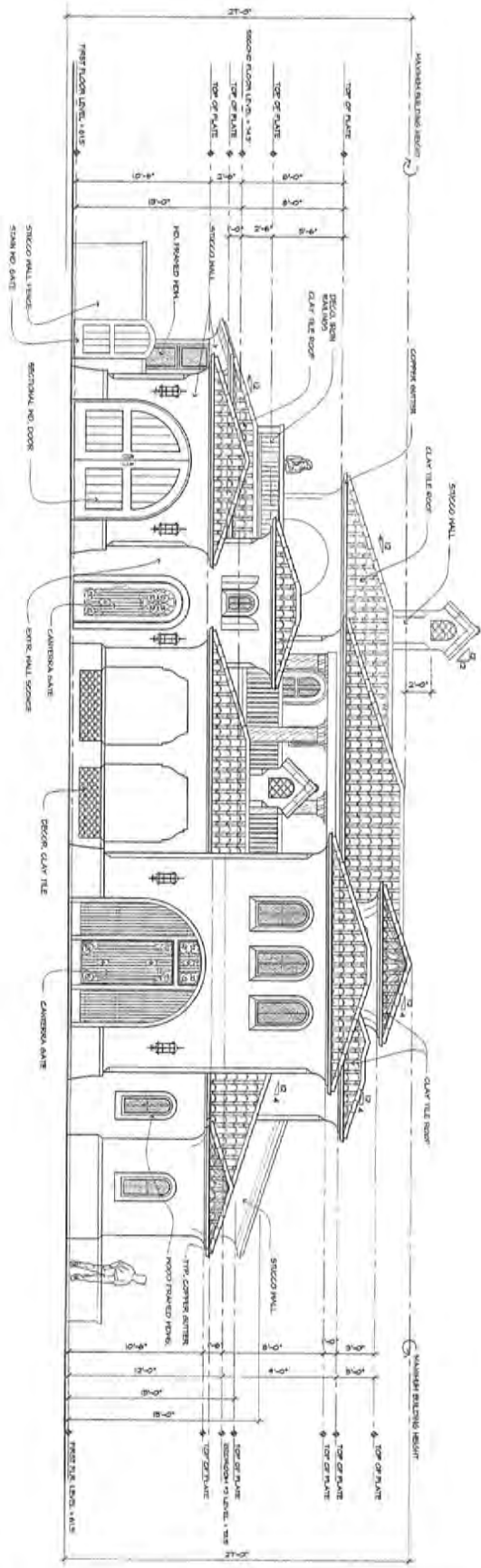
**ROOF PLAN**  
DATE: 8/20/04  
JOB NAME: **Fernandez Residence**  
1039 Marcheta Lane  
Pebble Beach, California  
A.P.N. 007-841-028-000

ARCHITECT  
**ERIC MILLER ARCHITECTS, INC.**  
157 GRAND AVENUE 105 PACIFIC GROVE, CA 93950  
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

CONSULTANT:

REVISION	NO.

Exhibit C  
Page 9 of 16 Pages



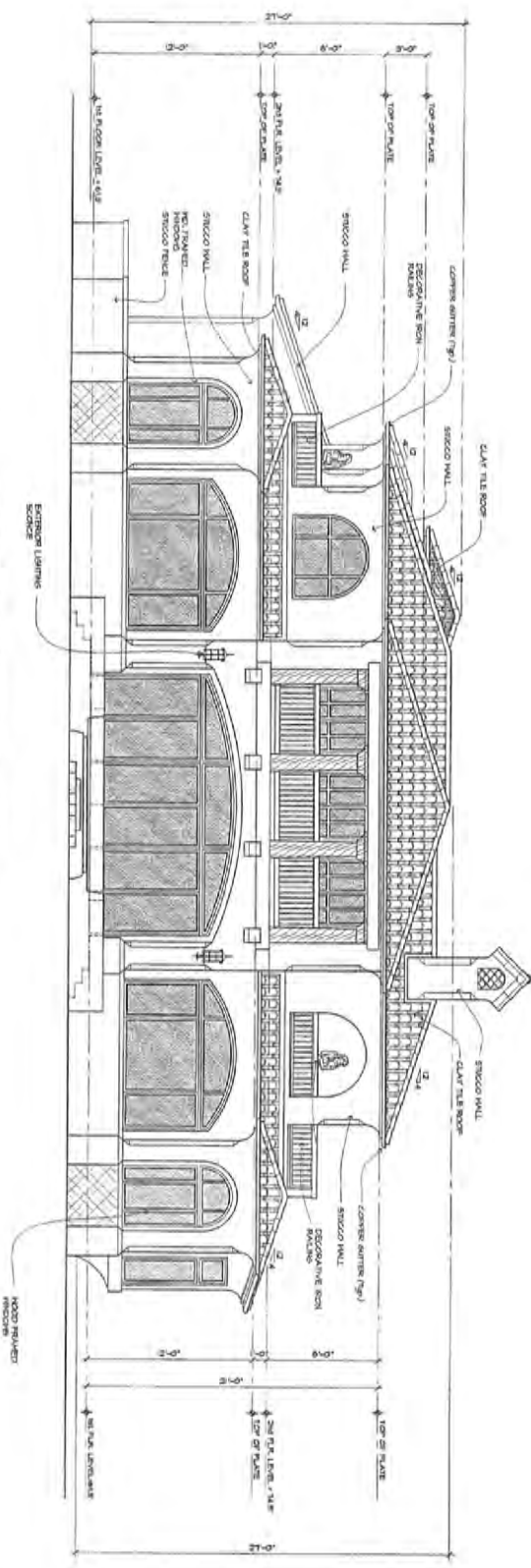
**FRONT ELEVATION (EAST)**  
SCALE: 1/4" = 1'-0"

<b>FRONT ELEVATION (EAST)</b>	
DATE	3/28/14
PROJECT	1035 Marcheta Lane Pebble Beach, California
CONTRACT NO.	A.P.N. 207-341-023-000
DATE	3/28/14
SCALE	1/4" = 1'-0"
BY	AM
CHECKED	AM

ARCHITECT	<b>ERIC MILLER ARCHITECTS, INC.</b>
ADDRESS	157 GRAND suite 106 PACIFIC GROVE, CA 93950
PHONE	(831) 372-6410 • FAX (831) 372-7940 • WEB: www.ericmillerarchitects.com

CONSULTANT:	<b>Exhibit C</b>
NO.	<b>10 of 16 Pages</b>

**A-3.1**



**REAR ELEVATION (WEST)**  
SCALE: 1/4" = 1'-0"

<b>REAR ELEVATION (WEST)</b>	
DATE	05/18/14
DRAWN BY	SH/ML
CHECKED BY	ML
SCALE	1/4" = 1'-0"
<b>Fernandez Residence</b> 1055 Marcheta Lane Pebble Beach, California A.P.N. 001-341-028-000	

ARCHITECT  
**ERIC MILLER ARCHITECTS, INC.**  
 157 GRAND AVENUE SUITE 106 PACIFIC GROVE, CA 93950  
 PHONE (831) 372-0410 • FAX (831) 372-7363 • WEB: www.ericmillerarchitects.com

