

In the matter of the application of  
**Stephen & Marty Field (PLN040573)**

**FINDINGS AND DECISION**

to allow a **Combined Development Permit** in accordance with Title 20 (Zoning) Chapter 21.210 (Combined Development Permits) of the Monterey County Code, for a Combined Development Permit consisting of: a Coastal Administrative Permit to allow a 1,684 square foot single family dwelling, 528 square foot detached garage, 1,800 square foot barn, corral, and grading (approximately 852 cubic yards cut and 626 cubic yards fill); and a Coastal Administrative Permit to allow small livestock farming (approximately 25 sheep). The property is located at 153 Walker Valley Road, Castroville, northerly of the intersection of Walker Valley Road and Bay View Road, North County Area, Coastal Zone. This matter came on regularly for meeting before the Zoning Administrator on January 12, 2006.

Said Zoning Administrator, having considered the application and the evidence presented relating thereto,

1. **FINDING – CONSISTENCY:** The subject Coastal Development Permit (PLN040573/Field) has been processed in accordance with all applicable requirements.

**EVIDENCE:**

- (a) On March 31, 2005, Mr. Stephen K. Field and Ms. Marty Field filed an application for a Combined Development Permit requesting entitlements to construct a single family house, detached garage, barn and corral and to permit small livestock farming on an existing 12.75-acre parcel. The application was deemed complete on June 1, 2005.
- (b) The project site, owned by Stephen K. Field and Marty Field, is located at 153 Walker Valley Road (Assessor's Parcel Number 131-102-015-000), North County, Coastal Zone, in the County of Monterey (the property).
- (c) **LUAC.** On May 2, 2005, the North County Coastal LUAC recommended approval of the project by a vote of 6-0 with a condition for a conservation easement to protect oak woodlands and chaparral.
- (d) **CEQA.** Although a single family residence is categorically exempt from review, the County determined that there are unusual circumstances that warranted further review. An Initial Study was prepared, which determined that no significant impacts would result from this project with implementation of mitigation measures. See **Finding 8.**
- (e) **Zoning Administrator.** On January 12, 2006, the Monterey County Zoning Administrator considered findings, evidence, and conditions for approving a Coastal Development Permit (PLN040573/Field) in the North County Coastal Land Use Plan area.

2. **FINDING - COMPLY WITH REGULATIONS** - The Coastal Development Permit PLN040573/Field, as conditioned is consistent with applicable plans and policies of the North County Land Use Plan (LUP), Coastal Implementation Plan, Part 2 (Chapter 20.144 MCC), Monterey County Grading Ordinance (Title 16), and the Monterey County Zoning Ordinance (Title 20/Coastal Implementation Plan, Part 1) which designates this area as appropriate for medium density residential development.

## EVIDENCE:

- (a) The Planning and Building Inspection Department staff reviewed the project, as contained in the application and accompanying materials, for conformity with:
- 1982 Monterey County General Plan, as amended.
  - North County Land Use Plan, as amended
  - Coastal Implementation Plan – Part 2 (Chapter 20.144 MCC)
  - Chapter 20.14 MCC – Low Density Residential
  - Chapter 20.70 MCC - Coastal Development Permits.

As conditioned, there would be no conflict or inconsistencies with the regulations of these plans or policies.

- (b) Existing Conditions. The site (APN: 131-102-015-000) is 12.75 acres and is designated as Low Density Residential, 1 unit per 2.5-10 acres (LDR/2.5), North County Coastal Land Use Plan. There is an existing dirt road, two trailers, an existing well, some trails, and a fenced pasture area with approximately 22 livestock.
- (c) Proposed Project. The project consists of a Combined Development Permit that includes a coastal administrative permit to allow a 1,684 square foot single-family dwelling, a 528 square foot detached garage, a 1,800 square foot barn, corral, and grading (approximately 852 cubic yards cut and 626 cubic yards fill); and a coastal administrative permit to allow small livestock farming (approximately 25 sheep).
- (d) Land Use. The proposed residential use and density (one single-family home on an existing lot) is consistent with the North County Land Use Plan which designates the property as "Low Density Residential (2.5-10 acres/unit)." Small livestock farming is permitted with 20,000 square feet of land area for each animal, which is provided on the site. The text and policies of the North County Land Use Plan and the Monterey County General Plan have been evaluated during the course of the review of this application. No conflict or inconsistencies with the text or the policies were found to exist. No testimony, either written or oral, was received during the course of public hearing to indicate that there is any inconsistency with the North County Land Use Plan or the Monterey County General Plan.
- (e) Zoning. The parcel is zoned Low Density Residential, 2.5-10 units/acre, Coastal Zone ("LDR/2.5 (CZ)"). A single-family house with detached garage and small livestock farming with an accessory barn structure are allowed (Section 20.14.040A, D and F CIP) with a Coastal Administrative Permit.
- (f) Development Standards. The proposed setbacks for the single-family home (1,250-foot front/85&440-foot sides/50-foot rear) meet the minimum requirements (30-foot front/20-foot sides/20-foot rear) for habitable main structures in the LDR zone. The proposed garage setbacks (1,320-foot front/43&550-foot sides/36-foot rear) meet the minimum requirements (50-foot front/6-foot sides/1-foot rear) for non-habitable accessory structures in the LDR zone. The proposed barn setbacks (1,050-foot front/85&450-foot sides/222-foot rear) meet the minimum requirements (50-foot front/20-foot sides/20-foot rear) for accessory barn structures in the LDR zone. The proposed residential building height is 23.5-feet and the maximum allowed is 30-feet. The proposed garage building height is 14 feet and a maximum of 15 feet is allowed for non-habitable accessory structures. The proposed barn height is 24 feet and a maximum of 30 feet is allowed in the LDR zone. The project provides the minimum setback between buildings: 40 feet between the house and garage where a minimum of 10 feet is required; 106 feet between the house and barn where a minimum of 20 is required; and 165 feet between the barn and garage where a minimum of 6 feet is required. Maximum building site coverage for the LDR zone is 15% and the proposed project has a coverage of 0.7% (4,199 square feet).

- (g) Environmentally Sensitive Habitat Areas. The project site will not result in direct development within existing environmentally sensitive habitat areas (ESHA) that include central maritime chaparral, wetlands (vernal marsh) and rare and endangered plant habitat (Monterey spineflower). A biological assessment, including field survey, has been conducted to identify ESHA locations and mitigation measures, including dedication of a conservation easement to protect onsite areas of ESHA. An existing dirt road adjacent to an existing wetland will be paved, and two new structures will be located within 100 feet of the protected central maritime chaparral ESHA. However, the project as designed, mitigated and conditioned will protect the maximum amount of ESHA and will insure compatibility of proposed uses with the long-term maintenance of adjacent ESHA areas. Reference and see Finding 8 below.
- (h) Critical Erosion Area. The project site is not located within a critical erosion area as determined by review of maps by the project planner (Section 20.144.070A.1 CIP).
- (i) Visual Resources. The proposed project is not visible from a public viewshed as defined in Chapter 20.144 of the Monterey County Coastal Implementation Plan. The proposed building site is located on the upper portion of an existing parcel adjacent to Walker Valley Road, which is not a designated scenic roadway. There are no significant visual resources, scenic corridors, or significant views or vistas in the project vicinity, and the project site is not part of a scenic vista or panoramic view. The project building site is not visible from public roadways or public viewpoints and will not result in ridgeline development,
- (j) Site Visits. The project planner conducted on-site inspections on September 28, 2005 to verify that the project on the subject parcel conforms to the plans and reports listed above.
- (k) No testimony, either written or oral, was received during the course of the public hearing process to indicate that there is any inconsistency with these plans or policies.
- (l) Application/Project File. The application, plans, and support materials submitted by the project applicant to the Monterey County Planning and Building Inspection Department for the proposed development, found in Project File PLN040573/Field.

**3. FINDING – SITE SUITABILITY:** The site is adequate for the development of the proposed single family house.

**EVIDENCE:**

- (a) Agency Review. The project has been reviewed for suitability by staff from Planning and Building Inspection Department, Public Works Department, Water Resources Agency, Environmental Health Division, Parks Department, and North County Fire Protection District. There has been no indication from these agencies that the site is not suitable for the proposed development. Recommended conditions have been incorporated.
- (b) Sewage Disposal. Adequate sewage disposal can be provided to the site, as approved by the Director of Environmental Health. The project, as described in the application and accompanying materials, conforms with the applicable provisions of the Monterey County Code relative to Sewage Disposal, Chapter 15.20. The project was reviewed by the Monterey County Departments of Health and Public Works for conformity with the applicable provisions of the County Code. Appropriate recommendations for the project are contained in File No. PLN040573.
- (c) Water Supply. Adequate water supply facilities exist on the site, as approved by the Director of Environmental Health. Appropriate recommendations for the project are contained in File No. PLN040573. See **Finding 4**.
- (d) Professional Reports. Technical reports by outside geotechnical consultants indicate that there are no physical or environmental constraints that would indicate the site is not suitable

for the use proposed. Findings and recommendations from the reports prepared by these professionals have been incorporated into the analysis and conditions. All technical reports are in Project File PLN040573.

