

RESOLUTION NO. 050658

A.P.# 161-632-001-000

In the matter of the application of
Alvin & Alice Trentelman (PLN050658)

FINDINGS & DECISION

for a **Variance** to Section 21.42.030F, in accordance with Title 21 (Zoning) Chapter 21.72 (Variances) of the Monterey County Code, to exceed the 35% building site coverage and Design Approval to allow the construction of a 144 square foot addition to a single family dwelling. The property is located at 14200 Mountain Quail Road, Salinas, northeast of the intersection of Barn Owl and Mountain Quail Road, Toro Area, and came on regularly for hearing before the Zoning Administrator on June 29, 2006.

Said Zoning Administrator, having considered the application and the evidence presented relating thereto, now makes the following findings and decision:

FINDINGS OF FACT

1. **FINDING: CONSISTENCY** – The project, as described in Condition No. 1 and as conditioned, conforms to the plans, policies, requirements, and standards of the certified Monterey County General Plan, Toro Area Plan, Toro Area Plan Inventory and Analysis, and the Monterey County Zoning Ordinance (Title 21), which designates this area as appropriate for residential development.

- EVIDENCE:**
- (a) The text, policies, and regulations in the above referenced documents have been evaluated during the course of review of applications. No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
 - (b) The property is located at 14200 Mountain Quail Road, Salinas (Assessor's Parcel Number 161-632-001-000), Toro Area Plan. The parcel is zoned Medium Density Residential, 5 units, or ("MDR/5-B-8-D"). The subject property complies with all the rules and regulations pertaining to zoning uses and any other applicable provisions of Title 21, and is therefore suitable for the proposed development.
 - (c) The project planner conducted an on-site inspection on December 29, 2005 to verify that the project on the subject parcel conforms to the plans listed above.
 - (d) The subject parcel was created through the Meadows of Corral de Tierra, a Planned Unit Development (Vol. 14 page 21 of Cities and Towns).
 - (e) The project was not referred to the Toro Land Use Advisory Committee (LUAC) for review. Based on the current review guidelines adopted by the Monterey County Board of Supervisors, this project did not warrant referral to the LUAC because the development is not considered to be of a controversial nature.
 - (f) The project is consistent with the Structure Height and Setback regulations listed in Section 21.12.060.C.1 of Title 21, but is not consistent with the maximum lot coverage listed in Section 21.12.060.E.
 - (g) The application, plans and related support materials submitted by the project applicant to the Monterey County Planning and Building Inspection Department for the proposed development found in Project File No. PLN050658.

2. **FINDING: SITE SUITABILITY** – The site is physically suitable for the use proposed.

EVIDENCE: (a) The project has been reviewed for site suitability by the following departments and agencies: Planning and Building Inspection, Salinas Rural Fire Protection District, Public Works, Environmental Health Division, and Water Resources. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.

(b) Staff conducted an on-site inspection on December 29, 2005 to verify that the site is suitable for this use.

(c) Materials in Project File No. PLN050626.

3. **FINDING: VARIANCE (Special Circumstances)** - Because of special circumstances applicable to the subject property, including the size, shape, topography, location of the lot, or the surrounding area, the strict application of Section 21.12.060.E of the Monterey County Zoning Ordinance (Title 21) is found to deprive the subject property of privileges enjoyed by other property owners in the vicinity under an identical zoning classification.

EVIDENCE: (a) The average lot size in the Meadows of Corral de Tierra Planned Unit Development is roughly 5,250 square feet and the lot coverage required by Section 21.12.060.E is 35%; which would leave approximately 1,837 square feet of buildable area.

(b) Because of the small building area, many of the neighboring lots are over the required 35% lot coverage. The subject property has a lot coverage of 36%.

(c) Materials and documents in Project File No. PLN050554.

4. **FINDING: VARIANCE (Special Privileges)** - The variance to exceed the allowable lot coverage would not constitute a grant of privileges inconsistent with the limitations upon other property owners in the vicinity and zone in which such property is situated.

EVIDENCE: (a) A number of lots in the Meadows of Corral de Tierra PUD exceed the maximum 35% structural coverage. Those lots and their corresponding lot coverages are shown the table below.

Assessor's Parcel Number	Lot Size in Square Feet	Square Feet of Structure Coverage	Lot Coverage
161-632-027-000	5,449.24	2,609	47.9%
161-632-026-000	5,449.12	2,421	44.4%
161-632-025-000	5,447.24	2,421	44.4%
161-632-024-000	5,449.12	2,609	47.9%
161-632-023-000	5,449.24	2,421	44.4%
161-632-007-000	5,500.00	2,609	47.4%
161-632-005-000	5,500.00	2,421	44%
161-632-004-000	5,601.56	2,609	46.6%

(b) A lot line adjustment, file No. LL93013 also included a variance for the reduction in rear yard setbacks requirements and to exceed the lot coverage requirements.

(c) Materials and documents in Project File No. PLN050554.