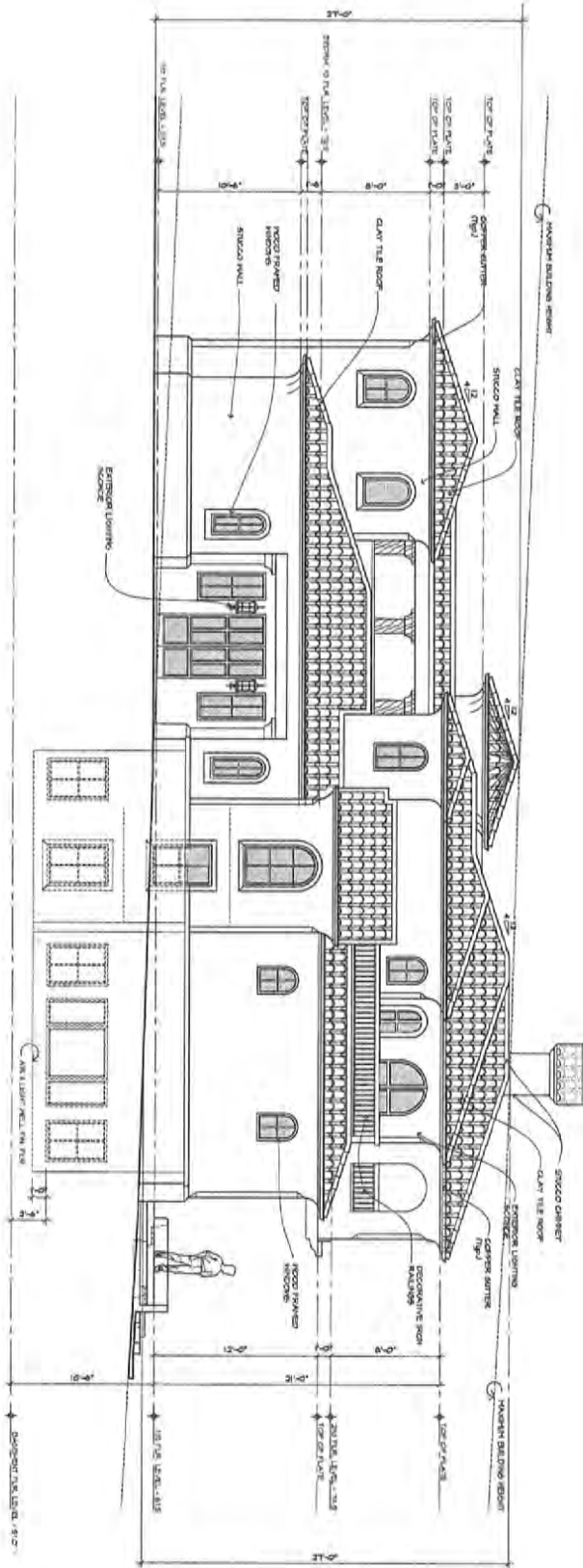
CONSULTANT:	
NO.	
REVISION	

**A-3.2**  
SHEET 05

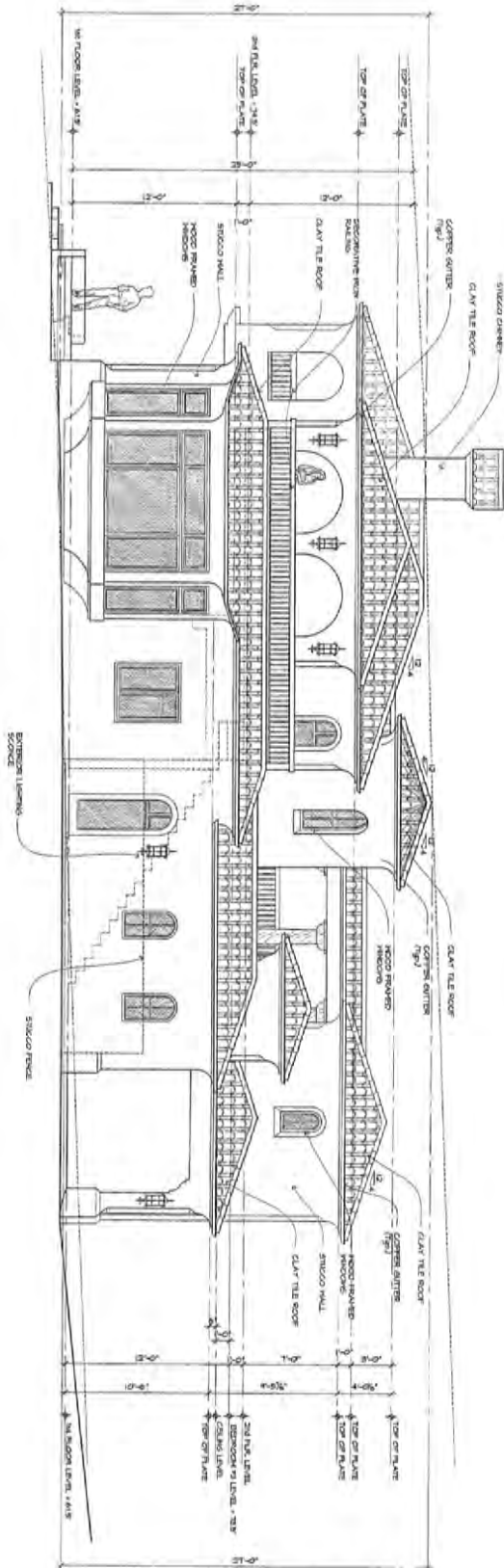
Exhibit C  
 Page 11 of 16 Pages



**SIDE ELEVATION (NORTH)**  
SCALE: 1/4" = 1'-0"



<p><b>A-3.3</b> SHEET OF</p>	<p><b>SIDE ELEVATION (NORTH)</b></p>	<p>ARCHITECT</p>	<p>CONSULTANT:</p>	<p>REVISION</p>
	<p>DATE: 4/26/14 SCALE: 1/4"=1'-0" DRAWN: CM JOB NUMBER: 12117</p>	<p>PROJECT NAME: <b>Fernandez Residence</b> 1255 Marcheta Lane Pebble Beach, California A.P.N. 007-341-028-000</p>	<p><b>ERIC MILLER ARCHITECTS, INC.</b> 157 GRAND AVENUE, SUITE 106 • PACIFIC GROVE, CA 93950 PHONE (831) 372-0410 • FAX (831) 372-7980 • WEB: www.ericmillerarchitects.com</p>	<p><b>Exhibit C</b></p>



