

MIKE NOVO  
ZONING ADMINISTRATOR

COUNTY OF MONTEREY  
STATE OF CALIFORNIA

RESOLUTION NO. 050163

A. P. # 423-251-021-000

In the matter of the application of  
**Gary & Karen J. Gowdy (PLN050163)**

**FINDINGS AND DECISION**

to allow a **Combined Development Permit** in accordance with Title 21 (Zoning) Chapter 21.76 (Combined Development Permits) of the Monterey County Code, consisting of: 1) an Administrative Permit for a 952 sq. ft. electrical trade shop; 2) a Use Permit for an attached second-story 884 sq. ft. residential unit, and a tree removal permit to remove two oak trees. The property is located at 55295 Stern Street (Lot 8), Bradley, off of New Pleyto and Jolon Roads, South County Area, and came on regularly for meeting before the Zoning Administrator on June 29, 2006.

Said Zoning Administrator, having considered the application and the evidence presented relating thereto,

**FINDINGS OF FACT**

**1. FINDING:** The Project, as conditioned is consistent with applicable plans and policies, of the Monterey County General Plan, South County Area Plan, and the Monterey County Zoning Ordinance (Title 21) which designates this area appropriate for heavy commercial and residential uses. Specifically, the proposed electrical shop and residence is consistent with Title 21, Section 21.20.050(D) (shops for tradesmen) and 21.20.60(R) (limited residential use). The Project is located at 55295 Stern Street (Lot 8), Bradley (Assessor's Parcel Number 423-251-021-000), off of New Pleyto and Jolon Roads.

- EVIDENCE:**
- a) The project is a 952 sq. ft. electrical contractor's shop and garage on the first floor and an 884 sq. ft. residence above. Although the parcel is larger than one acre (2.75 acres) a General Development Plan was waived, consistent with Section 21.18.030(E). The applicant only proposes a single commercial use and has no plans for future development on the site. For a residence in the Heavy Commercial zoning district, the gross square footage of the residential use cannot not exceed that of the commercial use (Section 21.20.060(R)).
  - b) The project planner and grading inspector conducted a site visit on 11/17/05 and 12/2/05. After the site visit the applicant revised the plans to relocate the structure out of the 30% slope area.
  - c) Staff has reviewed the project as contained in the application (PLN050163) and accompanying materials for consistency with the General Plan and the South County Area Plan.
  - d) The application, plans, and support materials submitted by the project applicant to the Monterey county planning and Building Inspection

Department for the proposed development, found in Project File PLN050163.

**3. FINDING: SITE SUITABILITY** - The site is suitable for the use proposed.

- EVIDENCE:**
- a) The project has been reviewed for suitability by Planning and Building Inspection, Public Works, Water Resources Agency, Environmental Health, and the CDF South County Fire District. Recommended Conditions of Approval have been incorporated into the project. Adequate sewer and water service exists or can be provided, and adequate road and transportation facilities exist for the use.
  - b) The surrounding properties to the north, east and south are also zoned Heavy Commercial, and the property to the west is zoned "LDR/1" (Low-Density Residential, one unit per acre). The adjacent uses are primarily outdoor boat and recreation vehicle storage with no retail development. This project is a low-intensity commercial shop, not open to the public with no need for customer parking or signage. The site coverage is less than 1% site coverage. The adjacent parcel to the west is low-density residential with no other residences visible or close by.
  - c) Staff conducted an on-site visit on November 17, 2005 to verify that the site is suitable for this use. The grading inspector conducted a site visit on 12/03/05 to explore an alternative site to exclude development on 30% slope and to minimize tree removal.

**4. FINDING: CEQA** - The project is exempt from environmental review.

- EVIDENCE:**
- a) CEQA Guidelines Section 15303 Class 3(c) exempts small facilities or structures; installation of equipment or facilities in small structures less than 2,500 sq. ft.
  - b) The parcel is in a "high" archaeological resources designation. An archaeological report concluded that there was no surface evidence of archaeological resources on the site and the standard stop work condition is included (Condition No. 6).
  - c) The application, plans, and support materials submitted by the project applicant to the Monterey County Planning and Building Inspection Department for the proposed development, found in Project File PLN050163.

**5. FINDING: NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision and any other applicable provisions of the County's zoning ordinance. No violations exist on the property. Zoning violation abatement cost, if any, have been paid.

**EVIDENCE:** Staff reviewed Monterey County Planning and Building Inspection Department records and is not aware of any violations existing on subject property.

**6. FINDING: HEALTH AND SAFETY** - The establishment, maintenance or operation of the project applied for will not under the circumstances of this particular case, be detrimental to the health, safety, peace, morals, comfort, and general

welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

**EVIDENCE:** Preceding findings and supporting evidence.

7. **FINDING: CONSISTENCY –TREE ORDINANCE** - The Project, as conditioned is consistent with applicable plans and policies, the Monterey County Zoning Ordinance (Title 21), Section 21.64.260, Preservation of Oaks and Protected Trees.

**EVIDENCE:** (a) Two protected oak trees will be required to be removed (an 11” oak and one 12” oak). The applicant sited the structure to minimize tree removal and to fit in to the hilly topography. The site is constricted as a large portion of the lot is in a scenic easement because of 30% slope. Relocation or replacement of trees is required on a one-one ratio (Condition No. 8).  
b) The removal will not have an adverse risk of environmental impacts to soil, erosion, water quality, ecological impacts, noise, air movement or wildlife habitat. The development is low-intensity and covers less than 1% of the parcel. There are other oaks on the site that will be protected and preserved.  
c) The project planner conducted an on-site inspection on November 17, 2005 to verify that the project on the subject parcel conforms to the plans listed above. The grading inspector conducted a site visit on December 3, 2005 to explore an alternative site to exclude development on 30% slope and to minimize tree removal.

8. **FINDING: APPEALABILITY** - The decision on this project is appealable to the Planning Commission.

**EVIDENCE:** Section 21.80.040(B) of the Monterey County Zoning Ordinance (Title 21).

### DECISION

It is the decision of the Zoning Administrator of the County of Monterey that said application for a Combined Development Permit be granted as shown on the attached sketch and subject to the attached conditions.

**PASSED AND ADOPTED** this 29th day of June, 2006.

  
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MIKE NOVIO, ZONING ADMINISTRATOR

COPY OF THIS DECISION MAILED TO APPLICANT ON **JUL 03 2006**

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY TO THE MONTEREY COUNTY PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE JUL 13 2006

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90<sup>th</sup> day following the date on which this decision becomes final.

#### NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning and Building Inspection Department office in Salinas.

2. This permit expires 2 years after the above date of granting thereof unless construction or use is started within this period.

Monterey County Planning and Building Inspection  
Condition Compliance and/or Mitigation Monitoring  
Reporting Plan

Project Name: GOWDY

File No: PLN050163

APN: 423-251-021-000

Approval by: Zoning Administrator  
 2006

Date: June 29,

*\*Monitoring or Reporting refers to projects with an EIR or adopted Mitigated Negative Declaration per Section 21081.6 of the Public Resources Code.*

| Permit<br>Cond.<br>Number | Mitig.<br>Number | Conditions of Approval and/or Mitigation<br>Measures and Responsible Land Use Department   | Compliance or Monitoring<br>Actions<br>to be performed. Where<br>applicable, a certified<br>professional is required for action<br>to be accepted. | Responsible Party<br>for<br>Compliance | Timing  | Verification<br>of<br>Compliance<br>(name/date) |
|---------------------------|------------------|--|--|--|---------|---|
| 1.                        |                  | <b>PBD029 - SPECIFIC USES ONLY</b><br>Combined Development Permit ( <b>PLN050163 GOWDY</b> ) consisting of: 1) an Administrative Permit for a 952 sq. ft. electrical trade shop; 2) a Use Permit for an attached second-story 884 sq. ft. residential unit, and a Tree Removal Permit to remove two protected oak trees on a 2.75 acre parcel. Proposed grading is 387 cubic yards and fill is 343 cubic yards. This permit was approved in accordance with County ordinances and land use regulations subject to the following terms and conditions. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Zoning Administrator and Building Inspection. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. ( <b>Planning and Building Inspection</b> ) | Adhere to the conditions and uses specified in the permit.   | Owner/<br>Applicant                    | Ongoing |   |