- (e) Traffic. The proposed project has been reviewed by the Monterey County Department of Public Works and there is no indication from that Department that the site is not suitable for development or that the use will adversely impact traffic conditions in the area.
- (f) Site Inspection. The project planner conducted a site inspection and determined that the proposed improvements will not present an unsightly appearance, impair the desirability of residences in the same area, limit the opportunity to obtain the optimum use and value of land improvements or impair the desirability of living conditions of the same or adjacent area.
- (g) Project File. The application, plans, photographs and support materials submitted by the project applicant to the Monterey county Planning and Building Inspection Department for the proposed development, found in the project file (PLN040573/Field).

4. **WATER IMPACT – NORTH COUNTY:** There presently exists in the North Monterey County area a serious overdraft in the aquifers, together with seawater intrusion problems in the North County Coastal Zone and nitrate pollution problems throughout the area. The North County Land Use Plan, Coastal Implementation Plan, and Area Plan recognize the existence of these problems and direct that studies be made to determine the safe-yield of the North Monterey County aquifers and that procedures thereafter be adopted to manage development in the area so as to minimize adverse effects on the aquifers and preserve them as viable sources of water for human consumption.

**EVIDENCE:**

- (a) Ordinance #4005 of the County of Monterey adds Chapter 18.51 to the Monterey County Code to establish a Water Impact Fee for development in the North Monterey County Area to assist in financing a study and management plans relating to the safe yield of the North Monterey County aquifers.
- (b) The project will be supplied domestic water service by an existing onsite well drilled in 2001 with an approved permit from Monterey County, and will not result in a significant new water demand. The project consists of construction of a single-family home and accessory structures on an existing legal parcel and is exempt from requirements for preparation of a hydrologic report (Section 20.144.070D.1 CIP).
- (c) The project site is located within the area of benefit of the Salinas Valley Water Project (Zone 2C), which proposes modifications to existing reservoirs and associated improvements to provide groundwater recharge. Due to the benefit of this regional project, which is currently being implemented, staff has concluded that the projects that do not result in significant water demand and that can be provided water by the local system, would be consistent with County policy and ordinance. The County anticipates that the regional project would provide an additional assurance of a long-term sustainable water supply to project area.
- (d) The proposed project is consistent with Section 20.144.140.B.3.a, of the Monterey County Coastal Implementation Plan. This Section establishes a 50% buildout figure which is permitted as the first phase of new development in the North County Land Use Planning Area in an effort to limit groundwater use to the safe yield level. Approximately 500 units out of a maximum of 1,351 new lots or units (excluding one single family dwelling on a vacant lot of record) remain that could be allowed within the 50% buildout limit approved July, 1987 in the North County Land Use Planning Area.

5. **FINDING - PUBLIC ACCESS:** The project is in conformance with the public access and public recreation policies of the Coastal Act and Local Coastal Program, and does not interfere with any

form of historic public use or trust rights. No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.70.050.B.4.c of the Monterey County Coastal Implementation Plan, can be demonstrated.

**EVIDENCE:**

- (a) The subject property is not described as an area where the Local Coastal Program requires public access (Figure 6 in the North County Land Use Plan).
- (b) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
- (c) The project is in conformance with the public access and public recreation policies of the Coastal Act and Local Coastal Program, and does not interfere with any form of historic public use or trust rights (Section 20.144.150 CIP). No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.144.150.B of the Monterey County Coastal Implementation Plan, can be demonstrated.

6. **FINDING - HEALTH AND SAFETY:** The establishment, maintenance or operation of the project applied for will not under the circumstances of this particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

**EVIDENCE:**

- (a) Agency Review. The project was reviewed by Planning and Building Inspection, Public Works Department, Water Resources Agency, Environmental Health Division, and the North County Fire Protection District. The respective departments and agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood. The applicant has agreed to these conditions as evidenced by the application and accompanying materials.
- (b) Professional Reports. Recommended conditions and modifications from consulting geotechnical consultants provide additional assurances regarding project safety. These technical reports are in Project File PLN040573.
- (c) Preceding findings and supporting evidence.

7. **FINDING - NO VIOLATIONS:** The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision and any other applicable provisions of the County's zoning ordinance. No violations exist on the property, and all zoning violation abatement cost, if any, have been paid.

**EVIDENCE:**

- (a) Staff verified that the subject property is in compliance with all rules and regulations pertaining to the use of the property, that no violations exist on the property and that all zoning abatement costs, if any have been paid.
- (b) Staff reviewed Monterey County Planning and Building Inspection Department records and is not aware of any violations that exist on subject property.

8. **FINDING - CEQA:** On the basis of the whole record before the Monterey County Zoning Administrator there is no substantial evidence that the proposed project as designed and conditioned, will have a significant effect on the environment with implementation of mitigation measures. The negative declaration reflects the independent judgment and analysis of the County.

## EVIDENCE:

- (a) Initial Study. On November 29, 2005, Monterey County Planning and Building Inspection Department completed an Initial Study pursuant to the California Environmental Quality Act (CEQA). This Initial Study identified potentially significant impacts to biological resources, geology and soils, and hydrology and water quality. Site investigations and technical reports determined that there are clearly no significant impacts that would occur as a result of the proposed project. The Initial Study is on file in the office of PB&I and is hereby incorporated by reference (PLN040573).
- (b) Mitigated Negative Declaration. A Mitigated Negative Declaration was filed with the County Clerk on November 30, 2005, noticed for public review, and circulated to the State Clearinghouse (SCH #2005091059) from December 1, 2005 to December 30, 2005. The evidence in the record includes studies, data, and reports supporting the Initial Study; additional documentation requested by staff in support of the Initial Study findings; information presented or discussed during public hearings; staff reports that reflect the County's independent judgment and analysis regarding the above referenced studies, data, and reports; application materials; and expert testimony. Among the studies, data, and reports analyzed as part of the environmental determination are the following:
- (1) The application.
  - (2) Grice Engineering and Geology Inc. November 2004. "Geotechnical Soils-Foundation & Geoseismic Report for the Field Residence, 153 Walker Valley Road, Castroville, California, APN 131-102-015."
  - (3) Grice Engineering and Geology Inc. September 2000. "Percolation and Groundwater Study with Septic Recommendations for the Walker Valley Subdivision, Walker Valley Road, Castroville, California."
  - (4) Grice Engineering and Geology Inc. September 2005. "Stormwater Pollution Prevention Plan for the Field Residence, 153 Walker Valley Road, Castroville, California, APN 131-102-015."
  - (5) Ed Mercurio. August 2001. "Biological Survey Report for the Elkhorn Meadows Property APN 131-102-015 North Monterey County, California."
  - (6) Ed Mercurio. June 3, 2005. "Update of Biological Survey Report for the Marty Field Property (Formerly Elkhorn Meadows Property), Walker Valley Road, Prunedale, California 93905, APN 131-102-015."
  - (7) Staff reports that reflect the County's independent judgment.
  - (8) Information and testimony presented during public hearings.
- These reports are on file in the offices of PBI (File Reference PLN040079) and are incorporated by reference herein.
- (c) Biological Resources. A historical area of Monterey spineflower may have been impacted by grazing and could be further impacted in the future, a potentially significant impact. Required mitigation measures will reduce the impact to a less than significant level and include protection of the spineflower habitat area, dedication of a conservation easement, and habitat management measures (#1, 2, 3, 4). A minor amount of wetland fill may occur with the planned road regrading that could result in potential erosion and water quality impacts could indirectly affect special status aquatic species (California red-legged frog and California tiger salamander) if present on the site as well as potential accidental killing of individuals. Required mitigation measures will reduce the impact to a less than significant level and include pre-construction surveys for aquatic species, construction controls and road design (#5, 6, 7). Potential fill of wetlands and potential water quality degradation due to erosion can

be mitigated by designing grading plans to avoid wetland fill and implementation of drainage control measures (#8, 9).

- (d) Geology and Soils. Potentially significant erosion impacts were identified due to grading, and mitigation measures include implementation of construction erosion control measures (#9) and preparation and implementation of a revegetation and grazing management plan to mitigate for existing and potential continued erosion due to animal grazing (#3).
- (e) Comments. No public comments were received as of the date of the preparation of the staff report. The Zoning Administrator considered public testimony and the initial study at a hearing on January 12, 2006.
- (f) Determination. After sufficiently considering all comments and testimony along with the technical reports and supporting project information, the Planning Commission adopted a negative declaration (Section 15074 CEQA).
  - (1) No adverse environmental effects were identified during staff review of the development application during site visits.
  - (2) There are no unusual circumstances related to the project or property that would require additional review.
  - (3) This project does not require implementation of mitigation measures.

9. **FINDING - FISH & GAME FEE**: For purposes of the Fish and Game Code, the project will not have a significant adverse impact on the fish and wildlife resources upon which the wildlife depends with implementation of mitigation measures.

**EVIDENCE:**

- (a) De Minimus Finding. Staff analysis contained in the Initial Study and the record as a whole indicate the project could result in changes to the resources listed in Section 753.5(d) of the Department of Fish and Game (DFG) regulations, although mitigation measures are included as part of the project conditions. Therefore, staff recommends that the project be required to pay the fee.
- (b) Initial Study and Mitigated Negative Declaration contained in File No. PLN040573/Field.

