

MIKE NOVO  
ZONING ADMINISTRATOR

STATE OF CALIFORNIA  
COUNTY OF MONTEREY

RESOLUTION NO. 050118

APN#131-492-026-000

**FINDINGS & DECISION**

In the matter of the application of  
**CHARLES R/PHYLLIS E SNORF TR (PLN050118 )**

The project is located at 114200 Commercial Parkway, Castroville, California. The project came on regularly for hearing before the Zoning Administrator on September 29, 2005.

Said Zoning Administrator, having considered the application and the evidence presented relating thereto,

#### **FINDINGS OF FACT**

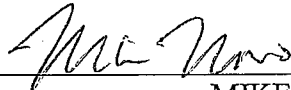
1. **FINDING: CONSISTENCY** – The Snorf Use Permit (PLN050118), as described in Condition #1, and as conditioned, is consistent with the plans, policies, requirements and standards of the Monterey County General Plan, North County Area Plan and Monterey County Zoning Ordinance (Title 21).  
**EVIDENCE:**
  - (a) The application and plans submitted for the Use Permit in project file PLN050118 at the Monterey County Planning and Building Inspection Department.
  - (b) The property is 1 acre in size and is located at 112400 Commercial Parkway, Castroville. The parcel is zoned “HI/B-6” (Heavy Industrial, Building Site). The proposed cabinet shop meets the site development standards for the Heavy Industrial Zoning District and is an allowed use pursuant to Section 21.28.060.A.
  - (c) The Traffic Analysis prepared by Higgins Associates, dated April 27, 2005, concludes that the proposed project will generate approximately the same morning and evening peak hour trips as would be expected from a generic industrial site. The project will, however, generate about 4 more daily trips. This is an insignificant increase above what was previously expected in the earlier environmental analysis.
  - (d) The Geotechnical Soils-Foundation and Geoseismic Report prepared by Grice Engineering, Inc., dated March 23, 2005, concludes that the near surface soils are loose and moderately expansive which will need to be taken into account during design and construction of the proposed commercial building. Overall, the site is suitable for the proposed development, provided the report recommendations are followed.
  - (e) According to the County’s parking regulations, the minimum number of parking spaces required to support the commercial use and operation is 34 spaces. The application and plans submitted for the Use Permit show 37 parking spaces (employees/customers: 31 spaces, accessible/handicapped: 2 spaces, trucks/loading: 4 spaces).
  - (f) The project planner conducted a site visit on March 3, 2005, to verify that the proposed project complies with Title 21 and the North County Area Plan. The proposed project, as designed, will not have a significant adverse effect on the public viewshed.

2. **FINDING: SITE SUITABILITY** – The site is suitable for the use proposed.  
**EVIDENCE:** (a) The project has been reviewed for suitability by the Monterey County Planning and Building Inspection Department, North County Fire Protection District, Monterey County Water Resources Agency, Monterey County Public Works Department, Monterey County Parks Department, and Monterey County Health Department. There has been no indication from these agencies that the site is not suitable. Conditions recommended by these agencies have been incorporated as project conditions.  
(b) The project planner conducted a site visit on March 3, 2005 to verify that the site is suitable for this use.  
(c) Necessary public facilities are available and will be provided.
3. **FINDING: CEQA (Exempt)** – The proposed project will not have a significant environmental impact.  
**EVIDENCE:** (a) Section 15332 of the CEQA Guidelines categorically exempts the proposed development from environmental review. The proposed cabinet shop qualifies for this categorical exemption since it falls into the class of environmentally benign in-fill projects which are consistent with general plan and zoning requirements, and would not result in any significant traffic, noise, air quality, or water quality effects.  
(b) No adverse environmental impacts were identified during staff review of the project application.  
(c) There are no unusual circumstances related to the project or property.
4. **FINDING: NO VIOLATIONS** – The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivisions and any other applicable provisions of Title 21. Zoning violation abatement costs, if any, have been paid.  
**EVIDENCE:** Sections 21.28.020 and 21.42.020 of the Monterey County Zoning Ordinance. Staff verification of the Monterey County Planning and Building Inspection Department records indicate that no violations exist on subject property.
5. **FINDING: HEALTH AND SAFETY** – The establishment, maintenance, and operation of the proposed development applied for will not under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood or to the general welfare of the County.  
**EVIDENCE:** Preceding findings and supporting evidence.
6. **FINDING: APPEALABILITY** – The decision on this project is appealable to the Planning Commission.  
**EVIDENCE:** Section 21.80.040 of the Monterey County Zoning Ordinance.