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| 2. | <p><b>PBD025 - NOTICE-PERMIT APPROVAL</b><br/> The applicant shall record a notice which states: "A Use Permit (Resolution 050163) was approved by the Zoning Administrator for Assessor's Parcel Number 423-251-021-000 on June 29, 2006. The permit was granted subject to 21 conditions of approval which run with the land. A copy of the permit is on file with the Monterey County Planning and Building Inspection Department."<br/> Proof of recordation of this notice shall be furnished to the Director of Planning and Building Inspection prior to issuance of building permits or commencement of the use. <b>(Planning and Building Inspection)</b></p> | Proof of recordation of this notice shall be furnished to PBI.            | Owner/<br>Applicant | Prior to Issuance of grading and building permits or start of use |  |
| 3. | <p><b>PBD014 - GRADING-WINTER RESTRICTION</b><br/> No land clearing or grading shall occur on the subject parcel between October 15 and April 15 unless authorized by the Director of Planning and Building Inspection. <b>(Planning and Building Inspection)</b></p>  | None  | Owner/<br>Applicant | Ongoing   |  |
| 4. | <p><b>PBD021 – LIGHTING – EXTERIOR LIGHTING PLAN</b><br/> All exterior lighting shall be unobtrusive, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The applicant shall submit 3 copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The exterior lighting plan shall be subject to approval by the Director of Planning and Building Inspection, prior to the issuance of building permits. <b>(Planning and Building Inspection)</b></p>                  | Submit three copies of the lighting plans to PBI for review and approval. | Owner/<br>Applicant | Prior to issuance of building permits                             |  |

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| 5. | <p><b>PBD026 – NOTICE OF REPORT</b></p> <p>1) Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states: "A Geotechnical Engineering report has been prepared for this parcel by Mid-Coast Geotechnical Inc., dated January 18, 2005, and is on record in the Monterey County Planning and Building Inspection Department Library No. LIB050743. All development shall be in accordance with this report."</p> <p>2) Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states: "An Archaeological Reconnaissance report has been prepared for this parcel by Archaeological Consulting., dated November 28, 2005, and is on record in the Monterey County Planning and Building Inspection Department Library No. LIB050743. All development shall be in accordance with this report."</p> <p><b>(Planning and Building Inspection)</b></p> | Proof of recordation of this notice shall be furnished to PBI.  | Owner/<br>Applicant                   | Prior to issuance of grading and building permits |  |
| 6. | <p><b>PBD030 - STOP WORK - RESOURCES FOUND</b></p> <p>If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. The Monterey County Planning and Building Inspection Department and a qualified archaeologist (i.e., an archaeologist registered with the Society of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.</p> <p><b>(Planning and Building Inspection)</b></p>   | Stop work within 50 meters (165 feet) of uncovered resource and contact the Monterey County Planning and Building Inspection Department and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery. | Owner/<br>Applicant/<br>Archaeologist | Ongoing   |  |

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|    | <p><b>PBD018(B) - LANDSCAPE PLAN AND MAINTENANCE (OTHER THAN SINGLE FAMILY DWELLING)</b></p> <p>The site shall be landscaped. At least 60 days prior to occupancy, three (3) copies of a landscaping plan shall be submitted to the Director of Planning and Building Inspection for approval. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping. The landscaping shall be installed and inspected prior to occupancy. All landscaped areas and/or fences shall be continuously maintained by the applicant and all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. <b>(Planning and Building Inspection)</b></p> | <p>Submit landscape plans and contractor's estimate to PBI for review and approval.</p>  | <p>Owner/<br/>Applicant/<br/>Contractor</p>                   | <p>At least 60 days prior to final inspection or occupancy</p>      |  |
|    |   | <p>All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.</p> | <p>Owner/<br/>Applicant</p>                                   | <p>Ongoing</p>  |  |
| 7. | <p><b>PBD032(A) - TREE PROTECTION</b></p> <p>Trees which are located close to the construction site(s) shall be protected from inadvertent damage from construction equipment by wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip line of the retained trees. Said protection shall be demonstrated prior to issuance of building permits subject to the approval of the Director of Planning and Building Inspection. <b>(Planning and Building Inspection)</b></p>  | <p>Submit evidence of tree protection to PBI for review and approval.</p>  | <p>Owner/<br/>Applicant</p>                                   | <p>Prior to issuance of grading and building permits</p>            |  |
| 8. | <p><b>EH11 - SEPTIC SYSTEM DESIGN</b></p> <p>Submit plans for review and approval showing the location and design of the proposed septic system meeting the standards found in Chapter 15.20 of the Monterey County Code (Septic Ordinance) and "Prohibitions", Central Coast Basin Plan, RWQCB. <b>(Environmental Health)</b></p>  | <p>Division of Environmental Health must approve plans. Applicant shall obtain a permit to install the septic system.</p>  | <p>CA<br/>Licensed<br/>Engineer<br/>/Owner/<br/>Applicant</p> | <p>Prior to filing the final parcel map or issuance of building</p> |  |



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| 9.  | <p><b>WR45 - WELL INFORMATION</b><br/> The applicant shall provide the Water Resources Agency information on the well to serve the project including a map showing the well location and any available well logs/e-logs. <b>(Water Resources Agency)</b></p>  | Submit all applicable well information to the Water Resources Agency for review and approval. | Owner/<br>Applicant | Prior to issuance of any grading or building permits |  |
| 10. | <p><b>WR40 - WATER CONSERVATION MEASURES</b><br/> The applicant shall comply with Ordinance No. 3932, or as subsequently amended, of the Monterey County Water Resources Agency pertaining to mandatory water conservation regulations. The regulations for new construction require, but are not limited to:<br/> a. All toilets shall be ultra-low flush toilets with a maximum tank size or flush capacity of 1.6 gallons, all shower heads shall have a maximum flow capacity of 2.5 gallons per minute, and all hot water faucets that have more than ten feet of pipe between the faucet and the hot water heater serving such faucet shall be equipped with a hot water recirculating system.<br/> b.Landscape plans shall apply xeriscape principles, including such techniques and materials as native or low water use plants and low precipitation sprinkler heads, bubblers, drip irrigation systems and timing devices.<br/> <b>(Water Resources Agency)</b></p> | Compliance to be verified by building inspector at final inspection.                          | Owner/<br>Applicant | Prior to final building inspection/occupancy         |  |

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| 11. | <p><b>FIRE007 - DRIVEWAYS</b><br/>         Driveways shall not be less than 12 feet wide unobstructed, with an unobstructed vertical clearance of not less than 15 feet. The grade for all driveways shall not exceed 15 percent. Where the grade exceeds 8 percent, a minimum structural roadway surface of 0.17 feet of asphaltic concrete on 0.34 feet of aggregate base shall be required. The driveway surface shall be capable of supporting the imposed load of fire apparatus (22 tons), and be accessible by conventional-drive vehicles, including sedans. For driveways with turns 90 degrees and less, the minimum horizontal inside radius of curvature shall be 25 feet. For driveways with turns greater than 90 degrees, the minimum horizontal inside radius curvature shall be 28 feet. For all driveway turns, an additional surface of 4 feet shall be added. All driveways exceeding 150 feet in length, but less than 800 feet in length, shall provide a turnout near the midpoint of the driveway. Where the driveway exceeds 800 feet, turnouts shall be provided at no greater than 400-foot intervals. Turnouts shall be a minimum of 12 feet wide and 30 feet long with a minimum of 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall long with a minimum 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall be located within 50 feet of the primary building. The minimum turning radius for a turnaround shall be 40 feet from the center line of the driveway. If a hammerhead/T is used, the top of the "T" shall be a minimum of 60 feet in length.<br/> <b>(CDF South County Fire Department)</b></p> | <p>Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.</p> | Applicant/<br>Owner | Prior to issuance of grading and/or building permit |  |
|     |  | <p>Applicant shall schedule fire dept. clearance inspection</p>  | Applicant /Owner    | Prior to final building inspection                  |  |
| 12. | <p><b>FIRE011 - ADDRESSES FOR BUILDINGS</b><br/>         All buildings shall be issued an address in accordance with Monterey County Ordinance No. 1241. Each occupancy, except accessory buildings, shall have its own permanently posted address. When multiple</p>  | <p>Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.</p> | Applicant or owner  | Prior to issuance of building permit.               |  |

