

RESOLUTION NO. 060342

A.P.# 127-141-024-000

In the matter of the application of
John & Ellen Thompson (PLN060342)

FINDINGS & DECISION

for a Use Permit in accordance with Title 21 (Zoning) Chapter 21.74 (Use Permits) of the Monterey County Code, to allow for development on slopes in excess of 30% and the construction of a 2,124 square foot two-story single family dwelling with an attached 484 square foot two-car garage, 60 square feet of porches, a retaining wall of approximately 660 linear feet, and grading (approximately 1,404 cubic yards cut/1,407 cubic yards fill). The property is located at 6384 Tustin Road, Salinas, North County Area Plan, and came on regularly for hearing before the Zoning Administrator on July 27, 2006.

Said Zoning Administrator, having considered the application and the evidence presented relating thereto,

FINDINGS OF FACT

1. FINDING: CONSISTENCY – The project, as described in Condition No. 1 and as conditioned, conforms to the plans, policies, requirements, and standards of the Monterey County General Plan, North County Area Plan, North County Area Plan Inventory and Analysis, and the Monterey County Zoning Ordinance (Title 21), which designates this area as appropriate for residential development.

EVIDENCE: (a) The text, policies, and regulations in the above referenced documents have been evaluated during the course of review of applications. No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

(b) The property is located at 6384 Tustin Road, Salinas (Assessor's Parcel Number 127-141-024-000), North County Area Plan. The parcel is zoned Resource Conservation with a Building Site Zoning District overlay or ("RC/B-6"). The subject property complies with all the rules and regulations pertaining to zoning uses and other applicable provisions of Title 21, and is therefore suitable for the proposed development.

(c) Development on slopes in excess of 30% is a use allowed pursuant to Section 21.64.230 subject to a Use Permit and substantial evidence that no alternative location for development exists. See Finding No. 3.

(d) The project planner conducted an on-site inspection on June 2, 2006 and June 9, 2006 to verify that the project on the subject parcel conforms to the plans listed above.

(e) The project was not referred to the North County Non-Coastal Land Use Advisory Committee (LUAC) for review. Based on the current review guidelines adopted by the Monterey County Board of Supervisors, this project did not warrant referral to the LUAC because the development is not considered to be of a controversial nature.

(f) The application, plans, and related support materials submitted by the project applicant to the Monterey County Planning and Building Inspection Department for the proposed development found in Project File No. PLN060342.

2. FINDING: SITE SUITABILITY – The site is physically suitable for the use proposed.

- EVIDENCE:** (a) The project has been reviewed for site suitability by the following departments and agencies: Planning Department, North County Fire Protection District, Public Works, Environmental Health Division, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Recommended conditions have been incorporated.
- (b) A technical report prepared by an outside geological and geotechnical consultant indicates that there are no physical or environmental constraints that would indicate that the site is not suitable for the use propose. County staff concurs. The following report has been prepared: "Geotechnical Soils-Foundation and Geoseismic Report" (LIB060301) prepared by Grice Engineering and Geology, Salinas, California, dated September 2005.
- (c) The site is located in an area designated as having high landslide and erosion susceptibility and within a high seismic hazard zone. The geotechnical report prepared for this parcel accounts for these high hazard. A condition of approval has been incorporated requiring that a geotechnical certification be submitted to the Director of Planning for review and approval prior to final building inspection.
- (d) Staff conducted an on-site inspection on June 2, 2006 and June 9, 2006 to verify that the site is suitable for this use.
- (e) Materials in Project File No. PLN060342.

3. FINDING: DEVELOPMENT ON SLOPES IN EXCESS OF 30% - There is no feasible alternative, which would allow development to occur on slopes less than 30%.

- EVIDENCE:** (a) The entire parcel is constrained by sloped terrain.
- (b) The proposed single-family dwelling has been sited in the most appropriate location within the parcel's boundary. The placement of the single-family dwelling, driveway, and disposal fields have been designed considering appropriate setbacks from the parcel's boundary, well, and the road and utility easement intersecting the northeastern portion of the property. The project includes a retaining wall of approximately 660 linear feet, and grading of approximately 1,404 cubic yards cut and 1,407 cubic yards fill. Conditions have been incorporated requiring a geotechnical certification, native landscaping, and restoration of natural materials. See Conditions No. 4, 6, and 10.
- (c) "Geotechnical Soils-Foundation and Geoseismic Report" (LIB060301) prepared by Grice Engineering and Geology, Salinas, California, dated September 2005.
- (d) The application, plans, and related support materials submitted by the project applicant to the Monterey County Planning and Building Inspection Department for the proposed development found in Project File No. PLN060342.
- (e) Staff conducted an on-site inspection on June 2, 2006 and June 9, 2006 to verify that no feasible alternative exists.

4. FINDING: CEQA (Exempt) - The project is categorically exempt from environmental review.

- EVIDENCE:** (a) California Environmental Quality Act (CEQA) Guidelines Section 15303 categorically exempts single-family dwellings.
- (b) California Environmental Quality Act (CEQA) Guidelines Section 15304 categorically exempts minor alteration to land.
- (c) According to the North County Area Plan, the parcel is located within an area of "low" archeological sensitivity, Figure 13, and an area designated as having urban/agricultural

vegetation, Figure 11. No protected trees will be removed. Staff review of the application, plans, and related support materials indicates that the parcel is not located in an area of high environmental concern.

- (d) No adverse environmental effects were identified during staff review of the development application during a site visit on June 2, 2006 and June 9, 2006.
- (e) See preceding and following findings and supporting evidence.

5. FINDING: NO VIOLATIONS - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property. Zoning violation abatement costs, if any, have been paid.

EVIDENCE: Staff reviewed Monterey County Planning and Building Inspection Department records and is not aware of any violations existing on subject property.

6. FINDING: HEALTH AND SAFETY - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

EVIDENCE: Preceding findings and supporting evidence.

7. FINDING: APPEALABILITY - The decision on this project is appealable to the Planning Commission.

EVIDENCE: Section 21.080.040.B Monterey County Zoning Ordinance (Title 21).

DECISION

THEREFORE, it is the decision of the Zoning Administrator that said application for a Use Permit be granted as shown on the attached sketch, and subject to the attached conditions.

PASSED AND ADOPTED this 27th day of July, 2006.



JEFF MAIN, ZONING ADMINISTRATOR

COPY OF THIS DECISION WAS MAILED TO THE APPLICANT ON AUG - 2 2006

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY TO THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE AUG 12 2006

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning and Building Inspection Department office in Salinas.

2. This permit expires two years after the above date of granting thereof unless construction or use is started within this period.

**Monterey County Resource Management Agency
Planning Department
Condition Compliance and/or Mitigation Monitoring
Reporting Plan**

Project Name: John and Ellen Thompson

File No: PLN060342

APNs: 127-141-024-000

Approval by: Zoning Administrator

Date: July 27, 2006

**Monitoring or Reporting refers to projects with an EIR or adopted Mitigated Negative Declaration per Section 21081.6 of the Public Resources Code.*

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
1		PBD029 - SPECIFIC USES ONLY This Use Permit allows for development on slopes in excess of 30% and the construction of a 2,124 square foot two-story single family dwelling with an attached 484 square foot two-car garage, 60 square feet of porches, a retaining wall of approximately 660 linear feet, and grading (approximately 1,404 cubic yards cut / 1,407 cubic yards fill). The property is located at 6384 Tustin Road, Salinas (Assessor's Parcel Numbers 127-141-024-000) North County Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the following terms and conditions. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of Planning. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional	Adhere to conditions and uses specified in the permit.	Owner/ Applicant	Ongoing unless otherwise stated	

