

**PLANNING COMMISSION
COUNTY OF MONTEREY, STATE OF CALIFORNIA**

RESOLUTION NO. 05064

A. P. # 187-591-057-000

FINDINGS AND DECISION

In the matter of the application of
Mark & Therese Mahady (PLN050034)

WHEREAS: The Planning Commission, pursuant to regulations established by local ordinance and state law, has considered, at public hearing, a Combined Development Permit consisting of: Administrative Permit and Design Approval to allow the construction of a 2,903 square foot, one story, single-family dwelling, an attached 768 square foot, two-car garage and a detached 600 square foot guesthouse in a Site Plan Review District; Use Permit for development on slopes in excess of 30%; Use Permit for ridgeline development; and grading (2,374 cubic yards cut/2,318 cubic yards fill), located at 344 El Caminito Road, Carmel Valley, came on regularly for hearing before the Planning Commission on November 9, 2005.

WHEREAS: Said Planning Commission, having considered the application and the evidence presented relating thereto,

FINDINGS OF FACT

1. **FINDING: CONSISTENCY, SITE SUITABILITY** - The Mahady Combined Development Permit (PLN050034), as described in Condition #1, and as conditioned, conforms to the plans, policies, requirements and standards of the Monterey County General Plan, the Carmel Valley Master Plan and the Monterey County Zoning Ordinance (Title 21). The property is located at 344 El Caminito Road, Carmel Valley (Assessor's Parcel Number 187-591-057-000), Carmel Valley Master Plan. The parcel is zoned "LDR/1-D-S-RAZ" (Low Density Residential, Design Control and Site Review, Residential Allocation Zone). The site is physically suitable for the use proposed.

EVIDENCE: (a) The text, policies, and regulations in the above documents have been evaluated during the course of the review of the applications. No conflicts were found to exist.

(b) Project planner conducted site visits on February 14, 2005, October 31, 2005 and November 2, 2005 and verified that the project on the subject parcel conforms to the plans listed above.

(c) The Geotechnical, Soils-Foundation & Geoseismic Report dated April 2005 by Grice Engineering, Inc. concludes that the site is suitable for the proposed development, provided the recommendations of the report are followed.

(d) The project has been reviewed by the Monterey County Planning and Building Inspection Department, Carmel Valley Fire Protection Department, Monterey County Water Resources Agency, Monterey County Public Works Department and Monterey County Environmental Health Division. There has been no indication from these agencies that the site is not suitable for the use proposed.

There are no physical or environmental constraints such as geologic or seismic hazard areas, environmentally sensitive habitats, or similar areas that would indicate the site is not suitable for the use proposed.

2. **FINDING: DEVELOPMENT ON SLOPES IN EXCESS OF 30%** - There is no feasible alternative which would allow development to occur on slopes of less than 30%.

EVIDENCE: Utilization of the applicant's only legal access to the property requires an encroachment into the 30% slope for a portion of the driveway segment from the existing road to the building site. The driveway has been designed to minimize the amount of encroachment into the portion of the site with slopes in excess of 30%.

EVIDENCE: Driveway plan by Grice Engineering received on November 3, 2005.

EVIDENCE: Site visits by project planner on February 14, 2005, October 31, 2005 and November 2, 2005.
3. **FINDING: RIDGELINE DEVELOPMENT:** The ridgeline development, as conditioned by permit, will not create a substantially adverse visual impact when viewed from a common public viewing area. The proposed project, as shown on the plans dated October 18, 2005, would constitute ridgeline development as viewed from a location on Country Club Drive. Following the submittal of those plans, the applicant agreed to relocate the proposed residence and provide screening in order to minimize the visual impact of the proposed improvements as viewed from County Club Drive. The conditions of approval require the applicant to submit revised plans showing the relocated improvements and proposed screening.

EVIDENCE: Plans by Sala Architects dated October 18, 2005 and Conditions 1 and 7.

EVIDENCE: Site visits by project planner on February 14, 2005, October 31, 2005 and November 2, 2005
4. **FINDING: PUBLIC NOTICE** - Public Notice of the pending Combined Development Permit was provided pursuant to Section 21.78.040, Title 21, Monterey County Code (Zoning).

EVIDENCE: Public Notice and support materials found in the project file.
5. **FINDING: WATER AND SEWER** - Adequate sewage disposal and water supply facilities exist or are readily available, as approved by the Director of Environmental Health.

EVIDENCE: The project has been reviewed by the Monterey County Health Department. There has been no indication from the Health Department that the site is not suitable for development.

EVIDENCE: Application materials found in the project file (PLN050034).
6. **FINDING: APPEALABILITY** - The decision on this project is appealable to the Board of Supervisors.

EVIDENCE: Section 21.76.030A and 20.80.040A of the Monterey County Zoning Ordinance (Title 21).

7. **FINDING: CEQA** - The project is exempt from environmental review.
EVIDENCE: (a) CEQA Guidelines Section 15303 (a) categorically exempts single family dwellings.
(b) No adverse environmental effects have been identified during staff review of the development application or during a site visit conducted on April 25, 2005.
8. **FINDING: NO VIOLATIONS** – There are no known Code violations on the site.
EVIDENCE: Staff has reviewed Monterey County Planning and Building Inspection Department records and is not aware of any other violations existing on the subject property.

DECISION

THEREFORE, it is the decision of said Planning Commission that said application be granted as shown on the attached sketch, subject to the attached conditions.

PASSED AND ADOPTED this 9th day of November, 2005, by the following vote:

AYES: Errea, Hawkins, Parsons, Padilla, Vandever, Rochester, Diehl, Sanchez, Wilmot
NOES: None
ABSENT: Salazar


DALE ELLIS, SECRETARY

A COPY OF THIS DECISION WAS MAILED TO THE APPLICANT ON **NOV 23 2005**

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK OF THE BOARD OF SUPERVISORS ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE **DEC 05 2005**

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning and Building Inspection Department office in Monterey.

2. This permit expires two years after the above date of granting thereof unless construction or use if started within this period.

**Monterey County Planning and Building Inspection
Condition Compliance and/or Mitigation Monitoring
Reporting Plan**

Project Name: Mahady

Approval by: Planning Commission **Date:** November 9, 2005

**Monitoring or Reporting refers to projects with an EIR or adopted Mitigated Negative Declaration per Section 21081.6 of the Public Resources Code.*