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|     | occupancies exist within a single building, each individual occupancy shall be separately identified by its own address. Letters, numbers and symbols for addresses shall be a minimum of 4-inch height, 1/2-inch stroke, contrasting with the background color of the sign, and shall be Arabic. The sign and numbers shall be reflective and made of a noncombustible material. Address signs shall be placed at each driveway entrance and at each driveway split. Address signs shall be and visible from both directions of travel along the road. In all cases, the address shall be posted at the beginning of construction and shall be maintained thereafter. Address signs along one-way roads shall be visible from both directions of travel. Where multiple addresses are required at a single driveway, they shall be mounted on a single sign. Where a roadway provides access solely to a single commercial occupancy, the address sign shall be placed at the nearest road intersection providing access to that site. Permanent address numbers shall be posted prior to requesting final clearance. <b>CDF South County Fire District.</b> | Applicant shall schedule fire dept. clearance inspection  | Applicant or owner | Prior to final building inspection                   |  |
| 13. | <b>FIRE014 - EMERGENCY WATER STANDARDS - FIRE PROTECTION WATER SUPPLY - (SINGLE PARCEL)</b><br>For development of structures totaling less than 3,000 square feet on a single parcel, the minimum fire protection water supply shall be 20,000 gallons. For   | Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans. | Applicant or owner | Prior to issuance of grading and/or building permit. |  |

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|     |  | development of structures totaling 3,000 square feet or more on a single parcel, the minimum fire protection water supply shall be 9,800 gallons. For development of structures totaling more than 10,000 square feet on a single parcel, the reviewing authority may require additional fire protection water supply. Other water supply alternatives, including ISO Rural Class 8 mobile water systems, may be permitted by the fire authority to provide for the same practical effect. The quantity of water required by this condition shall be in addition to the domestic demand and shall be permanently and immediately available. <b>CDF South County Fire District.</b>   | Applicant shall schedule fire dept. clearance inspection  | Applicant or owner | Prior to final building inspection                  |  |
| 14. |  | <b>FIRE015 - FIRE HYDRANTS/FIRE VALVES</b><br>A fire hydrant or fire valve is required. The hydrant or fire valve shall be 18 inches above grade, 8 feet from flammable vegetation, no closer than 4 feet nor further than 12 feet from a roadway, and in a location where fire apparatus using it will not block the roadway. The hydrant serving any building shall be not less than 50 feet and not more than 1000 feet by road from the building it is to serve. Minimum hydrant standards shall include a brass head and valve with at least one 2 1/2 inch National Hose outlet supplied by a minimum 4 inch main and riser. More restrictive hydrant requirements may be applied by the Reviewing Authority. Each hydrant/valve shall be identified with a reflectorized blue marker, with minimum dimensions of 3 inches, located on the driveway address sign, non-combustible post or fire hydrant riser. If used, the post shall be within 3 feet of the hydrant/valve, with the blue marker not less than 3 feet or greater than 5 feet above the ground, visible from the driveway. On paved roads or driveways, reflectorized blue markers shall be permitted to be installed in accordance with the State Fire Marshal's Guidelines for Fire Hydrant Markings along | Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans. | Applicant/ Owner   | Prior to issuance of grading and/or building permit |  |

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|     |  | State Highways and Freeways, May 1988. (CDF South County Fire District)   | Applicant shall schedule fire dept. clearance inspection  | Applicant/ Owner   | Prior to final building inspection                   |  |
| 15. |  | <b>FIRE016 - SETBACKS</b><br>All parcels 1 acre and larger shall provide a minimum 30-foot setback for new buildings and accessory buildings from all property lines and/or the center of the road. For parcels less than 1 acre, alternate fuel modification standards or other requirements may be imposed by the local fire jurisdiction to provide the same practical effect. (CDF South County Fire District)  | Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans. | Applicant or owner | Prior to issuance of grading and/or building permit. |  |
|     |  |   | Applicant shall schedule fire dept. clearance inspection  | Applicant or owner | Prior to final building inspection                   |  |
| 16. |  | <b>FIRE019 - DEFENSIBLE SPACE REQUIREMENTS - (STANDARD)</b><br>Remove combustible vegetation from within a minimum of 30 feet of structures. Limb trees 6 feet up from ground. Remove limbs within 10 feet of chimneys. Additional and/or alternate fire protection or firebreaks approved by the fire authority may be required to provide reasonable fire safety. Environmentally sensitive areas may require alternative fire protection, to be determined by Reviewing Authority and the Director of Planning and Building Inspection. (CDF South County Fire District) | Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans. | Applicant or owner | Prior to issuance of grading and/or building permit. |  |
|     |  |   | Applicant shall schedule fire dept. clearance inspection  | Applicant or owner | Prior to final building inspection                   |  |

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| 17. | <p><b>FIRE020 - DEFENSIBLE SPACE REQUIREMENTS (HAZARDOUS CONDITIONS)</b><br/> Remove combustible vegetation as required by the fire district. Limb trees 6 feet up from ground. Remove limbs within 10 feet of chimneys. Additional fire protection or firebreaks approved by the Reviewing Authority may be required to provide reasonable fire safety. Environmentally sensitive areas may require alternative fire protection, to be determined by Reviewing Authority and the Director of Planning and Building Inspection. <b>(CDF South County Fire District)</b></p>  | <p>Contact the fire district for the current required distance from structures. Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.</p> | <b><u>Applicant / Owner</u></b> | Prior to issuance of grading and/or building permit |  |
|     |  | <p>Applicant shall schedule fire dept. clearance inspection</p>   | Applicant/ Owner                | Prior to final building inspection                  |  |
| 18. | <p><b>FIRE021 - FIRE PROTECTION EQUIPMENT &amp; SYSTEMS - FIRE SPRINKLER SYSTEM (STANDARD)</b><br/> The building(s) and attached garage(s) shall be fully protected with automatic fire sprinkler system(s). Installation shall be in accordance with the applicable NFPA standard. A minimum of four (4) sets of plans for fire sprinkler systems must be submitted by a California licensed C-16 contractor and approved prior to installation. This requirement is not intended to delay issuance of a building permit. A rough sprinkler inspection must be scheduled by the installing contractor and completed prior to requesting a framing inspection. <b>(CDF South County Fire District)</b></p> | <p>Applicant shall enumerate as "Fire Dept. Notes" on plans.</p>  | Applicant or owner              | Prior to issuance of building permit                |  |
|     |  | <p>Applicant shall schedule fire dept. clearance inspection</p>   | Applicant or owner              | Prior to final building inspection                  |  |
| 19. | <p><b>FIRE025 - SMOKE ALARMS – (SINGLE FAMILY DWELLING)</b><br/> Where a household fire warning system or combination fire/burglar alarm system is installed in lieu of single-station smoke alarms required by the Uniform Building Code the alarm panel shall be required to be placarded as permanent building equipment. <b>(CDF South County Fire District)</b></p>   | <p>Applicant shall enumerate as "Fire Dept. Notes" on plans.</p>  | Applicant or owner              | Prior to issuance of building permit                |  |
|     |  | <p>Applicant shall schedule fire dept. clearance inspection.</p>  | Applicant or owner              | Prior to final building inspection                  |  |

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| 20. |  | <b>FIRE026 - ROOF CONSTRUCTION (STANDARD)</b><br>All new structures, and all existing structures receiving new roofing over 50 percent or more of the existing roof surface within a one-year period, shall require a minimum of ICBO Class B roof construction. (CDF South County Fire District) | Applicant shall enumerate as "Fire Dept. Notes" on plans.   | Applicant or owner | Prior to issuance of building permit |  |
| 21. |  | <b>FIRE 30 NON-STANDARD CONDITIONS</b><br>Install and main 20,000 gallons of water storage for fire protection.<br>(CDF South County Fire District)   | Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans. | Applicant or owner | Prior to issuance of building permit |  |