**DECISION**

THEREFORE, it is the decision of the Zoning Administrator of the County of Monterey that the Mitigated Negative Declaration and Program for Mitigation Monitoring and/or Reporting on Conditions of Approval be adopted and said application for a Combined Development Permit be granted as shown on the attached sketch and subject to the attached conditions.

**PASSED AND ADOPTED** this 12th day of January, 2006.

  
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MIKE NOVO, ZONING ADMINISTRATOR

COPY OF THIS DECISION MAILED TO APPLICANT ON

JAN 26 2006

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE BOARD OF SUPERVISORS AND THE COASTAL COMMISSION.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK OF THE BOARD OF SUPERVISORS ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE FEB 05 2006

THIS APPLICATION IS ALSO APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE DECISION BY THE BOARD OF SUPERVISORS, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90<sup>th</sup> day following the date on which this decision becomes final.

#### NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.  
  
Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.  
  
Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning and Building Inspection Department office in Salinas.
2. This permit expires two years after the above date of granting thereof unless construction or use if started within this period.



**Monterey County Planning and Building Inspection  
Condition Compliance and/or Mitigation Monitoring  
Reporting Plan**

**Project Name:** FIELD

**File No:** PLN040573

**APNs:** 131-102-015-000

**Approval by:** Zoning Administrator

**Date:** January 12, 2006

*\*Monitoring or Reporting refers to projects with an EIR or adopted Mitigated Negative Declaration per Section 21081.6 of the Public Resources Code.*

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
1		<b>PBD029 - SPECIFIC USES ONLY</b> This Coastal Development Permit (PLN040573/FIELD) includes a coastal administrative permit to allow a 1,684 square foot single-family dwelling, a 528 square foot detached garage, a 1,800 square foot barn, corral, and grading (approximately 852 cubic yards cut and 626 cubic yards fill); and a coastal administrative permit to allow small livestock farming (approximately 25 sheep). The property is located at 153 Walker Valley Road, Castroville (Assessor's Parcel Number 131-102-015-000). This permit was approved in accordance with County ordinances and land use regulations subject to the following terms and conditions. Neither the uses (except for the grazing use previously authorized by the Planning and Building Inspection Department) nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of Planning and Building Inspection. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate	Adhere to conditions and uses specified in the permit.	Owner/ Applicant	Ongoing unless other- wise stated	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		authorities. <b>(Planning and Building Inspection)</b>				
2		<b>PBD025 - NOTICE-PERMIT APPROVAL</b> The applicant shall record a notice which states: "A combined development permit (Resolution 040573) was approved by the <b>Zoning Administrator</b> for Assessor's Parcel Number 131-102-015-000 on <b>January 12, 2006</b> . The permit was granted subject to <u>44</u> conditions of approval which run with the land. A copy of the permit is on file with the Monterey County Planning and Building Inspection Department." Proof of recordation of this notice shall be furnished to the Director of Planning and Building Inspection prior to issuance of building permits or commencement of the use. <b>(Planning and Building Inspection)</b>	Proof of recordation of this notice shall be furnished to PBI.	Owner/ Applicant	Prior to Issuance of grading and building permits or start of use.	
3		<b>PBD022 - MITIGATION MONITORING PROGRAM</b> The applicant shall enter into an agreement with the County to implement a Mitigation Monitoring and/or Reporting Plan in accordance with Section 21081.6 of the California Public Resources Code and Section 15097 of Title 14, Chapter 3 of the California Code of Regulations. Compliance with the fee schedule adopted by the Board of Supervisors for mitigation monitoring shall be required and payment made to the County of Monterey at the time the property owner submits the signed mitigation monitoring agreement. <b>(Planning and Building Inspection)</b>	1) Enter into agreement with the County to implement a Mitigation Monitoring Program.  2) Fees shall be submitted at the time the property owner submits the signed mitigation monitoring agreement.	Owner/ Applicant	Within 60 days after project approval or prior to issuance of grading and building permits, whichever occurs first.	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
4		<b>PBD042 – GRADING PERMITS REQUIRED</b> A grading permit is required for new private single family access driveways greater than fifty (50) feet in total length that require 100 cubic yards or more of earthwork. An over the counter (OTC) grading permit may be issued for new private single family access driveways greater than fifty (50) feet in total length that require less than 100 cubic yards of earthwork.. <b>(Planning and Building Inspection)</b>	If applicable, apply and receive the appropriate grading permit from Monterey County Planning and Building Inspection.	Engineer/ Owner/ Applicant	Prior to Issuance of Grading or Building Permits	
5		<b>PBD011 - EROSION CONTROL PLAN AND SCHEDULE</b> The approved development shall incorporate the recommendations of the Erosion Control Plan as reviewed by the Soils Conservation Service and the Director of Planning and Building Inspection. All cut and/or fill slopes exposed during the course of construction be covered, seeded, or otherwise treated to control erosion during the course of construction, subject to the approval of the Director of Planning and Building Inspection. The improvement and grading plans shall include an implementation schedule of measures for the prevention and control of erosion, siltation and dust during and immediately following construction and until erosion control planting becomes established. This program shall be approved by the Director of Planning and Building Inspection. <b>(Planning and Building Inspection)</b>	1) Evidence of compliance with the Erosion Control Plan shall be submitted to PBI prior to issuance of building and grading permits.	Owner/ Applicant	Prior to Issuance of Grading and Building Permits	
6		<b>PBD014 - GRADING-WINTER RESTRICTION</b> No land clearing or grading shall occur on the subject parcel between October 15 and April 15 unless authorized by the Director of Planning and Building Inspection. <b>(Planning and Building Inspection)</b>	None	Owner/ Applicant	Ongoing	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
7		<b>PBD019 - LANDSCAPING PLAN - NORTH COUNTY COASTAL NATIVE</b> The site shall be landscaped. The use of native species consistent with and found in the project area shall be required in all landscaping plans as a condition of project approval. A list of appropriate native plant species identified in Attachment #2 and #3 in the North County Implementation Plan Development Regulations is available in brochure form ( <i>Suggested Native Species Landscaping List - North County Coastal Zone</i> ) from the Planning and Building Inspection Department. ( <b>Planning and Building Inspection</b> )	Submit landscape plans and contractor's estimate to PBI for review and approval.	Owner/ Applicant/ Contractor	At least three weeks prior to final inspection or occupancy	
8		<b>PBD021 – LIGHTING – EXTERIOR LIGHTING PLAN</b> All exterior lighting shall be unobtrusive, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The applicant shall submit 3 copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The exterior lighting plan shall be subject to approval by the Director of Planning and Building Inspection, prior to the issuance of building permits. ( <b>Planning and Building Inspection</b> )	Submit three copies of the lighting plans to PBI for review and approval.	Owner/ Applicant	Prior to issuance of building permits.	
9		<b>PBD034 - UTILITIES - UNDERGROUND</b> All new utility and distribution lines shall be placed underground. ( <b>Planning and Building Inspection; Public Works</b> )	None	Applicant/ Owner	Ongoing	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
10		<b>PBD026 – NOTICE OF REPORT (GEOTECHNICAL)</b> Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states: "A Geotechnical Investigation has been prepared for this parcel by Grice Engineering and Geology, Inc., dated November 2004 and is on record in the Monterey County Planning and Building Inspection Department Library No. 040573. All proposed development shall be in accordance with this report unless amended." <b>(Planning and Building Inspection)</b>	Proof of recordation of this notice shall be furnished to PBI.	Owner/ Applicant	Prior to issuance of grading and building permits	
11		<b>PBD030 - STOP WORK - RESOURCES FOUND</b> If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. The Monterey County Planning and Building Inspection Department and a qualified archaeologist (i.e., an archaeologist registered with the Society of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery. <b>(Planning and Building Inspection)</b>	Stop work within 50 meters (165 feet) of uncovered resource and contact the Monterey County Planning and Building Inspection Department and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.	Owner/ Applicant/ Archaeo- logist	Ongoing	

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12		<b>PBD008 – EASEMENT - CONSERVATION</b> A scenic easement shall be conveyed to the County over those portions of the property where sensitive habitats, archaeological sites, etc. exists. An easement deed shall be submitted to, and approved by, the Director of Planning and Building Inspection prior to issuance of grading and building permits. <b>(Planning and Building Inspection)</b>	Submit approved and recorded scenic easement to PBI.	Owner/ Applicant	Prior to Issuance of Grading and Building Permits	
13		<b>TREE PROTECTION NON STANDARD</b> Trees which are located close to the construction site(s) shall be protected from inadvertent damage from construction equipment by wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip line of the retained trees. Install construction fencing around the trees to prevent inadvertent grading, disturbance or compaction by construction equipment and prohibit storage of equipment or construction materials within the fenced areas. If trimming of branches will be required on oaks, less than one third of branches shall be removed on any one tree. Said protection shall be demonstrated prior to issuance of building permits subject to the approval of the Director of Planning and Building Inspection. <b>(Planning and Building Inspection)</b>	Submit evidence of tree protection to PBI for review and approval.	Owner/ Applicant	Prior to issuance of grading and building permits	