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		permits are approved by the appropriate authorities. [Resources Management Agency (RMA) - Planning Department]				
2		PBD025 - NOTICE-PERMIT APPROVAL The applicant shall record a notice, which states: "A permit (Resolution No. 0600342) was approved by the Zoning Administrator for Assessor's Parcel Number 127-141-024-000 on July 27, 2006. The permit was granted subject to 24 conditions of approval, which run with the land. A copy of the permit is on file with the Monterey County RMA - Planning Department." Proof of recordation of this notice shall be furnished to the Director of Planning and Building Inspection prior to issuance of building permits or commencement of the use. (RMA - Planning Department)	Proof of recordation of this notice shall be furnished to RMA - PD.	Owner/ Applicant	Prior to Issuance of grading and building permits or start of use.	
3		PBD011 - EROSION CONTROL PLAN AND SCHEDULE The approved development shall incorporate the recommendations of the Erosion Control Plan as reviewed by the Soils Conservation Service and the Director of Planning and Building Inspection. All cut and/or fill slopes exposed during the course of construction be covered, seeded, or otherwise treated to control erosion during the course of construction, subject to the approval of the Director of Planning. The improvement and grading plans shall include an implementation schedule of measures for the prevention and control of erosion, siltation, dust during, and immediately following construction and until erosion control planting becomes established. This program shall be approved by the	1) Evidence of compliance with the Erosion Control Plan shall be submitted to PBI prior to issuance of building and grading permits.	Owner/ Applicant	Prior to Issuance of Grading and Building Permits	
			2) Evidence of compliance with the Implementation Schedule shall be submitted to RMA - Planning Department during the course of construction until project completion as approved by the Director of	Owner/ Applicant	Prior to Final Inspection	

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		Director of Planning. (RMA - Planning Department)	Planning.			
4		PBD013(A) - GEOTECHNICAL CERTIFICATION Prior to final inspection, the geotechnical consultant shall provide certification that all development has been constructed in accordance with the geotechnical report. (RMA - Planning Department)	Submit certification by the geotechnical consultant to the RMA - Planning Department showing project's compliance with the geotechnical report.	Owner/ Applicant/ Geotechnical Consultant	Prior to Final Building Inspectio n	
5		PBD014 - GRADING-WINTER RESTRICTION No land clearing or grading shall occur on the subject parcel between October 15 and April 15 unless authorized by the Director of Planning. (RMA - Planning Department)	None	Owner/ Applicant	Ongoing	
6		PBD018 - LANDSCAPE PLAN AND MAINTENANCE (SINGLE FAMILY DWELLING ONLY - NONSTANDARD) The site shall be landscaped with <i>drought-tolerant species, fire resistant species, and species capable of increasing soil stabilization pursuant to Policy 7.2.2 of the North County Area Plan</i> . At least 60 days prior to occupancy, three (3) copies of a landscaping plan shall be submitted to the Director of Planning for approval. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of	Submit landscape plans and contractor's estimate to PBI for review and approval.	Owner/ Applicant/ Contractor	At least 60 days prior to final inspect- ion or occupanc y	
			All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.	Owner/ Applicant	Ongoing	

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		deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County RMA - Planning Department. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (RMA - Planning Department)				
7		PBD034 - UTILITIES - UNDERGROUND All new utility and distribution lines shall be placed underground. (RMA - Planning Department)	None	Applicant/ Owner	Ongoing	
8		PBD021 – LIGHTING – EXTERIOR LIGHTING PLAN All exterior lighting shall be unobtrusive, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The applicant shall submit 3 copies of an exterior lighting plan, which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The exterior lighting plan shall be subject to approval by the RMA - Director of Planning, prior to the issuance of building permits. (RMA - Planning Department)	Submit three copies of the lighting plans to Monterey County RMA - Planning Department for review and approval.	Owner/ Applicant	Prior to issuance of building permits.	
9		PBD026 – NOTICE OF REPORT Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states: "A Geotechnical Soils-Foundation and Geoseismic report has been prepared for this parcel by Grice Engineering and Geology, dated September 2005 and is on record at the Monterey County RMA - Planning	Proof of recordation of this notice shall be furnished to PBI.	Owner/ Applicant	Prior to issuance of grading and building permits	

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		Department, Library No. LIB060301. All development shall be in accordance with this report." (RMA - Planning Department)				
10		PBD028 - RESTORATION OF NATURAL MATERIALS Upon completion of the development, the area disturbed shall be restored to a condition to correspond with the adjoining area, subject to the approval of the RMA - Director of Planning. Plans for such restoration shall be submitted to and approved by the RMA - Director of Planning prior to commencement of use. (RMA - Planning Department)	Submit restoration plans to PBI for review and approval.	Owner/ Applicant	Prior to start of use.	
11		PBD032(A) - TREE PROTECTION Trees that are located close to the construction site(s) shall be protected from inadvertent damage from construction equipment by wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip line of the retained trees. Said protection shall be demonstrated prior to issuance of building permits subject to the approval of the RMA - Director of Planning. (RMA - Planning Department)	Submit evidence of tree protection to PBI for review and approval.	Owner/ Applicant	Prior to issuance of grading and building permits	

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12		PBD032(B) – TREE AND ROOT PROTECTION Trees which are located close to the construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection shall be demonstrated prior to issuance of building permits subject to the approval of the Director of Planning and Building Inspection. (RMA - Planning Department)	Submit evidence of tree protection to PBI for review and approval.	Owner/ Applicant	Prior to Issuance of Grading and/or Building Permits	
13		PBD036 - WATER TANK APPROVAL The water tank shall be painted an earth tone color to blend into the area and landscaped (including land sculpturing and fencing, where appropriate), subject to the approval of the Director of Planning and Building Inspection, prior to the issuance of building permits. (RMA - Planning Department)	1) Submit proposed color of water tank and landscaping to PBI for review and approval.	Applicant/ Owner	Prior to the issuance of grading and building permits	
			2) Provide evidence to PBI that the water tank is painted as approved by PBI and that landscaped was installed as approved by PBI.	Applicant/ Owner	Prior to final inspection or occupancy.	

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14		<p>PBD016 - INDEMNIFICATION AGREEMENT</p> <p>The property owner agrees as a condition and in consideration of the approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the county for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, filing of the final map, whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action, or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the county harmless. (RMA - Planning Department)</p>	Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to PBI.	Owner/ Applicant	Upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, filing of the final map, whichever occurs first and as applicable	

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15		FIRE007 - DRIVEWAYS Driveways shall not be less than 12 feet wide unobstructed, with an unobstructed vertical clearance of not less than 15 feet. The grade for all driveways shall not exceed 15 percent. Where the grade exceeds 8 percent, a minimum structural roadway surface of 0.17 feet of asphaltic concrete on 0.34 feet of aggregate base shall be required. The driveway surface shall be capable of supporting the imposed load of fire apparatus (22 tons), and be accessible by conventional-drive vehicles, including sedans. For driveways with turns 90 degrees and less, the minimum horizontal inside radius of curvature shall be 25 feet. For driveways with turns greater than 90 degrees, the minimum horizontal inside radius curvature shall be 28 feet. For all driveway turns, an additional surface of 4 feet shall be added. All driveways exceeding 150 feet in length, but less than 800 feet in length, shall provide a turnout near the midpoint of the driveway. Where the driveway exceeds 800 feet, turnouts shall be provided at no greater than 400-foot intervals. Turnouts shall be a minimum of 12 feet wide and 30 feet long with a minimum of 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall long with a minimum 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall be located within 50 feet of the primary building. The minimum turning radius for a turnaround shall be 40 feet from the centerline of the driveway. If a hammerhead/T is used, the top of the "T" shall be a minimum of 60 feet in length. (North County Fire Protection District)	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection.	