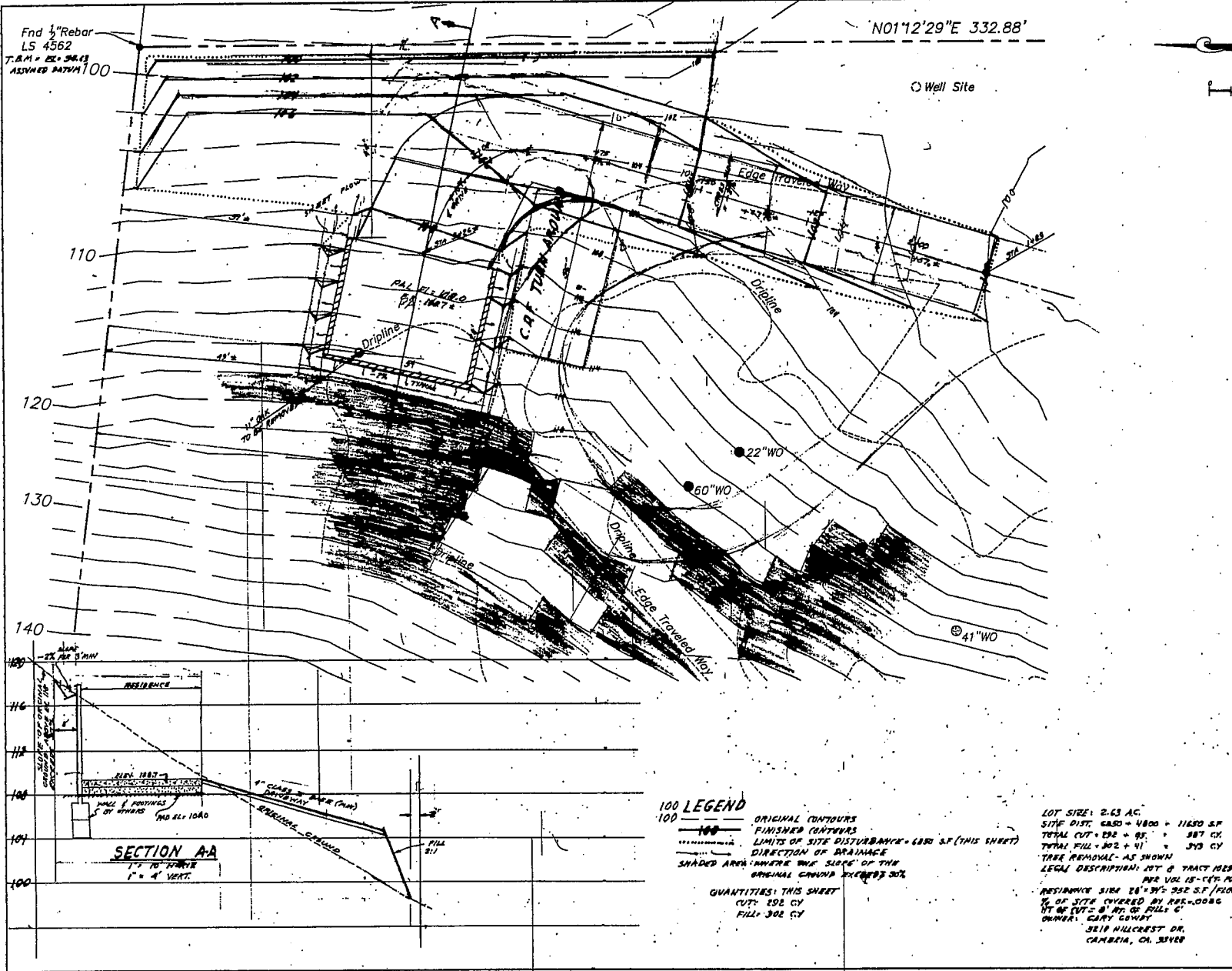
END OF CONDITIONS

W 440-724

N01°22'29"E 332.88'

Fnd 1/2" Rebar  
LS 4562  
T.B.M. = 52.0 26.43  
ASSUMED DATUM 100

Well Site



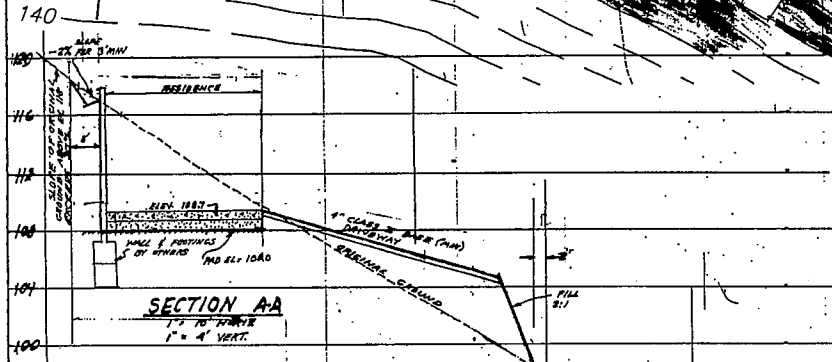
- NOTES & SPECIFICATIONS**
1. Finish grade shall be 2% minimum away from building for 8'-0" horizontal distance 1'-12"
  2. All cut and fill slopes shall be no steeper than 2 horizontal to 1 vertical.
  3. Provide gutters and downspouts throughout and direct into an appropriate and suitable.
  4. All disturbed slopes shall be landscaped or replanted with native grasses or soon as possible after grading.
  5. See topographical survey by a licensed civil engineer for additional information on which this plan and grading plan is based.
  6. All vegetation including trees, shrubs, rubber, weeds, grass, and all soil containing deleterious matter such as roots, shall be staked and removed from the structure site and in the free to receive fill and existing soil shall be sorted prior to receiving fill with approval by soils engineer.
  7. If any unexpected underground conditions are encountered including materials other than native soil, rock of bedrock, buried structures, or underground water, the contractor shall immediately notify the soils engineer and prohibit shall be called out to site for possible additional recommendations at that time.
  8. Areas under the house and paved areas shall be specified to a minimum depth of 12" moisture conditioned to meet 2X over optimum moisture content and reconstructed to at least 90% of maximum density (ASTM D1557-11); the top 2" of subgrade soil under pavements shall be compacted to a minimum relative density of 90%.
  9. See preliminary soils investigation by soils engineer.
  10. All electrical, telecommunication, and other utilities shall be located in an approved method of construction underground.
  11. Provide backfill over an approved method when the proposed building features have flood time located below the elevation of next upstream structure lower.
  12. Soil cuts over 8'-0" in depth require an OSHA permit.
  13. Provide main sewer lateral elevated 2'-0" from building as per UPC 719.0 and additional measures necessary to access system.
  14. It is the responsibility of the contractor to verify the location of all underground utilities.
  15. It is the owner's responsibility to verify lot lines. Prior to foundation inspection the lot corners shall be staked and setback marked by a licensed professional.
  16. Prior to other roof not in framing inspection a licensed surveyor is required to measure the height of the structure and submit a letter to the building inspector, certifying that the height of the structure is in accordance with the approved plans and complies with the height requirements of the local code.
  17. Refer to soils report recommendations for site preparation grading and soil testings on the project. Soils testing for compaction of soils and footing preparation are required.
  18. A letter to letter from soils engineer or geologist is shall be submitted prior to retaining foundation location which states that the building has been graded and prepared in accordance with the approved soils report (USC Sec 15042 & Appendix, Sec 3309.3)
  19. Downspout design shall be minimum slope of 1/4% serving residential.
  20. USC 33113 DISPOSAL: All drainage facilities shall be designed to carry water to the nearest available drainage way approved by the building official or other appropriate jurisdiction as a safe means to deposit such water. Erosion or ground in the area of discharge shall be prevented by location of nonerodeable drains or other devices.
  21. USC 33114 DISPOSAL: All drainage pipes shall have a drainage gradient of 2% toward approved drainage facilities, unless waived by the building official.
  22. Soil preparation, site grading, and/or footing excavations are to be observed by the geotechnical engineer of engineering geologist of record during grading operations. The engineer shall verify the work as being done in accordance with the approved recommendations or revised recommendations. If necessary, the approved recommendations or revised recommendations, if necessary, prior to installation of the building foundation. (USC 1701)
  23. Sedimentation and erosion control measures, as approved by the Building Official, shall be in place between the dates of October 15th through April 15th where grading may affect off-the-property. Should these measures not be in place no inspections will be given until measures are implemented. (USC 33118)
- M. A. KILGUS ENGINEER

**Notes**  
Horizontal Datum per a field survey  
Vertical Datum is assumed

**100 LEGEND**  
100 ORIGINAL CONTOURS  
100 FINISHED CONTOURS  
LIMITS OF SITE DISTURBANCE - 6800 SF (THIS SHEET)  
DIRECTION OF DRAINAGE  
SHADED AREA WHERE THE SLOPE OF THE ORIGINAL GROUND EXCEEDS 30%