## DECISION

It is the decision of the Zoning Administrator of the County of Monterey that said application for a Use Permit be granted as shown on the attached sketch and subject to the attached conditions.

**PASSED AND ADOPTED** this 29th day of September, 2005.



MIKE NOVO  
ZONING ADMINISTRATOR

COPY OF THIS DECISION MAILED TO APPLICANT ON **OCT 18 2005**

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE **OCT 28 2005**.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

### NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect. Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.  
Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning and Building Inspection Department office in Marina.
2. This permit expires 2 years after the above date of granting thereof unless construction or use is started within this period.

<b>EXHIBIT "B"</b> <b>Monterey County Planning and Building Inspection</b> <b>Condition Compliance &amp; Mitigation Monitoring and/or</b> <b>Reporting Plan</b>	Project Name: Snorf  File No: PLN050118  Approval by: Zoning Administrator	APN: 131-492-026-000  Date: September 29, 2005
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*\*Monitoring or Reporting refers to projects with an EIR or adopted Mitigated Negative Declaration per Section 21081.6 of the Public Resources Code.*

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Impact Addressed, and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Clearing Condition</i>	<i>Timing</i>	<i>Verification of compliance</i>
1		<b>PBD029 - SPECIFIC USES ONLY</b> The Snorf Use Permit (PLN050118) allows for the construction of a 16,154 sq. ft. cabinet shop with a 1,113 sq. ft. mezzanine, paved parking, landscaping, septic system and grading (1,200 cu. yds. cut/fill). The property is located at 114200 Commercial Parkway, Castroville (Assessor's Parcel Number 131-492-026-000), North County area. This permit was approved in accordance with County ordinances and land use regulations subject to the following terms and conditions. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of Planning and Building Inspection. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. <b>(Planning and Building Inspection)</b>	Adhere to conditions and uses specified in the permit.	Owner/ Applicant	Ongoing unless otherwise stated	

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2		<p><b>PBD025 - NOTICE-PERMIT APPROVAL</b></p> <p>The applicant shall record a notice which states: "A permit (Resolution No. 050118) was approved by the Zoning Administrator for Assessor's Parcel Number 131-492-026-000 on September 29, 2005. The permit was granted subject to 21 conditions of approval which run with the land. A copy of the permit is on file with the Monterey County Planning and Building Inspection Department." Proof of recordation of this notice shall be furnished to the Director of Planning and Building Inspection prior to issuance of building permits or commencement of the use. <b>(Planning and Building Inspection)</b></p>	Proof of recordation of this notice shall be furnished to PBI.	Owner/ Applicant	Prior to issuance of grading and building permits or start of use	
3		<p><b>PBD021 – LIGHTING – EXTERIOR LIGHTING PLAN</b></p> <p>All exterior lighting shall be unobtrusive, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The applicant shall submit 3 copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The exterior lighting plan shall be subject to approval by the Director of Planning and Building Inspection, prior to the issuance of building permits. <b>(Planning and Building Inspection)</b></p>	Submit three copies of the lighting plans to PBI for review and approval.	Owner/ Applicant	Prior to issuance of building permits	
4		<p><b>EROSION AND RUNOFF CONTROL (NON-STANDARD)</b></p> <p>Prior to the issuance of a grading or building permit, the applicant shall submit evidence that erosion and runoff control measures have been implemented in accordance with Monterey County's Erosion Control (Chapter 16.12) and Grading (Chapter 16.08) Ordinances. <b>(Planning and Building Inspection)</b></p>	Submit evidence that erosion and runoff control measures have been implemented in accordance with Monterey County's Erosion Control (Chapter 16.12) and Grading (Chapter 16.08) Ordinances.	Owner/ Applicant	Prior to issuance of grading and building permits	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Impact Addressed, and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Clearing Condition</i>	<i>Timing</i>	<i>Verif- ication of com- pliance</i>
5		<b>PW0007 – PARKING STD</b> The parking shall meet the standards of the Zoning Ordinance and be approved by the Director of Public Works and the Director of Planning and Building Inspection. <b>(Public Works)</b>	Applicant's engineer or architect shall prepare a parking plan for review and approval.	Owner/ Applicant/ Engineer	Prior to issuance of grading or building permits	
6		<b>DRAINAGE PLAN (NON-STANDARD)</b> Prior to issuance of any grading and/or building permits, a drainage plan shall be prepared by a registered civil engineer or architect addressing on-site and off-site impacts including oil-grease/water separators for the paved parking areas. Impervious surface stormwater runoff shall be directed to the existing stormwater drainage system for the Castroville Industrial Park. Drainage improvements shall be constructed in accordance with plans approved by the Water Resources Agency. <b>(Water Resources Agency)</b>	Submit 3 copies of the drainage plan to the Water Resources Agency for review and approval.	Owner/ Applicant	Prior to issuance of any grading or building permits	
7		<b>WATER USE (NON-STANDARD)</b> Prior to issuance of any grading and/or building permits, the applicant shall provide the Water Resources Agency a copy of the Water Use & Nitrate Impact Questionnaire describing the pre-development and post-development water use on the property. <b>(Water Resources Agency)</b>	Submit the WUNIQ to the Water Resources Agency for review and approval.	Owner/ Applicant	Prior to issuance of any grading or building permits	
8		<b>LANDSCAPE PLAN (OTHER THAN SINGLE FAMILY DWELLING) (NON-STANDARD)</b> The site shall be landscaped. At least 60 days prior to occupancy, three (3) copies of a landscaping plan shall be submitted to the Director of Planning and Building Inspection for approval. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of	Submit landscaping plans and contractor's estimate to PBI for review and approval.	Owner/ Applicant/ Contractor	At least 60 days prior to final inspection or occupancy	