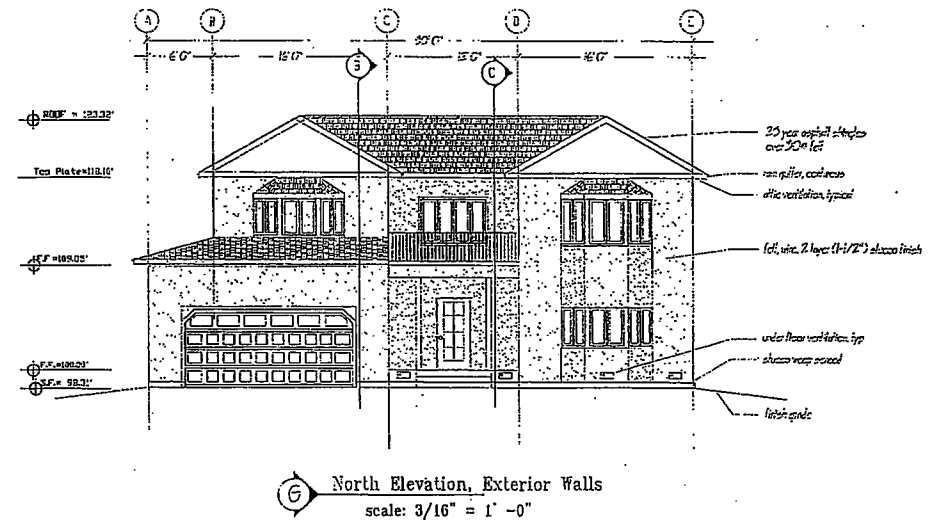
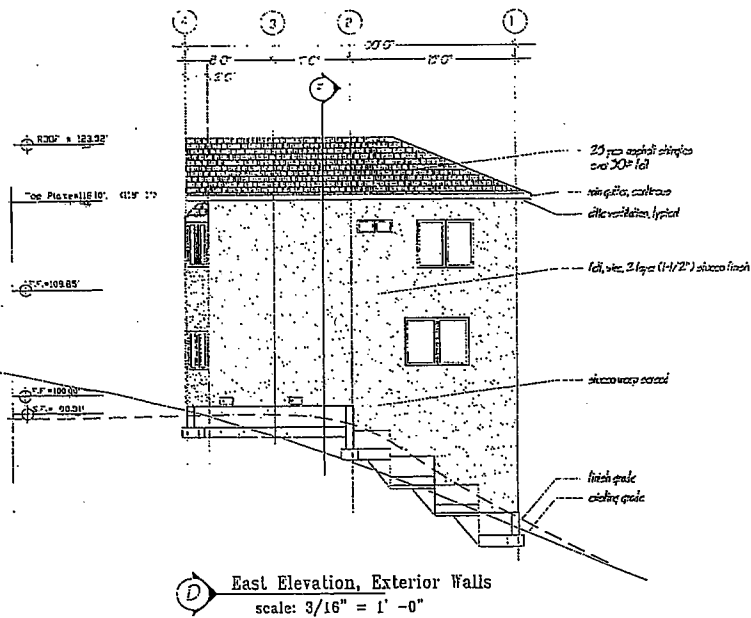
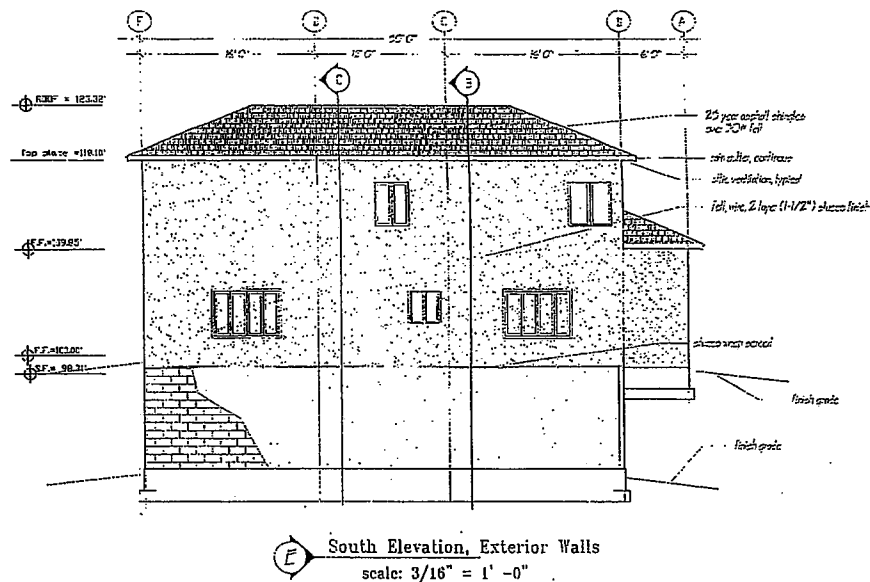
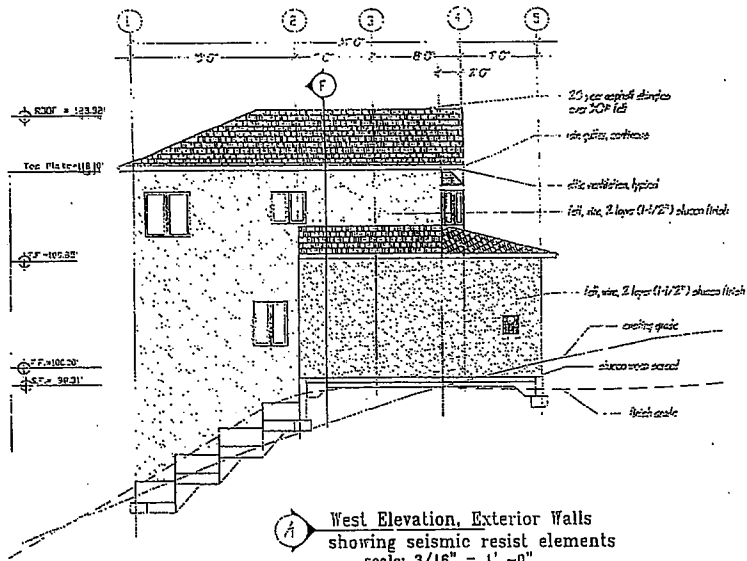
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16		FIRE011 - ADDRESSES FOR BUILDINGS All buildings shall be issued an address in accordance with Monterey County Ordinance No. 1241. Each occupancy, except accessory buildings, shall have its own permanently posted address. When multiple occupancies exist within a single building, each individual occupancy shall be separately identified by its own address. Letters, numbers, and symbols for addresses shall be a minimum of 4-inch height, 1/2-inch stroke, contrasting with the background color of the sign, and shall be Arabic. The sign and numbers shall be reflective and made of a noncombustible material. Address signs shall be placed at each driveway entrance and at each driveway split. Address signs shall be and visible from both directions of travel along the road. In all cases, the address shall be posted at the beginning of construction and shall be maintained thereafter. Address signs along one-way roads shall be visible from both directions of travel. Where multiple addresses are required at a single driveway, they shall be mounted on a single sign. Where a roadway provides access solely to a single commercial occupancy, the address sign shall be placed at the nearest road intersection providing access to that site. Permanent address numbers shall be posted prior to requesting final clearance. (North County Fire Protection District)	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	
17		FIRE014 - EMERGENCY WATER STANDARDS - FIRE PROTECTION WATER SUPPLY - (SINGLE PARCEL) For development of structures totaling less than 3,000 square feet on a single parcel, the minimum fire protection water supply shall be 4,900 gallons. For development of	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	

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		structures totaling 3,000 square feet or more on a single parcel, the minimum fire protection water supply shall be 9,800 gallons. For development of structures totaling more than 10,000 square feet on a single parcel, the reviewing authority may require additional fire protection water supply. Other water supply alternatives, including ISO Rural Class 8 mobile water systems, may be permitted by the fire authority to provide for the same practical effect. The quantity of water required by this condition shall be in addition to the domestic demand and shall be permanently and immediately available. (North County Fire Protection District)	Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	
18		FIRE016 - SETBACKS All parcels 1 acre and larger shall provide a minimum 30-foot setback for new buildings and accessory buildings from all property lines and/or the center of the road. For parcels less than 1 acre, alternate fuel modification standards or other requirements may be imposed by the local fire jurisdiction to provide the same practical effect. (North County Fire Protection District)	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	
19		FIRE019 - DEFENSIBLE SPACE REQUIREMENTS - (STANDARD) Remove combustible vegetation from within a minimum of 30 feet of structures. Limb trees 6 feet up from ground. Remove limbs within 10 feet of chimneys. Additional and/or alternate fire protection or firebreaks approved by	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	