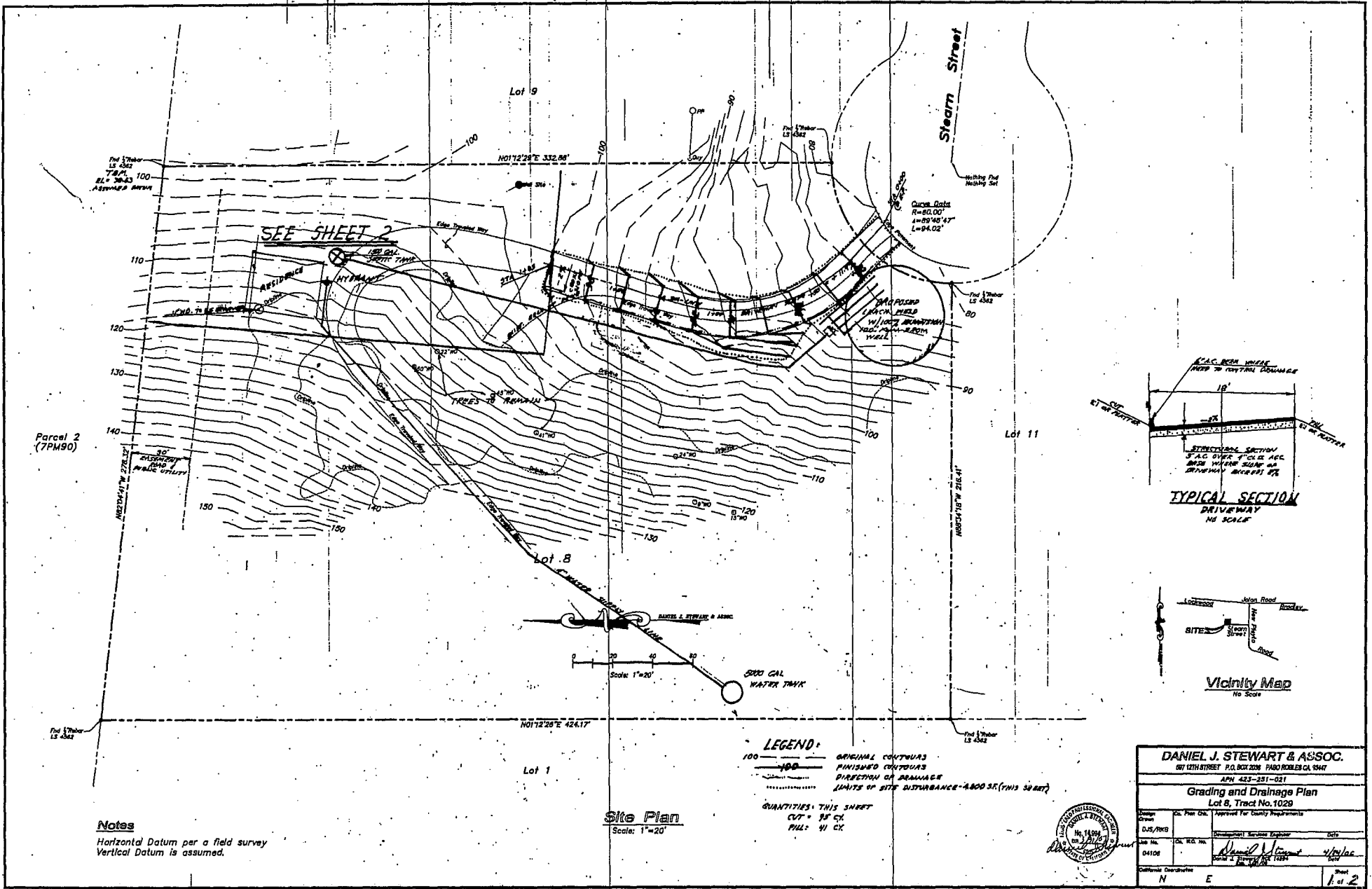
QUANTITIES: THIS SHEET  
CUT: 432 CY  
FILL: 302 CY

LOT SIZE: 2.43 AC.  
SITE DIST. CASO = 4800 + 11620 SF  
TOTAL CUT = 432 + 91 = 523 CY  
TOTAL FILL = 302 + 41 = 343 CY  
TERR. REMOVAL - AS SHOWN  
LEGAL DESCRIPTION: 1/4 & TRACT 128  
% OF SITE COVERED BY RES. = 24.7%  
RESURFACE SIDE 28' BY 5' 252 SF / FLOOR  
CUT = 8' HZ OF FILL 'C'  
OWNER: GARY GOWEN  
3818 HILLCREST DR.  
CAMBRIDGE, CA. 95925



|                            |  |                                     |                                  |
|----------------------------|--|-------------------------------------|----------------------------------|
| DANIEL J. STEWART & ASSOC. |  | P.O. BOX 2038 PASO ROBLES CA. 93447 |                                  |
| 587 12TH STREET            |  | APN 423-251-021                     |                                  |
| Grading and Drainage Plan  |  |                                     |                                  |
| Lot 8, Tract No. 1029      |  |                                     |                                  |
| Drawn                      | Chk. By  | App. By                             | Approved For County Requirements |
| DJS/RSB                    |  |                                     |                                  |
| Job No.                    | City   | State                               | Date                             |
| 04106                      | CA   | 93447                               |                                  |
| California Coordinates     | Daniel J. Stewart & Assoc. 15884<br>10/17/2025 |                                     | Sheet<br>2 of 2                  |





**Notes**

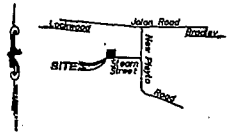
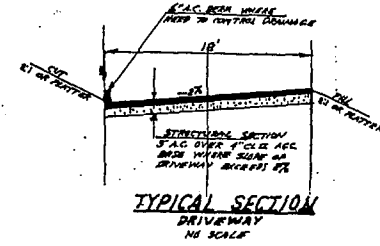
Horizontal Datum per a field survey  
Vertical Datum is assumed.

**Site Plan**

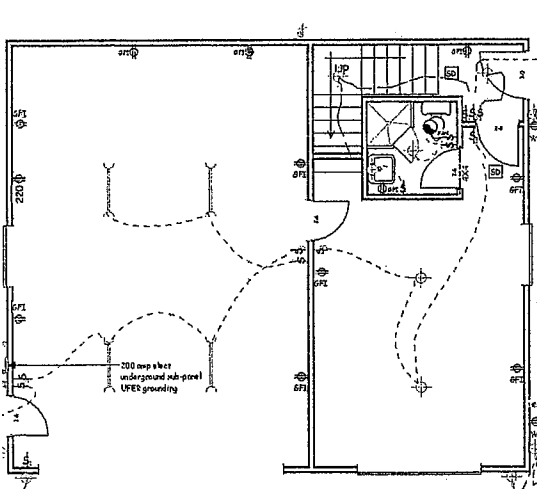
Scale: 1"=20'

**LEGEND:**

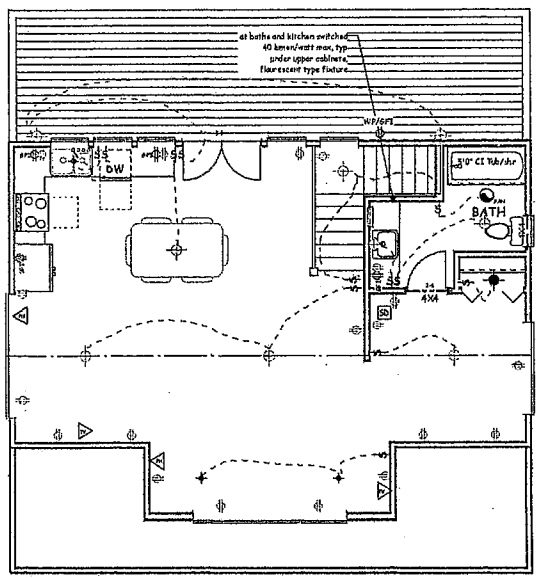
- 100 ORIGINAL CONTOURS
- 100 FINISHED CONTOURS
- DIRECTION OF DRAINAGE
- QUANTITIES THIS SHEET
- CUT = 35' CY
- FILL = 41' CY



|  |                             |   |                 |
|--|-----------------------------|---|-----------------|
| <b>DANIEL J. STEWART &amp; ASSOC.</b>              |                             |   |                 |
| 607 12TH STREET P.O. BOX 2026 PASO ROBLES CA 94242 |                             |   |                 |
| APN 423-291-021                                    |                             |   |                 |
| <b>Grading and Drainage Plan</b>                   |                             |   |                 |
| Lot 8, Tract No. 1029                              |                             |   |                 |
| Drawn<br>D.J.S./RKB                                | Ch. Print Chk.<br>4/15/2013 | Approved For County Requirements  | Date            |
| Scale No.<br>04100                                 | Ch. R.S. No.<br>1029        | Professional Seal<br>Daniel J. Stewart<br>Professional Engineer<br>No. 11094<br>Exp. 12/31/14 | Date<br>4/15/13 |
| Customer Description<br>N E                        | Sheet<br>1 of 2             |   |                 |