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14		<b>PBD032(B) – TREE AND ROOT PROTECTION</b> Trees which are located close to the construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection shall be demonstrated prior to issuance of building permits subject to the approval of the Director of Planning and Building Inspection. <b>(Planning and Building Inspection)</b>	Submit evidence of tree protection to PBI for review and approval.	Owner/ Applicant	Prior to Issuance of Grading and/or Building Permits	
15		<b>PBD036 - WATER TANK APPROVAL</b> The water tank shall be painted an earth tone color to blend into the area and landscaped (including land sculpturing and fencing, where appropriate), subject to the approval of the Director of Planning and Building Inspection, prior to the issuance of building permits. <b>(Planning and Building Inspection)</b>	1) Submit proposed color of water tank and landscaping to PBI for review and approval.  2) Provide evidence to PBI that the water tank is painted as approved by PBI and that landscaped was installed as approved by PBI.	Applicant/ Owner	Prior to the issuance of grading and building permits  Prior to final inspection or occupancy	

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16		<b>PBD026 – NOTICE OF REPORT (BIOLOGY)</b> Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states: "An Ecological Assessment has been prepared for this parcel by Ed Mercurio, dated August 2001 and June 3, 2005 and is on record in the Monterey County Planning and Building Inspection Department. All current and future development shall be in accordance with this report unless amended." <b>(Planning and Building Inspection)</b>	Proof of recordation of this notice shall be furnished to PBI.	Owner/ Applicant	Prior to issuance of grading and building permits	
17		<b>PBD012 - FISH AND GAME FEE-NEG DEC/EIR</b> Pursuant to the State Public Resources Code, State Fish and Game Code, and California Code of Regulations, the applicant shall pay a fee, to be collected by the County, within five (5) calendar days of project approval – prior to filing of the Notice of Determination. This fee shall be paid on or before the filing of the Notice of Determination. Proof of payment shall be furnished by the applicant to the Director of Planning and Building Inspection prior to the recordation of the tentative map, the commencement of the use, or the issuance of building and/or grading permits, whichever occurs first. The project shall not be operative, vested or final until the filing fees are paid. <b>(Planning and Building Inspection)</b>	Proof of payment shall be furnished by the applicant to the Director of Planning and Building Inspection prior to the recordation of the tentative map, the commencement of the use, or the issuance of building and/or grading permits, whichever occurs first.	Owner/ Applicant	Prior to the recordation of the tentative map, the start of the use or the issuance of building and grading permits.	



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18	1	<b>HABITAT PROTECTION</b> Protect the original Monterey spineflower area, and restore, where needed, to the conditions originally found to insure continued survival and reproduction of the species. Relocate the fence line to prevent grazing in the area of the spineflower to allow the original ecotone conditions to eventually return. Require that a spring survey be conducted for the Monterey spineflower during the flowering period in 2006 by a qualified biologist to determine the existing habitat boundaries and to modify fence lines and develop reseedling/revegetation recommendations for restoration, if needed. <b>(Planning and Building Inspection)</b>	<p>The applicant shall provide the Director of Planning and Building Inspection with evidence that fence lines have been modified to protect the original area of habitat based on maps provided by the project biologist.</p> <p>The applicant shall provide the Director of Planning and Building Inspection with a copy of a spring flower survey which documents the area of spineflower population and modification of the fenceline location as may be recommended by the project biologist. Upon review and approval by the Director, appropriate modifications to the fenceline shall be made if needed.</p> <p>The applicant shall have a spineflower revegetation plan if so recommended as part of the spring survey by a qualified biologist that demonstrates revegetation and monitoring criteria of the spineflower habitat area. The plan shall provide propagation and planting methods. The plan shall be submitted to the Director of Planning and Building Inspection for review and approval.</p>	<p>Owner/ Applicant</p> <p>Owner/ Applicant &amp; Biologist</p> <p>Owner/ Applicant &amp; Biologist</p>	<p>Prior to issuance of grading permit</p> <p>Prior to temporary or final occupancy</p> <p>Prior to final building inspection and signoff</p>	

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19	2	<b>HABITAT MANAGEMENT</b> Require dedication of a conservation and scenic easement over the portions of the property north of the proposed building sites and pasture areas, including areas of Monterey spineflower, central maritime chaparral, and oak woodland.	Submit approved and recorded scenic easement to PBI.	Owner/ Applicant	Prior to Issuance of Grading and Building Permits	
20	3	<b>HABITAT MANAGEMENT</b> Develop and implement a livestock grazing management plan in consultation with a qualified biologist that includes management practices for rotational grazing, the type and distribution of appropriate grass seed to utilize, fertilizer management and manure management to avoid and/or minimize further impacts to the Monterey spineflower habitat. Livestock enclosures shall be revegetated and grazing management implemented to adequately retain sedimentation from livestock enclosures on-site, consistent with LCP policies and regulations (LUP Policy 2.5.3.C.6.g and CIP section 20.144.040.C.1d). <b>(Planning and Building Inspection)</b>	The applicant shall provide the Director of Planning and Building Inspection with a draft grazing management plan for review and approval. The plan shall include a program for long-term monitoring of the spineflower habitat at 1, 3, 5 and 10 years with specified performance/evaluation criteria to insure no indirect impact to habitat. Failure to implement may require additional monitoring and corrective measures.	Owner/ Applicant	Prior to issuance of building permit	
21	4	<b>HABITAT MANAGEMENT</b> Prohibit use of motorized vehicles in areas covered under the scenic and conservation easement on the developed property. <b>(Planning and Building Inspection)</b>	The applicant shall provide the Director of Planning and Building Inspection with evidence that the conservation easement required in Mitigation Measure #2 includes a prohibition of motorized vehicles within the area covered by the easement.	Owner/ Applicant	Prior to issuance of building or grading permit	

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22	5	<b>HABITAT MANAGEMENT</b> Require that pre-construction surveys be conducted by a qualified biologist, for California red-legged frog and California tiger salamander, in accordance with agency survey protocols. If individuals are found, consult with the U.S. Fish and Wildlife Service regarding mitigation, including possible relocation to the northernmost portion of the vernal marsh and installation of construction barriers. <b>(Planning and Building Inspection)</b>	The applicant shall provide the Director of Planning and Building Inspection with the pre-construction survey results for review and approval.	Owner/ Applicant & Biologist	Prior to issuance of grading permit and road paving	
23	6	<b>CONSTRUCTION CONTROLS</b> Require placement of placement of plastic sheet barrier fencing between the area of road construction and the vernal marsh habitat to prevent aquatic species from entering the area of construction and to help prevent silt and soil from the construction area from entering the vernal marsh habitat. This measure shall be coordinated with erosion control measures. <b>(Planning and Building Inspection)</b>	The applicant shall install protective measures and provide photographs to the Director of Planning and Building Inspection for review and approval.	Owner/ Applicant	Prior to issuance of grading permit	
24	7	<b>ROAD DESIGN</b> Design curbs, if present at the edges of roads, parking areas, or driveways, at a low angle, 40° to 50° or less and have S-shaped rounded contours, to allow amphibians, reptiles, invertebrates and other small animals to cross them easily. <b>(Planning and Building Inspection)</b>	The applicant shall revise project plans to include the road design measure. The applicant shall install protective measures and provide photographs to the Director of Planning and Building Inspection for review and approval.	Owner/ Applicant	Prior to issuance of grading permit	

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25		<b>SENSITIVE HABITAT PROTECTION DURING CONSTRUCTION</b> Flag and install protective construction fencing along the boundaries of sensitive habitats and around isolated individuals of sensitive plant species when potentially damaging construction activities will occur in their immediate areas to protect central maritime chaparral plants that may be disturbed by construction activities. Required a 3 to 1 replacement of any removed plants with native plants of the same species which are of local origin. <b>(Planning and Building Inspection)</b>	<p>The applicant shall install protective measures and provide photographs to the Director of Planning and Building Inspection for review and approval.</p> <p>The applicant shall retain a qualified biologist to monitor installation of the construction fencing to protect sensitive habitat areas and to monitor the site intermittently during construction, and to provide a final report to the Director of Planning and Building Inspections for review and approval that documents that no construction damage occurred or specifies where/number/type of plants removed and location/type/number of plants replanted.</p>	<p>Owner/ Applicant</p> <p>Owner/ Applicant, Biologist</p>	<p>Prior to issuance of grading permit</p> <p>During and upon completion of construction and prior to occupancy</p>	
26	8	<b>GRADING TO AVOID WETLAND FILL</b> Design road grades and prepare final grading road contours to avoid encroachment into the onsite wetland. <b>(Planning and Building Inspection)</b>	The applicant shall provide the Director of Planning and Building Inspection with a final grading plan with a road grading section that demonstrates no wetland fill, for review and approval.	Owner/ Applicant	Prior to issuance of grading permit and road paving	
27	9	<b>CONTROL DRAINAGE INTO WETLAND</b> Require drainage plan to incorporate measures to prevent contaminants from road drainage from entering the onsite wetland, i.e. directing roadway drainage away from wetland, or use of oil/gas filters and/or vegetated swales. <b>(Planning and Building Inspection)</b>	The applicant shall provide an engineered drainage plan that includes this measure to the Monterey County Water Resources Agency and to the Director of Planning and Building Inspection for review and approval.	Engineer/ Owner/ Applicant	Prior to issuance of grading permit	