5. **FINDING: VARIANCE (Authorized Use)** – The Variance shall not be granted for a use or activity which is not otherwise expressly authorized by the zone regulation governing the parcel of property.
- EVIDENCE:** The project for a residential addition is an allowed use under the property's Medium Density Residential designation pursuant to Section 21.12.030.A of Title 21.
6. **FINDING: CEQA (Exempt):** - The project is categorically exempt from environmental review.
- EVIDENCE:** (a) California Environmental Quality Act (CEQA) Guidelines Section 15301(e).
(b) No adverse environmental effects were identified during staff review of the development application during a site visit on December 29, 2005.
(c) See preceding and following findings and supporting evidence.
7. **FINDING: NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property. Zoning violation abatement costs, if any, have been paid.
- EVIDENCE:** Staff reviewed Monterey County Planning and Building Inspection Department records and is not aware of any violations existing on subject property.
8. **FINDING: HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.
- EVIDENCE:** Preceding findings and supporting evidence.
9. **FINDING: APPEALABILITY** - The decision on this project is appealable to the Planning Commission.
- EVIDENCE:** Section 21.80.040.B Monterey County Zoning Ordinance (Title 21).

DECISION

THEREFORE, it is the decision of said Zoning Administrator that said application for Variance be granted as shown on the attached sketch, and subject to the attached conditions.

PASSED AND ADOPTED this 29th day of June, 2006.



JEFF MAIN, ZONING ADMINISTRATOR

COPY OF THIS DECISION WAS MAILED TO THE APPLICANT ON

JUL 18 2006

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY TO THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE **JUL 28 2006**

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning and Building Inspection Department office in Salinas.

2. This permit expires two years after the above date of granting thereof unless construction or use is started within this period.

**Monterey County Resources Management Agency -
Planning Department
Condition Compliance and/or Mitigation Monitoring
Reporting Plan**

Project Name: Trentelman

File No: PLN050658

Approved by: Zoning Administrator

APNs: 161-632-001-000

Date: June 29, 2006

**Monitoring or Reporting refers to projects with an EIR or adopted Mitigated Negative Declaration per Section 21081.6 of the Public Resources Code.*

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
1.		PBD029 - SPECIFIC USES ONLY This Variance to exceed the building site coverage regulations of the "MDR/B-8-D" zoning district and Design Approval (PLN050658) allows the construction of a 144 square foot addition to a single family dwelling. The property is located at 14200 Mountain Quail Road, Salinas (Assessor's Parcel Number 161-632-001-000), Toro Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the following terms and conditions. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of Planning and Building Inspection. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. (Resource Management Agency (RMA) - Planning Department)	Adhere to conditions and uses specified in the permit.	Owner/ Applicant	Ongoing unless other- wise stated	

2.		<p>PBD025 - NOTICE-PERMIT APPROVAL</p> <p>The applicant shall record a notice which states: "A permit (Resolution No.050658) was approved by the Zoning Administrator for Assessor's Parcel Number 161-632-001-000 on June 29, 2006. The permit was granted subject to 12 conditions of approval, which run with the land. A copy of the permit is on file with the Monterey County Planning and Building Inspection Department." Proof of recordation of this notice shall be furnished to the Director of Planning and Building Inspection prior to issuance of building permits or commencement of the use.</p> <p>(RMA - Planning Department)</p>	Proof of recordation of this notice shall be furnished to PBI.	Owner/ Applicant	Prior to Issuance of grading and building permits or start of use.	
3.		<p>PBD030 - STOP WORK - RESOURCES FOUND</p> <p>If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. The Monterey County Planning and Building Inspection Department and a qualified archaeologist (i.e., an archaeologist registered with the Society of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.</p> <p>(RMA - Planning Department)</p>	Stop work within 50 meters (165 feet) of uncovered resource and contact the Monterey County Planning and Building Inspection Department and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.	Owner/ Applicant/ Archaeologist	Ongoing	
4.		<p>PBD011 - EROSION CONTROL PLAN AND SCHEDULE</p> <p>The approved development shall incorporate the recommendations of the Erosion Control Plan as reviewed by the Director of Planning and Building Inspection. All cut and/or fill slopes exposed during the course of construction be covered, seeded, or otherwise treated to control erosion during the course of construction, subject</p>	1) Evidence of compliance with the Erosion Control Plan shall be submitted to PBI prior to issuance of building and grading permits.	Owner/ Applicant	Prior to Issuance of Grading and Building Permits	

		to the approval of the Director of Planning and Building Inspection. The improvement and grading plans shall include an implementation schedule of measures for the prevention and control of erosion, siltation and dust during and immediately following construction and until erosion control planting becomes established. This program shall be approved by the Director of Planning and Building Inspection. (Resource Management Agency/Planning and Building Inspection)	2) Evidence of compliance with the Implementation Schedule shall be submitted to PBI during the course of construction until project completion as approved by the Director of PBI.	Owner/ Applicant	Prior to Final Inspection	
5.		PBD016 - INDEMNIFICATION AGREEMENT The property owner agrees as a condition and in consideration of the approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the county for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, filing of the final map, whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the county harmless. (Resource	Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to PBI.	Owner/ Applicant	Upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, filing of the final map, which- ever occurs first and as applic- able	