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		the fire authority may be required to provide reasonable fire safety. Environmentally sensitive areas may require alternative fire protection, to be determined by Reviewing Authority and the Director of Planning and Building Inspection. (North County Fire Protection District)	Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	
20		FIRE021 - FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM (STANDARD) The building(s) and attached garage(s) shall be fully protected with automatic fire sprinkler system(s). Installation shall be in accordance with the applicable NFPA standard. A minimum of four (4) sets of plans for fire sprinkler systems must be submitted by a California licensed C-16 contractor and approved prior to installation. This requirement is not intended to delay issuance of a building permit. A rough sprinkler inspection must be scheduled by the installing contractor and completed prior to requesting a framing inspection. (North County Fire Protection District)	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	
			Applicant shall schedule fire dept. rough sprinkler inspection	Applicant or owner	Prior to framing inspection	
			Applicant shall schedule fire dept. final sprinkler inspection	Applicant or owner	Prior to final building inspection	
21		FIRE026 - ROOF CONSTRUCTION (STANDARD) All new structures, and all existing structures receiving new roofing over 50 percent or more of the existing roof surface within a one-year period, shall require a minimum of ICBO Class B roof construction. (North County Fire Protection District)	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
22		WR40 - WATER CONSERVATION MEASURES The applicant shall comply with Ordinance No. 3932, or as subsequently amended, of the Monterey County Water Resources Agency pertaining to mandatory water conservation regulations. The regulations for new construction require, but are not limited to: a. All toilets shall be ultra-low flush toilets with a maximum tank size or flush capacity of 1.6 gallons, all shower heads shall have a maximum flow capacity of 2.5 gallons per minute, and all hot water faucets that have more than ten feet of pipe between the faucet and the hot water heater serving such faucet shall be equipped with a hot water recirculating system. b. Landscape plans shall apply xeriscape principles, including such techniques and materials as native or low water use plants and low precipitation sprinkler heads, bubblers, drip irrigation systems, and timing devices. (Water Resources Agency)	Compliance to be verified by building inspector at final inspection.	Owner/ Applicant	Prior to final building inspection/ occupancy	
23		WR45 - WELL INFORMATION The applicant shall provide the Water Resources Agency information on the well to serve the project including a map showing the well location and any available well logs/e-logs. (Water Resources Agency)	Submit all applicable well information to the Water Resources Agency for review and approval.	Owner/ Applicant	Prior to issuance of any grading or building permits	
24		PBD000 - GEOTECHNICAL LETTER (NON STANDARD) The applicant shall submit an addendum to the geotechnical report written by the Geotechnical consultant specifically discussing the fill material on the western portion of the lot. The addendum shall address issues with the placement of fill on slopes in excess of 30% to include	Submit letter from geotechnical consultant to the RMA - Planning Department.	Owner/ Applicant/ Geotechnical Consultant	Prior to issuance of Building or Grading Plans	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		stability, drainage, erosion, and include recommendations and how they relate to the standard recommendations contained on the project plans. The addendum shall be approved by the Director of Planning. (RMA-Planning Department)				

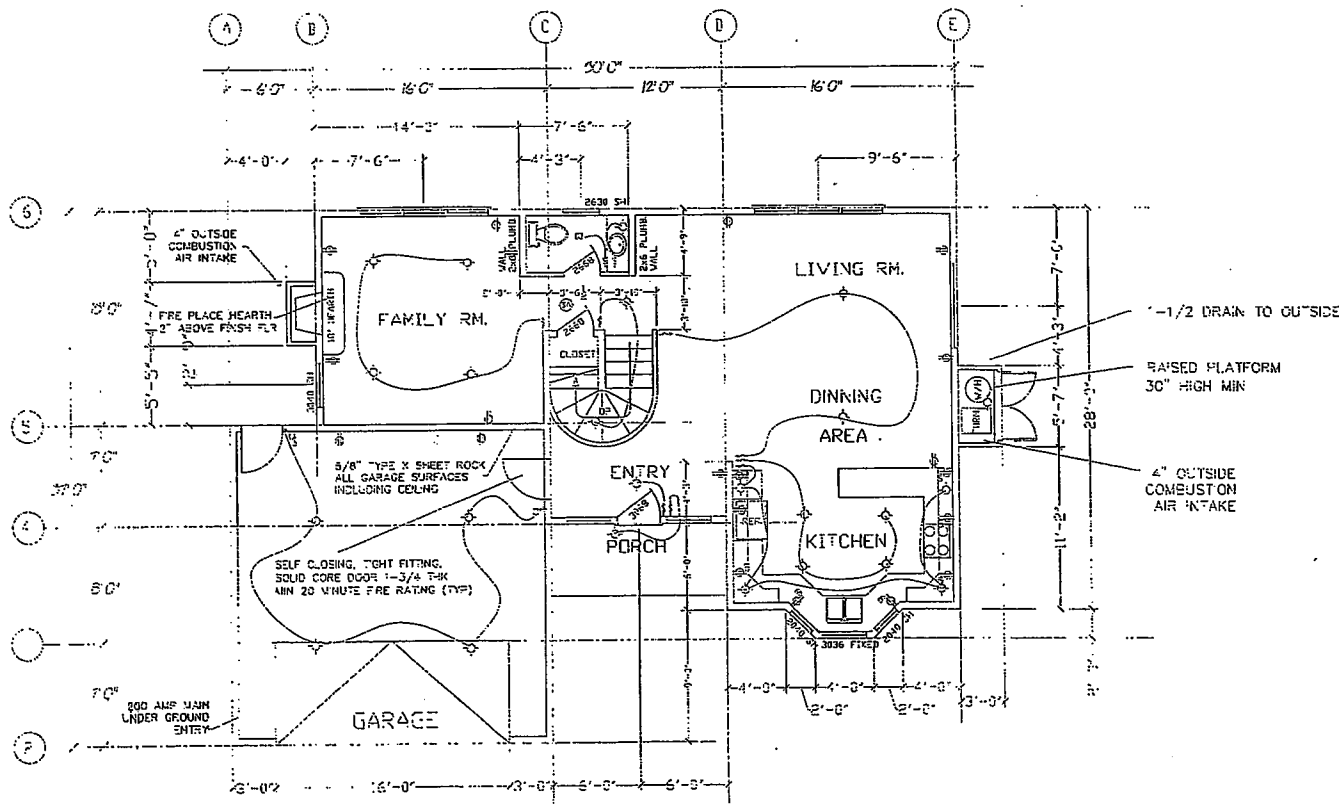


REVISIONS		
No.	Description	Date
01	owner review	4/26/25

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Thompson, APN 127-141-024
Monterey County, California
ELEVATION VIEWS

DATE	04/26/25
BY	5/7/25
CHECKED BY	
APPROVED BY	
SCALE	as noted
FOR	local site submittal
PROJECT	A2
	6 sheets



ELECTRICAL LEGEND

- ⊕ BATTERY BACK UP AC SMOKE DETECTION FIRE-RESISTANT
- ⊙ RECESSED LIGHTING, ALL SHALL BE UL RATED
- ⊙ OVERHEAD LIGHTING, ALL SHALL BE UL RATED
- ⊕ AC DUPLEX OUTLET IS AMP, UNLESS OTHERWISE NOTED
- ⊕ DUPLEX OUTLET
- ⊕ SWITCHED AC DUPLEX OUTLET IS AMP
- ⊕ GFI AC DUPLEX OUTLET IS AMP
- ⊕ LIGHT SWITCH, SINGLE TYPE
- ⊕ 3 WAY LIGHT SWITCH
- ⊕ RECESSED LIGHTING, SCHEDULE FOR SET LOCATION, 7A, 7B, 7C, 7D
- ⊕ OVERHEAD LIGHT, WEATHER PROOF, UL

First Floor Plan

APN 127-141-024

scale: 1/4" = 1'0"

GENERAL NOTES

1. All exterior walls to be 2x6 studs typ. u.s.a., interior walls to be 2x4 studs typ. u.s.a., exception in planning notes.
2. Dimensions generally wall between exterior and interior to show 5/8" type x gypsum board from foundation to roof.
3. All window openings shall be covered with 1/2" x 1/2" x 1/2" in construction, SECTION 1205.3.
4. Window adjacent to bath, shower and toilet/shower, or adjacent to and within 24" of either edge of door shall be fully latched, latched with pins or approved plastic, per U.S.C. SECTION 1205.3.
5. Sleeping rooms shall have a window or exterior door for emergency escape, all height shall not exceed 44" above the floor. Windows must have an operable area of at least 5.7 sq. ft. with the minimum clear height 20" and the minimum clear width 20". The emergency door or window shall be covered with the notice to provide a full, clear opening without the use of separate tools, U.S.C. SECTION 310.4.
6. Appliances in confined spaces provide two openings into enclosure each having 1 sq. ft. per 1000 Btu/hr. rated, 3/4" x 3/4" communicating with other unconfined interior spaces, minimum 100 sq. ft. each opening, per U.S.C. SECTION 310.4.
7. Corrugated metal shall be used under all the work, all of sheet metal shall be a minimum height of 70" above drain foot.
8. Toilet spaces shall be at least 35" wide, with at least 24" clear in front of water closet per SECTION 2904.
9. Bath material shall be covered with a minimum of 1/2" x 1/2" x 1/2" in construction, SECTION 1205.3.
10. If new gas piping (gas distribution) will be installed with a certified gas fitter, showing in U.S.C. and all equipment for heating and cooling systems, locations to be determined by design build contractor.
11. All working areas, place, power, and location of the ceiling shall be shown. The contractor shall be responsible for the design/build, per U.S.C. SECTION 1205.3.
12. Under floor access shall be adequately ventilated, engineering to be design/build.
13. All term plastic insulation shall have flame-retardant rating of not more than 25 and a smoke-developed rating of not more than 450.
14. Combustible materials shall not be placed within 4 inches of heating equipment.
15. The heating unit shall be self-contained from the surrounding or adjacent building.