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28		<b>FENCING</b> New fencing, other than that enclosing residential and agricultural portions of the property, should be of a type that will allow wildlife to easily cross. Wire fencing should have a clearance of eighteen inches between the ground and the first wire and can be any height. Board fencing can be of any height and should have at least two panels on a side with at least fifteen inches between boards. <b>(Planning and Building Inspection)</b>	The applicant shall revise project plans to include the fence design and submit to the Director of Planning and Building Inspection for review and approval.	Owner/ Applicant	Prior to issuance of building permit	
29	10	<b>EROSION CONTROL</b> Implement specific erosion control measures, including, but not limited to, the following: <ul style="list-style-type: none"> <li>• Install temporary silt fencing and/or straw bales along the roadway adjacent to the onsite wetland to prevent inadvertent erosion and sedimentation into onsite or offsite wetland areas.</li> <li>• Prohibit grading between November 1 and April 1, unless approved by the Director of Planning and Building Inspection in accordance with County regulations, and protect disturbed areas during these times with appropriate erosion control measures.</li> <li>• Immediately revegetate disturbed areas with appropriate native plant species that are compatible with surrounding vegetation.</li> </ul> <b>(Planning and Building Inspection)</b>	The applicant shall revise site plan to include additional Erosion Control Notes and submit to the Monterey County Planning and Building Inspection Department for review and approval.	Owner/ Applicant	Prior to issuance of grading permit	
MONTEREY COUNTY WATER RESOURCE AGENCY						

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30		<b>WR003 - DRAINAGE PLAN - RETENTION</b> Prior to the issuance of grading or building permits, the applicant shall provide the Water Resources Agency a drainage plan prepared by a registered civil engineer or architect addressing on-site and off-site impacts. The plan shall include retention/percolation facilities to mitigate the impact of impervious surface stormwater runoff. Drainage improvements shall be constructed in accordance with plans approved by the Water Resources Agency. <b>(Water Resources Agency)</b>	Submit 3 copies of the engineered drainage plan to the Water Resources Agency for review and approval.	Owner/ Applicant/ engineer	Prior to issuance of grading or building permits	
31		<b>WR008 - COMPLETION CERTIFICATION</b> Prior to final inspections, the applicant shall provide the Water Resources Agency certification from a registered civil engineer or licensed contractor that stormwater detention/retention facilities have been constructed in accordance with approved plans. <b>(Water Resources Agency)</b>	Submit a letter to the Water Resources Agency, prepared by a registered civil engineer or licensed contractor, certifying compliance with approved drainage plan.	Owner/ Applicant/ Engineer/ Contractor	Prior to final inspection	
32		<b>WR45 - WELL INFORMATION</b> The applicant shall provide the Water Resources Agency information on the well to serve the project including a map showing the well location and any available well logs/e-logs. <b>(Water Resources Agency)</b>	Submit all applicable well information to the Water Resources Agency for review and approval.	Owner/ Applicant	Prior to issuance of any grading or building permits	

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33		<b>WR040 - WATER CONSERVATION MEASURES</b> The applicant shall comply with Ordinance No. 3932, or as subsequently amended, of the Monterey County Water Resources Agency pertaining to mandatory water conservation regulations. The regulations for new construction require, but are not limited to: a. All toilets shall be ultra-low flush toilets with a maximum tank size or flush capacity of 1.6 gallons, all shower heads shall have a maximum flow capacity of 2.5 gallons per minute, and all hot water faucets that have more than ten feet of pipe between the faucet and the hot water heater serving such faucet shall be equipped with a hot water recirculating system. b. Landscape plans shall apply xeriscape principles, including such techniques and materials as native or low water use plants and low precipitation sprinkler heads, bubblers, drip irrigation systems and timing devices. <b>(Water Resources Agency)</b>	Compliance to be verified by building inspector at final inspection.	Owner/ Applicant	Prior to final building inspection/occupancy	
<b>MONTEREY COUNTY DIVISION OF ENVIRONMENTAL HEALTH</b>						
34		<b>EH011 - SEPTIC SYSTEM DESIGN</b> Submit plans for review and approval showing the location and design of the proposed septic system meeting the standards found in Chapter 15.20 of the Monterey County Code (Septic Ordinance) and "Prohibitions", Central Coast Basin Plan, RWQCB. <b>(Environmental Health)</b>	Division of Environmental Health must approve plans. Applicant shall obtain a permit to install the septic system.	CA Licensed Engineer /Owner/ Applicant	Prior to filing the final parcel map or issuance of building permit	

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35		<b>EH0SP01 – MANURE MANAGEMENT PLAN</b> Provide a Manure Management Plan to the Division of Environmental Health for review and approval. The Manure Management Plan shall address the volume of waste generated, method and time frame of regular disposal off-site, and necessary controls for vector, odor and waste run-off from the livestock farming operations. <b>(Environmental Health)</b>	Submit two copies of the plan to the Division of Environmental Health for review and approval.	Owner/ Applicant/ Operator	Prior to issuance of building permit	
36		<b>EH0SP02 – MANURE MANAGEMENT</b> The applicant shall manage the manure waste product generated by any livestock operations in conformance with a Manure Management Plan that has been reviewed and approved by the Division of Environmental Health. <b>(Environmental Health)</b>	Comply with the plan approved by the Division of Environmental Health	Owner/ Applicant/ Operator	Continuous	
<b>NORTH COUNTY FIRE PROTECTION DISTRICT</b>						
37		<b>FIRE007 - DRIVEWAYS</b> Driveways shall not be less than 12 feet wide unobstructed, with an unobstructed vertical clearance of not less than 15 feet. The grade for all driveways shall not exceed 15 percent. Where the grade exceeds 8 percent, a minimum structural roadway surface of 0.17 feet of asphaltic concrete on 0.34 feet of aggregate base shall be required. The driveway surface shall be capable of supporting the imposed load of fire apparatus (22 tons), and be accessible by conventional-drive vehicles, including sedans. For driveways with turns 90 degrees and less, the minimum horizontal inside radius of curvature shall be 25 feet. For driveways with turns greater than 90 degrees, the minimum horizontal inside radius curvature shall be 28 feet. For all driveway turns, an	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.  Applicant shall schedule fire dept. clearance inspection.	Applicant or owner  Applicant or owner	Prior to issuance of grading and/or building permit.  Prior to final building inspection.	



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		additional surface of 4 feet shall be added. All driveways exceeding 150 feet in length, but less than 800 feet in length, shall provide a turnout near the midpoint of the driveway. Where the driveway exceeds 800 feet, turnouts shall be provided at no greater than 400-foot intervals. Turnouts shall be a minimum of 12 feet wide and 30 feet long with a minimum of 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall long with a minimum 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall be located within 50 feet of the primary building. The minimum turning radius for a turnaround shall be 40 feet from the center line of the driveway. If a hammerhead/T is used, the top of the "T" shall be a minimum of 60 feet in length. <b>(North County Fire Protection District)</b>				
38		<b>FIRE011 - ADDRESSES FOR BUILDINGS</b> All buildings shall be issued an address in accordance with Monterey County Ordinance No. 1241. Each occupancy, except accessory buildings, shall have its own permanently posted address. When multiple occupancies exist within a single building, each individual occupancy shall be separately identified by its own address. Letters, numbers and symbols for addresses shall be a minimum of 4-inch height, 1/2-inch stroke, contrasting with the background color of the sign, and shall be Arabic. The sign and numbers shall be reflective and made of a noncombustible material. Address signs shall be placed at each driveway entrance and at each driveway split. Address signs shall be and visible from both directions of travel along the road. In all cases, the address shall	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	

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		be posted at the beginning of construction and shall be maintained thereafter. Address signs along one-way roads shall be visible from both directions of travel. Where multiple addresses are required at a single driveway, they shall be mounted on a single sign. Where a roadway provides access solely to a single commercial occupancy, the address sign shall be placed at the nearest road intersection providing access to that site. Permanent address numbers shall be posted prior to requesting final clearance. <b>(North County Fire Protection District).</b>				
39		<b>FIRE014 - EMERGENCY WATER STANDARDS - FIRE PROTECTION WATER SUPPLY - (SINGLE PARCEL)</b> For development of structures totaling less than 3,000 square feet on a single parcel, the minimum fire protection water supply shall be 4,900 gallons. For development of structures totaling 3,000 square feet or more on a single parcel, the minimum fire protection water supply shall be 9,800 gallons. For development of structures totaling more than 10,000 square feet on a single parcel, the reviewing authority may require additional fire protection water supply. Other water supply alternatives, including ISO Rural Class 8 mobile water systems, may be permitted by the fire authority to provide for the same practical effect. The quantity of water required by this condition shall be in addition to the domestic demand and shall be permanently and immediately available. <b>(North County Fire Protection District).</b>	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.  Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to issuance of grading and/or building permit.  Prior to final building inspection	