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
1		<p>PBD029 - SPECIFIC USES ONLY The subject Combined Development Permit consists of a Combined Development Permit to include an Administrative Permit and Design Approval to allow the construction of a 2,903 square foot, one-story single family dwelling, an attached 768 square foot, two-car garage with a detached 600 square foot guesthouse, Use Permit for development on slopes in excess of 30%, Use Permit for ridgeline development and grading (2,374 cubic yards cut and 2,318 cubic yards fill). Prior to the issuance of a building permit, the applicant shall submit revised plans showing the residence and guesthouse relocated as shown on the plan received on November 3, 2005 on file in the Planning and Building Inspection Department. The property is located at 344 El Caminito Road, Carmel Valley (Assessor's Parcel Number 187-591-057-000). This permit was approved in accordance with County ordinances and land use regulations subject to the following terms and conditions. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of Planning and Building Inspection. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is</p>	Adhere to conditions and uses specified in the permit.	Owner/ Applicant	Ongoing unless other-wise stated	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		allowed unless additional permits are approved by the appropriate authorities. (Planning and Building Inspection)				
2		PBD025 - NOTICE-PERMIT APPROVAL The applicant shall record a notice which states: "A permit (Resolution No. 050034) was approved by the Planning Commission for Assessor's Parcel Number 187-591-057-000 on November 9, 2005. The permit was granted subject to 23 conditions of approval which run with the land. A copy of the permit is on file with the Monterey County Planning and Building Inspection Department." Proof of recordation of this notice shall be furnished to the Director of Planning and Building Inspection prior to issuance of building permits or commencement of the use. (Planning and Building Inspection)	Proof of recordation of this notice shall be furnished to PBI.	Owner/ Applicant	Prior to Issuance of grading and building permits or start of use.	
3		PBD030 - STOP WORK - RESOURCES FOUND If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. The Monterey County Planning and Building Inspection Department and a qualified archaeologist (i.e., an archaeologist registered with the Society of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery. (Planning and Building Inspection)	Stop work within 50 meters (165 feet) of uncovered resource and contact the Monterey County Planning and Building Inspection Department and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.	Owner/ Applicant/ Archaeologist	Ongoing	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
4		PBD014 - GRADING-WINTER RESTRICTION No land clearing or grading shall occur on the subject parcel between October 15 and April 15 unless authorized by the Director of Planning and Building Inspection. (Planning and Building Inspection)	None	Owner/ Applicant	Ongoing	
5		PBD021 – LIGHTING – EXTERIOR LIGHTING PLAN All exterior lighting shall be unobtrusive, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The applicant shall submit 3 copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The exterior lighting plan shall be subject to approval by the Director of Planning and Building Inspection, prior to the issuance of building permits. (Planning and Building Inspection)	Submit three copies of the lighting plans to PBI for review and approval.	Owner/ Applicant	Prior to issuance of building permits.	
6		PBD013 - GEOLOGIC CERTIFICATION Prior to final inspection, the geologic consultant shall provide certification that all development has been constructed in accordance with the Geotechnical Report by Grice3 Engineering dated April 2005. (Planning and Building Inspection)	Submit certification by the geological consultant to PBI showing project's compliance with the geological report.	Owner/ Applicant/ Geological Consultant	Prior to Final Building Inspection	
7		PBD018(A) - LANDSCAPE PLAN AND MAINTENANCE (NONSTANDARD) The site shall be landscaped. The landscaping shall include screening on the north side of the guesthouse as shown on the plan from Botanical Consulting Services received on November 3, 2005, including at least four Coast Live Oaks (24 inch box) and shrubs. At least 60 days prior to occupancy, three (3) copies of a landscaping plan shall be submitted to the Director of Planning and Building Inspection for approval. A landscape plan review fee is required for this project. Fees shall be paid	Submit landscape plans and contractor's estimate to PBI for review and approval.	Owner/ Applicant/ Contractor	At least 60 days prior to final inspection or occupancy	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County Planning and Building Inspection Department. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (Planning and Building Inspection)	All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.	Owner/ Applicant	Ongoing	
8		PBD026 – NOTICE OF REPORT Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states: "A Geotechnical Engineering Report has been prepared for this parcel by Grice Engineering, Inc. Inc., dated April, 2005 and is on record in the Monterey County Planning and Building Inspection Department. All development shall be in accordance with this report." (Planning and Building Inspection)	Proof of recordation of this notice shall be furnished to PBI.	Owner/ Applicant	Prior to issuance of grading and building permits	
9		PBD011 - EROSION CONTROL PLAN AND SCHEDULE All cut and/or fill slopes exposed during the course of construction be covered, seeded, or otherwise treated to control erosion during the course of construction, subject to the approval of the Director of Planning and Building Inspection. The improvement and grading plans shall include an implementation schedule of measures for the prevention and control of erosion, siltation and dust during and immediately following construction and until erosion control planting becomes established. This program shall be approved by the Director of Planning and Building	Evidence of compliance with the Erosion Control Plan shall be submitted to PBI prior to issuance of building and grading permits. Evidence of compliance with the Implementation Schedule shall be submitted to PBI during the course of	Owner/ Applicant Owner/ Applicant	Prior to Issuance of Grading and Building Permits Prior to Final Inspect-	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		Inspection. (Planning and Building Inspection)	construction until project completion as approved by the Director of PBI.		ion	
10		WR2 - STORMWATER CONTROL The applicant shall provide the Water Resources Agency a drainage plan prepared by a registered civil engineer or architect addressing on-site and off-site impacts. Stormwater runoff from impervious surfaces shall be dispersed at multiple points, away from and below any septic leach fields, over the least steep available slopes, with erosion control at outlets. Drainage improvements shall be constructed in accordance with plans approved by the Water Resources Agency. (Water Resources Agency)	Submit 3 copies of the engineered drainage plan to the Water Resources Agency for review and approval.	Owner/ Applicant/ Engineer	Prior to issuance of any grading or building permits	
11		WR43 - WATER AVAILABILITY CERTIFICATION The applicant shall obtain from the Monterey County Water Resources Agency, proof of water availability on the property, in the form of an approved Monterey Peninsula Water Management District Water Release Form. (Water Resources Agency)	Submit the Water Release Form to the Water Resources Agency for review and approval.	Owner/ Applicant	Prior to issuance of any building permits	
12		WR45 - WELL INFORMATION The applicant shall provide the Water Resources Agency information on the well to serve the project including a map showing the well location and any available well logs/e-logs. (Water Resources Agency)	Submit all applicable well information to the Water Resources Agency for review and approval.	Owner/ Applicant	Prior to issuance of any grading or building permits	
13		WR0040 WATER CONSERVATION MEASURES The applicant shall comply with Ordinance No. 3932, or as subsequently amended, of the Monterey County Water Resources Agency pertaining to mandatory water conservation regulations. The regulations for new construction require, but are not limited to: 1. All toilets shall be ultra-low flush toilets with a	Submit evidence of compliance to WRA prior to final building inspection or occupancy.	Applicant	Prior to Final Building Inspection or Occupancy	

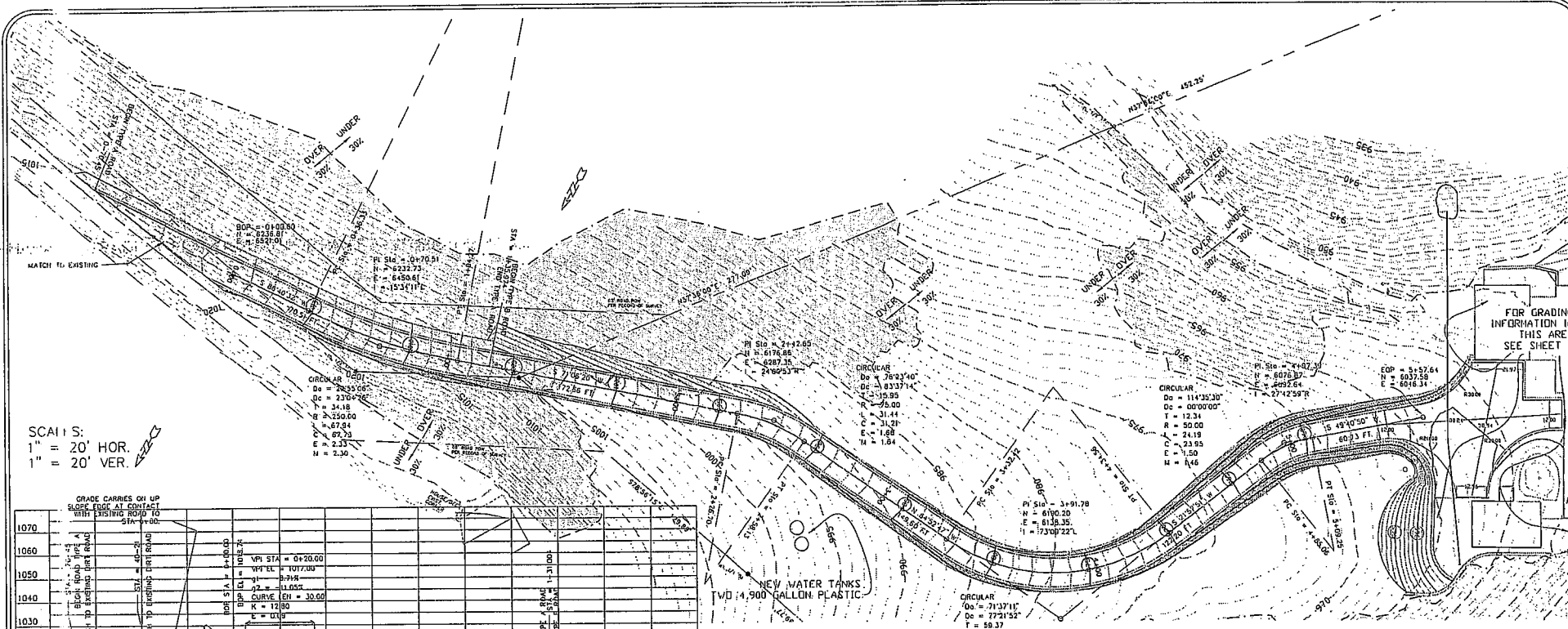
<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		<p>maximum tank size or flush capacity of 1.6 gallons, all shower heads shall have a maximum flow capacity of 2.5 gallons per minute, and all hot water faucets that have more than ten feet of pipe between the faucet and the hot water heater serving such faucet shall be equipped with a hot water recirculating system.</p> <p>2. Landscape plans shall apply xeriscape principles, including such techniques and materials as native or low water use plants and low precipitation sprinkler heads, bubblers, drip irrigation systems and timing devices. (Water Resources Agency)</p>				
14		PW0006 – CARMEL VALLEY - The applicant shall pay the Carmel Valley Master Plan Area Traffic Mitigation fee pursuant to the Board of Supervisors Resolution No. 95-140, adopted September 12, 1995 (Fees are updated annually based on CCI). (Public Works Department)	Pay fee prior to issuance of grading or building permit.	Applicant	Prior to issuance of grading or building permit	
15		EH11 - SEPTIC SYSTEM DESIGN Submit plans for review and approval showing the location and design of the proposed septic system meeting the standards found in Chapter 15.20 of the Monterey County Code (Septic Ordinance) and "Prohibitions", Central Coast Basin Plan, RWQCB. (Environmental Health)	Division of Environmental Health must approve plans. Applicant shall obtain a permit to install the septic system.	CA Licensed Engineer /Owner/ Applicant	Prior to filing the final parcel map or issuance of building	
16		EHSP01 – NON-STANDARD CONDITION The exiting well, constructed under County Health Department Well Permit No. WSAL 95-120, shall have a well pump installed and be connected to a permanent source of electrical power in accordance with all applicable building codes, and the well shall be	Submit evidence acceptable to the Division of Environmental Health that the well has permanent electrical service and that the water meter has been installed and found acceptable to the Monterey Peninsula Water Management District.	Owner/ Applicant	Prior to final occupancy	

Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
		equipped with a water meter acceptable to the Monterey Peninsula Water Management District. (Environmental Health)				
17		FIRE007 - DRIVEWAYS Driveways shall not be less than 12 feet wide unobstructed, with an unobstructed vertical clearance of not less than 15 feet. The grade for all driveways shall not exceed 15 percent. Where the grade exceeds 8 percent, a minimum structural roadway surface of 0.17 feet of asphaltic concrete on 0.34 feet of aggregate base shall be required. The driveway surface shall be capable of supporting the imposed load of fire apparatus (22 tons), and be accessible by conventional-drive vehicles, including sedans. For driveways with turns 90 degrees and less, the minimum horizontal inside radius of curvature shall be 25 feet. For driveways with turns greater than 90 degrees, the minimum horizontal inside radius curvature shall be 28 feet. For all driveway turns, an additional surface of 4 feet shall be added. All driveways exceeding 150 feet in length, but less than 800 feet in length, shall provide a turnout near the midpoint of the driveway. Where the driveway exceeds 800 feet, turnouts shall be provided at no greater than 400-foot intervals. Turnouts shall be a minimum of 12 feet wide and 30 feet long with a minimum of 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall long with a minimum 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall be located within 50 feet of the primary building. The minimum turning radius for a turnaround shall be 40 feet from the center line of the driveway. If a hammerhead/T is used, the top of the "T" shall be a minimum of 60 feet in length.	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans. Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to issuance of grading and/or building permit. Prior to final building inspection	