ELECTRICAL/MECHANICAL NOTES

1. Lamps used for general lighting in the kitchen and bathroom shall be "fluorescent" in energy with CFL type 25, use 150 (R).
2. All HVAC equipment shall be approved prior to installation by Monterey Regional Planning and Engineering by the Planning and Engineering Department.
3. The furnace & water heater shall be installed so that the space in between is at least 18" above the floor per U.S.C. 304.2.
4. Since the range hood is at least 18" above the floor 1/2" and lower 1/2" at 18" vertical clearance.
5. The dryer's exhaust duct shall not exceed a total length of 14 ft. per U.S.C. 304.2. The duct shall not be less than 4" in diameter, shall have smooth interior surface, a break-down diameter and shall terminate outside of the building.
6. Ducts used for range ventilation shall be of metal. There shall be a 24" clearance between the range or cooktop and the metal venting hood.
7. Provide non-removable backflow prevention device at all hose bibs per UPC 603.17.
8. Provide water closets that do not use more than 1.6 gallons per flush per U.S.C. & safety code, sec 17921.3.
9. Provide individual control valves of the pressure balance or thermostatic mixing valve type of the showers and tub-showers per UPC 405.
10. Provide grounding for the main service entrance, U.S.C. grounding, emergency response procedure is required per U.S.C. Bond, "all" water pipes to 1/4" service ground per U.S.C. 250.
11. The electric for the kitchen shall be located so that no part of the wall of the counter is more than 2 feet from an outlet.
12. All electrical outlets serving the kitchen shall have GFCI protection.
13. One 20 amp electrical outlet shall be provided for the door.
14. Bathroom electrical outlets shall be located by at least one 20 amp branch circuit. The outlets shall have no other outlets.
15. Drains and electric receptacles shall have a 4-wire grounded outlet.
16. Garage lighting to have timer.
17. All exterior lighting to have photo sensor.

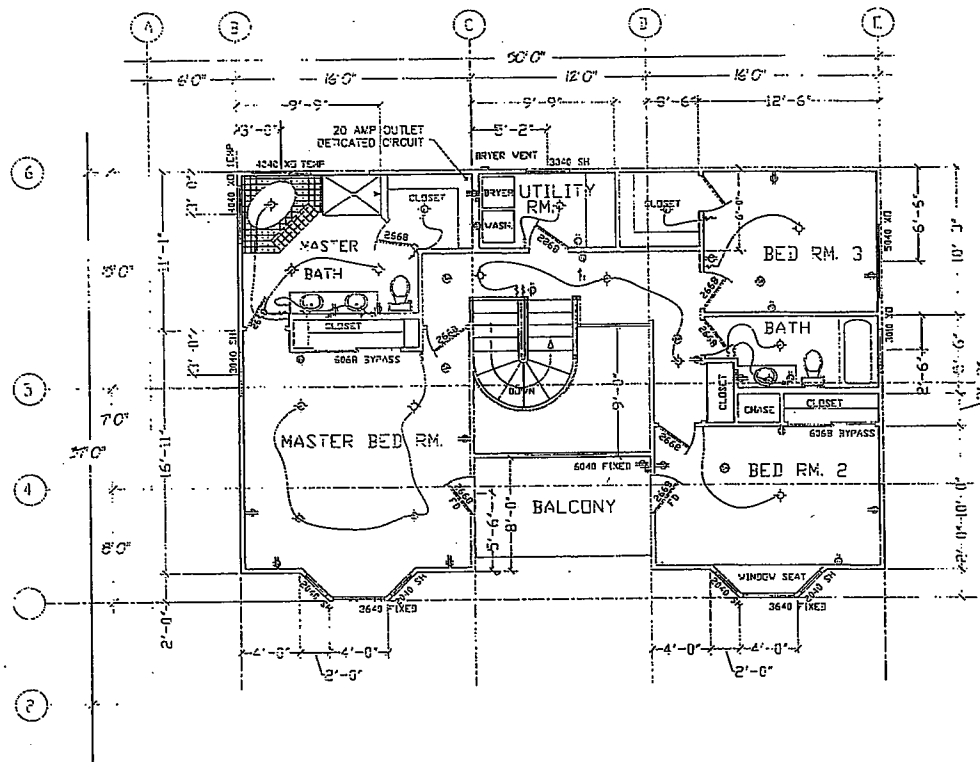
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Thompson, APN 127-141-024
Monterey County, California
FIRST FLOOR PLAN

DATE	BY	CHK
DATE	DATE	DATE
DATE	DATE	DATE
DATE	DATE	DATE
DATE	DATE	DATE
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A3
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Second Floor Plan
 APN 127-141-024
 scale: 1/4" = 1'0"

ELECTRICAL LEGEND

- ⊕ BATTERY BACK UP AC SMOKE DETECTOR
- ⊕ RECESSED LIGHTING, ALL SHALL BE UL RATED
- ⊕ OVERHEAD LIGHTING, ALL SHALL BE UL RATED
- ⊕ AC DUPLEX OUTLET IS AMP, UNLESS OTHERWISE NOTED
- ⊕ 220VOLT OUTLET
- ⊕ SPLITTER AC DUPLEX OUTLET IS AMP
- ⊕ GFC AC DUPLEX OUTLET IS AMP
- ⊕ 120V 15A SPLITTER
- ⊕ 3 WAY LIGHT SWITCH
- ⊕ RECESSED LIGHTING SUITABLE FOR VEST LOCATION, UL RATED
- ⊕ OVERHEAD LIGHT, WEATHER PROOF, UL

GENERAL NOTES

1. See Sheet A, Basement Floor Plan for notes

WINDOW NOTES

1. PROVIDE SAFETY GLASS (TEMPERED OR LAMINATED) AS REQUIRED PER LBC SECTION 2406.2.
5. APPLY SEAL CRAFT TAPE AROUND ALL EXTERIOR OPENING.
7. PROVIDE CONTINUOUS CHALK AROUND ALL WOOD WINDOW AND DOOR PROFILES WITH G.E. SILICONE ACRYLIC POLYSILOXANE OR URETHANE AS REQUIRED.
8. ALL MANUFACTURED WINDOWS TO BE CERTIFIED AND LABELED MEETING STANDARDS LISTED IN TABLE 2-53V OF TITLE 24.
9. EXTERIOR WINDOW FINISH TO BE SEALED, U.N.O.
12. ALL OPERABLE WINDOWS TO HAVE FIXED SCREENS.
13. SEE EXTERIOR ELEVATIONS FOR ALL WINDOW HEAD HEIGHTS.

ELECTRICAL/MECHANICAL NOTES

1. See Sheet A, Basement Floor Plan for notes

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 Monterey County, California
 SECOND FLOOR PLAN