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40		<b>FIRE015 - FIRE HYDRANTS/FIRE VALVES</b> A fire hydrant or fire valve is required. The hydrant or fire valve shall be 18 inches above grade, 8 feet from flammable vegetation, no closer than 4 feet nor further than 12 feet from a roadway, and in a location where fire apparatus using it will not block the roadway. The hydrant serving any building shall be not less than 50 feet and not more than 1000 feet by road from the building it is to serve. Minimum hydrant standards shall include a brass head and valve with at least one 2 1/2 inch National Hose outlet supplied by a minimum 4 inch main and riser. More restrictive hydrant requirements may be applied by the Reviewing Authority. Each hydrant/valve shall be identified with a reflectorized blue marker, with minimum dimensions of 3 inches, located on the driveway address sign, non-combustible post or fire hydrant riser. If used, the post shall be within 3 feet of the hydrant/valve, with the blue marker not less than 3 feet or greater than 5 feet above the ground, visible from the driveway. On paved roads or driveways, reflectorized blue markers shall be permitted to be installed in accordance with the State Fire Marshal's Guidelines for Fire Hydrant Markings Along State Highways and Freeways, May 1988. (North County Fire Protection District)	<p>Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.</p> <p>Applicant shall schedule fire dept. clearance inspection</p>	Applicant or owner	<p>Prior to issuance of grading and/or building permit.</p> <p>Prior to final building inspection</p>	
41		<b>FIRE016 - SETBACKS</b> All parcels 1 acre and larger shall provide a minimum 30-foot setback for new buildings and accessory buildings from all property lines and/or the center of the road. For parcels less than 1 acre, alternate fuel modification standards or other requirements may be imposed by the local fire jurisdiction to provide the same practical effect. (North County Fire Protection District)	<p>Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.</p> <p>Applicant shall schedule fire dept. clearance inspection.</p>	<p>Applicant or owner</p> <p>Applicant or owner</p>	<p>Prior to issuance of grading and/or building permit.</p> <p>Prior to final building</p>	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
					inspection.	
42		<b>FIRE019 - DEFENSIBLE SPACE REQUIREMENTS - (STANDARD)</b> Remove combustible vegetation from within a minimum of 30 feet of structures. Limb trees 6 feet up from ground. Remove limbs within 10 feet of chimneys. Additional and/or alternate fire protection or firebreaks approved by the fire authority may be required to provide reasonable fire safety. Environmentally sensitive areas may require alternative fire protection, to be determined by Reviewing Authority and the Director of Planning and Building Inspection. (North County Fire Protection District)	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.  Applicant shall schedule fire dept. clearance inspection.	Applicant or owner  Applicant or owner	Prior to issuance of grading and/or building permit. Prior to final building inspection	
43		<b>FIRE021 - FIRE PROTECTION EQUIPMENT &amp; SYSTEMS - FIRE SPRINKLER SYSTEM (STANDARD)</b> The building(s) and attached garage(s) shall be fully protected with automatic fire sprinkler system(s). Installation shall be in accordance with the applicable NFPA standard. A minimum of four (4) sets of plans for fire sprinkler systems must be submitted by a California licensed C-16 contractor and approved prior to installation. This requirement is not intended to delay issuance of a building permit. A rough sprinkler inspection must be scheduled by the installing contractor and completed prior to requesting a framing inspection. (North County Fire Protection District)	Applicant shall enumerate as "Fire Dept. Notes" on plans.  Applicant shall schedule fire dept. rough sprinkler inspection  Applicant shall schedule fire dept. final sprinkler inspection	Applicant or owner  Applicant or owner  Applicant or owner	Prior to issuance of building permit.  Prior to framing inspection  Prior to final building inspection	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
44		<b>FIRE026 - ROOF CONSTRUCTION (STANDARD)</b> All new structures, and all existing structures receiving new roofing over 50 percent or more of the existing roof surface within a one-year period, shall require a minimum of ICBO Class B roof construction. <b>(North County Fire Protection District)</b>	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	

END OF CONDITIONS

# GRADING, DRAINAGE AND EROSION CONTROL

Grading and erosion control measures shall be implemented in accordance with the requirements of the California Building Code, Chapter 18, and the requirements of Monterey County.

## GRADING NOTES

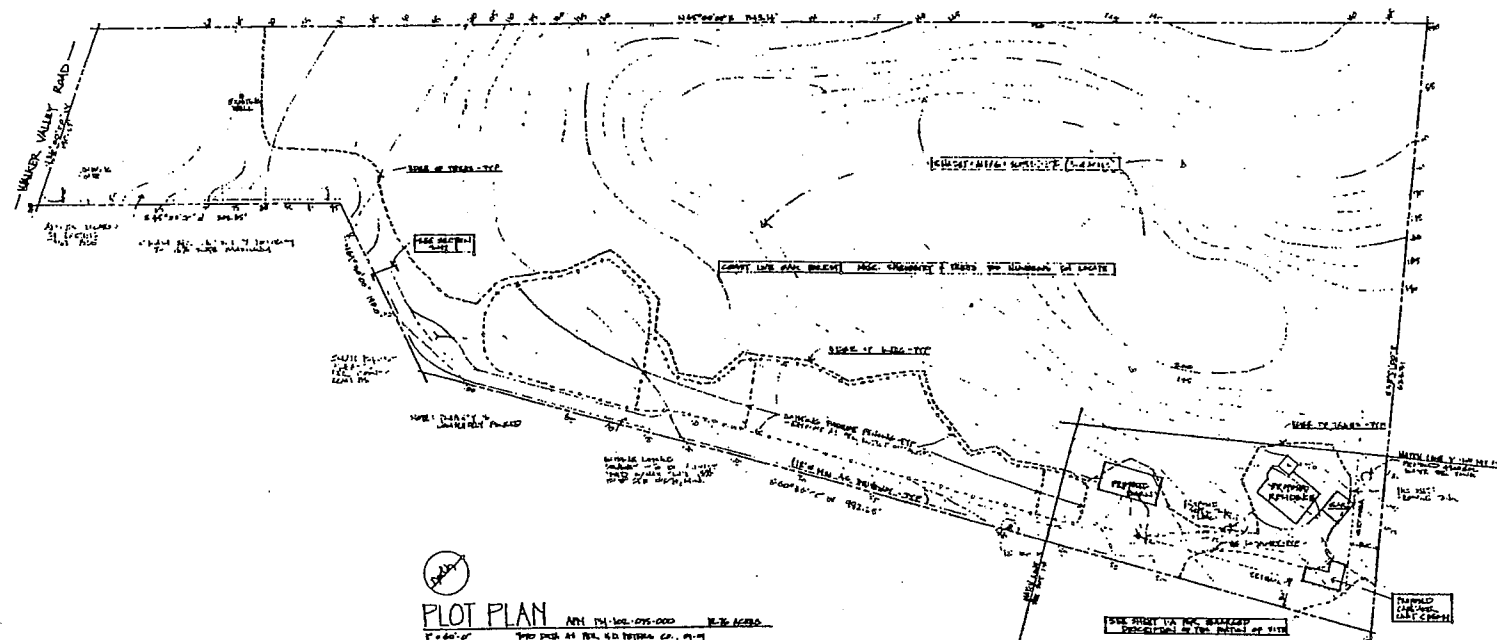
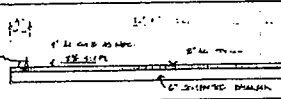
1. Grading and erosion control measures shall be implemented in accordance with the requirements of the California Building Code, Chapter 18, and the requirements of Monterey County.
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10. Grading measures shall be implemented in accordance with the requirements of the California Building Code, Chapter 18, and the requirements of Monterey County.

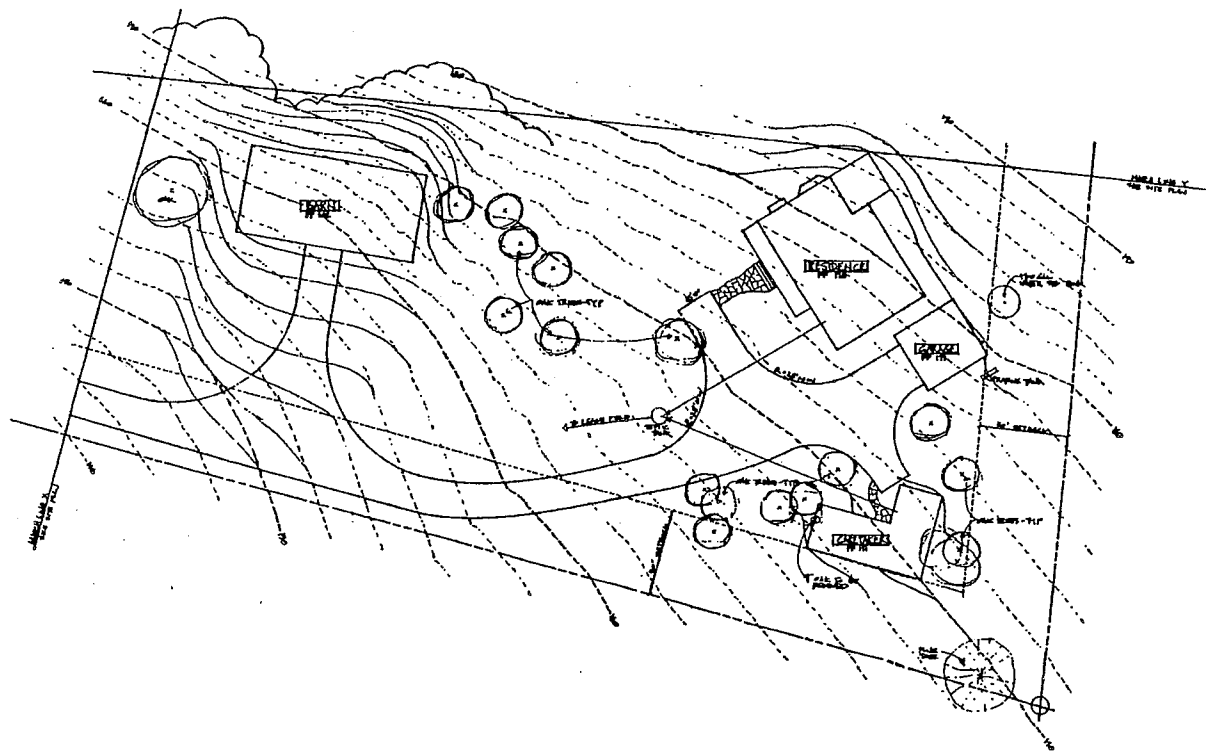
## DRAINAGE NOTES

1. Drainage shall be in a minimum slope of 2% away from the building for a 10' minimum distance.
2. Drainage swales shall have minimum slopes of 2%.

