

MIKE NOVO
ZONING ADMINISTRATOR

STATE OF CALIFORNIA
COUNTY OF MONTEREY

RESOLUTION NO. 050081

A.P.#216-033-004-000

In the matter of the application of
DAVID/JILL MASON (PLN050081)

FINDINGS & DECISION

for a Variance in accordance with Title 21 (Zoning) Chapter 21.72 (Variances) of the Monterey County Code, Variance for an increase to the allowed site coverage from 5 percent to 14 percent, to allow a 4,162 sq. ft. addition to an existing 1,323 sq. ft. one-story single family dwelling. The property is located at 1590 River Road, Salinas (Assessor's Parcel Number 216-033-004-000), fronting River Road, Toro Area. , came on regularly for hearing before the Zoning Administrator on November 10, 2005.

Said Zoning Administrator, having considered the application and the evidence presented relating thereto, now makes the following findings and decision:

FINDINGS OF FACT

1. **FINDING: CONSISTENCY AND SITE SUITABILITY:** The Mason Variance (PLN050081), as described in Condition No. 1, and as conditioned, conforms to the Plans, Policies, requirements, and standards of the Monterey County General Plan, Central Salinas Valley Area Plan, and the Monterey County Zoning Ordinance (Title 21). The property is located at 1590 River Road, (Assessor's Parcel Number 216-033-004-000), fronting River Road. The site is suitable for the proposed use. The parcel is zoned "F/40" (Farmlands, 40 Acre Minimum). The subject property is in compliance with all rules and regulations pertaining to zoning uses and any other applicable provisions of Title 21, and is therefore suitable for the proposed development.

- EVIDENCE:**
- (a) The text, policies, and regulations in the above documents have been evaluated during the course of the review of the application. No conflicts were found to exist. No communications were received during the course of review of the project to indicate that there is any inconsistency with the text, policies, and regulations in these documents.
 - (b) The project planner conducted a site visit in November of 2004 to verify that the proposed project complied with the Central Salinas Valley Area Plan and the Zoning Ordinance.
 - (c) The project was not referred to a Land Use Advisory Committee (LUAC) for review because the project site is not located in an area with a LUAC.
 - (d) The following agencies have reviewed the project: the Monterey County Planning and Building Inspection Department, Water

Resources Agency, Monterey County Public Works Department, the Monterey County Division of Environmental Health, and the Gonzales Fire Protection District. There has been no indication from these agencies that the site is not suitable. Based on the project description, materials in the file, the planner's site visit, preceding evidence, and comments by the above agencies, there are no physical or environmental constraints such as geologic or seismic hazard areas, environmentally sensitive habitats, or similar areas that would indicate the site is not suitable for the project.

(e) Application, plans, and related information in the project file.

2. **FINDING: CEQA (Exempt)** – The proposed project will not have a significant environmental impact.

EVIDENCE: (a) Section 15301(e) of the CEQA Guidelines categorically exempts the proposed development from environmental review. The proposed construction qualifies for this categorical exemption since it is an addition to an existing single family dwelling.

(b) No adverse environmental impacts were identified during staff review of the project application.

(c) There are no unusual circumstances related to the project or property.

(d) Site visit by project planner in November 2004.

3. **FINDING: SPECIAL CIRCUMSTANCES:** Because of special circumstances applicable to subject property, including size, shape, topography, location or surroundings, the strict application of this Title is found to deprive subject property of privileges enjoyed by other properties in the vicinity and under identical zone classification;

EVIDENCE: (a) The subject property is a 1.14-acre parcel located in the "F/40" zoning district; this parcel size is very small compared to the size requirements under the zoning designation and compared to the size of the parcels in the immediate vicinity. The strict application of the site coverage limitation would deprive the owner of developing a single-family residential unit similar in size to other units in the immediate vicinity and under the same zoning designation.

(b) According to Section 21.30.050.FF of the Monterey County Zoning Ordinance (Title 21), the County of Monterey allows the creation of a minimum one acre lot for residential use in the Farmland zoning designation. The purpose of the farmland designation is to "preserve and enhance the use of the prime, productive and unique farmland in the County. However, there are several legal non-conforming parcels that are not agriculturally viable and are being used in a residential capacity. To require these lots to adhere to a five percent lot coverage would deprive the parcels of privileges enjoyed by other properties in the vicinity. Therefore, it is reasonable to apply the requirements and site development standards of the Rural Density

Residential zoning designation in keeping with the residential uses located in rural areas of the county.

(c) The subject 1.14 acre parcel is not an agriculturally viable lot.

4. **FINDING: NOT A GRANT OF SPECIAL PRIVILEGE:** This variance does not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such property is situated;

EVIDENCE: (a) Single-family units similar to the proposed 4,162 square foot residence can be developed or already exist on parcels in the immediate vicinity of the project site and under the same zoning designation.

(b) Variances to site coverage have been approved for parcels under similar circumstances regarding size the farmlands zone for (PLN010572 and PLN020063). Granting of these Variances has not constituted a special privilege because they afford these restricted lots the potential for development of what would be allowed on large parcels under the same zoning.

(c) The subject parcel is substantially smaller compared to the majority of surrounding parcels.

5. **FINDING: THIS USE IS AUTHORIZED IN THIS ZONING:** Section 21.72.040 (C) of the Zoning Ordinance requires that a variance shall not be granted for a use or activity which is not authorized by the zoning. However, strict application of this zoning would deprive the owner of privileges enjoyed by other properties in the vicinity and under the same zoning classification.

EVIDENCE: (a) The property is located in the "F/40" (Farmlands, 40 Acre Minimum) which allows for single family residences (Monterey County Code Section 21.30.030.B).

(b) The site visit conducted by staff site in November of 2004.

