

In the matter of the application of
Robert and Donna Tarr (PLN050018)

FINDINGS AND DECISION

to allow a **Combined Development Permit** in accordance with Title 21 (Zoning) Chapter 21.76 (Combined Development Permits) of the Monterey County Code, consisting of: 1) an Administrative Permit for construction of a 643 sq. ft. addition to an existing 933 sq. ft. single family residence, and removal of a 116 sq. ft. deck and construction of a new 483 sq. ft. deck; 2) a Use Permit for development in the Carmel Valley Flood Plain; and 3) Design Approval, located at 71 Paso Hondo, Carmel Valley, came on regularly for meeting before the Zoning Administrator on January 12, 2006.

Said Zoning Administrator, having considered the application and the evidence presented relating thereto,

1. **FINDING: CONSISTENCY, SITE SUITABILITY AND PUBLIC ACCESS** - The Tarr Combined Development Permit as described in condition #1 and as conditioned, conforms to the plans, policies, requirements and standards of the Monterey County General Plan, Carmel Valley Master Plan, and the Monterey County Zoning Ordinance (Title 21). The property is located at 71 Paso Hondo, Carmel Valley (Assessor's Parcel Number 189-252-009-000). The parcel is zoned "LDR/1-D-S" (Low Density Residential, 1 acre per unit, Design Review and Site Plan Review). The site is physically suitable for the use proposed. The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of Title 21, and any zoning violation abatement costs have been paid.

EVIDENCE: The Planning and Building Inspection staff reviewed the project, as contained in the application and accompanying materials, for conformity with:

- a) The Monterey County General Plan;
- b) The Carmel Valley Master Plan; and
- c) Chapter 21.14 of the Monterey County Zoning Ordinance (Title 21) for the "LDR" Zoning District.
- d) Chapter 21.44 for the "D" Zoning District.
- e) Chapter 21.45 for the "S" Zoning District.

EVIDENCE: The proposed development has been reviewed by the Monterey County Planning and Building Inspection Department, Water Resources Agency, Public Works Department, and Environmental Health Department. There has been no indication from these agencies that the site is not suitable for the proposed use. Necessary public facilities are available to the project site. Staff verification of the Monterey County Planning and Building Inspection Department records indicated that no violations exist on subject property, as conditioned. Each agency has reviewed the application and some have recommended conditions of approval.

EVIDENCE: Written and verbal public testimony submitted at public hearings before the Zoning Administrator.

EVIDENCE: The application, plans, and support materials submitted by the project applicant to the Monterey County Planning and Building Inspection Department for the proposed development, found in file PLN050018.

EVIDENCE: The on-site inspection by the project planner on May 20, 2005 to verify that the proposed project complies with the plan policies and County Code regulations.

2. **FINDING: CEQA** - The proposed project is categorically exempt from the California Environmental Quality Act.

EVIDENCE: Section 15303 a of the CEQA Guidelines categorically exempts the proposed development from environmental review. The subject property is situated within an existing, developed area, surrounded by suburban residential uses.

EVIDENCE: Materials within the project file, PLN050018.

3. **FINDING: ADEQUATE SEWAGE DISPOSAL AND WATER** - That adequate sewage disposal and water supply facilities exist or are readily available to the site, as approved by the Director of Environmental Health.

EVIDENCE: Materials in file PLN050018.

4. **FINDING: HEALTH AND SAFETY** - The establishment, maintenance, or operation of the use or structure applied for will not, under the circumstances of the particular case, be detrimental to health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvement in the neighborhood, or to the general welfare of the County.

EVIDENCE: The project as described in the application and accompanying materials was reviewed by the Department of Planning and Building Inspection, Environmental Health Division, Public Works Department, and the Water Resources Agency. The respective departments have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood; or the County in general.

EVIDENCE: Site inspection by Planner on May 20, 2005.

EVIDENCE: Materials in file PLN050018.