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		the proposed landscaping and include 15-gallon trees, one per 1,000 square foot. Trees shall be setback at least 10 feet from all leachfields and reserve areas. The landscaping shall be installed and inspected prior to occupancy. <b>(Planning and Building Inspection and Environmental Health)</b>				
9		<b>PBD013 - GEOTECHNICAL CERTIFICATION</b> Prior to final inspection, the geotechnical consultant shall provide certification that all development has been constructed in accordance with the geotechnical report. <b>(Planning and Building Inspection)</b>	Submit certification by the geotechnical consultant to PBI showing project's compliance with the geotechnical report.	Owner/ Applicant/ Geotech-nical Consultant	Prior to Final Building Inspection	
10		<b>WR40 - WATER CONSERVATION MEASURES</b> The applicant shall comply with Ordinance No. 3932, or as subsequently amended, of the Monterey County Water Resources Agency pertaining to mandatory water conservation regulations. The regulations for new construction require, but are not limited to: a. All toilets shall be ultra-low flush toilets with a maximum tank size or flush capacity of 1.6 gallons, all shower heads shall have a maximum flow capacity of 2.5 gallons per minute, and all hot water faucets that have more than ten feet of pipe between the faucet and the hot water heater serving such faucet shall be equipped with a hot water recirculating system. b. Landscape plans shall apply xeriscape principles, including such techniques and materials as native or low water use plants and low precipitation sprinkler heads, bubblers, drip irrigation systems and timing devices. <b>(Water Resources Agency)</b>	Compliance to be verified by building inspector at final inspection.	Owner/ Applicant	Prior to final building inspection/ occupancy	

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11		<p><b>FIRE008 - GATES</b></p> <p>All gates providing access from a road to a driveway shall be located at least 30 feet from the roadway and shall open to allow a vehicle to stop without obstructing traffic on the road. Gate entrances shall be at least the width of the traffic lane but in no case less than 12 feet wide. Where a one-way road with a single traffic lane provides access to a gated entrance, a 40-foot turning radius shall be used. Where gates are to be locked, the installation of a key box or other acceptable means for immediate access by emergency equipment may be required. <b>(North County Fire Protection District)</b></p>	<p>Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.</p> <p>Applicant shall schedule fire dept. clearance inspection.</p>	Owner/ Applicant	<p>Prior to issuance of grading and/or building permit</p> <p>Prior to final building inspection</p>	
12		<p><b>FIRE011 - ADDRESSES FOR BUILDINGS</b></p> <p>All buildings shall be issued an address in accordance with Monterey County Ordinance No. 1241. Each occupancy, except accessory buildings, shall have its own permanently posted address. When multiple occupancies exist within a single building, each individual occupancy shall be separately identified by its own address. Letters, numbers and symbols for addresses shall be a minimum of 4-inch height, 1/2-inch stroke, contrasting with the background color of the sign, and shall be Arabic. The sign and numbers shall be reflective and made of a noncombustible material. Address signs shall be placed at each driveway entrance and at each driveway split. Address signs shall be and visible from both directions of travel along the road. In all cases, the address shall be posted at the beginning of construction and shall be maintained thereafter. Address signs along one-way roads shall be visible from both directions of travel. Where multiple addresses are required at a single driveway, they shall be mounted on a</p>	<p>Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.</p> <p>Applicant shall schedule fire dept. clearance inspection.</p>	Owner/ Applicant	<p>Prior to issuance of building permit</p> <p>Prior to final building inspection</p>	