(c) Materials in file PLN050081.

6. **FINDING: NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivisions and other applicable provisions of Title 21. Zoning violation abatement costs, if any, have been paid.

EVIDENCE: Staff verification of the Monterey County Planning and Building Inspection Department records indicates that no violations exist on subject property.

7. **FINDING: HEALTH & SAFETY** - The establishment, maintenance, and operation of the proposed development applied for will not under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood or to the general welfare of the County.

EVIDENCE: Preceding findings and supporting evidence.

8. **FINDING: APPEALABILITY** - The decision on this project is appealable to the Planning Commission.

EVIDENCE: Section 21.80.040.B of the Monterey County Zoning Ordinance.

DECISION

THEREFORE, it is the decision of said Zoning Administrator that said application for Variance be granted as shown on the attached sketch, and subject to the attached conditions:

PASSED AND ADOPTED this 10th day of November 2005.



MIKE NOVO
ZONING ADMINISTRATOR

COPY OF THIS DECISION WAS MAILED TO THE APPLICANT ON DEC 01 2005

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY TO THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE DEC 11 2005

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning and Building Inspection Department office in Salinas.

2. This permit expires two years after the above date of granting thereof unless construction or use is started within this period.

Monterey County Planning and Building Inspection
Conditions of Approval

Project Name: David & Jill Mason
 File No: PLN050081 APNs: 216-033-004-000
 Approval by: Zoning Administrator Date: November 10, 2005

**Monitoring or Reporting refers to projects with an EIR or adopted Mitigated Negative Declaration per Section 21081.6 of the Public Resources Code.*

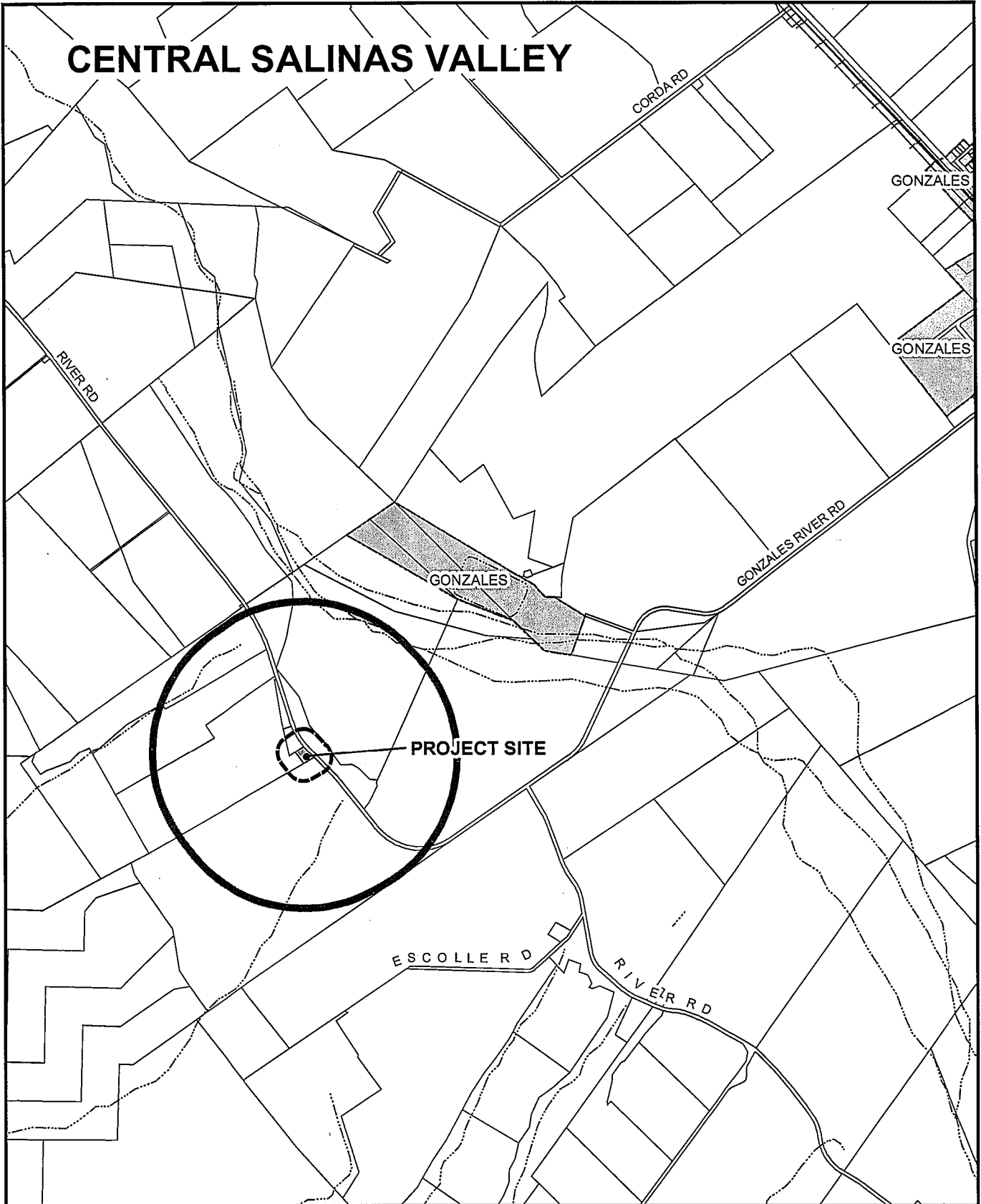
<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Impact Addressed, and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
1		<p>PBD029 - SPECIFIC USES ONLY</p> <p>The subject Variance for an increase to the allowed site coverage from 5% to 14.41%, to allow for a 4,162 sq. ft first and second story addition to an existing 1,323 sq. ft. one story single family dwelling. This permit was approved in accordance with County ordinances and land use regulations subject to the following terms and conditions. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of Planning and Building Inspection. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. (Planning and Building Inspection)</p>	Adhere to conditions and uses specified in the permit.	Owner/ Applicant	Ongoing unless otherwise stated	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Impact Addressed, and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
2		<p>PBD025 - NOTICE-PERMIT APPROVAL</p> <p>The applicant shall record a notice which states: "A permit (Resolution No. 050081) was approved by the Director of Planning and Building Inspection for (Assessor's Parcel Numbers 216-033-004-000), on November 10, 2005. The permit was granted subject to 7 conditions of approval which run with the land. A copy of the permit is on file with the Monterey County Planning and Building Inspection Department." Proof of recordation of this notice shall be furnished to the Director of Planning and Building Inspection prior to issuance of building permits or commencement of the use. (Planning and Building Inspection)</p>	Proof of recordation of this notice shall be furnished to PBI.	Owner/ Applicant	Prior to Issuance of grading and building permits or start of use.	