		Management Agency/Planning and Building Inspection)				
6.		PBD018(A) - LANDSCAPE PLAN AND MAINTENANCE (SINGLE FAMILY DWELLING ONLY) The site shall be landscaped. At least 60 days prior to occupancy, three (3) copies of a landscaping plan shall be submitted to the Director of Planning and Building Inspection for approval. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County Planning and Building Inspection Department. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (Resource Management Agency/Planning and Building Inspection)	Submit landscape plans and contractor's estimate to PBI for review and approval.	Owner/ Applicant/ Contractor	At least 60 days prior to final inspection or occupancy	
			All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.	Owner/ Applicant	Ongoing	

7.		FIRE008 - GATES All gates providing access from a road to a driveway shall be located at least 30 feet from the roadway and shall open to allow a vehicle to stop without obstructing traffic on the road. Gate entrances shall be at least the width of the traffic lane but in no case less than 12 feet wide. Where a one-way road with a single traffic lane provides access to a gated entrance, a 40-foot turning radius shall be used. Where gates are to be locked, the installation of a key box or other acceptable means for immediate access by emergency equipment may be required. (Salinas Rural Fire Department)	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection.	

8.	<p>FIRE011 - ADDRESSES FOR BUILDINGS</p> <p>All buildings shall be issued an address in accordance with Monterey County Ordinance No. 1241. Each occupancy, except accessory buildings, shall have its own permanently posted address. When multiple occupancies exist within a single building, each individual occupancy shall be separately identified by its own address. Letters, numbers and symbols for addresses shall be a minimum of 4-inch height, 1/2-inch stroke, contrasting with the background color of the sign, and shall be Arabic. The sign and numbers shall be reflective and made of a noncombustible material. Address signs shall be placed at each driveway entrance and at each driveway split. Address signs shall be and visible from both directions of travel along the road. In all cases, the address shall be posted at the beginning of construction and shall be maintained thereafter. Address signs along one-way roads shall be visible from both directions of travel. Where multiple addresses are required at a single driveway, they shall be mounted on a single sign. Where a roadway provides access solely to a single commercial occupancy, the address sign shall be placed at the nearest road intersection providing access to that site. Permanent address numbers shall be posted prior to requesting final clearance. (Salinas Rural Fire Department)</p>	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	
		Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	

9.		FIRE016 - SETBACKS All parcels 1 acre and larger shall provide a minimum 30-foot setback for new buildings and accessory buildings from all property lines and/or the center of the road. For parcels less than 1 acre, alternate fuel modification standards or other requirements may be imposed by the local fire jurisdiction to provide the same practical effect. (Salinas Rural Fire Department)	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	
10.		FIRE020 - DEFENSIBLE SPACE REQUIREMENTS (HAZARDOUS CONDITIONS) Remove combustible vegetation from within a minimum of 30 feet of structures. Limb trees 6 feet up from ground. Remove limbs within 10 feet of chimneys. Additional fire protection or firebreaks approved by the Reviewing Authority may be required to provide reasonable fire safety. Environmentally sensitive areas may require alternative fire protection, to be determined by Reviewing Authority and the Director of Planning and Building Inspection. (Salinas Rural Fire Department)	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	

This use of these plans and specifications shall be restricted to the original site (14200 Mountain Quail Road, Salinas, California, APN 151-532-001-000) for which they were prepared and publication thereof is expressly limited to such use. No other use, reproduction, or publication by any person is permitted without the written consent of the author. The author shall not be responsible for any errors or omissions, or for any consequences arising from the use of these plans and specifications.