**SIDE ELEVATION (SOUTH)**  
SCALE: 1/4" = 1'-0"

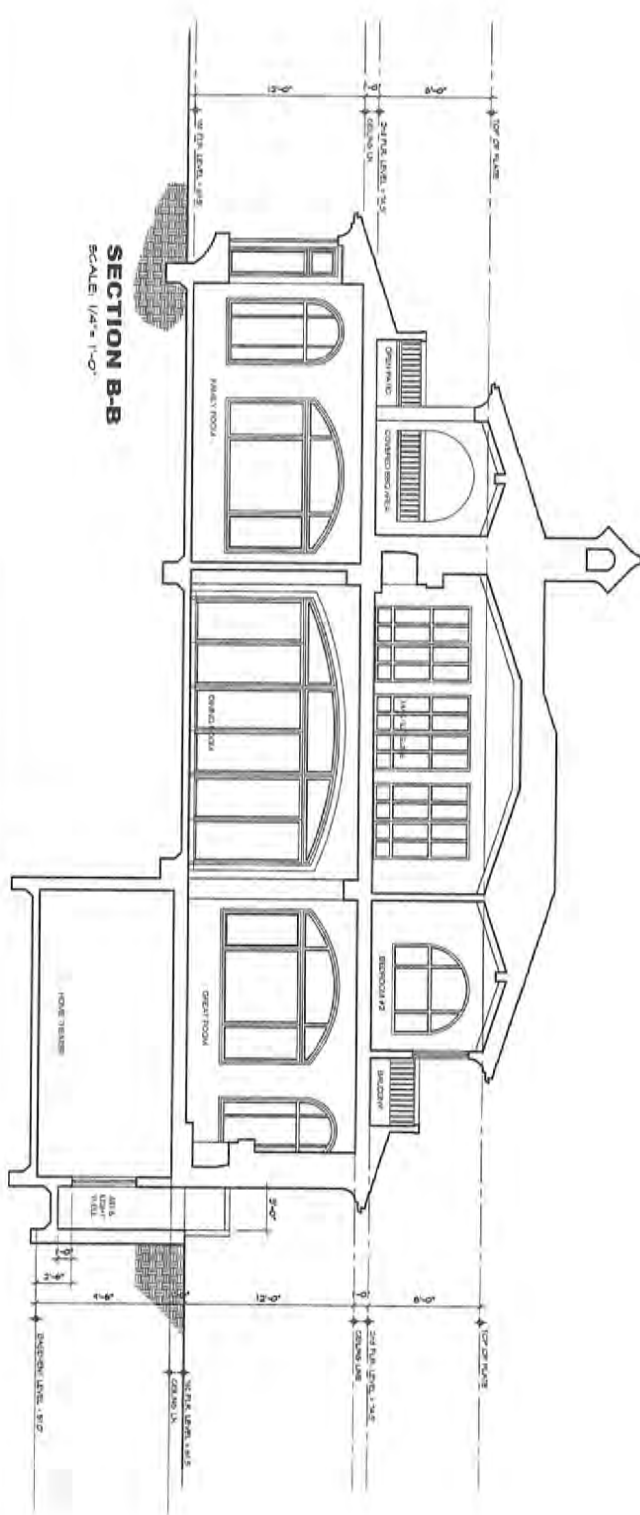
**SIDE ELEVATION (SOUTH)**  
DATE: 3/29/04  
SCALE: 1/4" = 1'-0"  
SHEET: 2/17  
JOB NUMBER: 0217

**A-3.4**

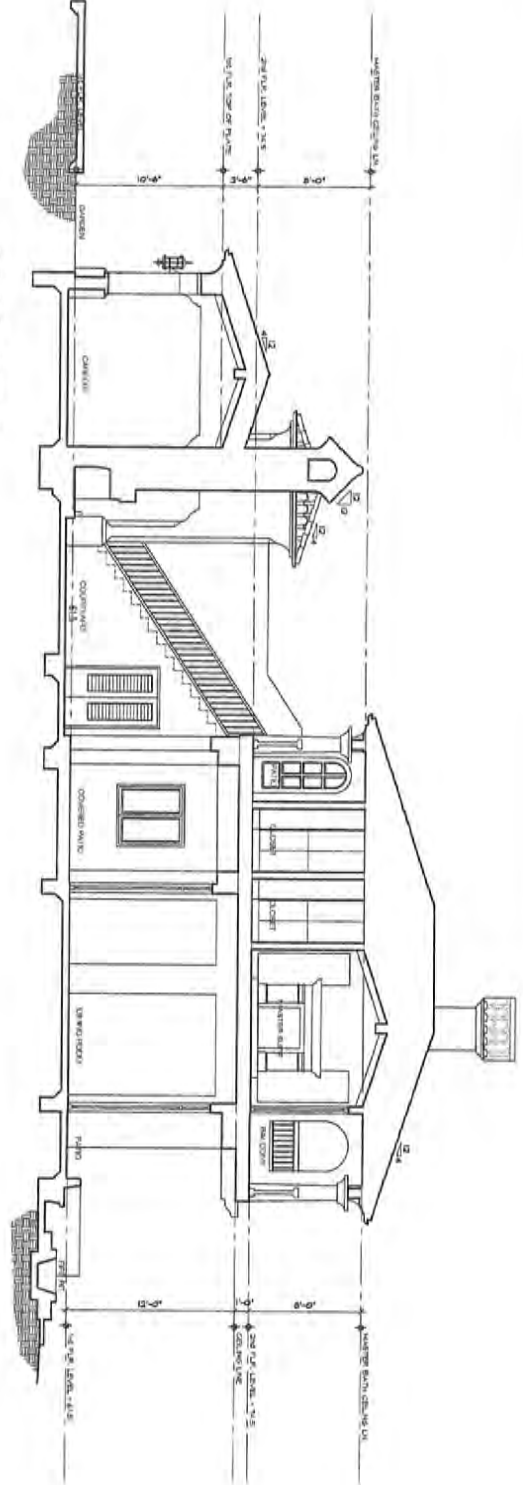
ARCHITECT  
**ERIC MILLER ARCHITECTS, INC.**  
157 GRAND suite 106 PACIFIC GROVE, CA 93950  
PHONE (831) 372-0418 • FAX (831) 372-1840 • WEB: www.ericmillerarchitects.com

CONSULTANT:  
**Exhibit C**  
**Page 13 of 16 Pages**

REVISION	DATE



**SECTION B-B**  
SCALE: 1/4" = 1'-0"



**SECTION A-A**  
SCALE: 1/4" = 1'-0"

<p><b>A-3.5</b></p> <p>Sheet of</p>	<p><b>BUILDING SECTIONS</b></p>		<p>ARCHITECT</p> <p><b>ERIC MILLER ARCHITECTS, INC.</b></p> <p>157 GRAND SUITE 105 PACIFIC GROVE, CA 93950 PHONE (831) 372-0410 • FAX (831) 372-7660 • WEB: www.ericmillerarchitects.com</p>	<p>CONSULTANT:</p> <p><b>Exhibit C</b></p>	<p>REVISION</p> <p>No.</p>
	<p>DATE: 8/9/14</p> <p>SCALE: 1/4" = 1'-0"</p> <p>DRAWN: DM</p> <p>200 MILLER 12/17</p>	<p>PROJECT NAME:</p> <p><b>Fernandez Residence</b></p> <p>1039 Marcheta Lane Pebble Beach, California A.P.N. 001-341-023-000</p>			

Legend:

SYMBOL	DESCRIPTION
L-1	RETRACTOR MOUNTED RECESSED EXTERIOR WALL LIGHT
L-2	RETRACTOR MOUNTED EXTERIOR WALL LIGHT
L-3	RETRACTOR MOUNTED EXTERIOR WALL LIGHT
L-4	RETRACTOR MOUNTED EXTERIOR WALL LIGHT

**Lighting Notes:**  
 1. All exterior lighting shall be per the applicable code requirements.  
 2. All exterior lighting shall be recessed into the exterior wall.  
 3. All exterior lighting shall be recessed into the exterior wall.  
 4. All exterior lighting shall be recessed into the exterior wall.  
 5. All exterior lighting shall be recessed into the exterior wall.  
 6. All exterior lighting shall be recessed into the exterior wall.  
 7. All exterior lighting shall be recessed into the exterior wall.  
 8. All exterior lighting shall be recessed into the exterior wall.  
 9. All exterior lighting shall be recessed into the exterior wall.  
 10. All exterior lighting shall be recessed into the exterior wall.

**Note:**  
 All exterior lighting shall be recessed into the exterior wall.  
 All exterior lighting shall be recessed into the exterior wall.  
 All exterior lighting shall be recessed into the exterior wall.  
 All exterior lighting shall be recessed into the exterior wall.