3		<p>NON STANDARD - GEOTECHNICAL CERTIFICATION</p> <p>Prior to final inspection, the geotechnical consultant shall provide certification that all development has been constructed in accordance with the geotechnical report. (Planning and Building Inspection)</p>	Submit certification by the geological consultant to PBI showing project's compliance with the geotechnical report.	Owner/ Applicant/ Geotechnical Consultant	Prior to Final Building Inspection	
4		<p>WR1 - DRAINAGE PLAN</p> <p>The applicant shall provide the Water Resources Agency a drainage plan prepared by a registered civil engineer or architect addressing on-site and off-site impacts. Drainage improvements shall be constructed in accordance with plans approved by the Water Resources Agency. (Water Resources Agency)</p>	Submit 3 copies of the engineered drainage plan to the Water Resources Agency for review and approval.	Owner/ Applicant/ Engineer	Prior to issuance of any grading or building permits	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Impact Addressed, and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
5		<p>WR40 - WATER CONSERVATION MEASURES</p> <p>The applicant shall comply with Ordinance No. 3932, or as subsequently amended, of the Monterey County Water Resources Agency pertaining to mandatory water conservation regulations. The regulations for new construction require, but are not limited to:</p> <p>a. All toilets shall be ultra-low flush toilets with a maximum tank size or flush capacity of 1.6 gallons, all shower heads shall have a maximum flow capacity of 2.5 gallons per minute, and all hot water faucets that have more than ten feet of pipe between the faucet and the hot water heater serving such faucet shall be equipped with a hot water recirculating system.</p> <p>b. Landscape plans shall apply xeriscape principles, including such techniques and materials as native or low water use plants and low precipitation sprinkler heads, bubblers, drip irrigation systems and timing devices.</p> <p>(Water Resources Agency)</p>	Compliance to be verified by building inspector at final inspection.	Owner/ Applicant	Prior to final building inspection/occupancy	
6		<p>PBD026 – NOTICE OF REPORT</p> <p>Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states: "A(n) <u>Geotechnical</u> report has been prepared for this parcel by <u>Land Set Engineers</u>, dated <u>April, 2005</u> and is on record in the Monterey</p>	Proof of recordation of this notice shall be furnished to PBI.	Owner/ Applicant	Prior to issuance of grading and building permits	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Impact Addressed, and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		County Planning and Building Inspection Department Library No. <u>050658</u> . All development shall be in accordance with this report.” (Planning and Building Inspection)				
7		EH11 - SEPTIC SYSTEM DESIGN Submit plans for review and approval showing the location and design of the proposed septic system meeting the standards found in Chapter 15.20 of the Monterey County Code (Septic Ordinance) and "Prohibitions", Central Coast Basin Plan, RWQCB. (Environmental Health)	Division of Environmental Health must approve plans. Applicant shall obtain a permit to install the septic system.	CA Licensed Engineer /Owner/ Applicant	Prior to filing the final parcel map or issuance of building	