TRENTELMAN RESIDENCE

14200 MOUNTAIN QUAIL ROAD, SALINAS, CALIFORNIA

10-28-05
1-30-06
4-21-06

PLN 050658

CONSULTANTS

CONSTRUCTION TECHNOLOGIES
P.O. BOX 221004
CARMEL, CA 93922
(831) 624-4657

MONTEREY BAY ENGINEERS, INC.
607 CHARLES AVENUE, SUITE B
SEASIDE, CA 93955
TEL. (831) 899-7899

MONTEREY ENERGY GROUP
227 FOREST AVENUE, SUITE 5
PACIFIC GROVE, CA 93950
TEL. (831) 372-8328
FAX. (831) 372-4613

SHEET INDEX

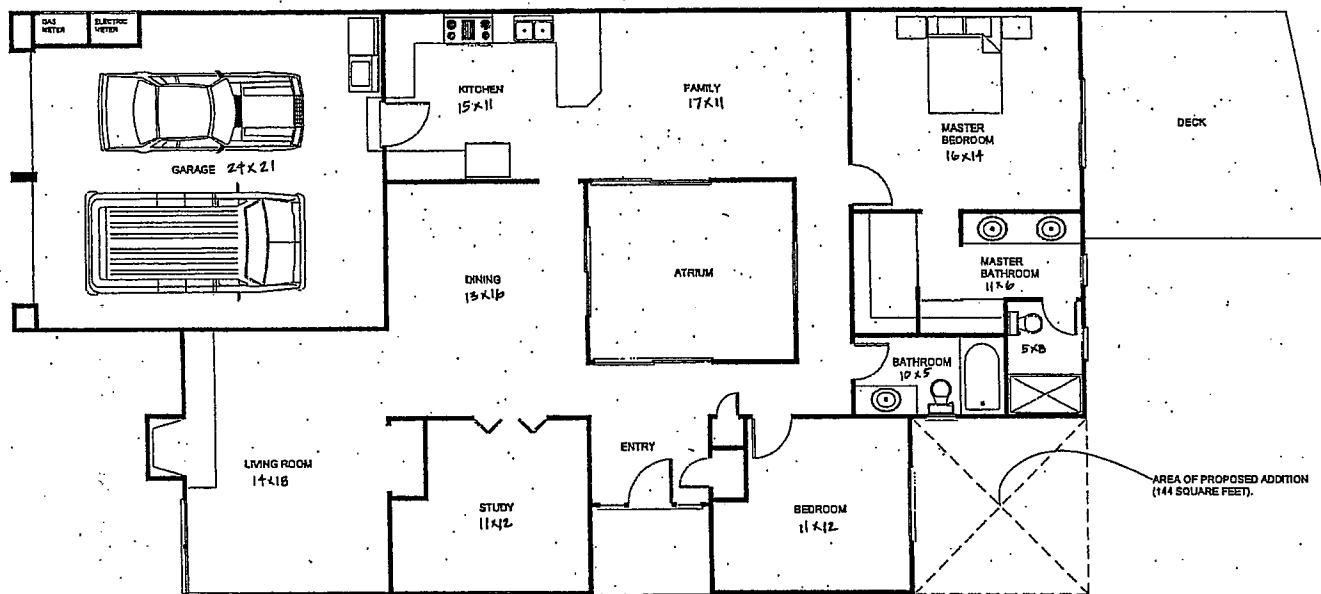
SHEET A1: EXISTING FLOOR PLAN
SHEET A2: NEW FLOOR PLAN
SHEET A3: DEMO PLAN
SHEET A4: SIDE ELEVATIONS- EXISTING AND NEW
SHEET A5: REAR ELEVATIONS- EXISTING AND NEW
SHEET A6: BUILDING SECTION AND DETAILS
FOUNDATION PLAN AND ROOF FRAMING PLAN
SHEET A7: GENERAL NOTES, ELECTRICAL PLAN
SHEET S1: SHEAR WALL SCHEDULE AND NOTES
SHEET S2: STRUCTURAL DETAILS
SHEET S3: STRUCTURAL DETAILS
SHEET C1: SITE PLAN
SHEET T1: ENERGY COMPLIANCE

PROJECT INFORMATION

PROPERTY OWNER: MR. & MRS. TRENTELMAN
ADDRESS: 14200 MOUNTAIN QUAIL ROAD, SALINAS, CA 93908
TELEPHONE: (831) 484-2825
ASSESSOR'S PARCEL NUMBER: 161-532-001-000
NEAREST CROSS STREET: CORRAL DE TIERRA
ZONING: MDR/B-S-D
GRADING: NONE
SCOPE OF PROJECT: BEDROOM EXTENSION AND
RELOCATION OF TWO BATHROOMS.
LOT SIZE: 6,536 S.F.
EXISTING BUILDING COVERAGE: 2378 S.F. (36%) (ATRIUM EXCLUDED).
AREA OF NEW ADDITION: 144 S.F.
NEW BUILDING COVERAGE: 2522 S.F. (39%).

DRAWN BY: ROD MESQUIT
P.O. BOX 3464, CARMEL, CA 93921-3464
(831) 624-7272

TRENTELMAN RESIDENCE
14200 MOUNTAIN QUAIL ROAD
SALINAS, CALIFORNIA



EXISTING FLOOR PLAN



1/8" = 1'-0"