<i>Permit Cond. Number</i>	<i>Mittg. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		(Carmel Valley Fire Protection District).				
18		FIRE014 - EMERGENCY WATER STANDARDS - FIRE PROTECTION WATER SUPPLY - (SINGLE PARCEL) For development of structures totaling less than 3,000 square feet on a single parcel, the minimum fire protection water supply shall be 4,900 gallons. For development of structures totaling 3,000 square feet or more on a single parcel, the minimum fire protection water supply shall be 9,800 gallons. For development of structures totaling more than 10,000 square feet on a single parcel, the reviewing authority may require additional fire protection water supply. Other water supply alternatives, including ISO Rural Class 8 mobile water systems, may be permitted by the fire authority to provide for the same practical effect. The quantity of water required by this condition shall be in addition to the domestic demand and shall be permanently and immediately available. (Carmel Valley Fire Protection District).	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans. Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to issuance of grading and/or building permit. Prior to final building inspection	
19		FIRE020 - DEFENSIBLE SPACE REQUIREMENTS (HAZARDOUS CONDITIONS) Remove combustible vegetation from within a minimum of 150 feet of structures. Limb trees 6 feet up from ground. Remove limbs within 10 feet of chimneys. Additional fire protection or firebreaks approved by the Reviewing Authority may be required to provide reasonable fire safety. Environmentally sensitive areas may require alternative fire protection, to be determined by Reviewing Authority and the Director of Planning and Building Inspection. (Carmel Valley Fire Protection District).	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans. Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to issuance of grading and/or building permit. Prior to final building inspection	

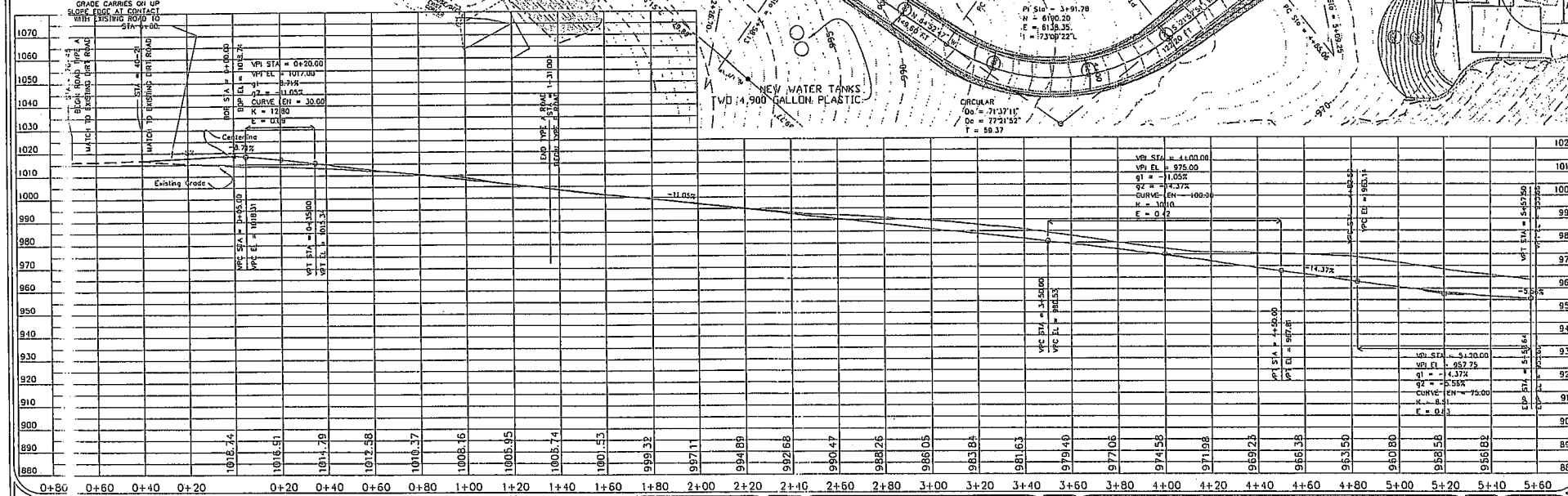
<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
20		<p>FIRE021 - FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM (STANDARD) The building(s) and attached garage(s) shall be fully protected with automatic fire sprinkler system(s). Installation shall be in accordance with the applicable NFPA standard. A minimum of four (4) sets of plans for fire sprinkler systems must be submitted by a California licensed C-16 contractor and approved prior to installation. This requirement is not intended to delay issuance of a building permit. A rough sprinkler inspection must be scheduled by the installing contractor and completed prior to requesting a framing inspection. (Carmel Valley Fire Protection District).</p>	<p>Applicant shall enumerate as "Fire Dept. Notes" on plans.</p> <p>Applicant shall schedule fire dept. rough sprinkler inspection</p> <p>Applicant shall schedule fire dept. final sprinkler inspection</p>	Applicant or owner	<p>Prior to issuance of building permit.</p> <p>Prior to framing inspection</p> <p>Prior to final building inspection</p>	
21		<p>FIRE025 - SMOKE ALARMS – (SINGLE FAMILY DWELLING) Where a household fire warning system or combination fire/burglar alarm system is installed in lieu of single-station smoke alarms required by the Uniform Building Code the alarm panel shall be required to be placarded as permanent building equipment. (Carmel Valley Fire Protection District).</p>	<p>Applicant shall enumerate as "Fire Dept. Notes" on plans.</p> <p>Applicant shall schedule fire alarm system acceptance test.</p>	Applicant or owner Applicant or owner	<p>Prior to issuance of building permit</p> <p>Prior to final building inspection</p>	
22		<p>FIRE028 - ROOF CONSTRUCTION - (CARMEL VALLEY FPD) All new structures, and all existing structures receiving new roofing over 50 percent or more of the existing roof surface within a one-year period, shall require a minimum of ICBO Class A roof construction. (Carmel Valley Fire District).</p>	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
23		FIRE030 – NONSTANDARD CONDITION As the project is progressing other additional required conditions will apply. (Carmel Valley Fire District).	The full text of all required Fire Department Conditions and Notes must be noted on all future plans.	Applicant or owner		



SCALE S:
 1" = 20' HOR.
 1" = 20' VER.

FOR GRADING INFORMATION IN THIS AREA SEE SHEET 3



CRICE ENGINEERING INC
 ENGINEERING • CONSULTING • HYDROLOGY • SURVEYING • FOUNDATIONS • EARTH STRUCTURES

MAHADY ESTATE GRADING PLANS
 PARCEL 4; HIGH TOP RANCH;
 RANCHO LOS LAURELES, CARMEL VALLEY, CA.
 RESIDENTIAL DRIVEWAY PLAN
 PLAN AND PROFILE

SHT 2
 FILE NO. 001-02-04
 PLO. 00-17-05
 REV. 10-20-05/COMPLET

Sheet No. **T-10**
 Date of Issue: **10.02.27**
 Project Number: **21122**
 Project Architect: **KL**
 Drawn By: **KL**
 Date of Issue: **10.02.27**

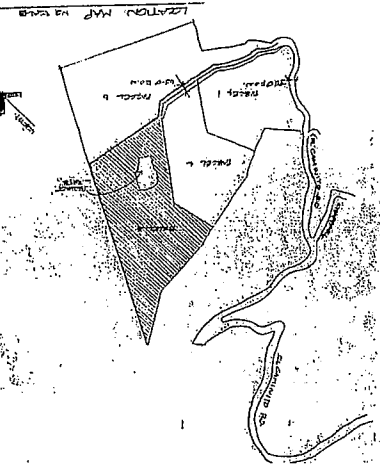
Project Number: **21122**
 Project Architect: **KL**
 Drawn By: **KL**
 Date of Issue: **10.02.27**