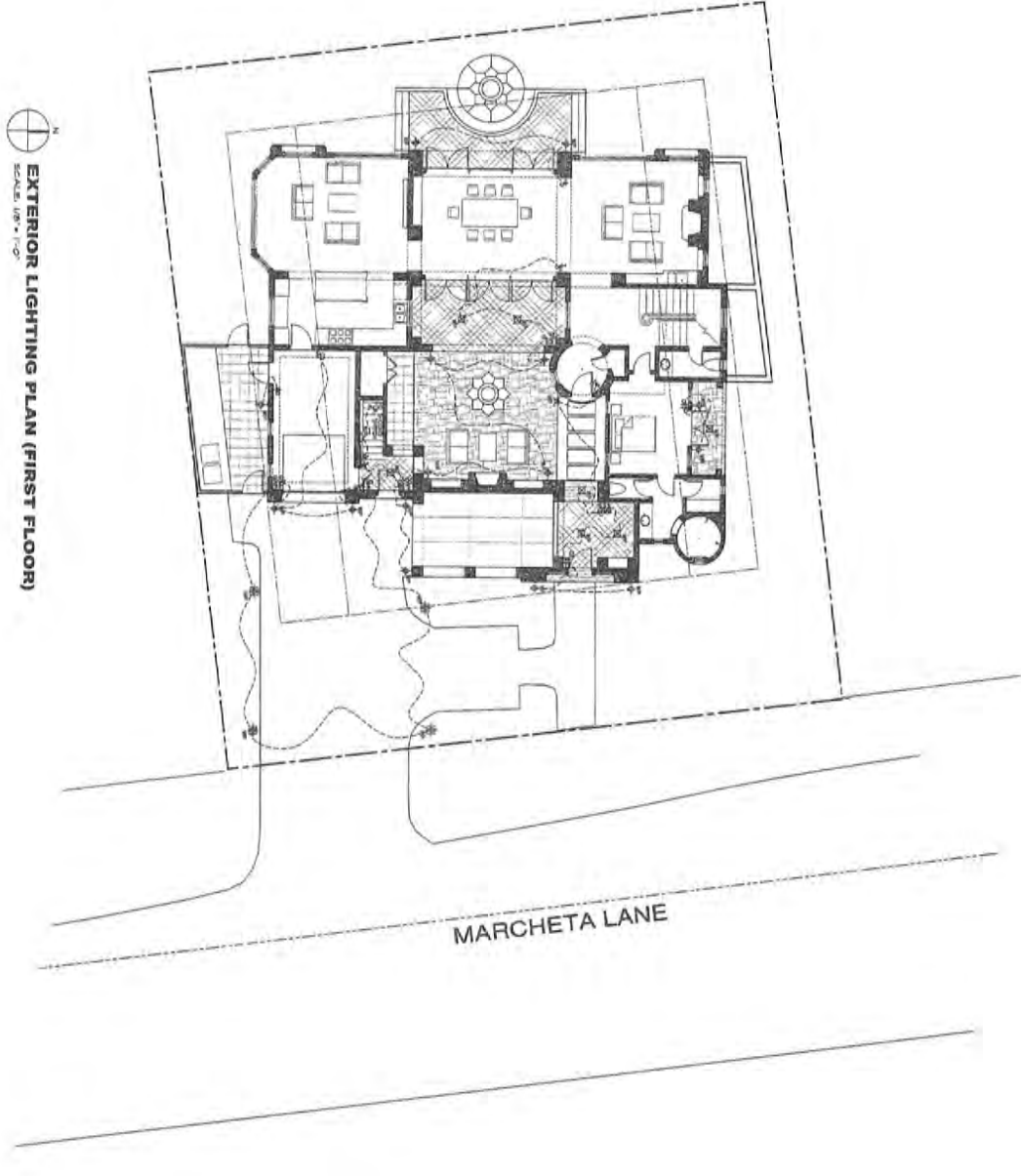
**Lighting Samples:**

L-1  
 RETRACTOR MOUNTED EXTERIOR WALL LIGHT 20 WATT 120V AC

L-2  
 RETRACTOR MOUNTED EXTERIOR WALL LIGHT 20 WATT 120V AC

L-3  
 RETRACTOR MOUNTED EXTERIOR WALL LIGHT 20 WATT 120V AC

L-4  
 RETRACTOR MOUNTED EXTERIOR WALL LIGHT 20 WATT 120V AC



EXTERIOR LIGHTING PLAN (FIRST FLOOR)  
 SCALE: 1/8" = 1'-0"

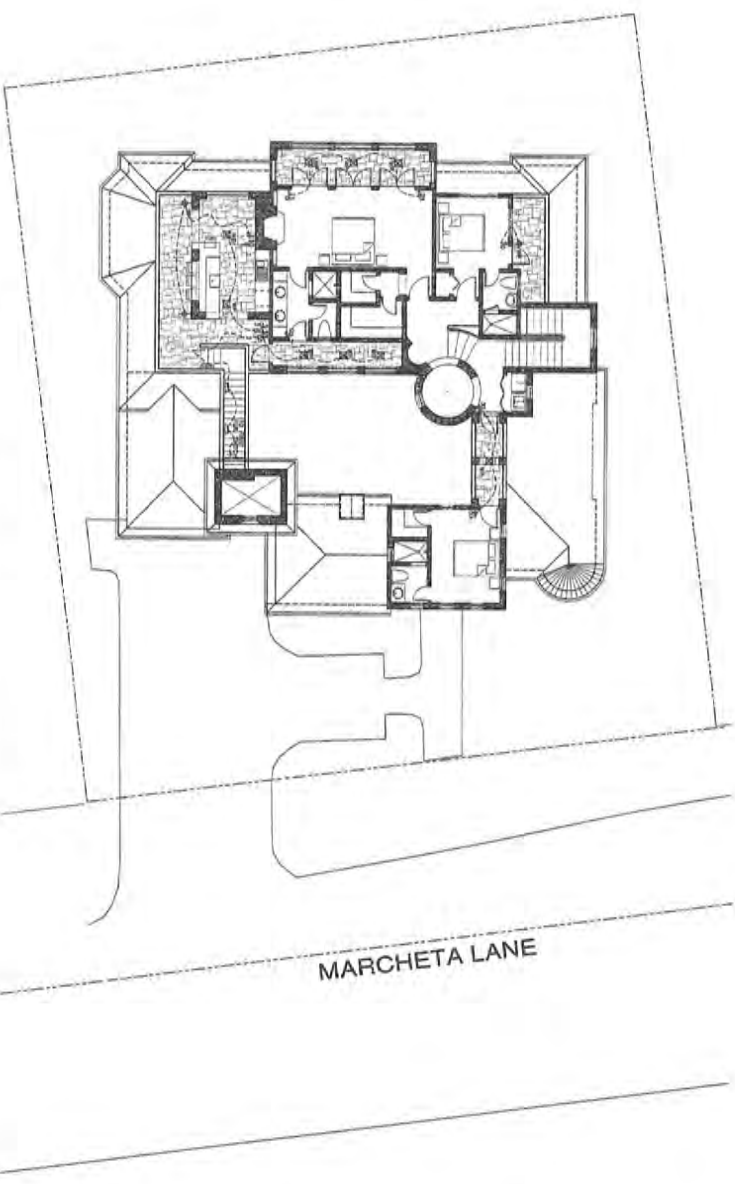
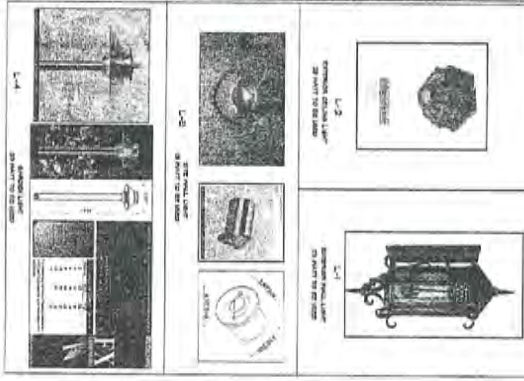
**Lighting Notes:**