CENTRAL SALINAS VALLEY



APPLICANT: MASON

APN: 216-033-004-000

FILE # PLN050081



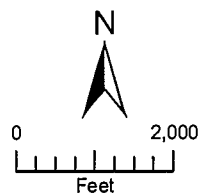
300' Limit



2500' Limit



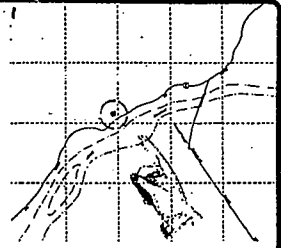
City Limits



PLANNER: MONTANO

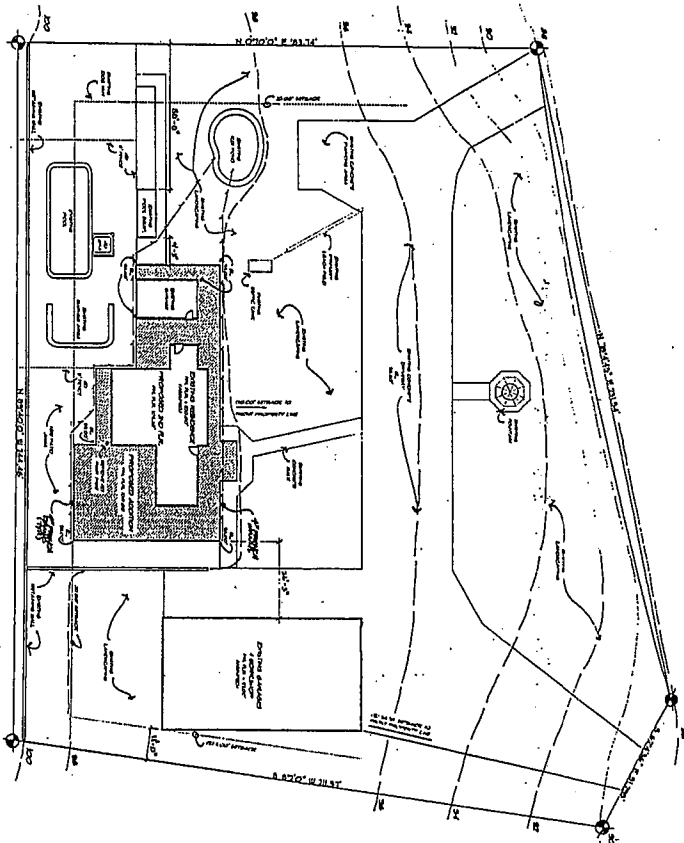
EXHIBIT E

VICINITY MAP



ABBREVIATIONS

1	1/4" = 1'-0"
2	1/8" = 1'-0"
3	1/16" = 1'-0"
4	1/32" = 1'-0"
5	1/64" = 1'-0"
6	1/128" = 1'-0"
7	1/256" = 1'-0"
8	1/512" = 1'-0"
9	1/1024" = 1'-0"
10	1/2048" = 1'-0"
11	1/4096" = 1'-0"
12	1/8192" = 1'-0"
13	1/16384" = 1'-0"
14	1/32768" = 1'-0"
15	1/65536" = 1'-0"
16	1/131072" = 1'-0"
17	1/262144" = 1'-0"
18	1/524288" = 1'-0"
19	1/1048576" = 1'-0"
20	1/2097152" = 1'-0"
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22	1/8388608" = 1'-0"
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SITE PLAN
SCALE: 1" = 20'-0"



PROJECT DESCRIPTION
 REMODEL / ADDITION TO EXISTING RESIDENCE
 TO INCLUDE NEW HEAVY FLOOR DEPARTMENT ENTRY
 ALSO NEW 2ND STORY ADDITION FOR NEW BEDROOMS
 AND BATH

SITE DATA
 A/R: 76'-0" X 110'-0"
 LOT SIZE: 48664 SQ. FT.
 ADDRESS: 1590 RIVER ROAD
 SALINAS, CALIFORNIA

(B) RESIDENCE	1700 SQ. FT.
(B) GARAGE	1000 SQ. FT.
(B) DRIVEWAY	2000 SQ. FT.
(B) 2ND STORY ADDITION	2000 SQ. FT.
(B) 1ST STORY ADDITION	1000 SQ. FT.
TOTAL PROPOSED CONSTRUCTION	6700 SQ. FT.
LOT COVERAGE	13.8%
PARKING	2 SPACES

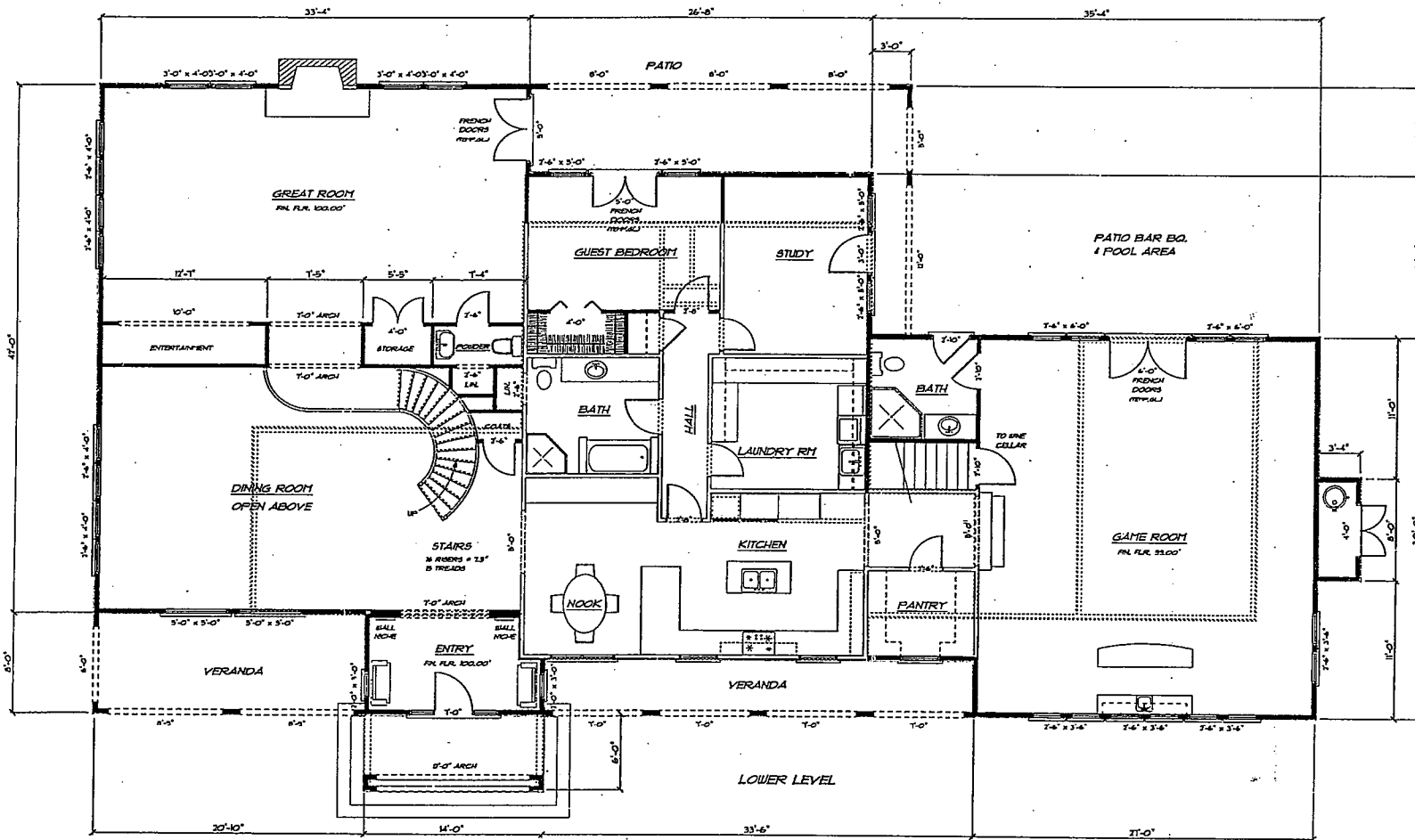
GRADING / DRAINAGE
 GRADING FOR PROJECT TO BE LESS THAN
 10% GRADE. ALL EXISTING UTILITIES SHALL
 REMAIN UNLESS AT NEW CONSTRUCTION IN THE
 ADJACENT FRONT BUILDING.
 GRADING LIMITED TO 10% SLOPES / 4' MAX HT'S.
 ALL NEW ROOF & SITE DRAINAGE TO THE INTO 4" FRENCH
 DRAINAGE AND DRAIN INTO EXISTING DRAINAGE. ALL (B)
 ROOMS DRAIN INTO (B) LANDSCAPE AREA (SEE PLAN).