EVIDENCE: Preceding findings and supporting evidence.

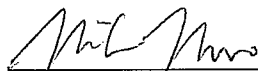
5. **FINDING: APPEALABILITY** -The project is appealable to the Planning Commission.

EVIDENCE: Section 21.80.040.B of the Monterey County Zoning Ordinance (Title 21).

DECISION

It is the decision of the Zoning Administrator of the County of Monterey that said application for a Combined Development Permit be granted as shown on the attached sketch and subject to the attached conditions.

PASSED AND ADOPTED this 12th day of January, 2006.



MIKE NOVO
ZONING ADMINISTRATOR

COPY OF THIS DECISION MAILED TO APPLICANT ON JAN 25 2006

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY TO THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE

FEB 04 2006

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning and Building Inspection Department office in Salinas.

2. This permit expires 2 years after the above date of granting thereof unless construction or use is started within this period.

Monterey County Planning and Building Inspection
Condition Compliance and/or Mitigation Monitoring
Reporting Plan

Project Name: Tarr

File No: PLN040591 APNs: 189-252-009-000

Approval by: Zoning Administrator Date: January 12, 2006

**Monitoring or Reporting refers to projects with an EIR or adopted Mitigated Negative Declaration per Section 21081.6 of the Public Resources Code.*

Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
1		<p><i>PBD029 - SPECIFIC USES ONLY</i></p> <p>The Tarr Combined Development Permit consisting of: 1. An Administrative Permit for construction of a 643 sq. ft. addition to an existing 933 sq. ft. single family residence and removal of a 116 sq. ft. deck and construction of a new 483 sq. ft. deck; 2. A Use Permit for development in the Carmel Valley Flood Plain; and 3. Design Approval. The property is located at 71 Paso Hondo, Carmel Valley (Assessor's Parcel Number 189-252-009-000), south of the Paso Mediano and Paso Hondo Intersection, Carmel Valley Master Plan Area. This permit was approved in accordance with County ordinances and land use regulations subject to the following terms and conditions. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of Planning and Building Inspection. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. (Planning and Building Inspection)</p>	Adhere to conditions and uses specified in the permit.	Owner/ Applicant	Ongoing unless other-wise stated	

2		PBD025 - NOTICE-PERMIT APPROVAL The applicant shall record a notice which states: "A permit (Resolution 050018) was approved by the Zoning Administrator of Monterey County for Assessor's Parcel Number 189-252-009-000 on January 12, 2006. The permit was granted subject to 16 conditions of approval which run with the land. A copy of the permit is on file with the Monterey County Planning and Building Inspection Department." Proof of recordation of this notice shall be furnished to the Director of Planning and Building Inspection prior to issuance of building permits or commencement of the use. (Planning and Building Inspection)	Proof of recordation of this notice shall be furnished to PBI.	Owner/ Applicant	Prior to Issuance of grading and building permits or start of use.	
3		PBD030 - STOP WORK - RESOURCES FOUND If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. The Monterey County Planning and Building Inspection Department and a qualified archaeologist (i.e., an archaeologist registered with the Society of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery. (Planning and Building Inspection)	Stop work within 50 meters (165 feet) of uncovered resource and contact the Monterey County Planning and Building Inspection Department and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.	Owner/ Applicant/ Archaeologist	Ongoing	
4		PBD018(A) - LANDSCAPE PLAN AND MAINTENANCE (SINGLE FAMILY DWELLING ONLY) The site shall be landscaped. At least 60 days prior to occupancy, three (3) copies of a landscaping plan shall be submitted to the Director of Planning and Building Inspection for approval. A landscape plan review fee is required for this project. Fees shall be paid at the time of	Submit landscape plans and contractor's estimate to PBI for review and approval.	Owner/ Applicant/ Contractor	At least 60 days prior to final inspection or occupancy	