1. All lighting shall meet or exceed the following specifications and be of good quality.
2. All lighting shall be provided with all necessary components and shall be provided with a minimum of 1000 lumens per fixture.
3. All lighting shall be provided with a minimum of 1000 lumens per fixture.
4. All lighting shall be provided with a minimum of 1000 lumens per fixture.
5. All lighting shall be provided with a minimum of 1000 lumens per fixture.
6. All lighting shall be provided with a minimum of 1000 lumens per fixture.
7. All lighting shall be provided with a minimum of 1000 lumens per fixture.
8. All lighting shall be provided with a minimum of 1000 lumens per fixture.
9. All lighting shall be provided with a minimum of 1000 lumens per fixture.
10. All lighting shall be provided with a minimum of 1000 lumens per fixture.

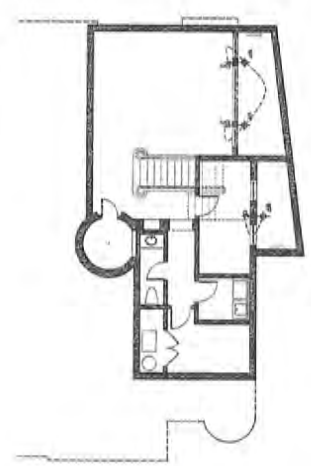
**Note:**

All lighting shall be provided with a minimum of 1000 lumens per fixture.

**Lighting Samples:**



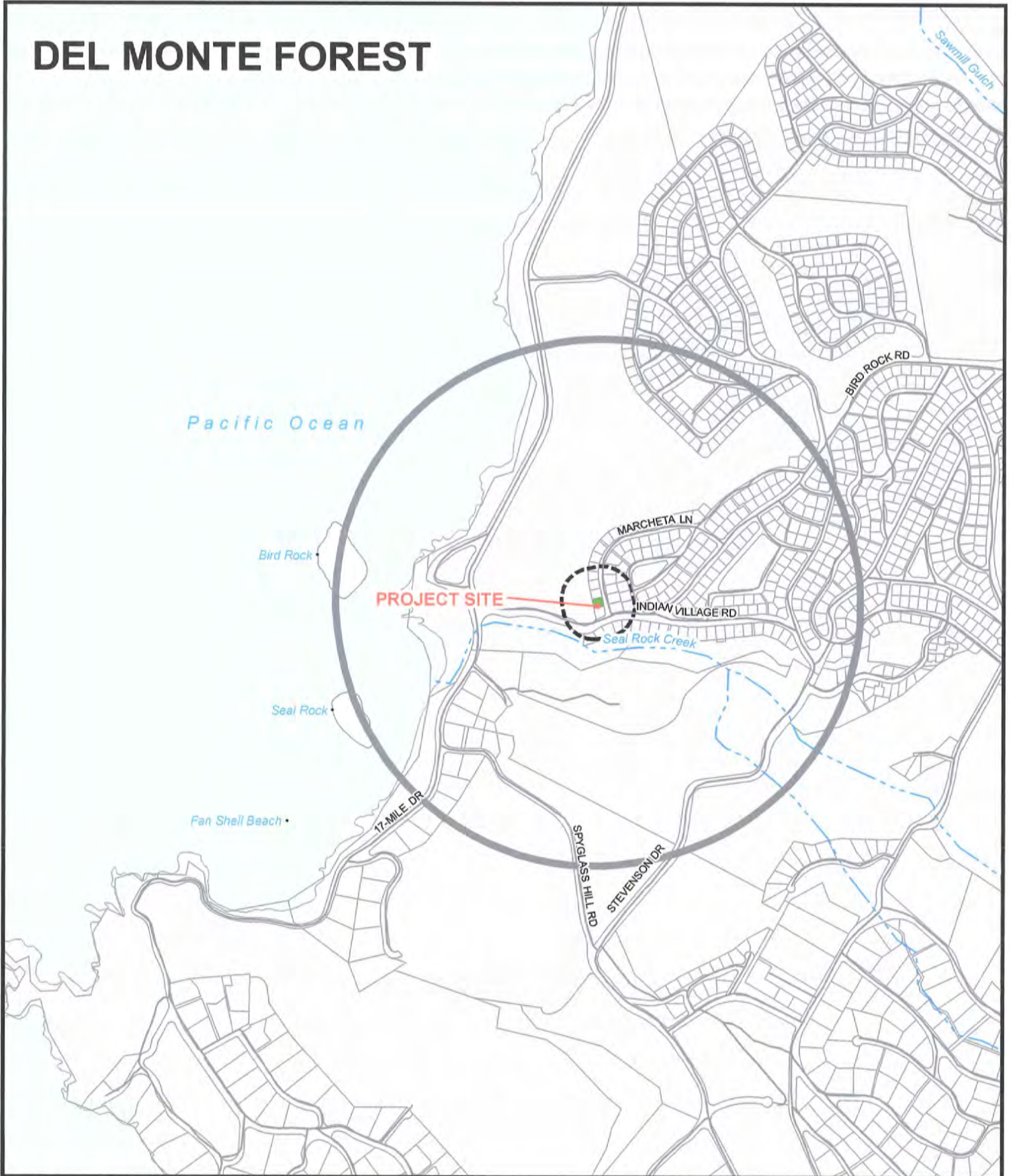
EXTERIOR LIGHTINGS SECOND FLOOR  
SCALE: 1/8" = 1'-0"



EXTERIOR LIGHTINGS BASEMENT FLOOR  
SCALE: 1/8" = 1'-0"

<p><b>EL-2</b></p>	<p>EXTERIOR LIGHTING PLAN</p>	<p>ARCHITECT</p>	<p>CONSULTANT:</p>	<p>REVISION</p>
	<p>DATE: 5/28/14</p> <p>SCALE: 1/8" = 1'-0"</p> <p>DESIGNER: SM</p> <p>DATE: 5/28/14</p>	<p>PROJECT:</p> <p>1055 Marcheta Lane Pebble Beach, California A.P.N. 007-241-023-000</p>	<p>ERIC MILLER ARCHITECTS, INC.</p> <p>157 GRAND suite 108 PACIFIC GROVE, CA 93950 PHONE (831) 372-6410 • FAX (831) 372-7540 • WEB: www.ericmillerarchitects.com</p>	<p><b>Exhibit C</b></p> <p><b>Page 16 of 14 Pages</b></p>

# DEL MONTE FOREST



APPLICANT: FERNANDEZ

APN: 007-341-023-000

FILE # PLN140209

2500' Limit 300' Limit Water

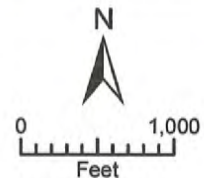


EXHIBIT D

PLANNER: BERNAL



**MONTEREY COUNTY RESOURCE MANAGEMENT AGENCY  
 PLANNING DEPARTMENT**  
 168 West Alisal, 2nd Floor, Salinas, CA 93901  
 Telephone: (831) 755-5025 Fax: (831) 757-9516  
<http://www.co.monterey.ca.us/planning>