DATE	1/1/2020
SCALE	1" = 20'-0"
PROJECT	MASON RESIDENCE
OWNER	1

**MASON RESIDENCE
 ADDITION / REMODEL
 1590 RIVER ROAD
 SALINAS, CALIFORNIA**

MARK THOMPSON DESIGN
 MONTELEONE, CALIF. 95062
 831-664-1094
 FAX 831-664-7666

NO.	1
DATE	1/1/2020
SCALE	1" = 20'-0"
PROJECT	MASON RESIDENCE
OWNER	1



CONSTRUCTION LEGEND

- EXISTING CONSTRUCTION
- NEW CONSTRUCTION
- CONSTRUCTION REMOVED

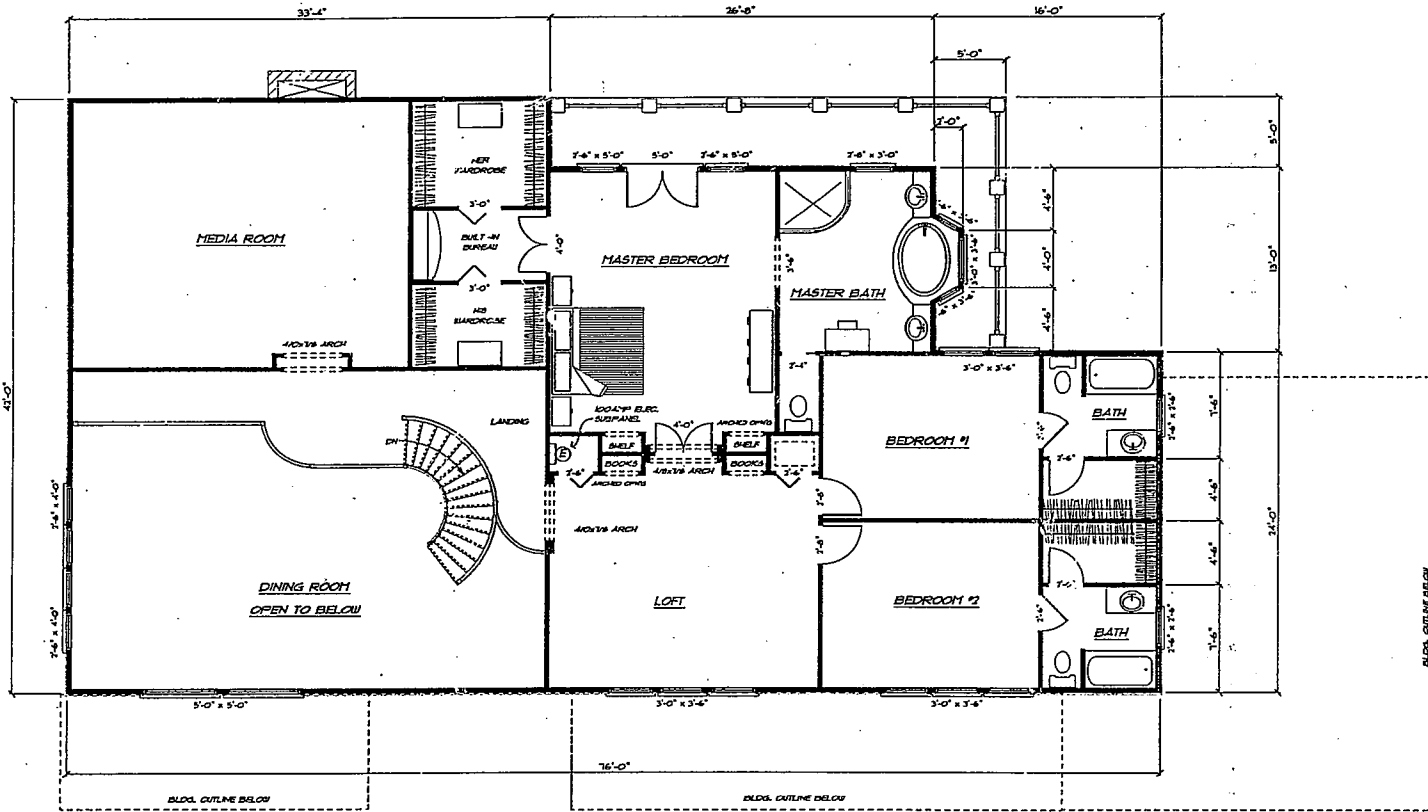
MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"
(3,675 SQ. FT.)