			All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.	Owner/ Applicant	Ongoing	
5		PBD021 – LIGHTING – EXTERIOR LIGHTING PLAN All exterior lighting shall be unobtrusive, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The applicant shall submit 3 copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The exterior lighting plan shall be subject to approval by the Director of Planning and Building Inspection, prior to the issuance of building permits. (Planning and Building Inspection)	Submit three copies of the lighting plans to PBI for review and approval.	Owner/ Applicant	Prior to issuance of building permits.	
6		WR22 - FLOODPLAIN RECORDATION The owner shall provide the Water Resources Agency a recorded Floodplain Notice stating: "The property is located within or partially within a floodplain and may be subject to building and/or land use restrictions." (Water Resources Agency)	Submit the recorded floodplain notice to the Water Resources Agency for review and approval. (A copy of the County's standard notice can be obtained at the Water Resources Agency.)	Owner/ Applicant	Prior to issuance of any grading or building permits	

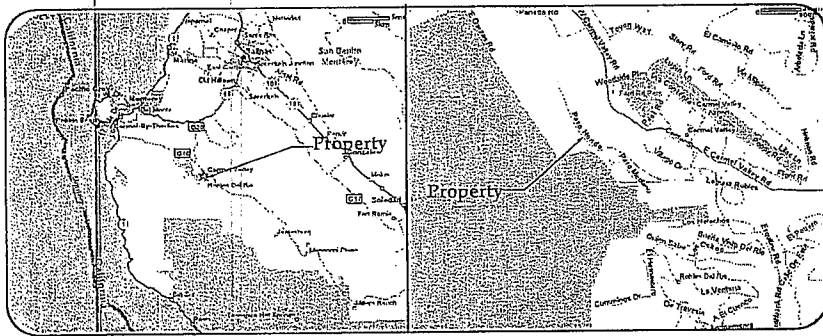
7		<p>WR40 - WATER CONSERVATION MEASURES</p> <p>The applicant shall comply with Ordinance No. 3932, or as subsequently amended, of the Monterey County Water Resources Agency pertaining to mandatory water conservation regulations. The regulations for new construction require, but are not limited to:</p> <ul style="list-style-type: none"> a. All toilets shall be ultra-low flush toilets with a maximum tank size or flush capacity of 1.6 gallons, all shower heads shall have a maximum flow capacity of 2.5 gallons per minute, and all hot water faucets that have more than ten feet of pipe between the faucet and the hot water heater serving such faucet shall be equipped with a hot water recirculating system. b. Landscape plans shall apply xeriscape principles, including such techniques and materials as native or low water use plants and low precipitation sprinkler heads, bubblers, drip irrigation systems and timing devices. (Water Resources Agency) 	Compliance to be verified by building inspector at final inspection.	Owner/ Applicant	Prior to final building inspection/occupancy	
8		<p>WR43 - WATER AVAILABILITY CERTIFICATION</p> <p>The applicant shall obtain from the Monterey County Water Resources Agency, proof of water availability on the property, in the form of an approved Monterey Peninsula Water Management District Water Release Form. (Water Resources Agency)</p>	Submit the Water Release Form to the Water Resources Agency for review and approval.	Owner/ Applicant	Prior to issuance of any building permits	