LOWER FLOOR ELECT/MECH 1/4"=1'



UPPER FLOOR ELECT/MECH 1/4"=1'

**ELECTRICAL/MECH/PLUMB KEY**

- Light
- Smoke Detector
- Telephone
- Television
- Switch
- 3-Way Switch
- Ceiling Fan
- Flush Can Light
- Vent Fan
- Rain Light
- Electrical Panel
- Floor Drain
- Faucet
- Return Air
- Hose Bib
- Gas Valve

**PLUMBING**

1. SHOWER STALLS AND TUB ENCLOSURES MUST CONFORM TO THE REQUIREMENTS OF UPC 909.1024.52, JACO (THIS INCLUDES 2" x 2")
2. WATER HEATER SHALL BE PROVIDED WITH A TEMPERATURE AND PRESSURE RELIEF VALVE HAVING A FULL SIZE DRAIN OF GALVANIZED STEEL OR HARD DRAWN COPPER TO THE OUTSIDE OF THE BUILDING WITH THE END OF THE PIPE NOT MORE THAN 2 FEET OR LESS THAN 6" ABOVE THE GRADE AND POINTING DOWN
3. GAS PIPING SHALL NOT BE INSTALLED IN OR ON THE GROUND, UNDER ANY STRUCTURE OR BUILDING. ALL EXPOSED GAS PIPING SHALL BE AT LEAST SIX INCHES ABOVE GRADE OR STRUCTURE UNLESS IN SEALED CONDUIT APPROVED FOR UNDERGROUND USE, SCHED 40 MN, W/ MIN 1/2" GREATER I.D. THAN THE GAS PIPE O.D. THE CONDUIT MUST BE SEALED AROUND THE PIPE IN THE BLDG AND MUST EXTEND TO THE OUTSIDE OF THE BLDG. PER SEC 1113 UNDERGROUND METAL GAS PIPE MUST BE ELECTRICALLY ISOLATED FROM INTERIOR GAS PIPE BY AN APPROVED ISOLATION FITTING INSTALLED AT LEAST 6" ABOVE GRADE.
4. NEW AND REPLACED TOILETS TO BE ULTRA LOW FLOW 1.6 gal per flush. ALL TOILETS TO BE REPLACED IF EXISTING LOWFLOW AREA IS INCREASED BY MORE THAN 20%.
5. USE CAST IRON FOR WASTE AND VENT PIPINGS. (AT PLUMB CODE 401(a) (3), 402 (a) (3))
6. PROVIDE CLEANOUT 2 FEET AWAY FROM THE BUILDING AT CONNECTION OF THE BLDG DRAIN AND THE BLDG SEWER. EXTEND CLEANOUT TO GRADE. UPC SEC 1007
7. PROVIDE NON-REMOVABLE TYPE BACKFLOW DEVICES FOR HOSE BIBS AND LAWN HYDRANTS. UPC SEC 1003
8. WATER HEATER VENT TO TERMINATE ONE FOOT ABOVE ROOF IT PASSES THROUGH, AND 4 FEET AWAY FROM ANY PORTION OF ROOF WHICH
9. WATER PRESSURE SHALL BE LIMITED TO 80 PSI OR LESS. INSTALL PRESSURE REGULATOR. UPC 408.2 THE 2017/14
10. SHOWER HEAD FLOW NOT TO EXCEED 2.5 GAL/MIN @ 40PSI LAVATORY & OTHER SINK FLOW NOT TO EXCEED 2.2 GAL/MIN @ 40PSI
11. HOT WATER RECIRCULATING SYSTEMS ARE PROHIBITED IN THE AREAS SERVED BY THE CAMBRIA WATER DISTRICT (CWD)

**NOTE TO ELECTRICIAN**

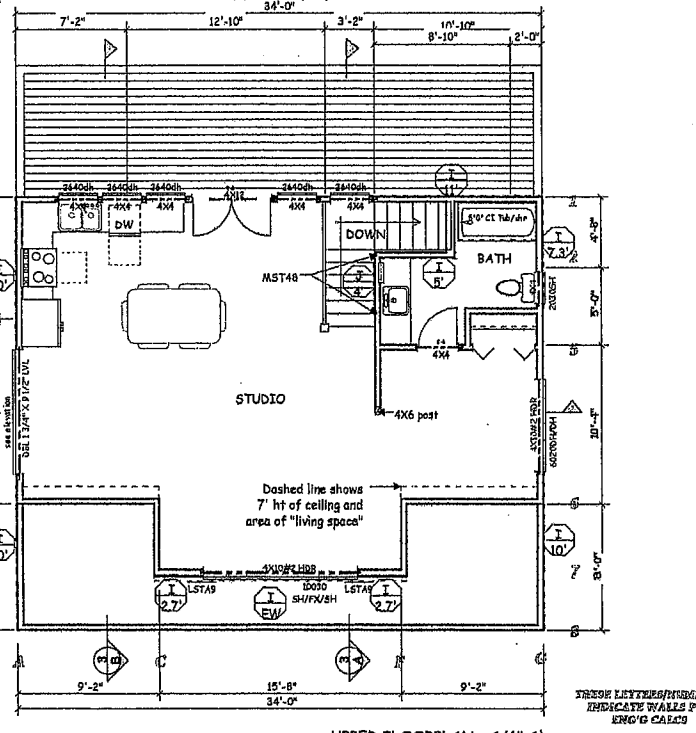
1. PRIOR TO ROUGH, DO WALK-THROUGH WITH OWNER FOR EXACT LOCATIONS FOR FIXTURES
2. BID TO INCLUDE DOOR BELL & OTHER STANDARD ITEMS. VERIFY WITH OWNER IF QUESTIONS.
3. 200 AMP ELEC SVC W/ UFER GROUNDING PER NEC, UNDERGROUND SVC
4. RECESS LIGHT FIXTURES IN INSULATED AREAS TO BE 1/2" RATED, & no insul may be removed.
5. ALL UTILITIES UNDERGROUND