REVISIONS	BY

MASON RESIDENCE
 ADDITION / RENOVEL
 1590 RIVER ROAD
 SALINAS, CALIFORNIA

DRAWN: *Blake Thompson*
 CHECKED: _____
 DATE: _____
 SCALE: 1/4" = 1'-0"
 JOB NO.: 16732
 SHEET NO.: 2
 OF SHEETS



UPPER FLOOR PLAN

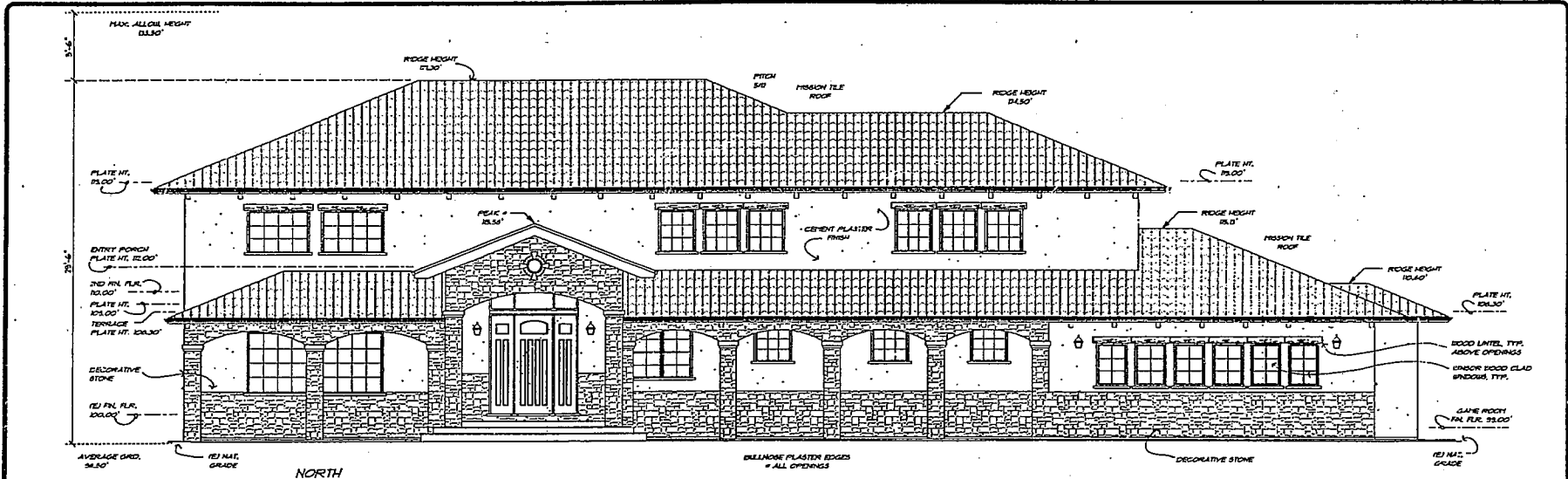
SCALE..... 1/4" = 1'-0"

(2222 SQ. FT.)

REVISIONS	BY

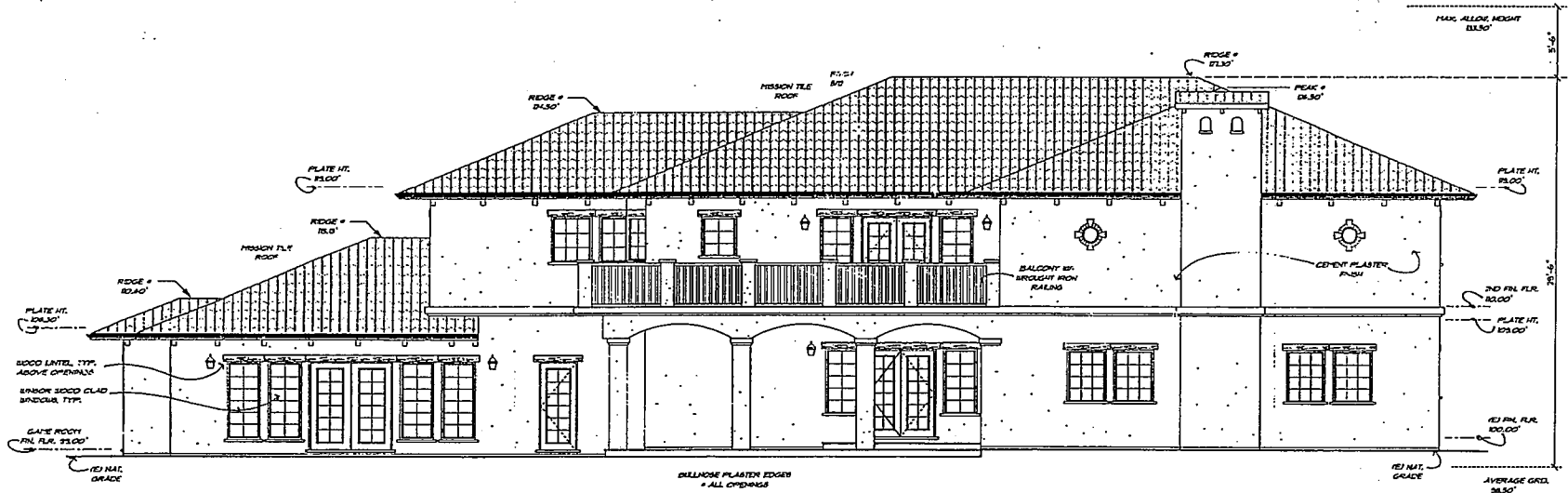

WADE THOMPSON ARCHITECTS
 1590 RIVER ROAD
 SALINAS, CALIFORNIA

DRAWN	Wade Thompson
CHECKED	
DATE	
SCALE	NOTED
JOB NO.	
SHEET	3
DP	SHEETS



NORTH

EXTERIOR ELEVATIONS
SCALE..... 1/4" = 1'-0"