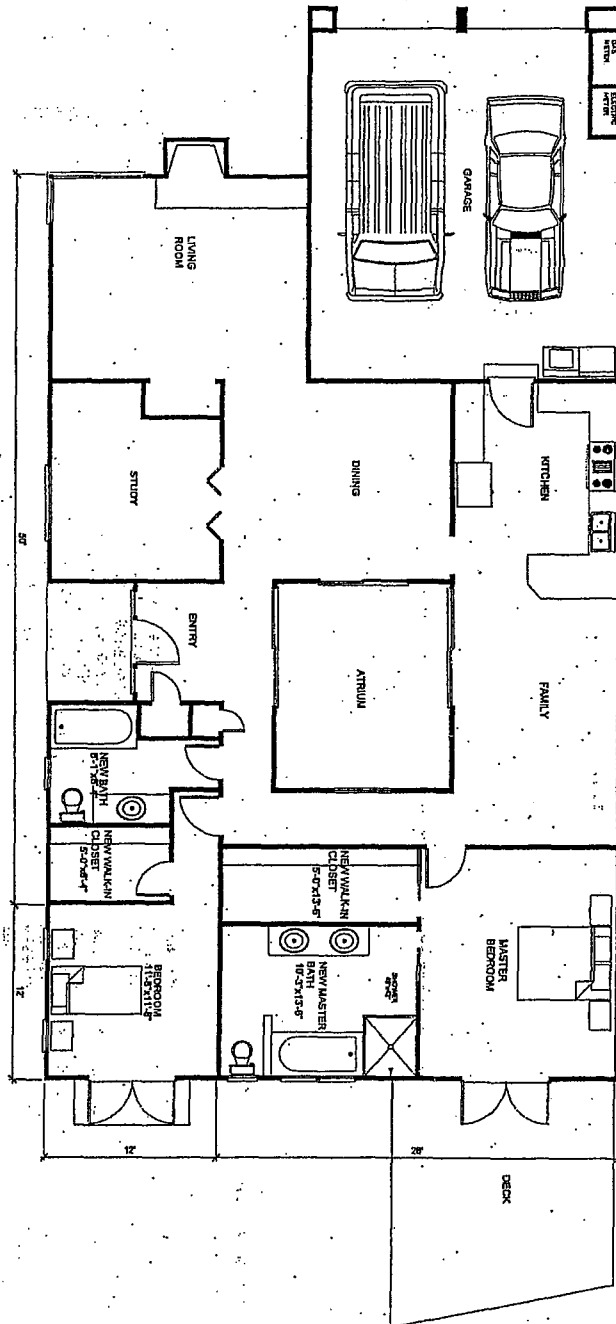
ROD MESQUIT HOME DESIGN
P.O. BOX 3464, CARMEL, CA 93921-3464
831-624-7272



SHEET
A1

The use of these plans and specifications shall be restricted to the original site (14200 Mountain Quail Road, Salinas, California, APN 101-032-001-000) for which they were prepared and publication thereof is expressly limited to such use. Reuse, reproduction, or publication by any other person, in whole or in part is prohibited. Title to the plans and specifications remains with the designer, Rod Mesquit, V. Any use, in whole or in part, without the written consent of the designer, shall constitute prima facie evidence of the acceptance of these restrictions.

NEW FLOOR PLAN



1/4" = 1'-0"



SHEET
A2



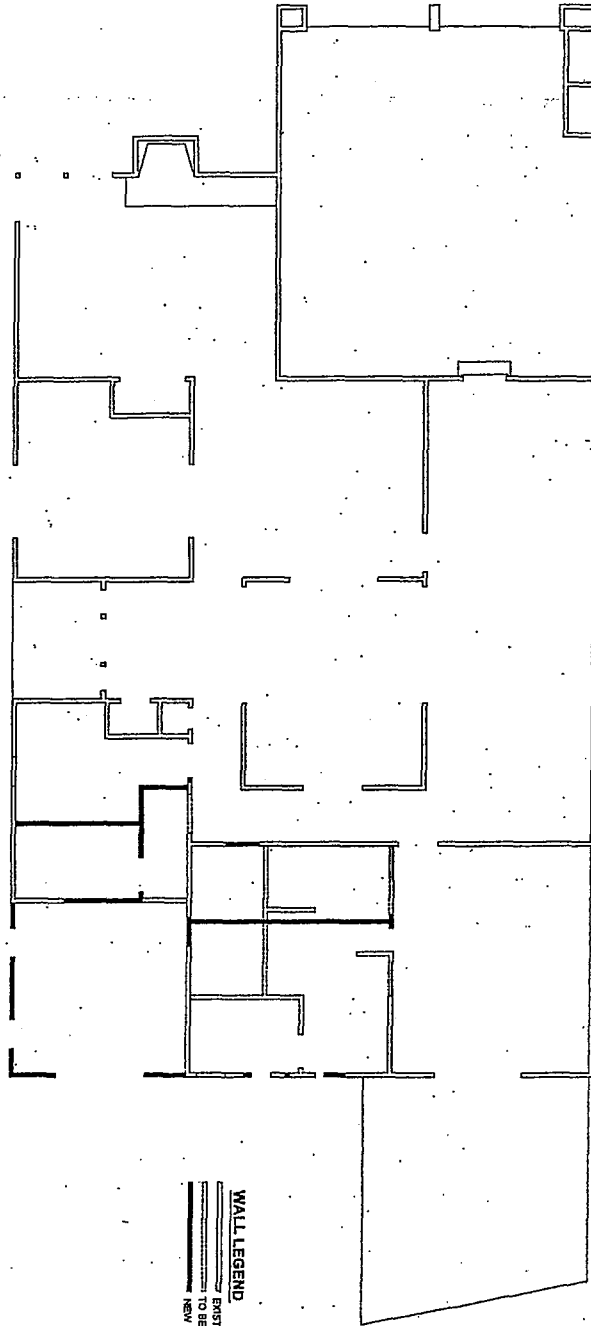
ROD MESQUIT HOME DESIGN
P.O. BOX 3484, CARMEL, CA 93921-3484
831-824-7272