Mahady Home
At High Top Ranch
 Carmel Valley, California

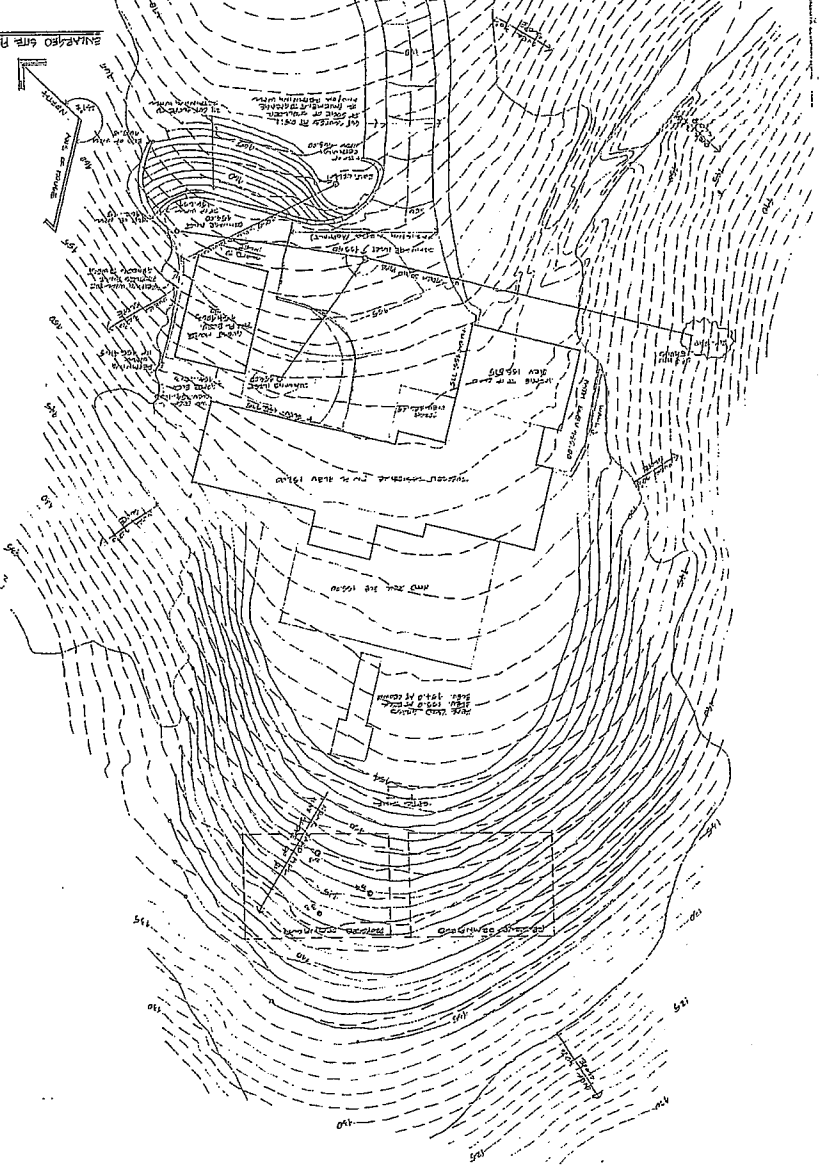
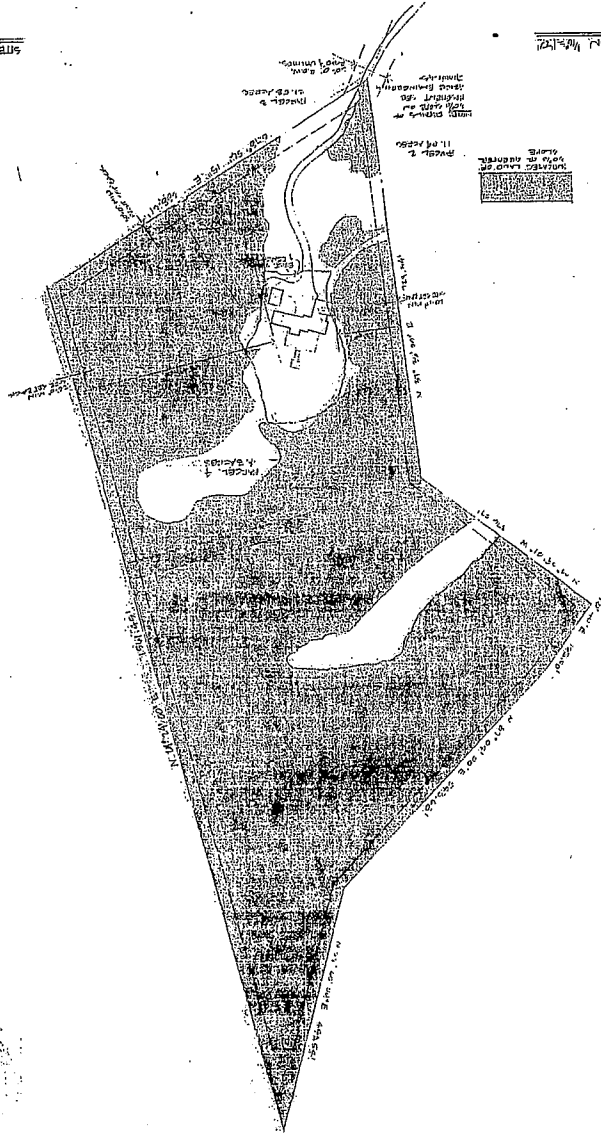
PROPERTY OWNER: **Mark and Theresa Mahady**
 607 Red 1290
 Carmel Valley, CA 93924
 PROJECT ARCHITECT: **KL**
 2025 Camino Real
 Carmel Valley, CA 93924
 ARCHITECT'S REGISTRATION NO.: **157-291-021**
 LICENSED PROFESSIONAL ARCHITECT
 COUNTY OF KINGSLEY, STATE OF CALIFORNIA
 TITLE: **Topographic**
 SCALE: **1" = 20'**
 DATE: **10/2/27**
 SHEET NO.: **T-10**
 TOTAL SHEETS: **10**
 PROJECT NO.: **21122**
 DRAWN BY: **KL**
 CHECKED BY: **KL**
 DATE: **10/2/27**

Lot Coverage: **26612 SQ FT (18.7%)**
 Building Area: **2903 SQ FT**
 Green House: **607 SQ FT**
 Total Building Area: **4,711 SQ FT**
 Deck and Pool: **1211 SQ FT**
 Total Coverage: **5,123 SQ FT or 43%**
 Lot Coverage Allowed: **199,232 SQ FT or 25%**
 Height of Structure: **17' - above average grade 955.00 See Sheet 1)**

Grading Information:
 On 2011 Elevation
 Storms Cut = 177 cu Yds. - University and Home
 Site Cut = 2,197 cu Yds.
 Final Fill = 2,312 cu Yds. - Driveway and House
 Ditch = 181 cu Yds. (fill)
 Elevation change to be placed on ground surface
 site at various depths as engineered (filler, 10%
 drainage across entire site).



STR PLAN
 10/2/27



III COMMANDED GRADING SPECIFICATIONS FOR EARTHWORK

ET:1 General Description:

- The item shall consist of all clearing and grubbing; preparation of land to be filled; excavation and fill of the land; spreading, compaction and control of the fill; and all subsidiary work necessary to complete the graded area to conform with the lines, grades and slopes as shown on the approved plans.
- The Contractor shall provide all equipment and labor necessary to complete the work as specified herein, as shown on the approved plans as stated in the project specifications.
- Retaining walls require a separate building permit.

ET:2 Tests:

2.1 The standard test used to define minimum densities of all compaction work shall be the A.S.T.M. D-1557, Moisture Density of Soils using a 10-pound rammer and 18-inch drop. All densities shall be expressed as a relative density in terms of the optimum in the laboratory by the foregoing standard procedure.

2.2 In-place density shall be determined by the following methods:

- When the material to be compacted exceeds 8 inches in thickness, the uniformity of material in each layer shall be checked.
- When the material larger than 4 inches in greatest dimension will be compacted, the material shall be maintained in a suitable range to permit efficient compaction. The Sols Engineer shall determine the moisture, settling, or blending of wet and dry soils.
- Each layer shall be compacted to a relative density of not less than 90% relative density or as specified in the soils report and on the accepted plans. Compaction shall be continuous over the entire area of each layer.
- Field density test shall be made by the Sols Engineer of each compacted layer. At least two tests shall be made for each 500 cubic yards or fraction thereof, placed with a minimum of two lifts per layer in isolated areas. Where a sheep-foot roller is used, the soil may be disturbed to a depth of several inches. Density tests shall be taken in compacted materials below the disturbed surface. Where these tests indicate that the density of any layer or portion thereof, is below the required density, that particular layer or portion shall be reworked until the required density has been obtained.
- All earth moving and work operations shall be controlled to prevent water from running into excavated areas. All such water shall be promptly removed and the site kept dry.
- Cut and fill slopes steeper than two horizontal to one vertical must be approved by the soils engineer.

ET:3 Seasonal Limits:

6.1 When the work is interrupted by rain, fill operations shall not be resumed until field tests by the Sols Engineer indicate that the moisture content and density of the fill is as previously specified and soils to be placed are in suitable condition.

ET:4 Unusual Conditions:

7.1 In the event that any unusual conditions are encountered during grading operations which are not covered by the soil investigation or the specifications, the Sols Engineer shall be immediately notified such that additional recommendations may be made.

ET:5 County:

8.1 A copy of all compaction tests and final grading reports shall be submitted to the County prior to scheduling any inspections.

8.2 All grading shall conform with the Monterey County Grading Ordinance #2535.

8.3 The Sols Engineer shall inspect the building pad and foundation excavations & submit written approval to the building inspector before requesting foundation inspection and pouring of any footings.

EROSION CONTROL PLANNING

ER:1 General Description:

1.1 The design of erosion protection features should be appropriate for the project and should consider the topographic and hydrologic features of the site. It is important to minimize grading of or near steep slopes. Disturbing native vegetation and natural soil structure allows runoff velocity and transport of sediments to increase.

1.2 The final plan should maintain natural rates at or below pre-development levels. Runoff from post-development impervious structures should be disposed of on site through partition of collected waters into the soil by means of partition trenches intended for storm runoff only.

1.3 If retention/partition is not possible, post-development generated runoff should be detained in an on-site basin and released in a controlled fashion. Runoff flows should be directed into pipes or lined ditches and then onto an energy dissipator to reduce the hydraulic gradient before discharging the runoff into streams or drainage ways.

1.4 De-siltation of runoff may take form of stilling basins, gravel basins, turf or vegetation screens, reforestation, etc.