SOUTH

REVISIONS	BY



MASON RESIDENCE
ADDITION / REMODEL
1590 RIVER ROAD
SALINAS, CALIFORNIA

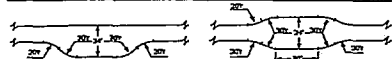
DESIGNED BY MARK THOMPSON
CHECKED BY
DATE
NOTED
JOB NO.
SHEET
4
OF SHEETS

FIRE SAFETY REQUIREMENTS

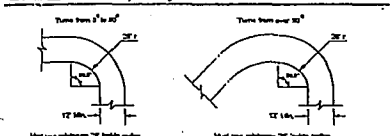
INSTRUCTIONS TO APPLICANT FOR
ONE OR TWO SINGLE FAMILY DWELLINGS ON EXISTING
LOT OF RECORD

- Fire Sprinkler Required** - The residence(s) shall be protected with automatic fire sprinkler system(s). The sprinklers are required in unheated garage. Installation, approval, and maintenance shall be in compliance with applicable National Fire Protection Association, Standard 130 and local amendments, the edition(s) of which shall be determined by the enforcing jurisdiction. Plans for fire sprinkler system(s) must be submitted and approved prior to installation. Rough-in inspections must be completed prior to requesting a framing inspection from the building inspection Dept. EXCEPTION: Covered Valley Fire District requires residences to be protected with automatic fire sprinkler systems when the total floor area exceeds 5000 square feet, or when required by the Fire Chief to mitigate extra hazardous conditions such as water supply or access problems.
- Fire Alarm** - Fire Alarm shall be wired to the kitchen refrigerator circuit. Any deviations require approval from the fire department.
- Address Numbers to be Displayed** - Before construction begins, temporary or permanent address numbers shall be posted. Permanent address numbers shall be posted prior to request of a final inspection. All address numbers (permanent or temporary) shall be posted on the property so as to be clearly visible from the road. Where visibility cannot be provided, a post or sign bearing the address numbers shall be set adjacent to the driveway or access road to the property. Address numbers posted shall be "Arabic" (1, 2, 3, etc.) not "Roman" (I, VI, X, etc.) or written out in words (Thirteen, Seventy-five, etc.). Address numbers posted shall be a minimum number height of 7 inches, 2 1/2 inch wide stroke, and contrasting with the background color of the sign. NOTE: If new home are posted, building fire inspectors will not grant a final inspection.
- Separate Address Required** - Caretaker's Units, Senior Citizens Units and "Granny Homes" shall be listed address separate from the main residence. Contact the Monterey County Public Works Dept. at 753-4726.
- Roofing - Class "A" or "B" Required** - Roof construction shall be a Class "A" or Class "B" building, as defined by Uniform Building Code Standard 15-2. Effective January 1, 1997, by state law, areas within any high fire hazard severity areas, roof construction shall be a Class "A" building. This requirement shall apply to all new construction and when 20 percent or more of an existing roof is replaced within a one-year period. EXCEPTION: Covered Valley Fire District requires Class "A" roof construction on new residences, existing residences when 25 percent or more of an existing roof is replaced within a one-year period, and existing residences when an addition of 25 percent or more of the floor area is made.
- Clear Vegetation** - All flammable vegetation or other combustible growth shall at all times maintain clear distance of not less than 20 feet on each side from structures or buildings. This shall not apply to single specimens of trees, ornamental shrubbery or similar plants used as ground covers, provided that they do not form a screen of rapidly transpiring fire from the native growth to any structure. Additional fire protection or firebreak may be required when, because of extra hazardous conditions, a firebreak of only 20 feet around such structures is not sufficient to provide reasonable fire safety. Environmentally sensitive areas may require alternative fire protection, as determined by the Fire Chief and Director of Planning and Building.
- Driveway Gates** - Driveway gates shall be provided with a keylock meeting fire department specifications. Manual gates shall be provided with a fire department padlock meeting fire department specifications. Gate entrance shall be at least the width of the traffic lane, but in no case less than 12 feet wide. Unobstructed vertical clearance shall be not less than 12 feet.
- Bridges** - All new and reconstructed bridges shall be at least the width of the existing roadway and bents but in no case less than 12 feet wide. Bridges which on all roads exceeding binary standards shall not be less than the width of two lanes with berms. All bridges shall be designed for HS 20-44 loading (standard specification for highway bridges) and have guard rails.
- Setback for Structures Infringing Easement Easement** - All parcels 1 acre and larger shall provide a minimum 20-foot setback for buildings and accessory buildings from all property lines and/or the center of the road. For parcels less than 1 acre, or when a 20 foot minimum setback cannot be reached, a minimum 10-foot modification mandatorily be imposed by the local fire jurisdiction to provide the same practical effect.
- Access Driveways - General** - Access driveways shall be all-weather driving surface capable of supporting fire apparatus (2) and not less than 12 feet of unobstructed width, a minimum of 12" or 15" vertical clearance, and a maximum 12 percent grade. Driveways and access roads having a slope of 8 percent or more the drain surface shall be A/C pavement or concrete. EXCEPTION: When buildings are protected by an approved automatic fire sprinkler system, the provisions of this section may be modified, subject to the approval of the Local Jurisdiction.
- Access Driveways - Turning Radius** - All turns on access driveways shall comply with the minimum dimensions shown on the attached diagram labeled as Example B.
- Access Driveways - Turn-Out Required** - Access driveways shall not be less than 12 feet wide unobstructed. All driveways exceeding 150 feet in length, but less than 300 feet in length, shall provide a turnout near the midpoint of the driveway. Where the driveway exceeds 300 feet, turnout shall be provided at not greater than 400 feet intervals. (See Example A)
- Access Driveways - Turn-Around Required** - All dead-end access roads in excess of 150 feet in length shall be provided with approved provision for the turning around of fire apparatus. (See Example C)