## EROSION CONTROL NOTES

1. All exposed earth resulting from construction work within the building envelope shall be planted with grass and mulched during construction activities, and planting shall occur immediately following the preparation and grading.
2. Areas outside of the building envelope of this site shall be left in their natural state, or, if disturbed, shall be landscaped and returned to a natural condition.





**PARTIAL SITE PLAN** SEE S.E. CORNER OF LOT 1 - SHEET 1  
 THIS PLAN IS FOR THE FIELD RESIDENCE ONLY

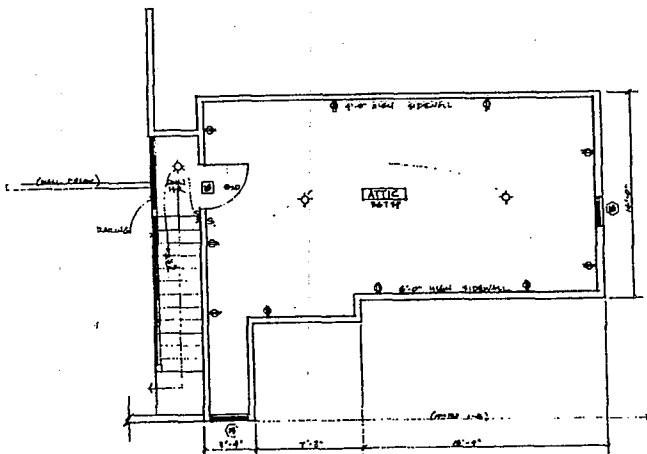
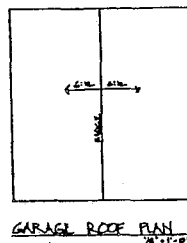
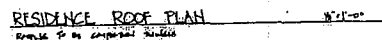
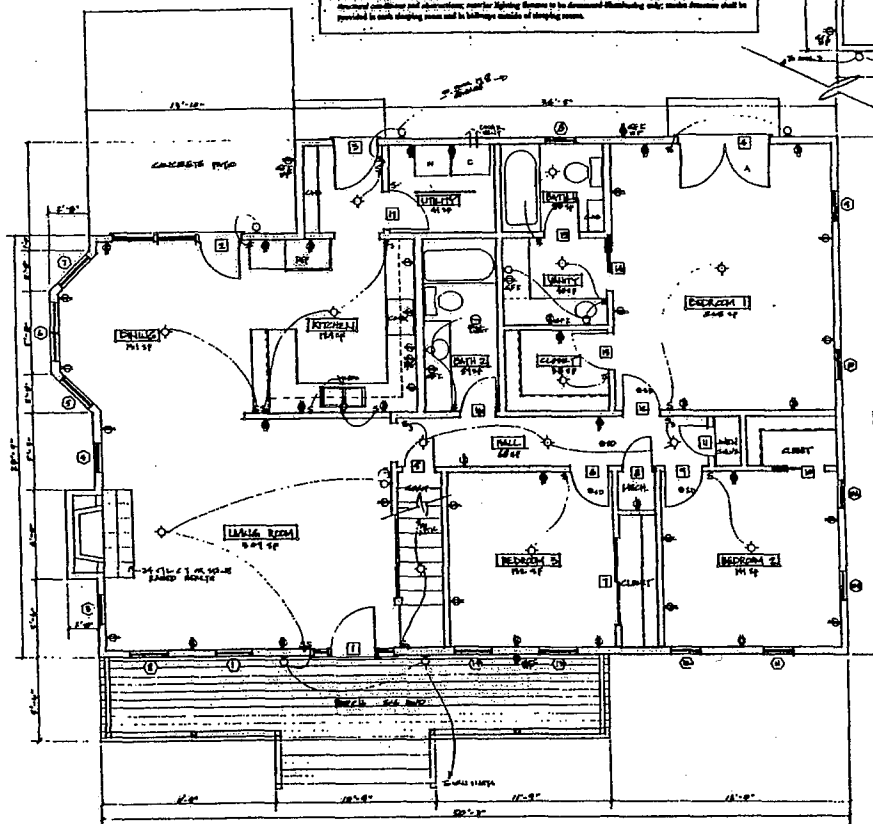
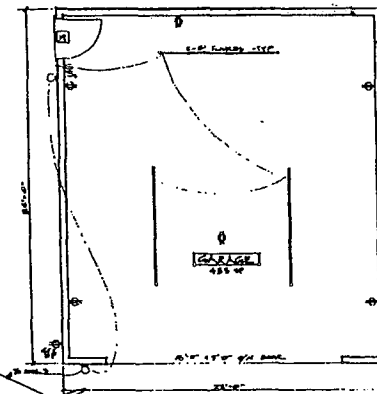
REVISIONS	BY

proposed  
**FIELD RESIDENCE**  
 155 WALKER ROAD  
 CHATTAHOOCHEE, GA

by  
**D. MEIROY**  
 155 WALKER ROAD  
 CHATTAHOOCHEE, GA

DATE OF PLAN
DATE OF REVISION
DATE
DATE
DATE
DATE

one-a

[illegible]

**WINDOW SCHEDULE** all 1-lin over 1-lin point-grade word single lower

A	Barcode	Qty	Price
01	Living	346.60	
02	Living	346.60	
08	Living	346.60	
09	Living	346.60	
05	Dining	346.60	
07	Dining	346.60	
06	Bedroom 1	346.60	
10	Bedroom 2	346.60	
11	Bedroom 2	346.60	
12	Bedroom 2	346.60	
13	Bedroom 2	346.60	
14	Bedroom 2	346.60	
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95	Bedroom 2	346.60	
96	Bedroom 2	346.60	
97	Bedroom 2	346.60	
98	Bedroom 2	346.60	
99	Bedroom 2	346.60	

**DOOR SCHEDULE**

A.	Location	Size	Remarks
01	Living entry	3-4 x 6-8	10-12" x 10" aluminum, see also
02	Dining	3-4 x 6-8 modern XCO	3-4" panels, see also
03	Utility	3-4 x 6-8	half-tim, 1-lin over 1-panel
04	Bedroom 1	pr 3-4 x 6-8	3-4" panels, see also
05	Corridor	2-4 x 6-8	half-tim, 1-lin over 1-panel

[illegible]

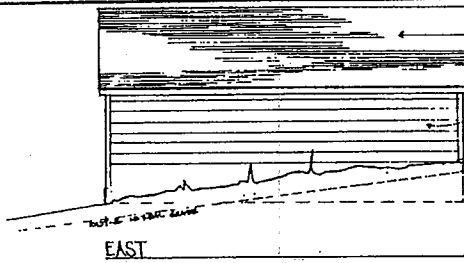
4	burials	dis.	months
91	Cost	3-4 x 6-8	
96	Subsoil 3	3-4 x 6-8	
97	Sub 2 Chest	3-4 x 6-8	radio
98	Sub 3	3-4 x 6-8	vent up & burials
99	Subsoil 2	3-4 x 6-8	
100	Sub 2 Chest	3-4 x 6-8	
11	Liam	3-4 x 3-8	gunshot
12	Subsoil 1	2-4 x 6-8	
13	Sub 1 Chest	2-4 x 6-8	
14	Vandy	2-4 x 6-8	
15	Sub 1	3-4 x 6-8	gunshot
16	Sub 2	3-4 x 6-8	
17	Gitting	3-4 x 6-8	
18	Andi	3-4 x 6-8	

proposed  
**FIELD**  
RESIDENCE  
at  
153 WILLIAM  
WALKER  
ROAD  
CHERRYVILLE, CA

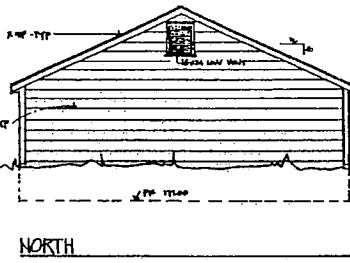
plan by  
D. McELROY  
Box 54  
Monterey, CA  
93940

Date 29-10-78  
 Name Mr. S. S. S.  
 Design ...  
 Job ...  
 Place ...