Free flowing storm runoff should never be directed to septic tank system leach fields. Drainage should be carried through an on-site field area in closed conduit or lined surface drain.

Any site soils or other materials which are disturbed shall be adequately watered to prevent dust from becoming airborne in accordance with local dust control ordinances.

1 Materials Storage:
During construction, never store cut and fill material where it may wash into streams or drainage ways. Should weather threaten stored materials it should be covered with plastic or appropriate retention facilities provided for desatiation of the storm water prior to discharge.

Keep all culverts and drainage facilities free of silt and debris. Keep emergency erosion control materials such as straw mulch, sheet piling, and sandbags on site and install these at the end of each day as necessary.

Re-vegetation and Planting:
Re-vegetate and protect exposed soils by October 15. Use appropriate grass/legume seed mixes and/or straw mulch for temporary cover. Plant permanent vegetation in include native and drought tolerant plants. Seeding and re-vegetation may require soil preparation, fertilizing, irrigation, and mulching.

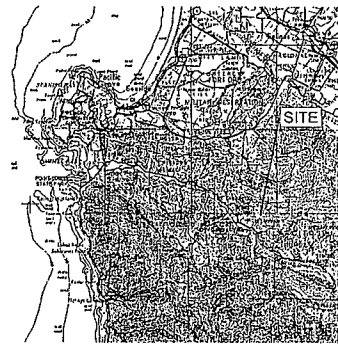
1.6 Recommended Seed Schedule is as follows:
40 pounds per acre of California Brome
15 pounds per acre of Blue Wild Rye
4 pounds per acre of Zorro Fescue
8 pounds per acre of Red Creeping Fescue

3.2 In the absence of a detailed Erosion Control Plan, the work will be protected in accordance with the appropriate ordinance, regulation and/or standard practice which ever provides satisfactory erosion protection.

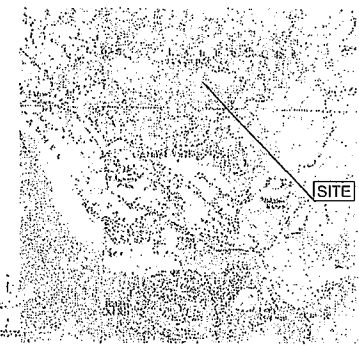
3.3 Actual grading shall begin within 30 days of vegetation removal or the area shall be planted to control erosion.

ER:4 County:

4.1 All erosion control measures for grading shall be in place at the end of each working day between October 15 and April 15.
4.2 All erosion control measures shall conform with Monterey County Erosion Control Ordinance #2800.



VICINITY MAP; SCALE 1 INCH = 2 MILES



LOCATION MAP; SCALE 1 INCH = 2000 FEET

THESE PLANS ARE FOR GRADING TO DEVELOP A DRIVEWAY AND BUILDING PAD.

PROJECT OWNER:
MR. AND MRS. MARK MAHADY
P.O. BOX 1250
CARMEL VALLEY, CALIFORNIA 93924
(831) 659-7022

PROJECT ARCHITECT:
MS. MICHAELA MAHADY
904 4TH STREET SOUTH
STILLWATER, MINNESOTA 55082
(651) 351-0961

PROJECT CIVIL AND GEOTECHNICAL ENGINEER:
GRICE ENGINEERING, INC.
561A BRUNKEN AVENUE
SALINAS, CALIFORNIA 93901
(831) 422-9819

PROJECT SURVEYOR:
RASMUSSEN LAND SURVEYING, INC.
2400 GARDEN ROAD
MONTEREY, CALIFORNIA 93940
(831) 375-7240

INDEX
SHT 1 TITLE SHEET AND SPECIFICATIONS
SHT 2 DRIVEWAY; PLAN AND PROFILE; STATIONS 70-45 TO EOP
SHT 3 RESIDENCE; GRADING PLAN
SHT 4 ENTIRE PARCEL WITH REVISED TOPOGRAPHY OF HOUSE AND ROAD AREA

GRADING BALANCE

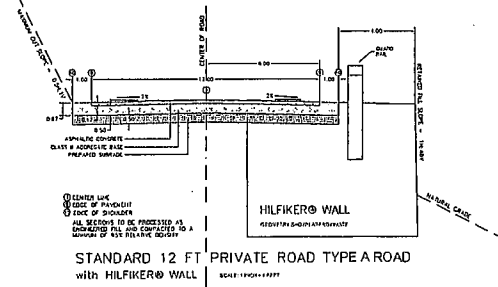
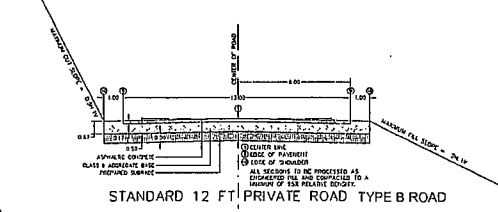
GROSS CUT	=	2,374 CUBIC YARDS - DRIVE WAY AND HOUSE
SHRINKAGE	=	237 CUBIC YARDS (@10% SHRINKAGE)
NET CUT	=	2,137 CUBIC YARDS
GROSS FILL	=	2,318 CUBIC YARDS - DRIVE WAY AND HOUSE
DELTA	=	-181 CUBIC YARDS (SHORT)

SHORTAGE TO BE GENERATED ON SITE BY REDUCING ROAD CUTS AT OWNERS DIRECTION AND ENGINEER.

REVISION HISTORY
SLOPE ENCRoACHMENT AREAS (SLOPES OVER 30 PERCENT)
DRIVE WAY = 4658 SQUARE FEET
RESIDENCE = 0.0 (NONE) SQUARE FEET

REVISION HISTORY

FIRST PUB.	06/23/05
REV. 1	10/14/05
REV. 2	10/25/05
REV. 3	10/25/05



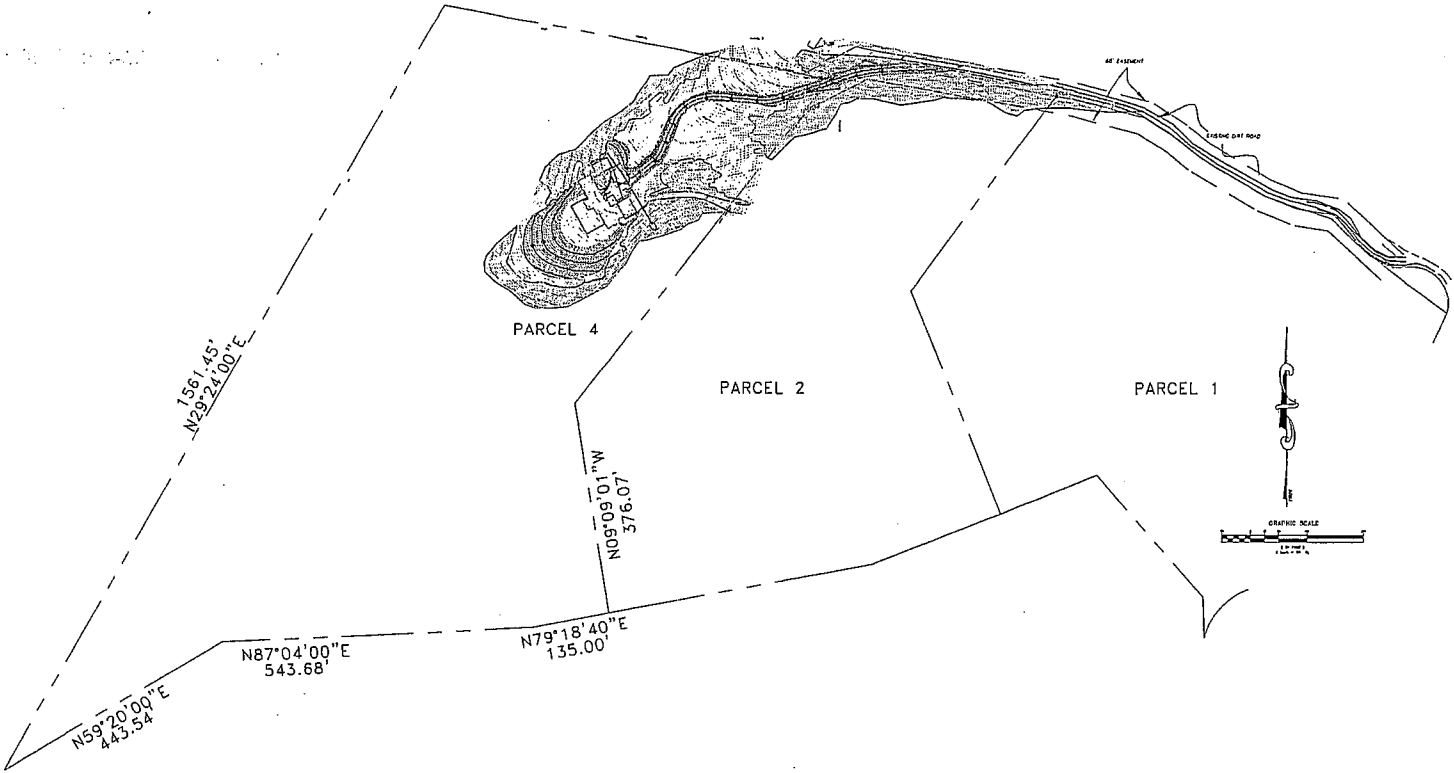
GRICE ENGINEERING INC
 ENGINEERING • DESIGN • HYDROLOGY • SURVEY • LANDSCAPE ARCHITECTURE • ARCHITECTURE
 561A Brunken Avenue Salinas, California Salinas (831) 422-9819 Monterey (831) 375-1108 Fax: (831) 422-1898