DATE	02/12/2016
BY	1/2/2016
REVISION	
DATE	02/12/2016
BY	1/2/2016
REVISION	
DATE	02/12/2016
BY	1/2/2016
REVISION	

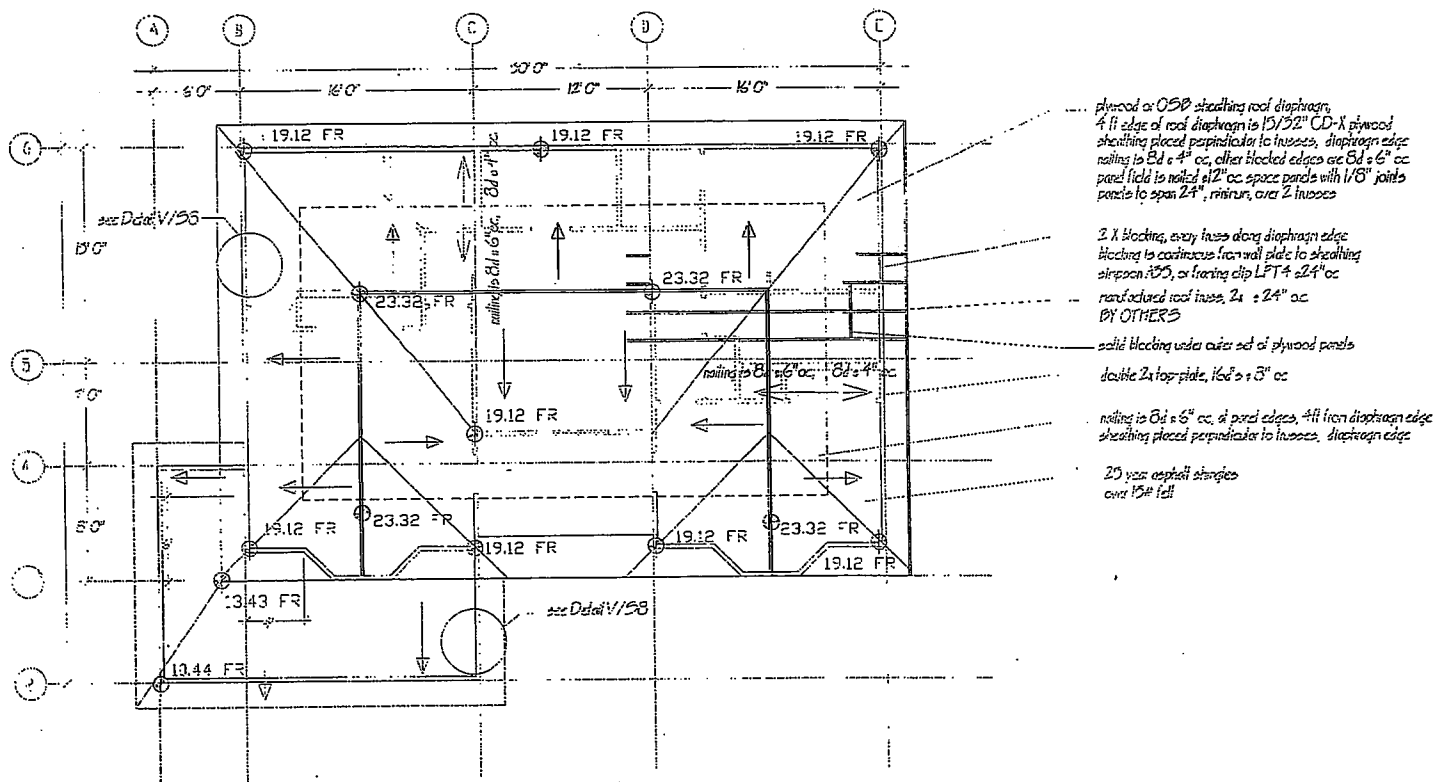
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REVISIONS		
NO.	DATE	BY
1	4/30/95	

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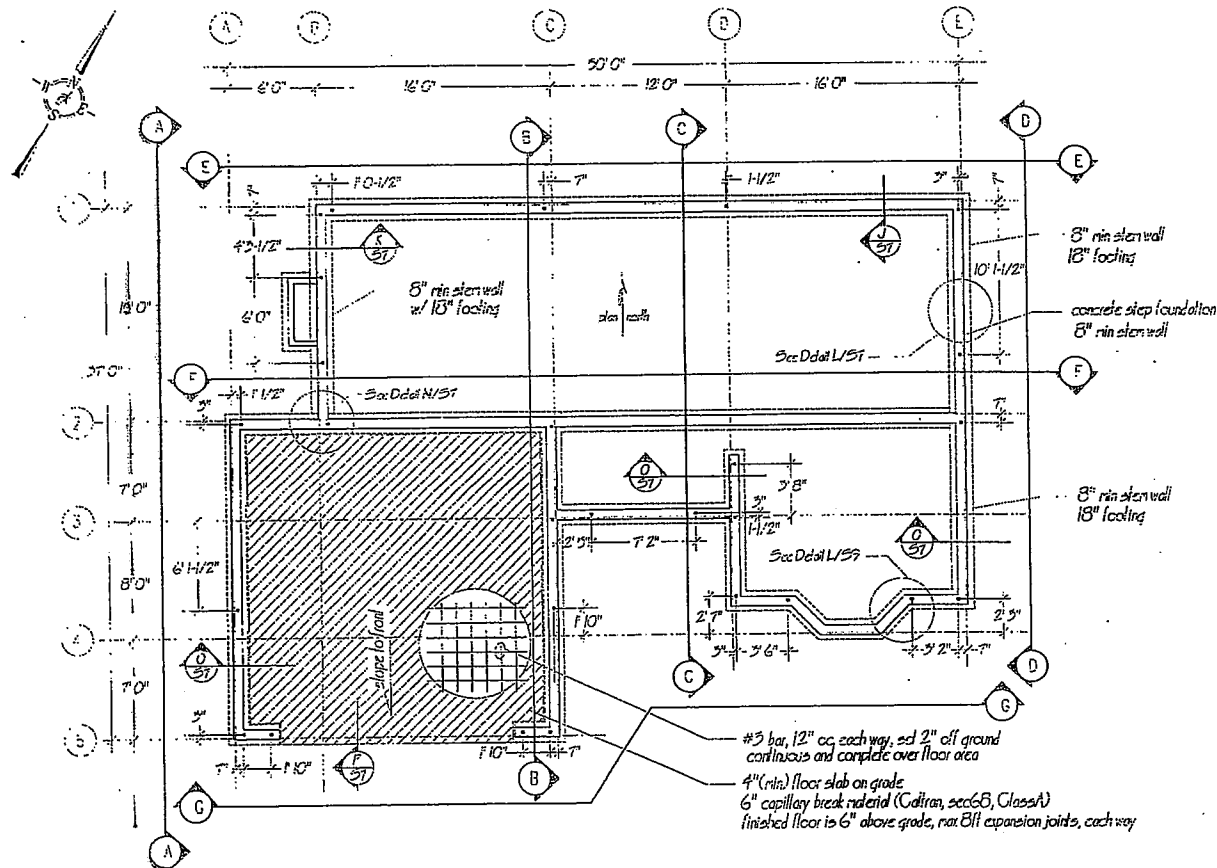
Thompson, APN 127-141-024
 Monterey County, California
 ROOF PLAN

DESIGN BY	PK
CHECK BY	4/30/95
APPROVED BY	
SCALE	as noted
FILE WITH SITE SUBMITTAL	
SHEET	A5
	OF 6



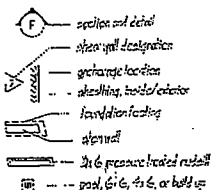
Roof Plan
 APN 127-141-024
 scale: 1/4" = 1'0"





**FOUNDATION PLAN &
ANCHOR LOCATIONS**
Scale: 1/4" = 1' 0"

LEGEND



DESIGNER'S NOTES

1. The site shall be finished grade so that all surface water will flow away from the foundation.
2. Drainage systems and waterproofing are not a part of the Standard Plans and shall be designed by others as required.

MUDSILL

ALL SILL PLATES IN CONTACT WITH NEW CONCRETE FOUNDATION SHALL BE FIRE RESISTANT TREATED, DOUGLAS-FIR LARCH (D.F.L.) 2x6 MINIMUM UNLESS NOTED. ALL SILLS TO BE ANCHORED TO FOUNDATION WITH 3/8\"

ANCHOR BOLTS / HOLD DOWNS

USE 3/8\"

USE 3/8\"

STRUCTURAL DRAWING INDEX

FOUNDATION AND GARAGE/BASEMENT SLAB	S1
FIRST FLOOR FRAMING AND SHEAR PLAN	S2
SECOND FLOOR FRAMING AND SHEAR PLAN	S3
STRUCTURAL ELEVATIONS, NORTH & SOUTH	S4
STRUCTURAL ELEVATIONS, EAST & WEST	S5
STRUCTURAL CROSS SECTIONS, SECTION B, C, & F	S6
FOUNDATION/FLOOR CONNECTION DETAILS	S7
STRUCTURAL CONNECTION DETAILS	S8
SHEAR WALL DETAILS	S9
RETAINING WALL	S10

STRUCTURAL PLANS PREPARED BY

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DESIGN BASIS

Foundation designed to California Building Code 2001 and Uniform Building Code, 1997. Based on Seismic zone 4, Near Source Factor "1", Wind Speed 70 mph.