**DESIGN APPROVAL REQUEST FORM**

**ASSESSOR'S PARCEL NUMBER:** 007-341-023-000  
**PROJECT ADDRESS:** 1033 MARCHETA LANE, PEBBLE BEACH, CA 93953  
**PROPERTY OWNER:** TED & ROSA FERNANDEZ Telephone: \_\_\_\_\_  
 Address: 800 MASHTA PLACE Fax: \_\_\_\_\_  
 City/State/Zip: KEY BISCAIYNE, FL 33149 Email: \_\_\_\_\_



**APPLICANT:** ERIC MILLER ARCHITECTS, INC. /LUYEN Telephone: (831) 372-0410  
 Address: 157 GRAND AVE., SUITE 106 Fax: (831) 372-7840  
 City/State/Zip: PACIFIC GROVE, CA 93950 Email: luyen@ericmillerarchitects.com

**AGENT:** LUYEN VU Telephone: (831) 372-0410  
 Address: 157 GRAND AVE., SUITE 106 Fax: (831) 372-7840  
 City/State/Zip: PACIFIC GROVE, CA 93950 Email: luyen@ericmillerarchitects.com

Mail Notices to:  Owner  Applicant  Agent  
 (Check only one)

**PROJECT DESCRIPTION:** (Attach Scope of Work) PROPOSED FOUR BEDROOM, TWO STORY SINGLE FAMILY DWELING WITH TWO GARAGES & ONE CARPORT.

**MATERIALS TO BE USED:** CLAY TILE ROOF, STUCCO WALLS, COPPER GUTTER & DS, DECORATIVE CLAY TILE CHIMNEY VENTS

**COLORS TO BE USED:** BEIGE STUCCO WALLS.

I acknowledge that I will need a building permit and must comply with the Monterey County Building Ordinance. Additionally, I acknowledge that the Zoning Ordinance states that no building permit be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit. I further acknowledge that this approval is for design of the structures and compliance with zoning regulations only.

**PROPERTY OWNER/AGENT SIGNATURE:** \_\_\_\_\_ **DATE:** 4/2/14

**FOR DEPARTMENT USE ONLY**

**ZONING:** MDR1B-16-D-RES  
**GENERAL/AREA PLAN:** GMP HP  
**ADVISORY COMMITTEE:** BME LUAC  
**RELATED PERMITS:** \_\_\_\_\_  
**PLANNER:** \_\_\_\_\_  
**LUAC REFERRAL:**  YES  NO  
**DOES THIS CORRECT A VIOLATION?**  YES  NO  
**WITHIN ARCH BUFFER ZONE?**  YES  NO  
**ON SEPTIC SYSTEM? (REFER TO EHB)**  YES  NO  
**DECISION:**  ADMINISTRATIVE  PUBLIC HEARING  
No Peninsula Country Club #2  
**LEGAL LOT:**  YES  NO  
**GIVEN OUT BY:** \_\_\_\_\_ **DATE:** \_\_\_\_\_  
**ACCEPTED BY:** Lopez **DATE:** 4/2/14

**ADVISORY COMMITTEE RECOMMENDATION**  
 Support as proposed (revised plans)  
 Support with changes  
**For:** 5 **Against:** 0 **Abstain:** 1 **Absent:** 1  
**Was the Applicant Present?**  YES  NO  
**Recommended Changes:** None  
**Signature:** Kimberly A. Conner  
**Date:** 5/15/14

**COMMENTS:** \_\_\_\_\_

**APPROPRIATE AUTHORITY:**  DIRECTOR OF PLANNING  ZONING ADMINISTRATOR  PLANNING COMMISSION  
**ACTION:**  APPROVED  DENIED

**CONDITIONS:** \_\_\_\_\_

**APPROVED BY:** \_\_\_\_\_ **DATE:** \_\_\_\_\_

**PROCESSED BY:** \_\_\_\_\_ **DATE:** \_\_\_\_\_

**COPY TO APPLICANT:**  IN PERSON OR  MAILED **DATE:** \_\_\_\_\_



GENERAL PLAN POLICY CONSISTENCY CHECKLIST
FOR DESIGN APPROVALS (Inland Only)

To be completed by Applicants

LAND USE DESIGNATION:
AREA PLAN:
PROJECT DESCRIPTION:
APN: 007-341-023-000
PLANNING NUMBER: P111746209
NEW SFO

Please answer each question based on the description of the project (see back of questionnaire for policy references)
The project is for:
X Residential use
The project proposes a cell-site, telcom (digital) communication facility/site?
The project includes the construction of a new structure?
The project includes the enlarging, altering, repairing, moving, improving, or removing of existing structures?
The project includes demolition work?
Project includes the use of roofing materials that are different in type and/or color from the original materials?
Project includes replacement and/or repair of (50%) or more of the exterior walls of a structure?
Project includes historical structure or a structure more than fifty (50) years old?
Project includes an accessory structure(s)?
Project includes the placement of a manufactured home, mobile home, modular or prefabricated unit?
Project includes retaining walls?
Project involves new, change or modifications to existing utilities and/or power lines?
Project is change or modification to an approved application.
Does the project propose a lot line adjustment or subdivision?
Does the project include subdivision creating five or more lots, or new commercial/industrial use that creates intensity equal to or greater than five residences?
Is the project located near an incorporated area (City)?
Is the project located within a Community Area or Rural Center?
Is the project located within 1/4 mile of a public airport?
Is this the first residence on a property?
Does the project propose a secondary unit?
Would native vegetation be removed with this project?
Would proposed development occur within 100 feet a creek/drainage (including seasonal) or river?
Does the project propose any tree removal?
Project includes grading, dirt importation, dirt removal, and/or drainage changes.
Would the project be connected to an existing well or private water system?
The project includes constructing, enlarging, altering, repairing, moving, improving or removing a well.
Project is associated with a new or improvements to a water system.
Does the project include a new individual or existing wastewater system (e.g. septic)?
The project includes constructing, enlarging, altering, repairing, moving, improving or removing a septic tank/system?
Does the project propose development on slopes over 25%?
Is the project 50 feet from a bluff?
Project is located within 100 feet of seasonal or permanent drainage, lake, marsh, ocean, pond, slough, stream, wetlands.
Does the project include cultivation of land that is currently not cultivated?
Does the project propose non-agricultural uses adjacent to agricultural uses?
Is the project located within the winery corridor?
Would any portion of the proposed development be visible from a public road, designated vista point, or public park?
Does the project propose or require affordable housing?
Does the project require a General Plan Amendment?
Is the project located within a Special Treatment Area?
Is the project located within a Study Area?
Project involves or includes an existing or proposed trail or easement.

I, the undersigned, have authority to submit application for a permit on the subject property. I have completed this questionnaire accurately based on the proposed project description. It is my interpretation that the project is consistent with the 2010 Monterey County General Plan. I understand that Monterey County may require project changes or some other permit/entitlement if the project is found to be inconsistent with any General Plan policy.