**ELECTRICAL**

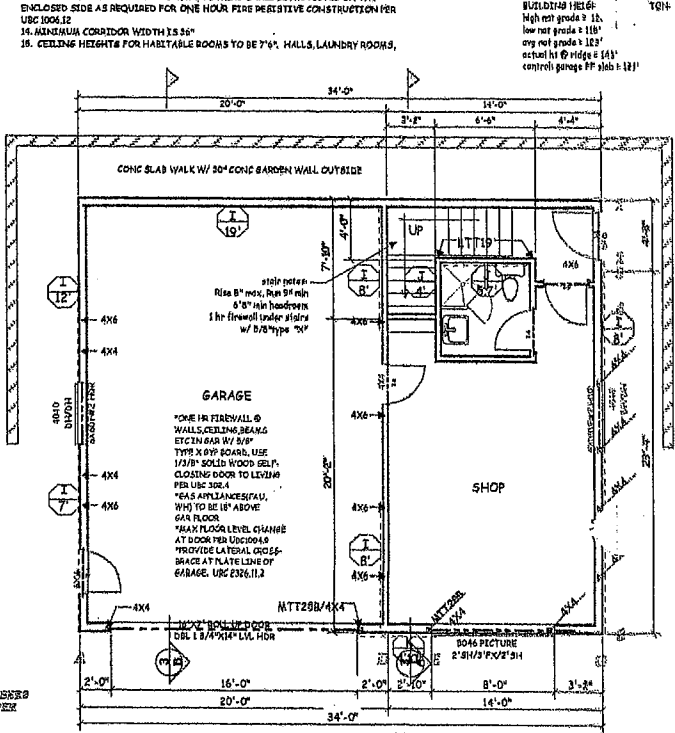
1. ELECTRICAL OUTLETS SHALL BE PROVIDED SO THAT NO POINT AROUND THE PERIMETER WALL OF ANY HABITABLE ROOM IS MORE THAN 6 FEET MEASURED HORIZONTALLY FROM SUCH OUTLET
2. IN KITCHEN AND DINING AREA, AN OUTLET SHALL BE INSTALLED AT EACH COUNTER SPACE WIDER THAN 12"
3. ALL EXTERIOR OUTLETS, GARAGE OUTLETS, BATHROOM OUTLETS AND ALL ABOVE COUNTER OUTLETS IN KITCHEN SHALL HAVE GROUND FAULT INTERRUPTER (GFI) CIRCUIT PROTECTION
4. EACH HABITABLE ROOM, HALLWAY, BATHROOM, STAIRWAY, GARAGE, OUTDOOR ENTRANCE, ATTIC AND UNDERFLOOR AREA SHALL BE PROVIDED WITH AT LEAST ONE WALL SWITCHED LIGHT
5. AN APPROVED SMOKE DETECTOR SHALL BE INSTALLED BETWEEN LIVING SPACE AND BEDROOMS. DETECTORS SHALL BE ON THE CEILING OR ON THE WALL WITHIN 12" OF THE CEILING AND AT LEAST 5" FROM AN AIR OUTLET OR RETURN
6. SMOKE DETECTORS SHALL BE HARDWIRED AND EQUIPPED WITH A BATTERY BACKUP, LOCATED IN EACH SLEEPING ROOM AND IN COMMONS SLEEPING ROOMS, AND A DETECTOR SHALL BE LOCATED IN EACH LIVING LEVEL. ALL DETECTORS ARE TO BE INTERCONNECTED. UPC 1010
7. NEW ELECTRICAL SERVICE PANELS W/ UFER GROUND, PER NEC 9. OUTLETS RECEPTACLES MAY NOT BE ON SMALL APPLIANCE CIRCUIT.
8. BATHROOM RECEPTACLES MUST BE ON A 20 AMP CIRCUIT (B) W/ NO OTHER OUTLETS.
9. CIRCUIT CONDUITS MUST CONSIST OF FOUR WIRES AND THE RECEPTACLES AND PLUGS FOR THE APPLIANCE (COOKING APPLIANCES, RANGES, COOKTOPS, OVENS & DRYERS) MUST ACCOMMODATE FOUR WIRES.
10. CIRCUIT CONDUITS OVER 30 POUNDS CANNOT BE SUPPORTED BY AN ELECTRICAL BOX. THEY MUST BE SUPPORTED AS REQUIRED BY SEC 370-23, 4E2-18
11. INSTALLATION OF WARM AIR HEATING SYSTEM WILL BE IN ACCORDANCE WITH UAC CHAPTER 7.
12. PENDANT LIGHTS, CEILING FANS & TRACK LIGHTING ARE PROHIBITED IN THE AREA ABOVE BATHROOMS PER SEC 410-4 (d)
13. REFRIGERATOR MAY BE SERVED BY A SMALL APPLIANCE CIRCUIT OR BY ITS OWN CIRCUIT, PER SEC 2105E (b)

**FLOOR PLAN NOTES**

1. ALL DUAL GLAZING WINDOW AREA MUST BE AT LEAST 1/10 OF THE FLOOR AREA WITH A 10 SQ. FT. MINIMUM IN HABITABLE ROOMS. ALL HABITABLE ROOMS SHALL BE PROVIDED WITH NATURAL VENTILATION BY MEANS OF OPENABLE EXTERIOR OPENINGS WITH AN AREA OF NOT LESS THAN 1/20 OF THE FLOOR AREA OF SUCH ROOMS, WITH A MINIMUM OF 5 SQ. FT. PER UBC CH 24
2. ALL GLAZING WITHIN 6" OF DOORS OR OF FLOORS, OR WITHIN SHOWERS/BATH ENCLOSURES, OR WITHIN HOT-TUB, SAUNA ETC, WHERE BOTTOM OF GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET TO BE SAFETY GLAZING PER UBC 2405
3. BATHROOMS, WATER-CLOSET COMPARTMENTS, LAUNDRY ROOMS, SHALL BE PROVIDED WITH NATURAL VENTILATION BY MEANS OF OPENABLE EXTERIOR OPENINGS WITH AN AREA NOT LESS THAN 1/20 OF THE FLOOR AREA WITH A MINIMUM OF 1 1/2 SQ. FT., OR PROVIDE MECHANICAL VENTILATION SYSTEMS WHICH SUPPLY AT LEAST 6 AIR CHANGES PER HOUR. IN BATHROOMS AND LAUNDRY ROOMS AND IN OTHER HABITABLE ROOMS
3. GLAZING UNLESS AN EXTERIOR DOOR IS PROVIDED, ONE WINDOW SILL IN EACH BEDROOM SHALL HAVE A FINISHED HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR. SUCH WINDOW SHALL HAVE A CLEAR OPENING AREA OF NOT LESS THAN 6.7 SQ. FT. WITH NO DIMENSIONS LESS THAN 20" x 24" HEIGHT OR TOP OF GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET TO BE SAFETY GLAZING PER UBC 2405
4. WATER-CLOSET COMPARTMENTS MUST HAVE 30" WIDTH AND 24" CLEAR IN FRONT OF THE WATER-CLOSET
5. ALL GUARDRAILS AND STAIR HANDRAILS SHALL BE DESIGNED TO RESIST A HORIZONTAL LOAD OF FOUR PER LINEAL FOOT APPLIED AT THE TOP OF THE RAIL. ALL SUPPORT MEMBERS IN A GARAGE BENEATH ANOTHER STORY SHALL BE OF ONE-HOUR FIRE RESISTIVE CONSTRUCTION.
6. ALL GLASS WINDOWS AND DOORS, INCLUDING SHOWER-TUB ENCLOSURES, SUBJECT TO HUMAN IMPACT MUST HAVE SAFETY GLAZING OR A PROTECTIVE GRILL OR BAR.
7. MAXIMUM FLOOR LEVEL CHANGE AT A DOOR IS 1/4" EXCEPT IF STAIRS OR EXTERIOR LANDINGS ARE USED AND DOOR DOES NOT SWING OVER THE TOP 1/4" OF LANDING.
8. GLASS WINDOWS AND DOORS, INCLUDING SHOWER-TUB ENCLOSURES, SUBJECT TO HUMAN IMPACT MUST HAVE SAFETY GLAZING OR A PROTECTIVE GRILL OR BAR.
9. OPEN GUARDRAILS AND STAIR HANDRAILS SHALL HAVE INTERLOCKED RAILS OR ORNAMENTAL DESIGN SUCH THAT NO OBJECT 4" IN DIAMETER CAN PASS THROUGH
10. 1/2" x 1/2" x 1/2" BRD AT INTERIOR WALLS USE 3/8" x 1/2" HAILING @ 2" O.C. USE W/8 BOARD PROTECTED UAC 1901(A)
11. ALL WALLS AND CEILING SPACES UNDER STAIRS SHALL BE PROTECTED ON THE EXTERIOR SIDE AS REQUIRED FOR ONE HOUR FIRE RESISTIVE CONSTRUCTION PER UBC 1004.12
12. LANDINGS AT DOORS PER UBC 1004.10, FOR STAIRS UBC 1004.7
13. WALLS AND CEILING SPACES UNDER STAIRS SHALL BE PROTECTED ON THE EXTERIOR SIDE AS REQUIRED FOR ONE HOUR FIRE RESISTIVE CONSTRUCTION PER UBC 1004.12
14. MINIMUM CORRIDOR WIDTH IS 5'-6"
15. CEILING HEIGHTS FOR HABITABLE ROOMS TO BE 7'-6". HALLS, LAUNDRY ROOMS,



UPPER FLOORPLAN 1/4"=1'



LOWER FLOORPLAN 1/4"=1'