9		NONSTANDARD-FOUNDATION PLAN – ENCLOSURES/GRADE ELEVATIONS All fully enclosed areas below the lowest floor that are subject to flooding shall be designed to automatically equalize hydrostatic flood forces on exterior walls by allowing for the entry and exit of floodwaters. A minimum of two openings having a total net area of not less than one square inch for every square foot of enclosed area shall be provided. The bottom of all openings shall be no higher than one foot above grade. The applicant shall provide the Water Resources Agency a foundation plan showing the internal and external grade elevation, as well as, the location and dimensions of all vents. (Water Resources Agency)	Submit a foundation plan to the Water Resources Agency for review and approval.	Owner/ Applicant	Prior to issuance of any grading or building permits	
10		NONSTANDARD-ELEVATION CERTIFICATE The applicant shall provide the Water Resources Agency a FEMA Elevation Certificate, based on finished construction, completed by a registered civil engineer or licensed surveyor. (Water Resources Agency)	Submit a completed FEMA Elevation Certificate, based on finished construction, to the Water Resources Agency for review and approval.	Owner/ Applicant	Prior to final inspection	
11		FIRE011 - ADDRESSES FOR BUILDINGS All buildings shall be issued an address in accordance with Monterey County Ordinance No. 1241. Each occupancy, except accessory buildings, shall have its own permanently posted address. When multiple occupancies exist within a single building, each individual occupancy shall be separately identified by its own address. Letters, numbers and symbols for addresses shall be a minimum of 4-inch height, 1/2-inch stroke, contrasting with the background color of the sign, and shall be Arabic	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	

		The sign and numbers shall be reflective and made of a noncombustible material. Address signs shall be placed at each driveway entrance and at each driveway split. Address signs shall be and visible from both directions of travel along the road. In all cases, the address shall be posted at the beginning of construction and shall be maintained thereafter. Address signs along one-way roads shall be visible from both directions of travel. Where multiple addresses are required at a single driveway, they shall be mounted on a single sign. Where a roadway provides access solely to a single commercial occupancy, the address sign shall be placed at the nearest road intersection providing access to that site. Permanent address numbers shall be posted prior to requesting final clearance. (Carmel Valley Fire District)	Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	
12		FIRE019 - DEFENSIBLE SPACE REQUIREMENTS - (STANDARD) Remove combustible vegetation from within a minimum of 30 feet of structures. Limb trees 6 feet up from ground. Remove limbs within 10 feet of chimneys. Additional and/or alternate fire protection or firebreaks approved by the fire authority may be required to provide reasonable fire safety. Environmentally sensitive areas may require alternative fire protection, to be determined by Reviewing Authority and the Director of Planning and Building Inspection. (Carmel Valley Fire District)	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	

13		FIRE021 - FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM (STANDARD) The building(s) and attached garage(s) shall be fully protected with automatic fire sprinkler system(s). Installation shall be in accordance with the applicable NFPA standard. A minimum of four (4) sets of plans for fire sprinkler systems must be submitted by a California licensed C-16 contractor and approved prior to installation. This requirement is not intended to delay issuance of a building permit. A rough sprinkler inspection must be scheduled by the installing contractor and completed prior to requesting a framing inspection. (Carmel Valley Fire District)	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	
			Applicant shall schedule fire dept. rough sprinkler inspection	Applicant or owner	Prior to framing inspection	
			Applicant shall schedule fire dept. final sprinkler inspection	Applicant or owner	Prior to final building inspection	
14		FIRE025 - SMOKE ALARMS – (SINGLE FAMILY DWELLING) Where a household fire warning system or combination fire/burglar alarm system is installed in lieu of single-station smoke alarms required by the Uniform Building Code the alarm panel shall be required to be placarded as permanent building equipment. (Carmel Valley Fire District)	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	
			Applicant shall schedule fire alarm system acceptance test.	Applicant or owner	Prior to final building inspection	

15		FIRE028 - ROOF CONSTRUCTION - (CARMEL VALLEY FPD) All new structures, and all existing structures receiving new roofing over 50 percent or more of the existing roof surface within a one-year period, shall require a minimum of ICBO Class A roof construction. (Carmel Valley Fire District)	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	
16		FIRE030 – NON-STANDARD- BUILDING PLAN NOTES - (CARMEL VALLEY FPD) All the above required Fire Conditions <i>must</i> be noted in full text (see matrix) on all plans as "FIRE DEPARTMENT NOTES." (CARMEL VALLEY FPD)	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	
		End of conditions				