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		single sign. Where a roadway provides access solely to a single commercial occupancy, the address sign shall be placed at the nearest road intersection providing access to that site. Permanent address numbers shall be posted prior to requesting final clearance. (North County Fire Protection District)				
13		<b>FIRE021 - FIRE PROTECTION EQUIPMENT &amp; SYSTEMS - FIRE SPRINKLER SYSTEM (STANDARD)</b> The building(s) and attached garage(s) shall be fully protected with automatic fire sprinkler system(s). Installation shall be in accordance with the applicable NFPA standard. A minimum of four (4) sets of plans for fire sprinkler systems must be submitted by a California licensed C-16 contractor and approved prior to installation. This requirement is not intended to delay issuance of a building permit. A rough sprinkler inspection must be scheduled by the installing contractor and completed prior to requesting a framing inspection. (North County Fire Protection District)	1) Applicant shall enumerate as "Fire Dept. Notes" on plans.  2) Applicant shall schedule fire dept. rough sprinkler inspection.  3) Applicant shall schedule fire dept. final sprinkler inspection.	Owner/ Applicant	Prior to issuance of building permit  Prior to framing inspection  Prior to final building inspection	
14		<b>FIRE023 - FIRE ALARM SYSTEM - (COMMERCIAL)</b> The building(s) shall be fully protected with an approved central station, proprietary station, or remote station automatic fire alarm system as defined by NFPA Standard 72. Plans and specifications for the fire alarm system shall be submitted by a California licensed C-10 contractor and approved prior to requesting a rough sprinkler or framing inspection. (North County Fire Protection District)	1) Applicant shall enumerate as "Fire Dept. Notes" on plans.  2) Applicant shall submit fire alarm plans and obtain approval.  3) Applicant shall schedule fire alarm system acceptance test.	Owner/ Applicant	Prior to issuance of building permit  Prior to rough sprinkler or framing inspection  Prior to final building inspection	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Impact Addressed, and Responsible Land-Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Clearing Condition</i>	<i>Timing</i>	<i>Verif- ication of comp- liance</i>
15		<b>FIRE026 - ROOF CONSTRUCTION (STANDARD)</b> All new structures, and all existing structures receiving new roofing over 50 percent or more of the existing roof surface within a one-year period, shall require a minimum of ICBO Class B roof construction. <b>(North County Fire Protection District)</b>	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Owner/ Applicant	Prior to issuance of building permit	
16		<b>NFPA STANDARDS (NON-STANDARD)</b> Conform to the following additional NFPA standards: <ol style="list-style-type: none"> <li>1. NFPA-10: Standard for portable fire extinguishers.</li> <li>2. NFPA-30: Flammable and combustible liquids code.</li> <li>3. NFPA-70: National electric code.</li> <li>4. NFPA-72: National fire alarm code.</li> <li>5. NFPA-91: Standard for exhaust systems for the conveying of vapors, gases, mists and non-combustible particulate solids. <b>(North County Fire Protection District)</b></li> </ol>	Applicant shall schedule fire dept. clearance inspection.	Owner/ Applicant	Prior to final building inspection	
17		<b>PBD030 - STOP WORK - RESOURCES FOUND</b> If cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. The Monterey County Planning and Building Inspection Department and a qualified archaeologist (i.e., an archaeologist registered with the Society of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery. <b>(Planning and Building Inspection)</b>	Stop work within 50 meters (165 feet) of uncovered resource and contact the Monterey County Planning and Building Inspection Department and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.	Owner/ Applicant/ Archaeo-logist	Ongoing	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Impact Addressed, and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Clearing Condition</i>	<i>Timing</i>	<i>Verif- ication of comp- liance</i>
18		<b>PBD018(B) - LANDSCAPE MAINTENANCE</b> All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. <b>(Planning and Building Inspection)</b>	All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.	Owner/ Applicant	Ongoing	
19		<b>PBD014 - GRADING-WINTER RESTRICTION</b> No land clearing or grading shall occur on the subject parcel between October 15 and April 15 unless authorized by the Director of Planning and Building Inspection. <b>(Planning and Building Inspection)</b>	None	Owner/ Applicant	Ongoing	
20		<b>EH28 - HAZ MAT BUSINESS RESPONSE PLAN</b> Comply with Title 19 of the California Code of Regulations and Chapter 6.95 of the California Health and Safety Code (Hazardous Material Registration and Business Response Plans) as approved by the Director of Environmental Health. <b>(Environmental Health)</b>	Contact the Hazardous Materials Program of the Division of Environmental Health.	Owner/ Applicant	Continuous	
21		<b>EH30 - HAZARDOUS WASTE CONTROL</b> Comply with Title 22, Division 4.5 of the California Code of Regulations and Chapter 6.50 of the California Health and Safety Code (Hazardous Waste Control) as approved by the Director of Environmental Health. <b>(Environmental Health)</b>	Contact the Hazardous Materials Program of the Division of Environmental Health.	Owner/ Applicant	Continuous	
		<b>END OF CONDITIONS</b>				