**MECHANICAL**

1. EXHAUST DRIVERS SHALL BE VENTED TO THE EXTERIOR OF THE BUILDING, W/ DUCT NOT EXCEEDING A COMBINED HORIZONTAL AND VERTICAL LENGTH OF 14 FEET, INCLUDING TWO 90 DEGREE ELBOWS. TWO FEET WILL BE DEDUCTED FOR EACH ELBOW IN EXCESS OF TWO.
2. FURNACE AND WATER HEATERS LOCATED IN AN ATTIC OR UNDERFLOOR SPACE A) ACCESS: 30"x30" MINIMUM B) ACCESS TO BE WITHIN 30" OF THE FURNACE C) PROVIDE NEARBY SWITCHED LIGHT
3. FURNACE ROOM SHALL BE 18" WIDER THAN THE FURNACE, MINIMUM. CLEAR WORKING SPACE TO BE 3" ON SIDES, BACK AND TOP. A 30" DEEP WORKING SPACE SHALL BE PROVIDED ALONG THE ENTIRE FRONT OF THE FIRE BOX SIDE OF THE FURNACE WHEN THE DOOR IS OPEN. ACCESS DOOR SHALL BE A MINIMUM OF 24" WIDE
4. APPLIANCES GENERATING A BLOW, SPARK OR FLAME MUST BE AT LEAST 18" ABOVE FLOOR LEVEL IN A GARAGE
5. PROVIDE COMBUSTION AIR OPENINGS WITHIN 12" OF THE FLOOR AND CEILING FOR GAS BURNING EQUIPMENT
6. PROVIDE HEATING EQUIPMENT SUFFICIENT TO MAINTAIN A TEMPERATURE OF 70 DEGREES F, 3 FEET ABOVE THE FLOOR IN EACH HABITABLE ROOM, PER UAC CH 7
7. DUCT SEALING TO MEET REQ OF U.L. 181, AIDA OR USE W/ APPROVED MASTIC & DRAWBAND
8. ALL RETURN & SUPPLY AIR FLEXIBLES & DUCTS TO BE FULLY VENTED

**PROJECT SUMMARY:**

LOT 3 TRACT 1029  
 APN 423 - 251 - 021  
 LOT SIZE 105,223 SQ. FT. (4.2-2.4 ac)  
 ADDRESS 916th St, Lockwood, Ca

OWNER  
 Gary & Karen Gowdy  
 2211 Hillcrest Dr, Cambria, Ca 93426  
 805 927 2450

LOT COVER: 0%

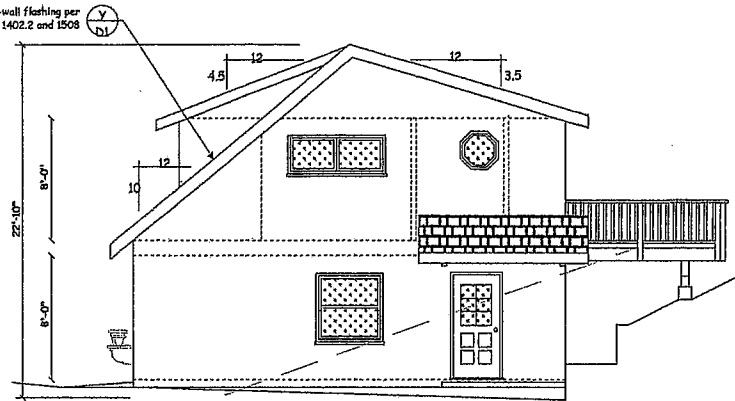
FOOTPRINT 196 sq ft

LIVING AREA 710 sq ft  
 SHOP 950 sq ft  
 DRIVE 873 sq ft

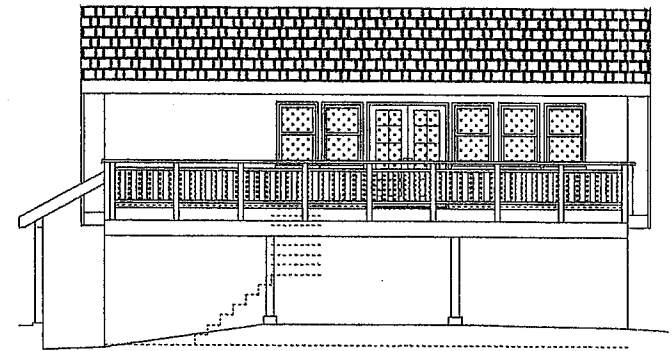
BUILDING HEIGHT  
 High not grade 3 1/2'  
 low not grade 3 1/2'  
 avg not grade 3 1/2'  
 actual ht @ ridge 6 1/2'  
 control garage FF slab 6 1/2'

| FLOOR PLAN      |  | Gowdy Electric<br>new garage & office<br>Stern Street, Lockwood, Ca |
|-----------------|--|---|
| drawn by b.n.k. | Koontz & Associates<br>Residential Design                | sheet A1 of 4   |
| date 10/21/05   | 2753 Trenton Avenue, Cambria, Ca 93426<br>(805) 927-4957 | revision:   |

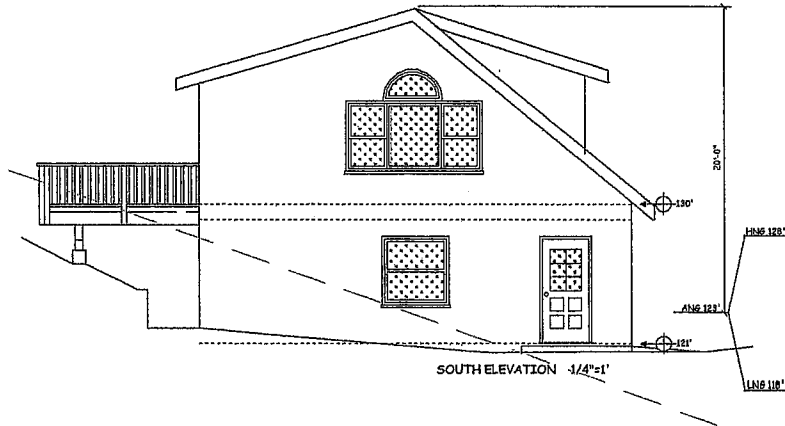
valley and roof-to-wall flashing per '97 UBC 1402.2 and 1508



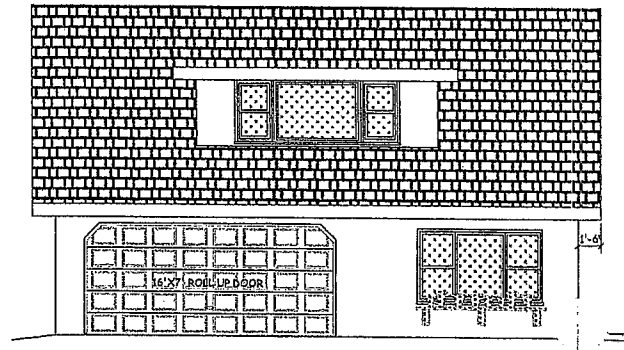
NORTH ELEVATION 1/4"=1'



WEST ELEVATION 1/4"=1'



SOUTH ELEVATION 1/4"=1'



EAST ELEVATION 1/4"=1'

ELEVATION NOTES

ROOFING - COLOR FOREST GREEN

CLASS "A" fiberglass shingles of 30# roof felt, MAT'L AND INSTALLATION PER UBC 1507, 1503, 1504, AND TABLE 15A.

FASCIA - COLOR BROWN  
2X10 HEAVY RFR #1 w/ 2X6 subfascia

SIDING - COLOR TAN  
7/16" STUCCO, O' WIRE LATH O' APPROVED WATERPROOF BUILDING PAPER

VENT FOUNDATION - NA

VENT ATTIC - Continuous ridge vent and vent blocks at eave per detail

FLASHING PER UBC 1402.2, 1508

PROVIDE GUTTERS AND DOWNSPOUTS, AND DISPERSE RUN-OFF OR DIRECT TO SWALE

| ELEVATIONS      |  | Gowdy Electric<br>new garage & office<br>Stern Street, Lockwood, Ca |
|-----------------|--|---|
| drawn by b.r.k. | Koontz & Associates<br>Residential Design                | sheet A2 of 4   |
| date 10/21/05   | 2755 Trenton Avenue, Cambria, Ca 93428<br>(805) 927-4957 | revisions:  |