Signature: LUYEN VU
Print Name: LUYEN VU

Date: 4/2/14



<b>BASED ON REVIEW OF THE PROJECT DESCRIPTION PROPOSED, THE PROJECT IS:</b>	<div style="text-align: right; font-size: small;">Staff Use Only</div> <input checked="" type="checkbox"/> <b>CONSISTENT WITH THE 2010 MONTEREY COUNTY GENERAL PLAN</b> <input type="checkbox"/> <b>INCONSISTENT WITH THE 2010 MONTEREY COUNTY GENERAL PLAN</b>
<b>NOTES / COMMENTS:</b>	
<b>PLANNER:</b> <i>Ricny Bernal</i>	<b>PLANNING TEAM:</b> <i>Aslam</i>
<b>DATE:</b> <i>4-14-2014</i>	

POLICY REFERENCE BASED ON TOPIC	
GENERAL PLAN AMENDMENT	LU-1.7, LU-2.18, LU-2.19, LU-2.21, LU-2.23, LU-2.24, LU-2.27, LU-2.29, LU-6.5, LU-9.6 thru LU-9.8, GS-1.11, CSV-1.4, PS-3.1, OS-5.20, OS-8.6,
WITHIN CITY SPHERE OF INFLUENCE OR MEMORANDUM OF UNDERSTANDING	LU-2.14 THRU LU-2.19, AG-1.12, GS-1.14
COMMUNITY AREAS	LU-1.8, LU-1.19, LU-2.3, LU-2.10 thru LU-2.12, LU-2.20 thru LU-2.27, LU-2.29, LU-9.5, C-1.1, OS-3.6, OS-5.17, OS-8.6, OS-9.2, OS-10.10, T-1.7, AWCP-3.4A, NC-1.5, GS-1.1, GS-1.13, AG-1.3, AG-1.4, PS-1.1, PS-1.2, PS-3.1, PS-4.13, PS-5.1, PS-8.2, PS-11.14, S-2.5, S-5.17, S-6.4, S-6.5,
RURAL CENTERS	LU-1.8, LU-1.19, LU-2.3, LU-2.11, LU-2.12, LU-2.26 thru LU-2.32, OS-5.17, OS-9.2, OS-10.10, T-1.7, T-1.8, AWCP-3.4A, NC-1.5, GS-1.13, AG-1.3, PS-1.1, PS-1.2, PS-3.1, PS-4.13, PS-5.1, PS-8.2, S-5.17, S-6.5,
SPECIAL TREATMENT AREAS	T-1.4, T-1.8, GS-1.1 thru GS-1.3, GS-1.10, GS-1.12, GMP-1.6 thru GMP-1.9, CSV-1.1, CSV-1.3, CSV-1.5 thru CSV-1.7, CV-1.22, CV-1.23, CV-1.25, CV-1.27, CACH-1.5,
STUDY AREAS	GS-1.7, GS-1.11, CSV-1.4, CV-1.26
WINERY CORRIDOR	AG-4.1 thru AG-4.5, AWCP
DEVELOPMENT OUTSIDE COMMUNITY AREAS OR RURAL CENTERS	LU-1.19, S-2.7, OS-3.6
DEVELOPMENT ON SLOPES OVER 25%	LU-9.5, OS-3.5, OS-3.6, OS-3.9, S-1.2, CV-2.9, CV-6.2, CV-6.4, CV-6.5, FOMP-A-6, GMP-4.1, GS-1.1, GS-3.1, NC-1.3, NC-3.9, NC-3.10, T-3.6
CONVERSION TO AGRICULTURE	OS-3.5, OS-5.22, AG-1.6, AG-1.7, AG-1.12, AG-2.9, AG-3.3, NC-3.10, NC-3.11, CV-6.2, CV-6.4,
ROUTINE AND ON-GOING AG ACTIVITIES	AG-3.1 thru AG-3.3
NON-AG ADJACENT TO AG USES	LU-1.5, LU-2.8, AG-1.2, AG-2.8, CV-6.1, GS-1.1, T-1.8
AGRICULTURE (F, PG, & RG)	LU-3.1, LU-3.2, 6.0 – AGRICULTURE ELEMENT
FARM WORKER HOUSING	AG-1.6
AG EMPLOYEE HOUSING	AG-1.7
AG SUPPORT FACILITIES	AG-2.1 thru AG-2.9
RURAL RESIDENTIAL (LDR, RDR, & RC)	LU-2.34 thru LU-2.37
URBAN RESIDENTIAL (HDR & MDR)	LU-2.33
COMMERCIAL (LC, HC, & VPO)	LU-4.1 thru LU-4.8, ED-2.3, ED-4.2
INDUSTRIAL (AI, LI, & HI)	LU-5.1 thru LU-5.9, ED-2.3, ED-4.2
PUBLIC / QUASI PUBLIC (PQP)	LU-6.1 thru LU-6.5
AFFORDABLE HOUSING	LU-1.19, LU-2.11 thru LU-2.13, LU-2.23, LU-2.28, T-1.7, T-1.8, NC-1.5, GS-1.13, GMP-1.9, FOMP-H-1.1, FOMP-C.3, CV-1.6, CV-1.27
SECONDARY UNITS	LU-2.10, CV-1.6, GS-1.13, NC-1.5, T-1.7, PS-1.1
SUBDIVISION	LU-1.7, LU-9.3 thru LU-9.5, AG-1.3, NC-1.5, AWCP-3.5.A, T-1.5, T-1.7, GS-1.13, CV-1.6, CV-1.7, PS-1.1, PS-3.2, PS-3.9, PS-3.19, PS-4.9, PS-4.13, PS-11.10, S-1.7, S-2.7, S-4.10, S-4.27, S-6.7, OS-1.5, OS-1.10, OS-6.5, OS-7.5, OS-8.4,
LOT LINE ADJUSTMENT	LU-1.14 thru LU-1.16
OFF-SITE ADVERTISING	LU-1.10
EXTERIOR LIGHTING	LU-1.13
LANDSCAPING	OS-5.6, OS-5.14
TREE REMOVAL	OS-5.9, OS-5.10, OS-5.25, PS-12.10, CACH-3.4, CV-3.11, FOMP-C-1, FOMP-C-2.1 thru FOMP-C-2.5, GMP-3.3, GMP-3.5, GS-1.5, GS-1.8, GS-3.3, NC-3.4, T-3.7,
CIRCULATION (e.g. roads, transportation)	Chapter 2.0

PROJECT FILE NO. \_\_\_\_\_ PHOTOGRAPHS

**RECEIVED**

APR 02 2014

MONTEREY COUNTY  
PLANNING DEPARTMENT

PROJECT: FERNANDEZ RESIDENCE

1033 MARCHETA LANE PEBBLE BEACH CALIFORNIA  
APN: 007-B41-028-000



Date: 3/31/14 Site Address: 1033 MARCHETA LANE PEBBLE BEACH, CA Planner: \_\_\_\_\_  
Description: REDLAND CLAY TILE (BAJA MISSION TILE)

PROJECT FILE NO. \_\_\_\_\_ PHOTOGRAPHS



Date: 3/31/14 Site Address: 1033 MARCHETA LANE PEBBLE BEACH, CA Planner: \_\_\_\_\_  
Description: COPPER GUTTER & DOWNSPOUT

PROJECT FILE NO. \_\_\_\_\_ PHOTOGRAPHS

**PROJECT: FERNANDEZ RESIDENCE**

1033 MARCHETA LANE PEBBLE BEACH CALIFORNIA  
APN: 007-341-028-000



Date: 3/31/14 Site Address: 1033 MARCHETA LANE PEBBLE BEACH, CA Planner: \_\_\_\_\_  
Description: STUCCO WALL SAMPLE