SPECIFICATIONS

- A. GENERAL
 1. Demolition outlet locations will comply with 1993 NEC art. 210-250.1
- B. GLASS AND GLAZING
 1. All glass within 18" of the floor or 2' from a door, shall be fully tempered, shatterproof glass, per Div. 24 UAC and Title 24 AUC.
- C. ENERGY INSULATION REQUIREMENTS
 1. Insulation shall be batt-type Fiberglass R-13, minimum 10" thick in all ceiling areas, including knee walls and 6-13 1/2" thick in all exterior wall areas.
 2. All existing down spouting to the exterior of the house and to the garage shall be fully weatherstripped, gasketed or otherwise treated to limit air infiltration.
 3. All manufactured windows and sliding glass doors shall be certified and labeled to meet AIA/CES infiltration standards, and all State, County, and Title 24 requirements. All seals to be completed with tacks and screws.
 4. Insulation shall be installed between the exterior wall material and all pipes, ducts and electrical boxes.
- D. PLUMBING
 1. Fixtures to be supplied by General Contractor, connections by Subcontractor.
 2. Water piping to be Type "L" copper. All underground applications shall be free from joints. Hose bibs shall be installed according to plans.
 3. Plumbing Subcontractor shall hook up water to sewer to existing house system.
 4. Subcontractor shall install backflow valves at exterior hose bibs as per County codes. All water lines shall be installed according to all codes.

NOTES:

1. Concentrated runoff to be directed away from structure min. 3% slope for a minimum of 5 feet. Roof Drainage by Gutters Typ. off roof directed to Existing Drainage Swale to Carmel River in rear of Property.
2. Soil:
 - a. All buildings are to be founded on undisturbed and in-situ native D.G. and/or tested and accepted imported engineering fill.
 - b. Footings should penetrate these materials a minimum of 12 inches for single story and 18 inches for two story residences.

Monterey County Notes

1. Plumbing Subcontractor shall supply plans to Monterey County Building Inspector before commencing work. Plans shall designate gas line shutoff for approval.
 2. The installation of Insulation Certificates (Form CFC-8) are required to be posted at the jobsite during the construction phase of the project.
 3. Toilet shall be also low-flow with a maximum 1-1/2 gallon tank. All shower heads shall have a maximum flow capacity of 2.0 GPM per minute.
 4. All hot water faucets that have more than ten feet of pipe between the faucet and the hot water heater shall be equipped with a hot water recirculating system.
 5. No person may tap into any fire hydrant for any purpose other than fire suppression or emergency use, without first obtaining written approval from the firewater water purveyor and from the Monterey County Health Department.
 6. All hoses shall be equipped with a shutoff device. The valve shall be an automatic type shutoff valve when such a valve is commercially available for a given hose.
 7. No potable water may be used for compaction or dust control purposes when a potable water source approved by the Monterey County Health Department is available.
 8. The use of solder containing more than two-tenths of 1 percent lead in making joints on private or public water supply systems is prohibited.
 9. Installation instructions for all listed equipment shall be provided to the field inspector at time of inspection.
- Notes:**
Use non-removable backflow prevention devices on all exterior hose bibs