PREPARED FOR
MARK AND THERESE MAHADY
P.O. BOX 1250
CARMEL VALLEY, CALIFORNIA
93924

MAHADY ESTATE GRADING PLANS
PARCEL 4; HIGH TOP RANCH; A.P.N. 187-591-057
RANCHO LOS LAURELES, CARMEL VALLEY, CA.
RESIDENTIAL DRIVEWAY PLAN
TITLE AND SPECIFICATIONS

SHT 1
Date Plotted: Oct 26, 2005
MAHADY ESTATE
FILE NO. AD87-02-08

PARCEL 3



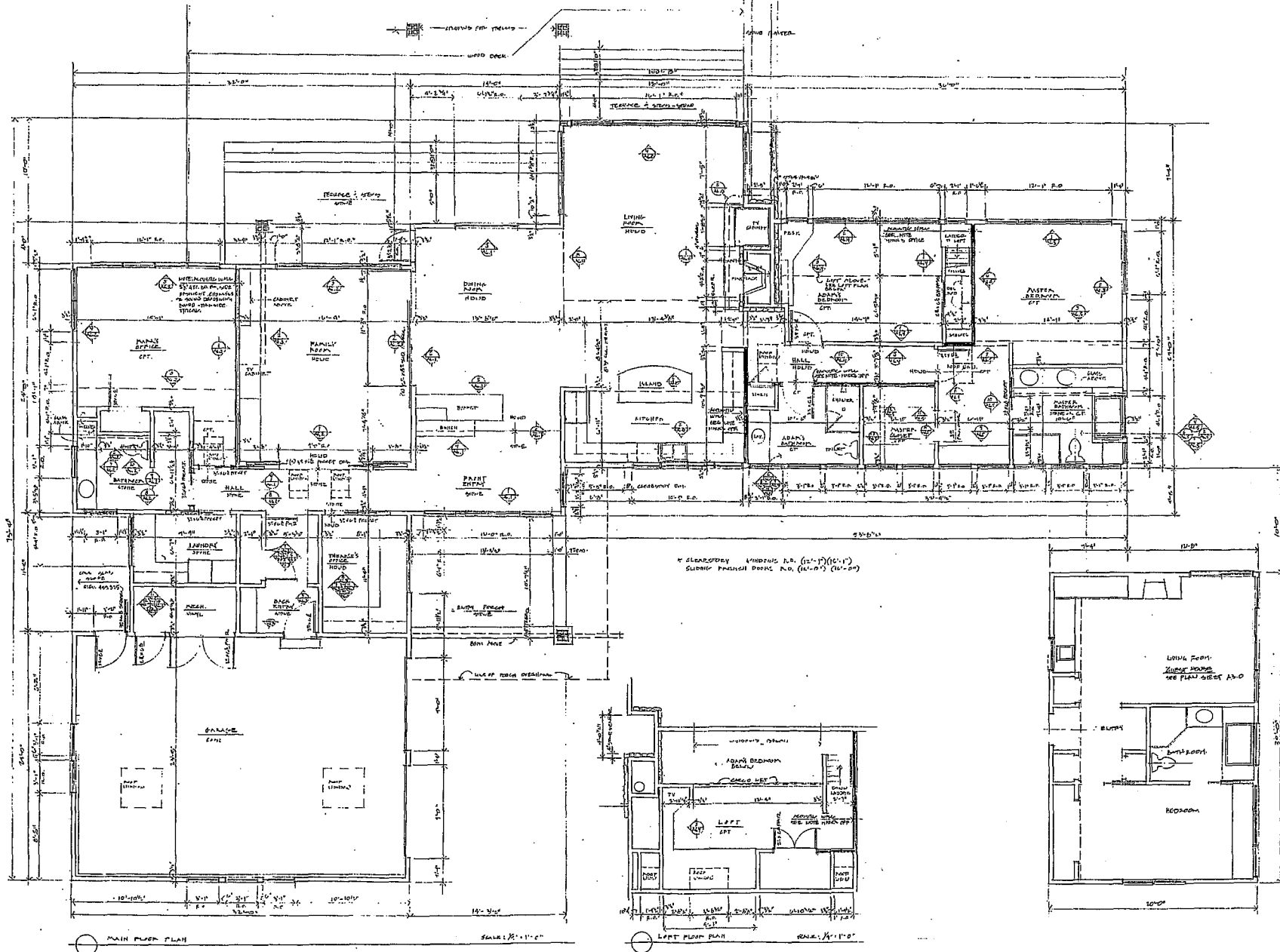
GRICE ENGINEERING INC

LAND SURVEYING • CIVIL ENGINEERING • HYDROLOGY • SOILS • FOUNDATIONS • EARTH STRUCTURES

MAHADY ESTATE GRADING PLANS
PARCEL 4; HIGH TOP RANCH;
RANCHO LOS LAURELES, CARMEL VALLEY, CA.
WHOLE SITE WITH REVISED TOPOGRAPHY
OF HOUSE AND ROAD BOUNDARY

SHT 4

FILE NO: 0301-07-08
PUB. 02-17-05
REV. 10-26-05 COMPLETE



S&A
ARCHITECTS, INC.
MINNEAPOLIS
1000 W. WASHINGTON ST. #100
MINNEAPOLIS, MN 55402
TEL: (612) 338-1234
FAX: (612) 338-1235

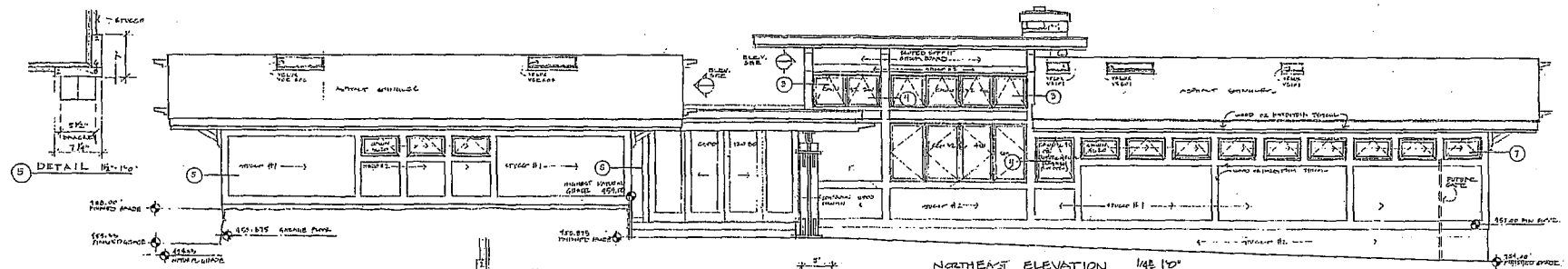
STILLWATER
200 S. 10TH ST. #100
STILLWATER, MN 55158
TEL: (612) 338-1234
FAX: (612) 338-1235

www.S&Ainc.com

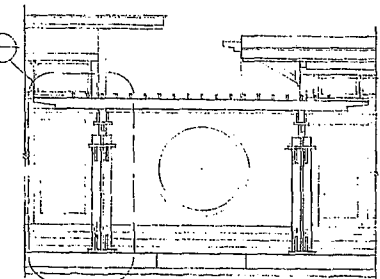
Mahady Home
At High Top Ranch
Carmel Valley, California

Project Number: 04-82
Project Architect: H.A.
Drawn By: E.C.
Date of Issue: 27 Jun 88
3 Jun 88
17 Jun 88

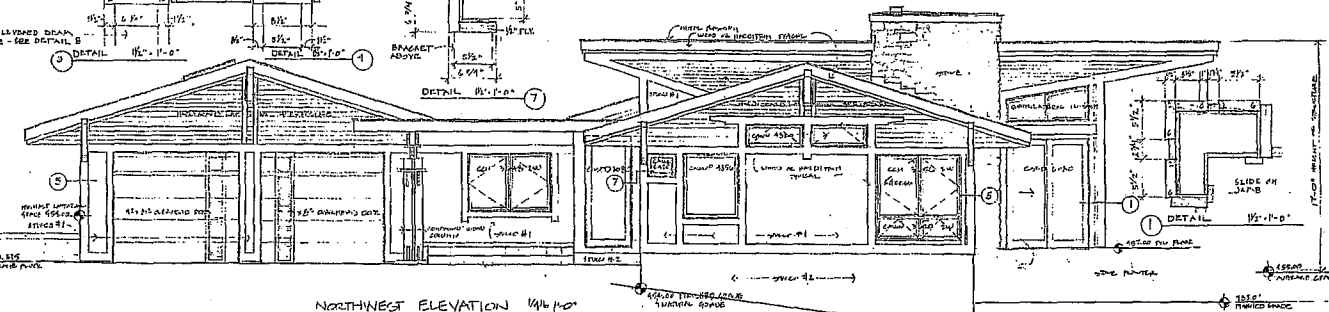
Sheet A.1.0
No.