TRENTELMAN RESIDENCE
14200 MOUNTAIN QUAIL ROAD
SALINAS, CALIFORNIA

10-28-05
11-15-05

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DEMO PLAN



WALL LEGEND
EXISTING
TO BE REMOVED
NEW

1/8" = 1'-0"



A3
SHEET



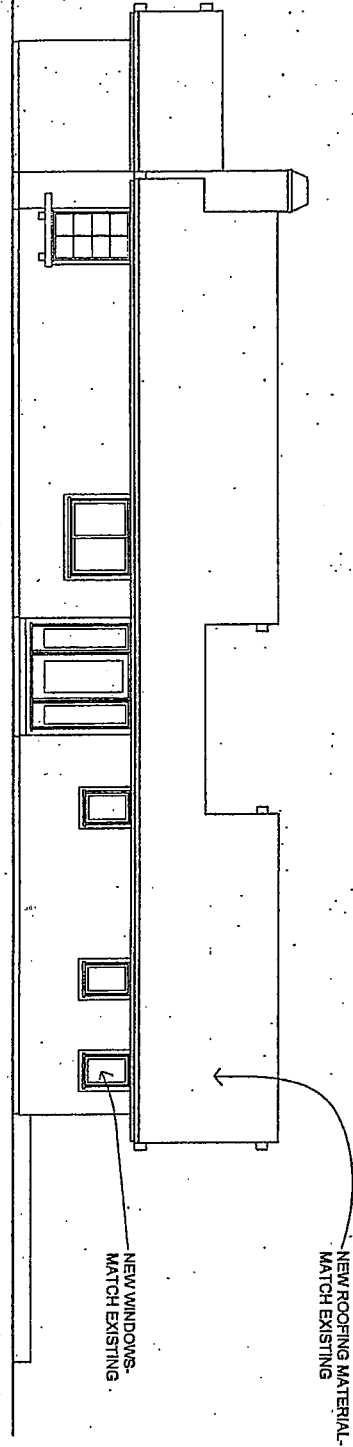
ROD MESQUIT HOME DESIGN
P.O. BOX 3464, CARMEL, CA 93921-3464
831-624-7272

TRENTELMAN RESIDENCE
14200 MOUNTAIN QUAIL ROAD
SALINAS, CALIFORNIA

10-28-05
11-18-05

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NEW SOUTH ELEVATION

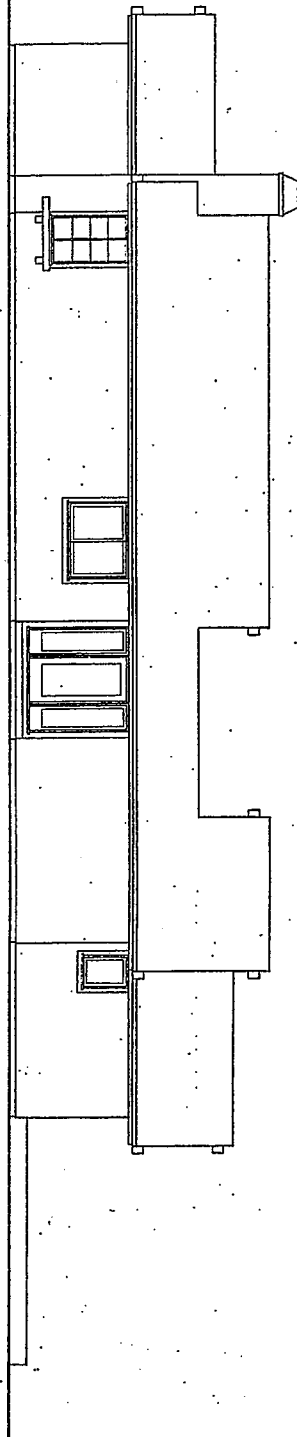


NEW ROOFING MATERIAL-
MATCH EXISTING

NEW WINDOWS-
MATCH EXISTING

1/8" = 1'-0"

EXISTING SOUTH ELEVATION



1/8" = 1'-0"