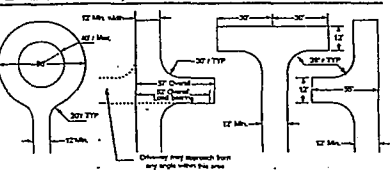
EXAMPLE A Driveway Turnouts



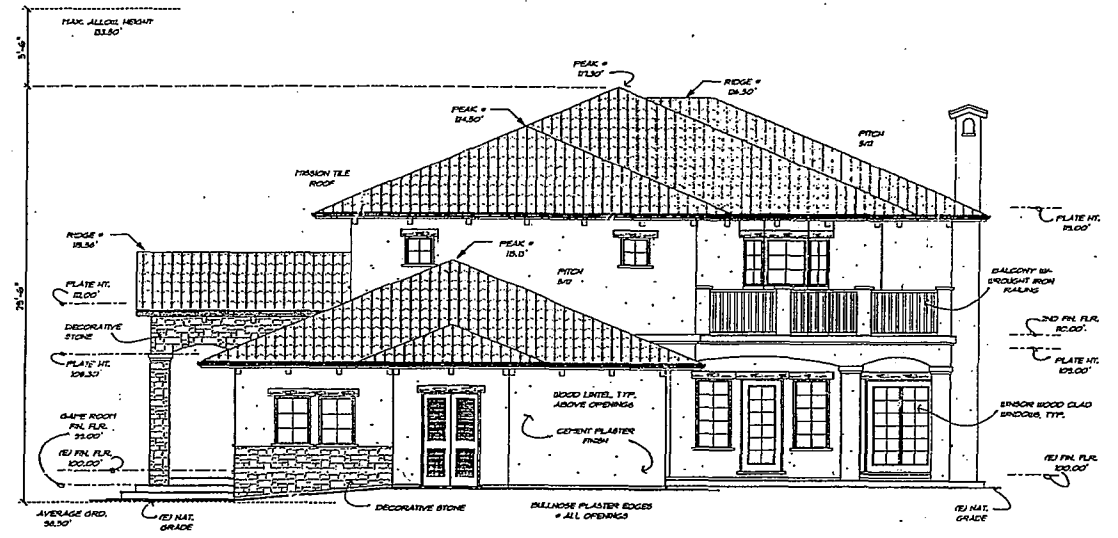
EXAMPLE B Driveway Turning Radii



EXAMPLE C Driveway / Road Turnaround

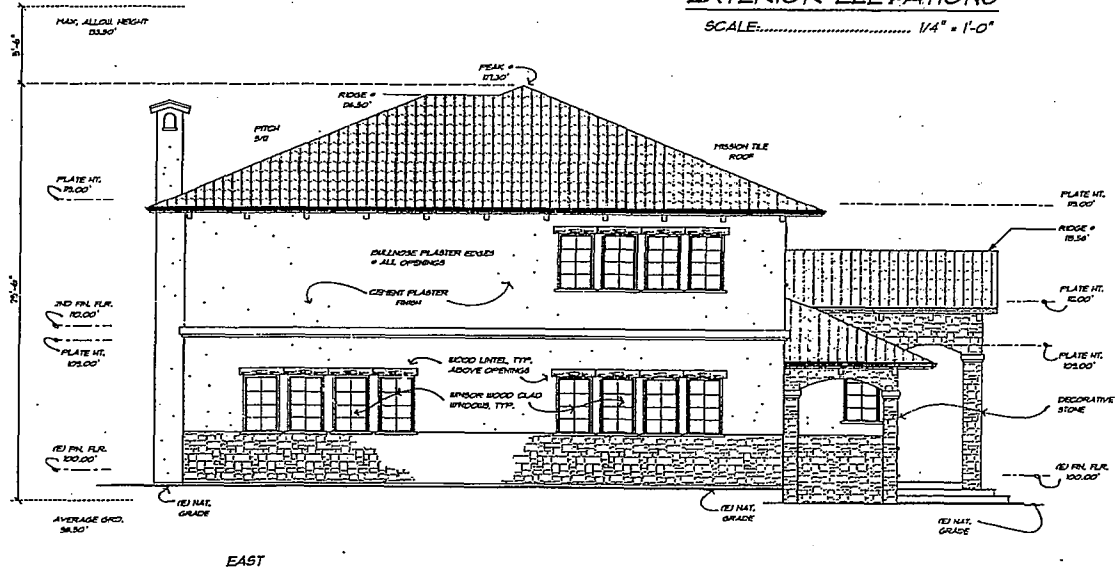


The local fire jurisdiction will consider designs other than those shown above.



EXTERIOR ELEVATIONS

SCALE..... 1/4" = 1'-0"



REVISIONS	BY

BASED UPON THE EXISTING
AS SHOWN ON THE
APPROVED SETS OF
1/11/97
DATE 11/11/97
BY 11/11/97

MASON RESIDENCE
ADDITION / REMODEL
1590 RIVER ROAD
SALINAS, CALIFORNIA

DRAWN BY: MIKE THOMPSON
CHECKED BY:
DATE:
NOTED:
JOB NO. 1590
SHEET:
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