PROJECT FILE NO. \_\_\_\_\_ PHOTOGRAPHS



Date: 3/31/14 Site Address: 1033 MARCHETA LANE PEBBLE BEACH, CA Planner: \_\_\_\_\_  
Description: FLOOR TILE COLOR SAMPLE

PROJECT FILE NO. \_\_\_\_\_ PHOTOGRAPHS

**PROJECT: FERNANDEZ RESIDENCE**

1033 MARCHETA LANE PEBBLE BEACH CALIFORNIA  
APN: 007-341-028-000



Date: 3/31/14 Site Address: 1033 MARCHETA LANE PEBBLE BEACH, CA Planner: \_\_\_\_\_  
Description: WINDOW SAMPLE (WOOD SAMPLE)

PROJECT FILE NO. \_\_\_\_\_ PHOTOGRAPHS



Date: 3/31/14 Site Address: 1033 MARCHETA LANE PEBBLE BEACH, CA Planner: \_\_\_\_\_  
Description: DECOR. GATE SAMPLE (CANTERA DOOR)

PROJECT FILE NO. \_\_\_\_\_ PHOTOGRAPHS

**PROJECT: FERNANDEZ RESIDENCE**

1033 MARCHETA LANE PEBBLE BEACH CALIFORNIA  
APN: 007-341-028-000



Date: 3/31/14 Site Address: 1033 MARCHETA LANE PEBBLE BEACH, CA Planner: \_\_\_\_\_

Description: DECORATIVE CLAY TILE CHIMNEY VENTS

STONE WALL DEPICT SAMPLE ONLY

STUCCO WALL IS PROPOSED

PROJECT FILE NO. \_\_\_\_\_ PHOTOGRAPHS



Date: 3/31/14 Site Address: 1033 MARCHETA LANE PEBBLE BEACH, CA Planner: \_\_\_\_\_

Description: DECORATIVE CLAY TILE AT CARPORT GUARDRAIL & CHIMNEY VENTS

PROJECT FILE NO. \_\_\_\_\_ PHOTOGRAPHS

**PROJECT: FERNANDEZ RESIDENCE**

1033 MARCHETA LANE PEBBLE BEACH CALIFORNIA  
APN: 007-341-028-000



Designation: \_\_\_\_\_

Date: 3/31/14 Site Address: 1033 MARCHETA LANE PEBBLE BEACH, CA Planner: \_\_\_\_\_  
Description: CEILING LIGHT SAMPLE

PROJECT FILE NO. \_\_\_\_\_ PHOTOGRAPHS



Date: 3/31/14 Site Address: 1033 MARCHETA LANE PEBBLE BEACH, CA Planner: \_\_\_\_\_  
Description: WALL LIGHT SAMPLE

PROJECT FILE NO. \_\_\_\_\_ PHOTOGRAPHS

**PROJECT: FERNANDEZ RESIDENCE**

1033 MARCHETA LANE PEBBLE BEACH CALIFORNIA  
APN: 007-341-028-000



Date: 3/31/14 Site Address: 1033 MARCHETA LANE PEBBLE BEACH, CA Planner: \_\_\_\_\_  
Description: GARDEN LIGHT SAMPLE

PROJECT FILE NO. \_\_\_\_\_ PHOTOGRAPHS



Date: 3/31/14 Site Address: 1033 MARCHETA LANE PEBBLE BEACH, CA Planner: \_\_\_\_\_  
Description: SITE WALL LIGHT

PROJECT FILE NO. \_\_\_\_\_ PHOTOGRAPHS

**PROJECT: FERNANDEZ RESIDENCE**

1033 MARCHETA LANE PEBBLE BEACH CALIFORNIA  
APN: 007-241-028-000



Date: 3/31/14 Site Address: 1033 MARCHETA LANE PEBBLE BEACH, CA Planner: \_\_\_\_\_  
Description: DRAIN COVER

PROJECT FILE NO. \_\_\_\_\_ PHOTOGRAPHS



Date: 3/31/14 Site Address: 1033 MARCHETA LANE PEBBLE BEACH, CA Planner: \_\_\_\_\_  
Description: TRENCH & AREA DRAIN



PROJECT FILE NO. \_\_\_\_\_ PHOTOGRAPHS

**PROJECT: FERNANDEZ RESIDENCE**

1033 MARCHETA LANE PEBBLE BEACH CALIFORNIA  
APN: 007-B41-028-000



Date: 3/31/14 Site Address: 1033 MARCHETA LANE PEBBLE BEACH, CA Planner: \_\_\_\_\_

Description: INTERLOCKING PAVERS AT DRIVEWAY

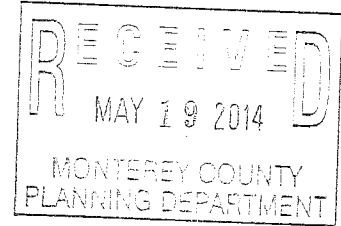
PROJECT FILE NO. \_\_\_\_\_ PHOTOGRAPHS

Date: \_\_\_\_\_ Site Address: \_\_\_\_\_ Planner: \_\_\_\_\_

Description: \_\_\_\_\_

# Action by Land Use Advisory Committee Project Referral Sheet

Monterey County Planning Department  
168 W Alisal St 2<sup>nd</sup> Floor  
Salinas CA 93901  
(831) 755-5025



Advisory Committee: **Del Monte Forest**

Please submit your recommendations for this application by: **May 15, 2014**

**Project Title:** FERNANDEZ TED A & FERNANDEZ ROSA V

**File Number:** PLN140209

**File Type:** ZA

**Planner:** BERNAL

**Location:** 1033 MARCHETA LN PEBBLE BEACH

**Project Description:**

Design Approval to allow for the construction of a 4,059 square foot two-story single family dwelling and a 279 square foot attached single-car garage. The property is located 1033 Marcheta Lane, Pebble Beach (Assessor's Parcel Number 007-341-023-000), Greater Monterey Peninsula Area Plan.

Was the Owner/Applicant/Representative Present at Meeting? Yes  No

*Eric Miller, architect*

Was a County Staff/Representative present at meeting? Liz Gonzales (Name)

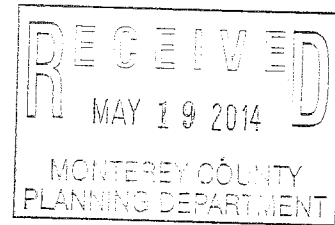
**PUBLIC COMMENT:**

Name	Site Neighbor?		Issues / Concerns (suggested changes)
	YES	NO	

Concerns / Issues (e.g. site layout, neighborhood compatibility; visual impact, etc)	Policy/Ordinance Reference (If Known)	Suggested Changes - to address concerns (e.g. relocate; reduce height; move road access, etc)
overall height of dwelling (level on grade)		
Liz Gonzales presented revised plans to show lightwell vs. patio to comply with FAR		

ADDITIONAL LUAC COMMENTS

- Question regarding lightwell to replace patio area - planner explained FAR guidelines



RECOMMENDATION :

Motion by June Stock (LUAC Member's Name)

Second by Sandy Getreu (LUAC Member's Name)

Support Project as proposed (revised)

Support Project with changes

Continue the Item

Reason for Continuance: \_\_\_\_\_

Continued to what date: \_\_\_\_\_

AYES: 5

NOES: 0

ABSENT: 1 (Verbano)

ABSTAIN: 1 (Jenna Szabo)