ROD MESQUIT HOME DESIGN
P.O. BOX 3464, CARMEL, CA 93921-3464
831-624-7272

SHEET
A4

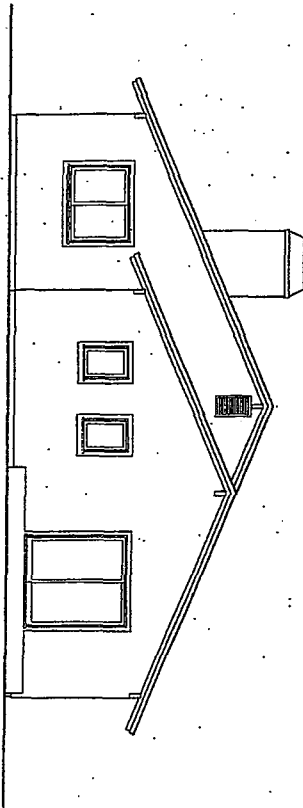
TRENTELMAN RESIDENCE
14200 MOUNTAIN QUAIL ROAD
SALINAS, CALIFORNIA

10-28-05
11-16-05

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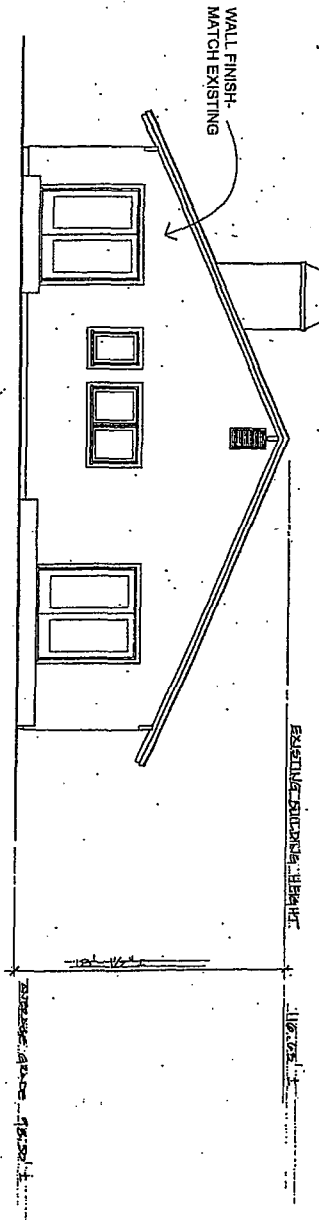
EXISTING EAST ELEVATION

11'0" x 14'0"



NEW EAST ELEVATION

11'0" x 14'0"



SHEET
A5

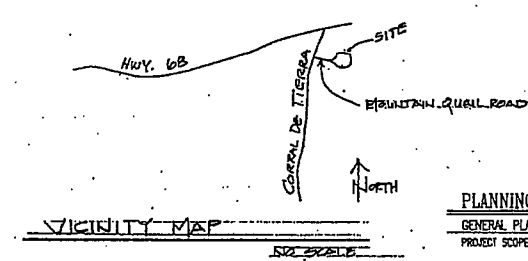


ROD MESQUIT HOME DESIGN
P.O. BOX 3464, CARMEL, CA 93921-3464
831-624-7272

TRENTELMAN RESIDENCE
14200 MOUNTAIN QUAIL ROAD
SALINAS, CALIFORNIA

10-28-05
11-15-05

4-7-06



PLANNING INFORMATION

GENERAL PLANNING INFORMATION

PROJECT SCOPE	BEDROOM EXTENSION AND RELOCATION OF TWO BATHROOMS
ZONING	MOR/B-2-D
APN	161-632-001
LOT AREA	8,836 SQ. FT.
BUILDING FOOTPRINT, EXISTING	2,378 SQ. FT. (ATTIC EXCLUDED)
BUILDING FOOTPRINT, PROPOSED ADDITION	144 SQ. FT.
BUILDING FOOTPRINT, PROPOSED TOTAL	2,522 SQ. FT.
LOT COVERAGE, EXISTING	36%
LOT COVERAGE, PROPOSED TOTAL	38%

NOTES:

- BOUNDARY LOCATIONS SHOWN HEREON WERE DETERMINED BY THE BENEVOLENT OF A FIELD SURVEY SUPPLEMENTED BY RECORD DATA. ALL BOUNDARY DATA SHOWN ARE FROM THE RECORDS.
- ALL BUILDINGS AND STRUCTURES ARE SHOWN AND DIMENSIONS NOTED THEREON.
- ALL DIMENSIONS SHOWN ARE IN FEET AND DECIMALS THEREOF.
- ALL DIMENSIONS SHOWN ARE BASED ON ASSUMED DATA; MEASUREMENTS OF THE EXISTING FLOOR.
- ELEVATION = 150.00'
- DO NOT SCALE DIMENSIONS AS SHOWN.