GENERAL FOUNDATION NOTES:

For re-evaluating for Building Division foundation inspection, preliminary grading and compaction reports shall be submitted to and approved by the Building Division Grading Inspector. The soils engineer shall inspect and approve the foundation excavations before requesting a Building Division foundation inspection.

Anchor bolts must be protected to keep threads clear of finished concrete. Anchor bolts must be set with template and checked to building manufacturer's hold-down dimensions. Any discrepancies must be resolved before pouring concrete. Hold down devices must be secured in place prior to foundation inspection.

Fasteners in preservative-treated wood (ANCHOR BOLTS, NAILS, SCREWS, ETC.) shall be approved silicon bronze or copper, stainless steel or hot-dipped zinc-coated steel (See 1811.3 & 2304.3). Interior bearing walls are not required to have galvanized bolts. The fasteners embedded in concrete shall be attached to, or hooked around, reinforcing steel or otherwise terminate to effectively transfer forces to the reinforcing steel. (CBC, Sec. 1833.3.4.2 & 6)

Reinforcement bars to be deformed #4 steel, intermediate grade ASTM A615, grade 60. Place reinforcement supported and secured against displacement. Locate and support by chairs, blocks, spacers, hangers as required. Ensure reinforcement is clean. Make hooks 90 degrees unless noted otherwise. Provide 135 degree minimum turn, plus 4\"

In placing conduits in situ, place below reinforcement and encase in concrete by increasing the slab thickness locally to 3\"

Portland cement ASTM C150, Type I or II, use one brand of cement throughout work. Concrete F' = 2500 psi @ 28 days. Use ASTM C33 aggregates. Conform to concrete building code requirements.

Place concrete within one hour of time water is first added.

Place concrete continuously. Thoroughly work concrete around reinforcement and embedded fixtures. Completely compact to eliminate voids.

Scared floor, maintain surface flatness of maximum 1/8\"

Immediately after placement, protect concrete from premature drying, maintain minimal moisture loss at relatively constant temperature for period necessary for hydration and hardening of concrete. Do not remove forms from slab edges with 24 hours.

Rev.	Description	Date
1	Issue	12/26/06

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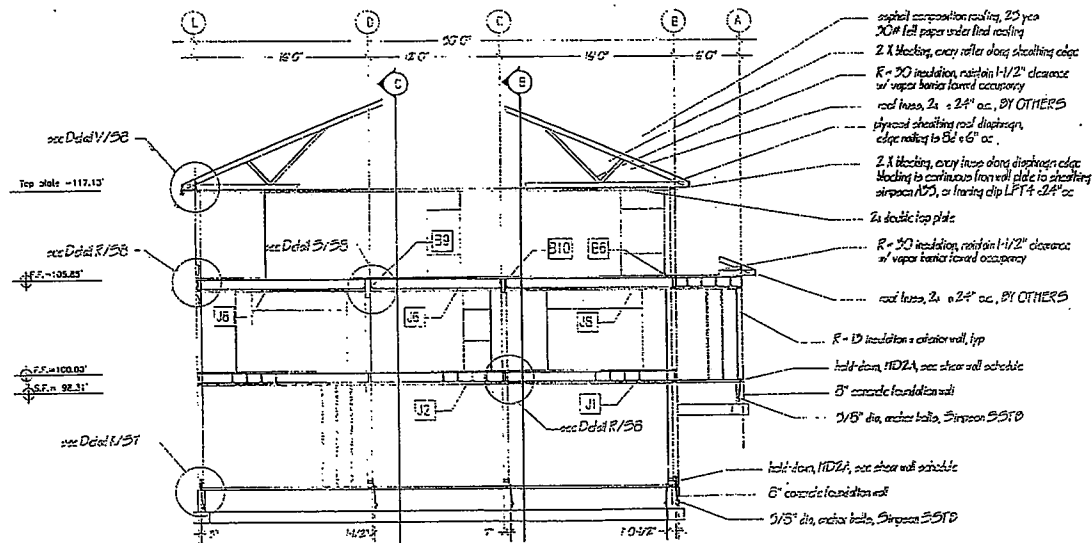
Thompson, APN 127-141-024
Monterey County, California

FOUNDATION PLAN

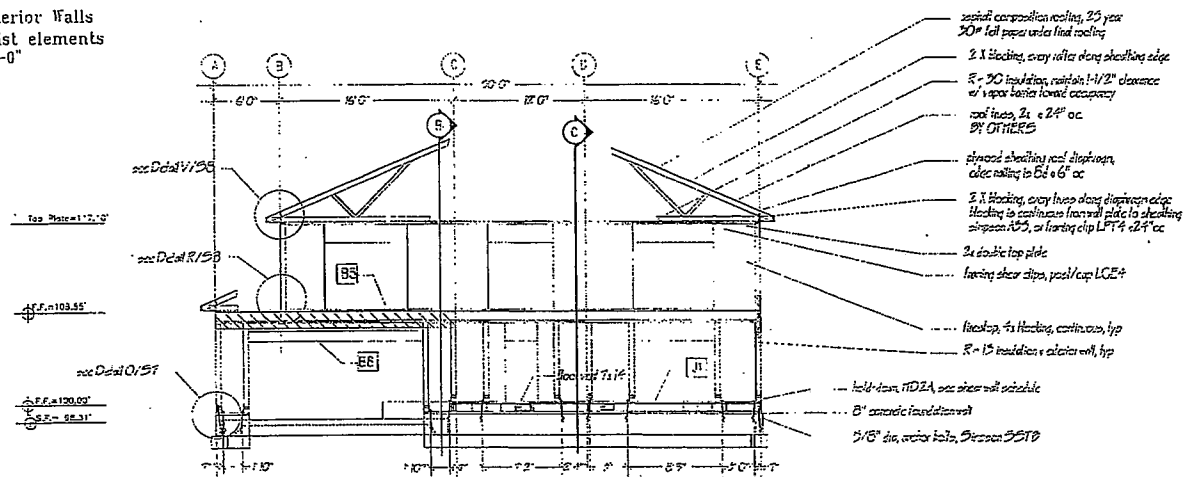


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APPROVED BY: [Signature]
SCALE: 1/4" = 1' 0"
FILE: Structural
SHEET S1 of 6 SHEETS



South Elevation, Exterior Walls
showing seismic resist elements
scale: 3/16" = 1' - 0"



North Elevation, Exterior Walls
showing seismic resist elements
scale: 3/16" = 1' - 0"



REVISIONS		
No.	Description	Date
1	Issue	3/2/9

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Thompson, APN 127-141-024
Monterey County, California
STRUCTURAL ELEVATIONS, NORTH & SOUTH

DATE	03/25/93
BY	PK
CHECKED BY	
APPROVED BY	
SCALE	AS NOTED
TITLE	STRUCTURAL ELEVATIONS
PROJECT	

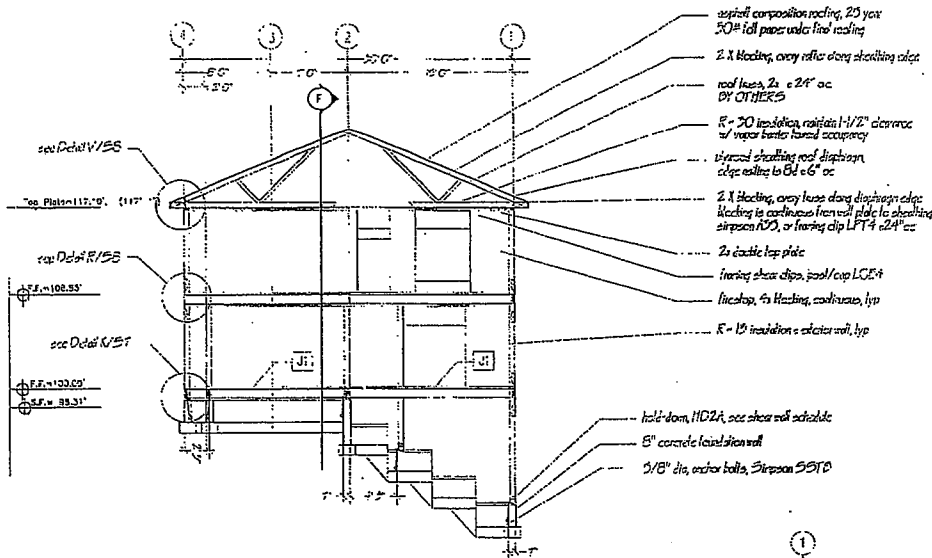
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REVISIONS		
No.	Description	Date
1	owner review	12/13/06