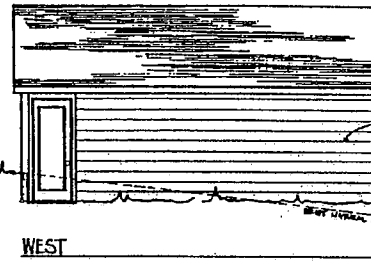




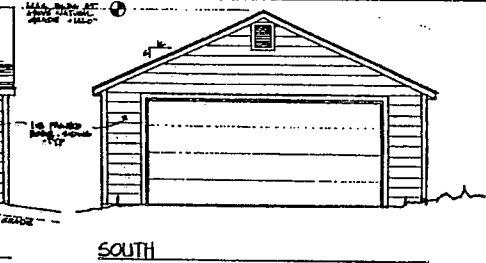
EAST



NORTH



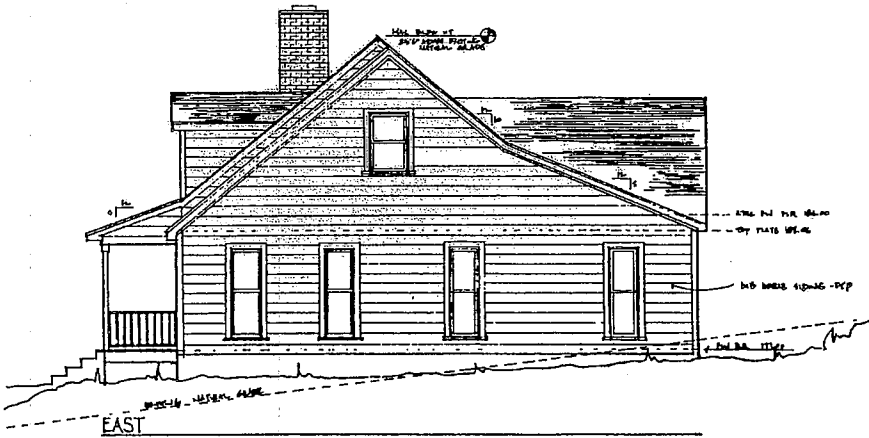
WEST



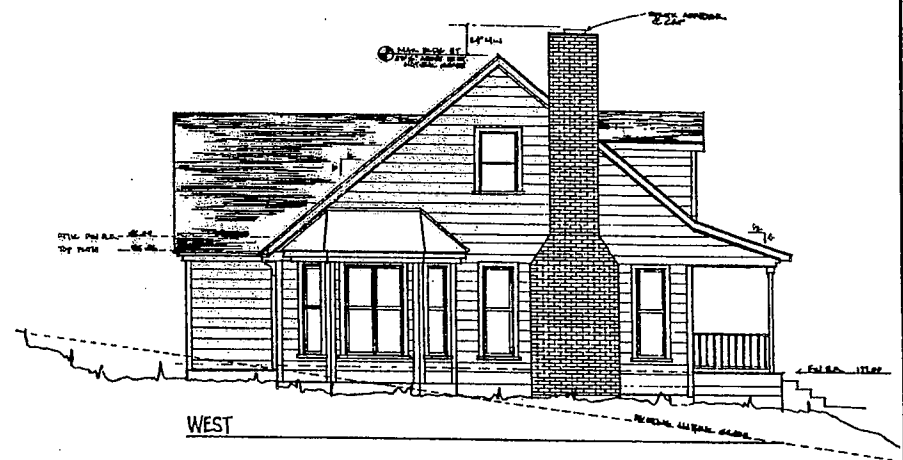
SOUTH

GARAGE

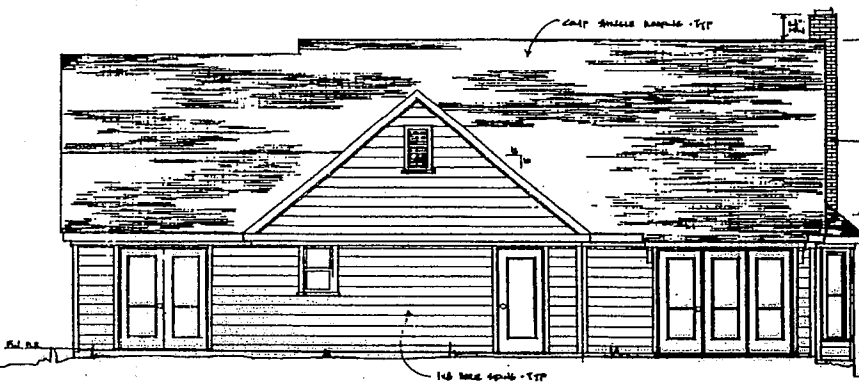
NOTE: KITCHEN, GLAZED TO BE:  
SINKING: 1 "THERMOPLASTIC"  
TRIM: 1 "THERMOPLASTIC"  
ROOF: 1 "SLATE"



EAST



WEST



NORTH



SOUTH

RESIDENCE

REVISION	BY

proposed  
**FIELD**  
RESIDENCE  
153 WALKER  
VALLEY ROAD  
CANTONVILLE, CA

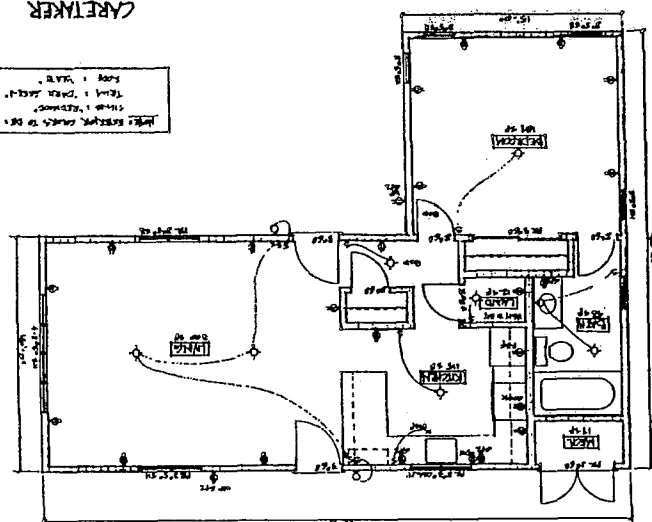
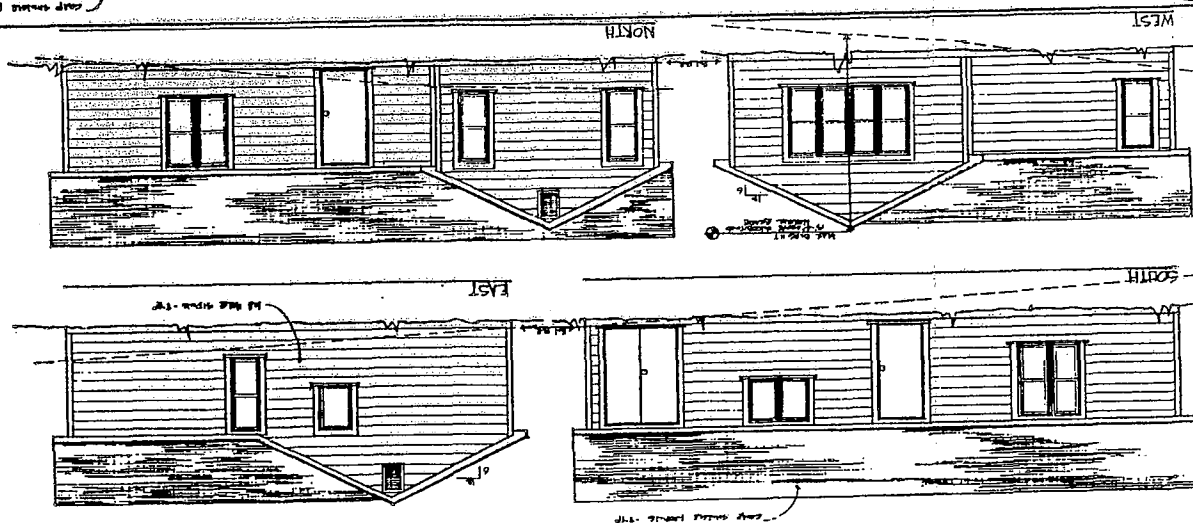
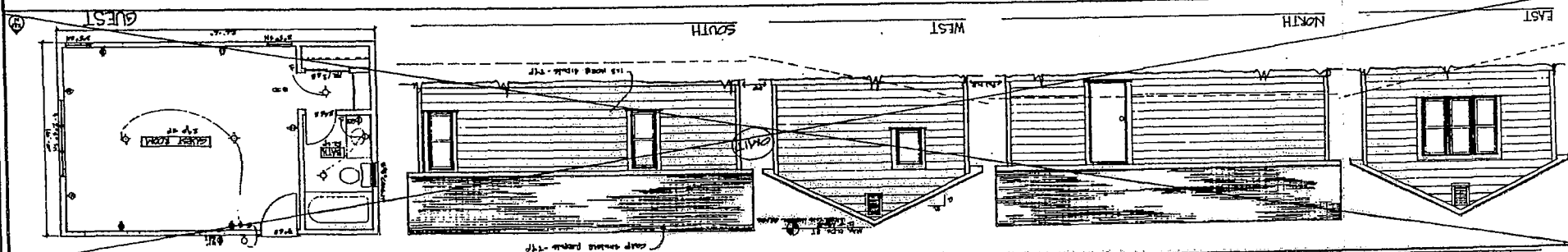
plan by  
D. MELROY  
BOX 24  
MANTENANCE, CA  
94012-1240

Scale: 1/4" = 1'-0"  
Date: 10-1-80  
Drawn:  
Job:

Three

02/11/1950  
 W. J. L. L. L. L.  
 K. J. L. L. L.  
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FIELD  
RESERVE



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