LEGEND:

- FENCE LINE
- CATCH BASIN
- CONCRETE
- DRAIN MET
- EXISTING
- FINISHED FLOOR
- ROSSERS
- EXISTING SIDE
- PROPOSED
- SANITARY SEWER ELEVATION OUT
- TO BE REMOVED
- WATER METER

LOT 32

BAKER
APN 161-632-002

LOT 31 TRENTMAN APN 161-632-001

ATRIUM
F.F. ELEV. = 99.53'

EXISTING HOUSE
F.F. ELEV. = 100.00'

HOUSE ADDITION
(12' x 12')
F.F. ELEV. = 100.00'

UNDER
APN 161-632-030

LOT 30

UNIT 1 THE MEADOWS OF CORRAL DE TIERRA
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SITE PLAN

LOT 31
THE MEADOWS OF CORRAL DE TIERRA UNIT 2
(This is Vol. 14 of Office & Town of Page 10, Records of Monterey County)

CORRAL DE TIERRA COUNTY OF MONTEREY STATE OF CALIFORNIA

PREPARED FOR
ALVIN & ALICE TRENTMAN

BY
MONTEREY BAY ENGINEERS, INC.
807 Marina Ave. Suite B
Pleasanton, California 94566

Phone (925) 891-7000

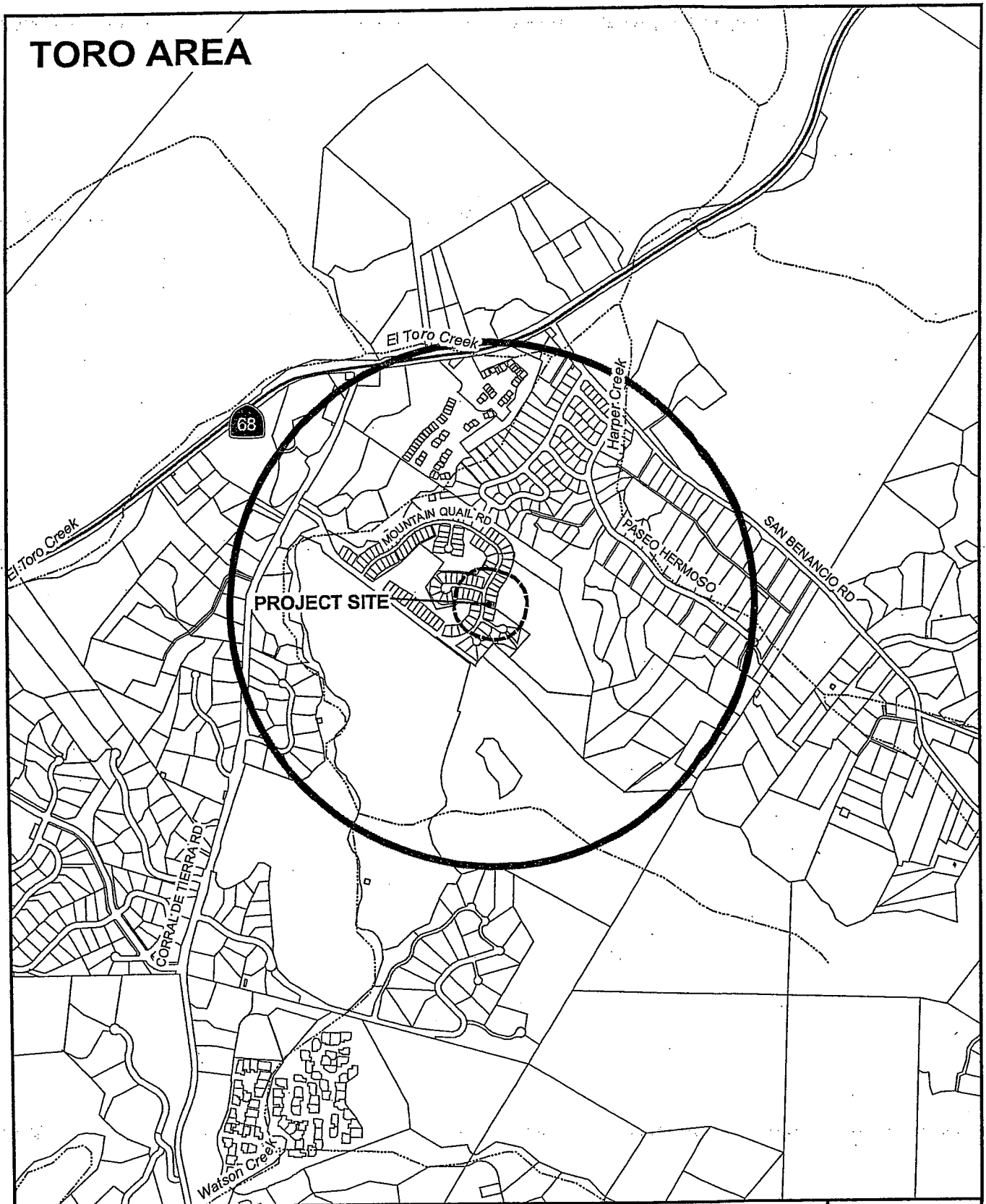
SCALE 1" = 10'

JOB NO. 03-024

REVISED, 2005



TORO AREA



APPLICANT: TRENTELMAN

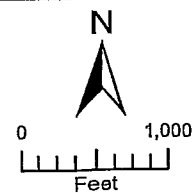
APN: 161-632-001-000

FILE # PLN050658

300' Limit

2500' Limit

City Limits



PLANNER: GINETTE