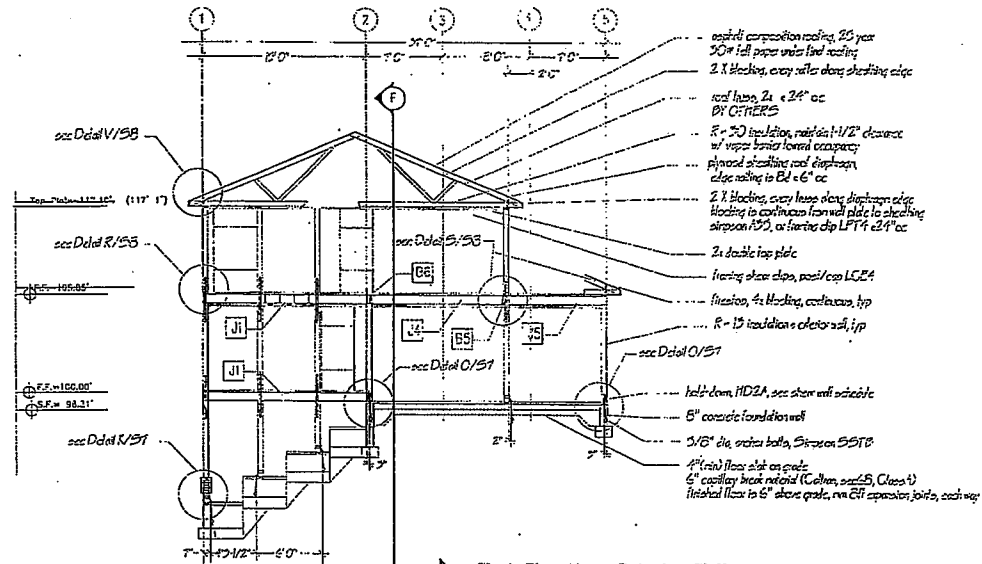
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 pkawulok@attglobal.net

Thompson, APN 127-141-024
 Monterey County, California
 STRUCTURAL ELEVATIONS, EAST & WEST

DATE: 03/25/06
DESIGNED BY: J. J. Kawulok
CHECKED BY: J. J. Kawulok
SCALE: as noted
DATE: 03/25/06
BY: J. J. Kawulok
55



East Elevation, Exterior Walls
 showing seismic resist elements
 scale: 3/16" = 1' - 0"



West Elevation, Exterior Walls
 showing seismic resist elements
 scale: 3/16" = 1' - 0"



REVISIONS		
No.	Description	Date
0	over review	3/3/06

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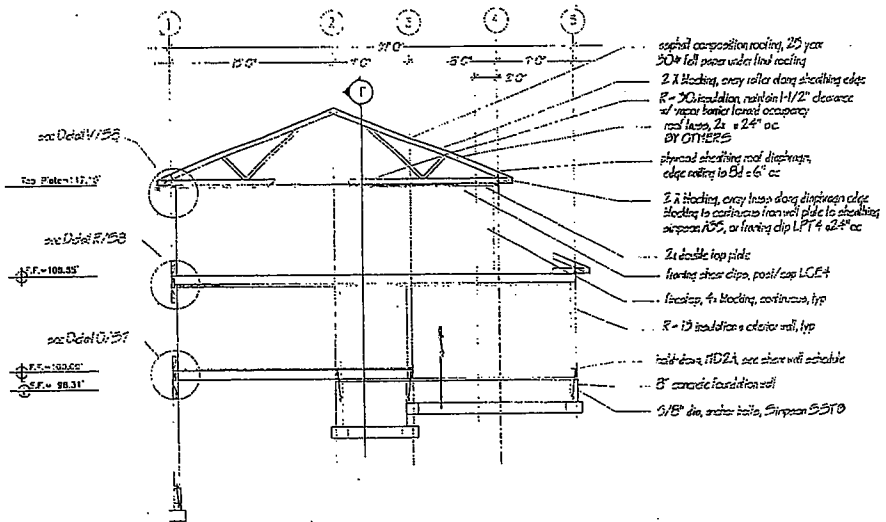
Thompson, APN 127-141-024

Monterey County, California

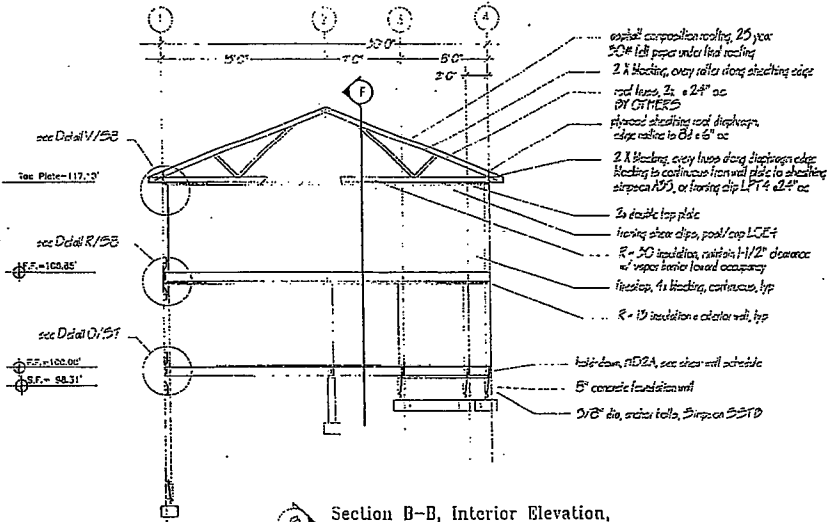
INTERIOR SECTION VIEWS



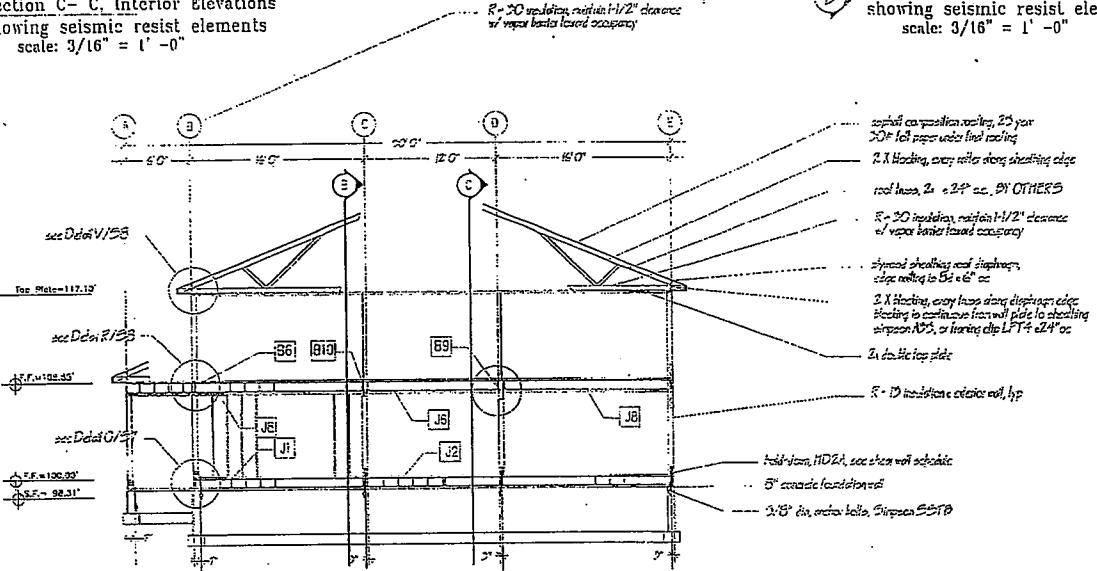
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SCALE: as noted
TITLE: INTERIOR SECTION VIEWS
SHEET: S6 OF 9



Section C-C, Interior Elevations
showing seismic resist elements
scale: 3/16" = 1' - 0"



Section B-B, Interior Elevation,
showing seismic resist elements
scale: 3/16" = 1' - 0"



Section F-F, Interior Elevations
showing seismic resist elements
scale: 3/16" = 1' - 0"

NORTH COUNTY

Royal Oaks County Park



APPLICANT: THOMPSON

APN: 127-141-024-000

FILE # PLN060342



300' Limit



2500' Limit



City Limits



0 1,000
Feet



PLANNER: MANUGUERRA