**SITE INFORMATION:**

LOCATION : LOT 34, CASTROVILLE INDUSTRIAL PARK  
 ADDRESS : 1845 COMMERCIAL PARKWAY, CASTROVILLE, CA 95002  
 PARCEL : 03-23-051-000  
 ZONING : 1420-8 (HEAVY INDUSTRIAL)  
 LOT SIZE : 43840 SQ. FT. (1.0 ACRES)

**PROJECT DATA :-**

TOTAL FOOTPRINT : 16,54 SQ. FT.  
 LOT COVERAGE : 37%  
 MAX LOT COVERAGE : 50.0%  
 LANDSCAPING : 6381 SQ. FT. @ 1 TYPE V-N  
 CONSTRUCTION TYPE : ONE  
 NUMBER OF STORES : 1 (OFFICE) and 1 (CABINET SHOP/WAREHOUSE)

BASIC ALLOWABLE AREA- (V-N) 8,000 SQ. FT.  
 BUILDING EQUIPPED WITH AUTOMATIC FIRE SPRINKLER SYSTEM; (3) TIRE INCREASE FOR ONE STORY!  
 8,000 SQ. FT. X 3 = 24,000 SQ. FT. ALLOWABLE GREATER THAN 6,641 SQ. FT. PROPOSED

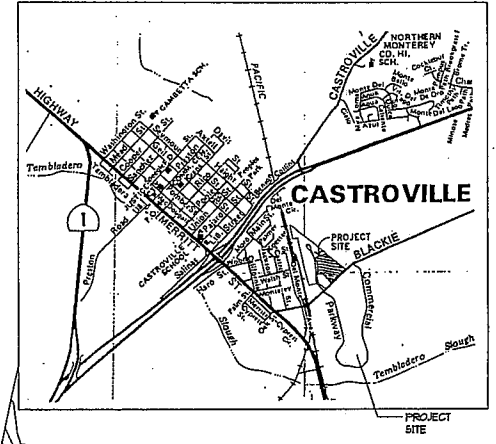
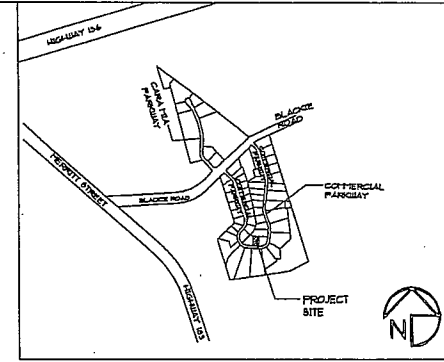
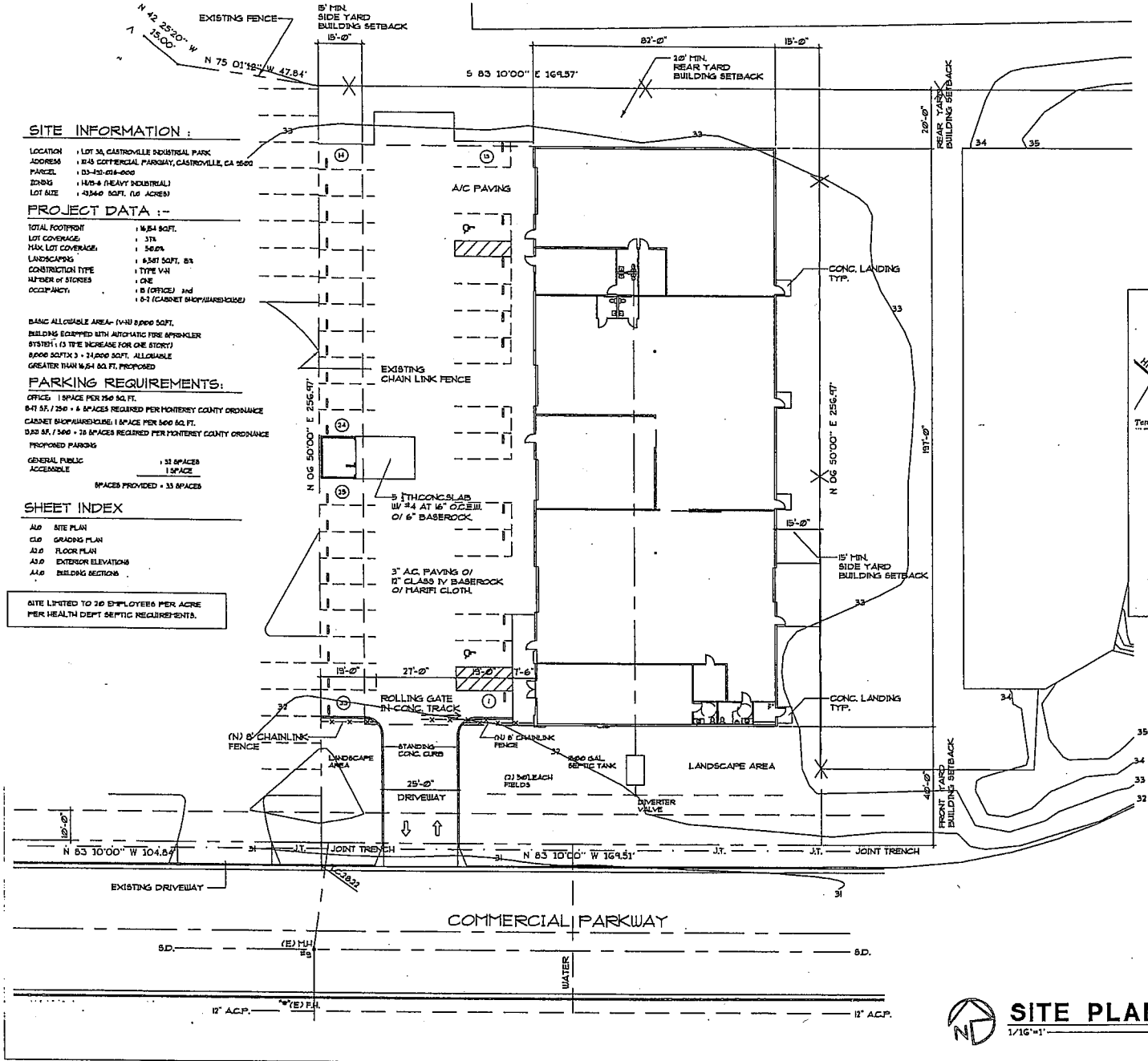
**PARKING REQUIREMENTS:**

OFFICE : 1 SPACE PER 250 SQ. FT.  
 8-11 SF / 250 + 6 SPACES REQUIRED PER MONTEREY COUNTY ORDINANCE  