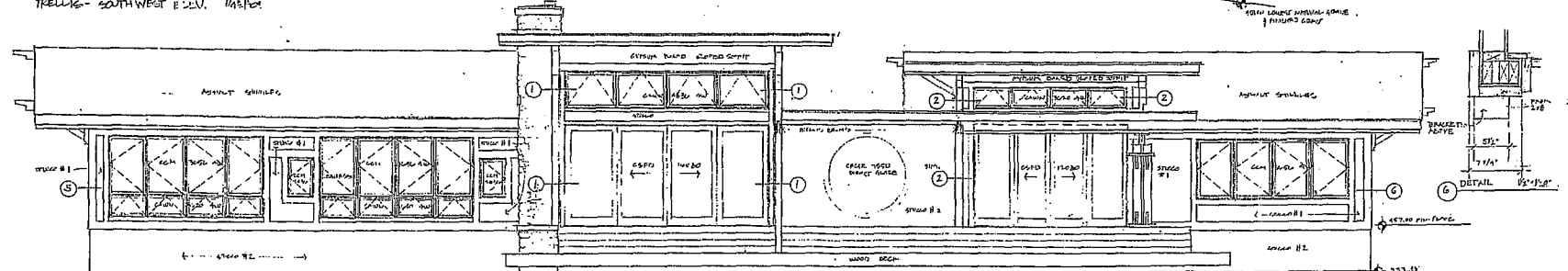
NORTHEAST ELEVATION 1/4" = 1'-0"



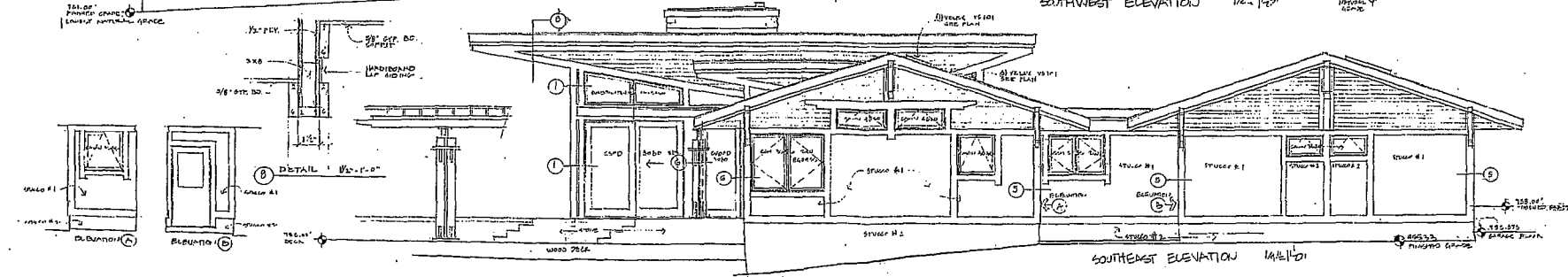
TRELLIS - SOUTHWEST ELEV. 1/4" = 1'-0"



NORTHWEST ELEVATION 1/4" = 1'-0"



SOUTHWEST ELEVATION 1/4" = 1'-0"



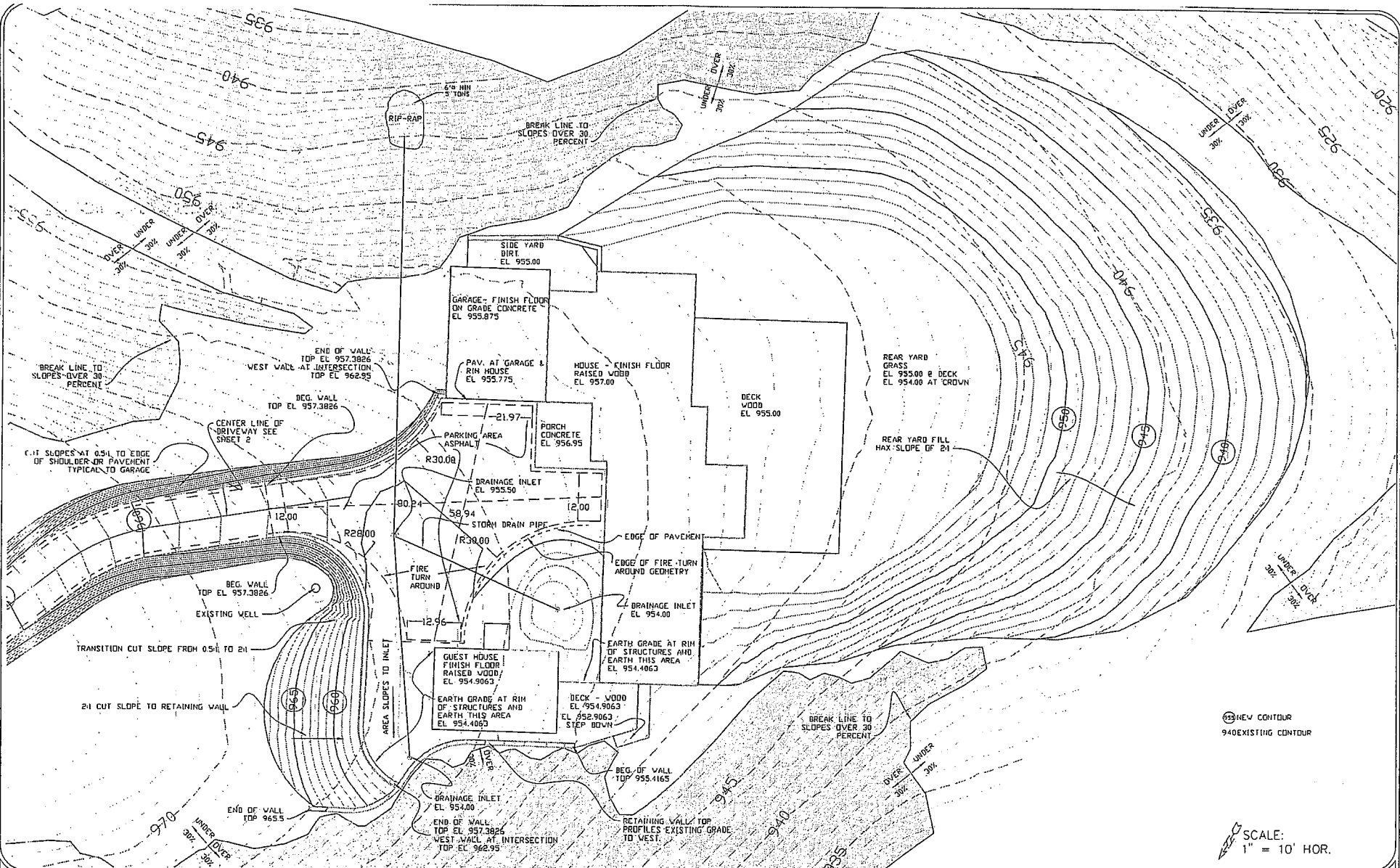
SOUTHEAST ELEVATION 1/4" = 1'-0"

S.A.I.B.
 ARCHITECTS
 4300 S. RAYBURN ST. #100
 SAN ANTONIO, TEXAS 78249
 TEL. (512) 341-1111
 FAX (512) 341-1112
 WWW.SAIB.COM

Mahady Home.
 At High Top Ranch
 Comal Valley, California

Project Number:
 Project Architect:
 Drawn By:
 Date of Issue:

Sheet No. A20



NEW CONTOUR
 EXISTING CONTOUR

SCALE:
 1" = 10' HOR.

GRICE ENGINEERING INC
 ENGINEERING • GEOTECHNICALS • HYDROLOGY • SOILS • FOUNDATIONS • EARTH STRUCTURES

MAHADY ESTATE GRADING PLANS
 PARCEL 4: HIGH TOP RANCH;
 RANCHO LOS LAURELES, CARMEL VALLEY, CA.
 RESIDENCE AREA
 PI AN

SHT 3
 FILE NO. 4091-02-08
 PUB 06-17-05
 REV. 10-26-05CCOMPLET

HI COMMENDED GRADING SPECIFICATIONS FOR EARTHWORK

ET-1 General Description:

- The item shall consist of all clearing and grubbing; preparation of land to be filled; excavation and fill of the land; spreading, compaction and control of the fill; and all subsidiary work necessary to complete the graded area to conform with the lines, grades and slopes as shown on the approved plans.
 - The Contractor shall provide all equipment and labor necessary to complete the work as specified herein, as shown on the approved plans as stated in the project specifications.
 - Retaining walls require a separate building permit.
- ET-2 Tests:
- The standard test used to define maximum densities of all compaction work shall be the A.S.T.M. D-1557, Moisture Density of Soils, using a 10-pound ram and 18-inch drop. All densities shall be expressed as a relative density in terms of the maximum density achieved in the laboratory by the foregoing standard procedure.
 - In-place density shall be determined by Test Methods A.S.T.M. D-1556, Density of Soil In-Place by Sand Cone Method and D-2922, Density of Soil In-Place by Nuclear Method.
 - Final elevations shall be certified to 0.1 foot, prior to digging any footings or scheduling any inspections.

ET-3 Clearing, Grubbing and Preparing Areas To Be Excavated Or Filled:

- All vegetable matter, Irreducible material greater than 4 inches and other deleterious materials shall be removed from the areas in which grading is to be done. Such materials not suitable for reuse shall be disposed of as directed.
- After the foundation for fill has been cleared, it shall be brought to the proper moisture content by adding water or aerating and compacting to a relative density of not less than 90% or as specified. The soils shall be tested to a depth sufficient to determine quality and shall be approved by the Soils Engineer for foundation purposes prior to placing engineered fill.

ET-4 Materials:

- The material for engineered fill shall be approved by the Soils Engineer before commencement of grading operations. Any imported material must be approved for use before being brought to the site. The material used shall be free from vegetable matter and other deleterious materials.
- Imported materials for engineered fill shall consist of non-expansive soil with maximum aggregate size of 4 inches, a PI less than 15 or a Cu greater than 4 and shall be approved by the Engineer.

ET-5 Piling, Spreading and Compacting Fill Material:

- The selected fill material shall be placed in layers which, when compacted, shall not exceed 6 inches in thickness. Each layer shall be spread evenly and shall be thoroughly mixed during the spreading to ensure uniformity of material in each layer. Fill shall be placed such that cross fall does not exceed 1 foot in 20 unless otherwise directed.
- When fill material includes rock or concrete rubble, no Irreducible material larger than 4 inches in greatest dimension will be allowed except under the direction of the Soils Engineer.
- The moisture content of the fill material shall be maintained in a suitable range to permit efficient compaction. The Soils Engineer may require noddling, moisture, aerating, or blending of wet and dry soils.
- Each layer shall be compacted to a relative density of not less than 90% relative density or as specified in the soils report and on the accepted plans. Compaction shall be continuous over the entire area of each layer.
- Field density test shall be made by the Soils Engineer of each compacted layer. At least one test shall be made for each 500 cubic yards or fraction thereof, placed with a minimum of two tests per layer in isolated areas. Where a sheep-foot roller is used, the soil may be disturbed to a depth of several inches. Density tests shall be taken in compacted materials below the disturbed surface. When these tests indicate that the density of any layer or fraction thereof, is below the required density, that particular layer or portion shall be reworked until the required density has been obtained.
- All earth moving and work operations shall be controlled to prevent water from running into excavated areas. All such water shall be promptly removed and the site kept dry.
- Cut and fill slopes steeper than two horizontal to one vertical must be approved by the soils engineer.

ET-6 Seasonal Limits:

- When the work is interrupted by rain, fill operations shall not be resumed until field tests by the Soils Engineer indicate that the moisture content and density of the fill is as previously specified and soils to be placed are in suitable condition.

ET-7 Unusual Conditions:

- In the event that any unusual conditions are encountered during grading operations which are not covered by the soil investigation or the specifications, the Soils Engineer shall be immediately notified such that additional recommendations may be made.

ET-8 County:

- A copy of all compaction tests and final grading reports shall be submitted to the County prior to scheduling any inspections.
- All grading shall conform with the Monterey County Grading Ordinance #2335.
- The Soils Engineer shall inspect the building and foundation excavations & submit written approval to the building inspector before requesting foundation inspection and pouring of any footings.

EROSION CONTROL PLANNING

ER-1 General Description:

- The design of erosion protection features should be appropriate for the project and should consider the topographic and hydrologic features of the site. It is important to minimize grading of or near steep slopes. Disturbing native vegetation and natural soil structure allows runoff velocity and transport of sediments to increase.
- The final plan should maintain runoff rates at or below pre-development levels. Runoff from post-development impervious structures should be disposed of on site through percolation of collected waters into the soil by means of percolation trenches intended for storm runoff only.
- If retention/percolation is not possible, post-development generated runoff should be detained in on site basins and released in a controlled fashion. Runoff flows should be directed into pipes or lined ditches and then onto an energy dissipater to reduce the hydraulic gradient before discharging the runoff into streams or drainage ways.
- Dis-sipation of runoff may take form of stilling basins, gravel berm, turf or vegetation screens, reforestation, etc..
- First flowing storm runoff should never be directed to septic tank system leach fields. Drainage should be carried through a leach field area in closed conduit or lined surface drain.
- Any site soils or other materials which are disturbed shall be adequately watered to prevent dust from becoming airborne in accordance with local dust control ordinances.

ER-2 Materials Storage:

- During construction, never store cut and fill material where it may wash into streams or drainage ways. Should weather threaten the stored materials it should be covered with plastic or appropriate retention facilities provided for detention of the storm water prior to release.
- Keep all culverts and drainage facilities free of silt and debris. Keep emergency erosion control materials such as straw mat, plastic sheeting, and sandbags on site and install these at the end of each day as necessary.

ER-3 Re-vegetation and Planting:

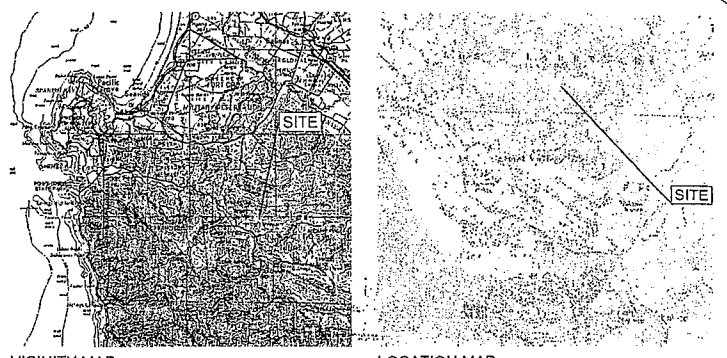
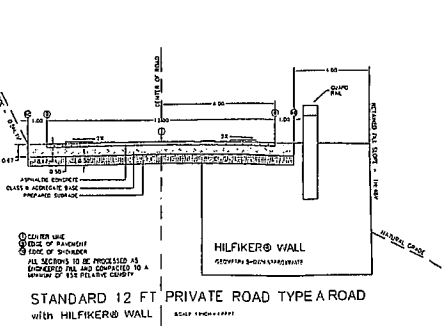
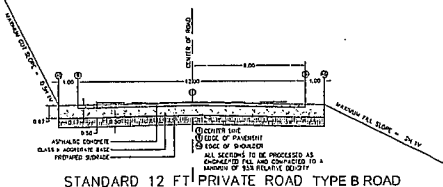
- Re-vegetate and protect exposed soils by October 15. Use appropriate grass/legume seed mixes and/or straw mulch for temporary cover. Plan permanent vegetation to include native and drought tolerant plants. Seeding and re-vegetation may require special soil preparation, fertilizing, irrigation, and mulching.
- Recommended Seed Schedule is as follows:
40 pounds per acre of California Brome
15 pounds per acre of Blue Wild Rye
4 pounds per acre of Zero Fescue
6 pounds per acre of Red Creeping Fescue

- In the absence of a detailed Erosion Control Plan, the work will be protected in accordance with the appropriate ordinance, regulation and/or standard practice which ever provides satisfactory erosion protection.

- Actual grading shall begin within 30 days of vegetation removal or the area shall be planted to control erosion.

ER-4 County:

- All erosion control measures for grading shall be in place at the end of each working day between October 15 and April 15.
- All erosion control measures shall conform with Monterey County Erosion Control Ordinance #2806.



THESE PLANS ARE FOR GRADING TO DEVELOP A DRIVEWAY AND BUILDING PAD.

PROJECT OWNER:
MR. AND MRS. MARK MAHADY
P.O. BOX 1290
CARMEL VALLEY, CALIFORNIA 93924
(831) 659-7022

PROJECT ARCHITECT:
MS. MICHAELA MAHADY
904 4TH STREET SOUTH
STILLWATER, MINNESOTA 55082
(651) 351-0961

PROJECT CIVIL AND GEOTECHNICAL ENGINEER:
GRICE ENGINEERING, INC.
561A BRUNKEN AVENUE
SALINAS, CALIFORNIA 93901
(831) 422-9619

PROJECT SURVEYOR:
RASMUSSEN LAND SURVEYING, INC.
2400 GARDEN ROAD
MONTEREY, CALIFORNIA 93940
(831) 375-7240

REV. 2 10/14/05
SLOPE ENCROACHMENT AREAS
(SLOPES OVER 30 PERCENT)
DRIVE WAY = 4658 SQUARE FEET
RESIDENCE = 0.0 (NONE) SQUARE FEET

INDEX
SHT 1 TITLE SHEET AND SPECIFICATIONS REV. 3 10/25/05
SHT 2 DRIVEWAY; PLAN AND PROFILE; STATIONS 70-45 TO EOP
SHT 3 RESIDENCE; GRADING PLAN
SHT 4 ENTIRE PARCEL WITH REVISED TOPOGRAPHY OF HOUSE AND ROAD AREA

GRADING BALANCE
REV. 1 05/23/05
REV. 2 10/14/05
REV. 3 10/25/05
GROSS CUT = 2,374 CUBIC YARDS - DRIVE WAY AND HOUSE
SHRINKAGE = 237 CUBIC YARDS (@10% SHRINKAGE)
NET CUT = 2,137 CUBIC YARDS
GROSS FILL = 2,318 CUBIC YARDS - DRIVE WAY AND HOUSE
DELTA = -181 CUBIC YARDS (SHORT)

SHORTAGE TO BE GENERATED ON SITE BY REDUCING ROAD CUTS AT OWNERS DIRECTION AND ENGINEER.

REVISION HISTORY	
FIRST PUB.	06/21/05
REV. 1	05/23/05
REV. 2	10/14/05
REV. 3	10/25/05

GRICE ENGINEERING INC
REGISTERED • CERTIFIED • DESIGNER • SURV • LANDSCAPING • LAND SURVEYORS
4514 Brubaker Avenue • Salinas, California • Salinas (831) 422-9619 • Monterey (831) 375-1108 FAX: (831) 422-1698

PREPARED FOR
MARK AND THERESE MAHADY
P.O. BOX 1290
CARMEL VALLEY, CALIFORNIA 93924

MAHADY ESTATE GRADING PLANS
PARCEL 4; HIGH TOP RANCH; A.P.N. 187-591-057
RANCHO LOS LAURELES, CARMEL VALLEY, CA
RESIDENTIAL DRIVEWAY PLAN
TITLE AND SPECIFICATIONS

SHT 1
Date Plotted: Oct 25, 2005
MAHADY ESTATE
FILE NO. 4087-02.08