 CABINET SHOP/WAREHOUSE : 1 SPACE PER 500 SQ. FT.  
 1845 SF / 500 = 3.69 SPACES REQUIRED PER MONTEREY COUNTY ORDINANCE  
 PROPOSED PARKING : 13 SPACES  
 GENERAL PUBLIC ACCESSIBLE : 13 SPACES  
 SPACES PROVIDED = 13 SPACES

**SHEET INDEX**

- A1.0 SITE PLAN
- C1.0 GRADING PLAN
- A2.0 FLOOR PLAN
- A3.0 EXTERIOR ELEVATIONS
- A4.0 BUILDING SECTIONS

SITE LIMITED TO 20 EMPLOYEES PER ACRE PER HEALTH DEPT. SEPTIC REQUIREMENTS.



REVISION	DATE	BY
1	01-08-2006	

DATE: 2-13-2008

**AUSONIO**  
 CIVIL ENGINEER  
 1845 COMMERCIAL PARKWAY, CASTROVILLE, CA 95002  
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SHEET TITLE  
**SITE PLAN**

PROJECT  
 PROPOSED BUILDING FOR:  
**THE CABINET SHOP**  
 1845 COMMERCIAL PARKWAY,  
 CASTROVILLE, CALIFORNIA 95002  
 CAP. 103-103-0770 BSHL 6233-3371

SCALE AS NOTED

DRAWN SURESH

JOS#05012

SHEET  
**A1.0**  
 OF SHEETS

**SITE PLAN**  
 1/16"=1' 0"