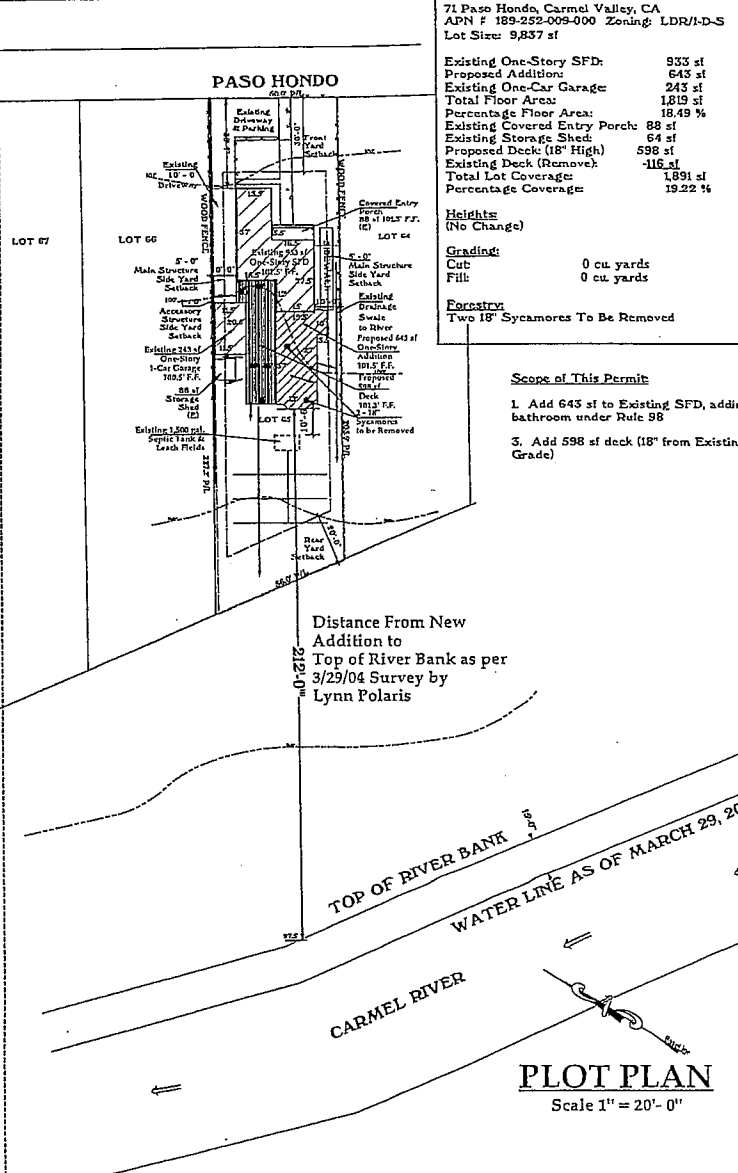
- Sheet Index
- A-1 Plot Plan
 - A-2 Siteplan
 - A-3 Floorplan
 - A-4 Elevations/Section
 - A-5 Certificates
 - SI-End Structural

Occupancy Group: R-3 Residence, U-1 Garage, V-N Construction

This project shall comply with 2001 CBC, CMC, CPC, CEC, and Title 24 Energy Regulations.

NOTE:

1. Special inspection per UDC 1701 is required for Epoxy-set anchor bolts (see S1)



71 Paso Honda, Carmel Valley, CA
APN # 189-252-006-000 Zoning: LDR/I-D-S
Lot Size: 9,837 sf

Existing One-Story SFD:	933 sf
Proposed Addition:	643 sf
Existing One-Car Garage:	243 sf
Total Floor Area:	1819 sf
Percentage Floor Area:	18.49 %
Existing Covered Entry Porch:	88 sf
Existing Storage Shed:	64 sf
Proposed Deck (18' High):	598 sf
Existing Deck (Remove):	-116 sf
Total Lot Coverage:	1891 sf
Percentage Coverage:	19.22 %

Heights
(No Change)

Grading:
Cut: 0 cu. yards
Fill: 0 cu. yards

Forestry:
Two 18' Sycamores To Be Removed

Scope of This Permit

1. Add 643 sf to Existing SFD, adding a bathroom under Rule 98
3. Add 598 sf of deck (18' from Existing Grade)

Drawn by:
P. G. Box 232301
Carmel, CA 95022
831628-8218
Fax: 831659-5161
11/14/04
Revisions
Plans & Permits

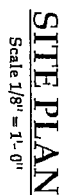
An Addition to the Residence at
Donna & Robert Tarr
71 Paso Honda, Carmel Valley, CA 95024
Kiry City APNs: 189-252-006, 801659-4675

PLOT
PLAN

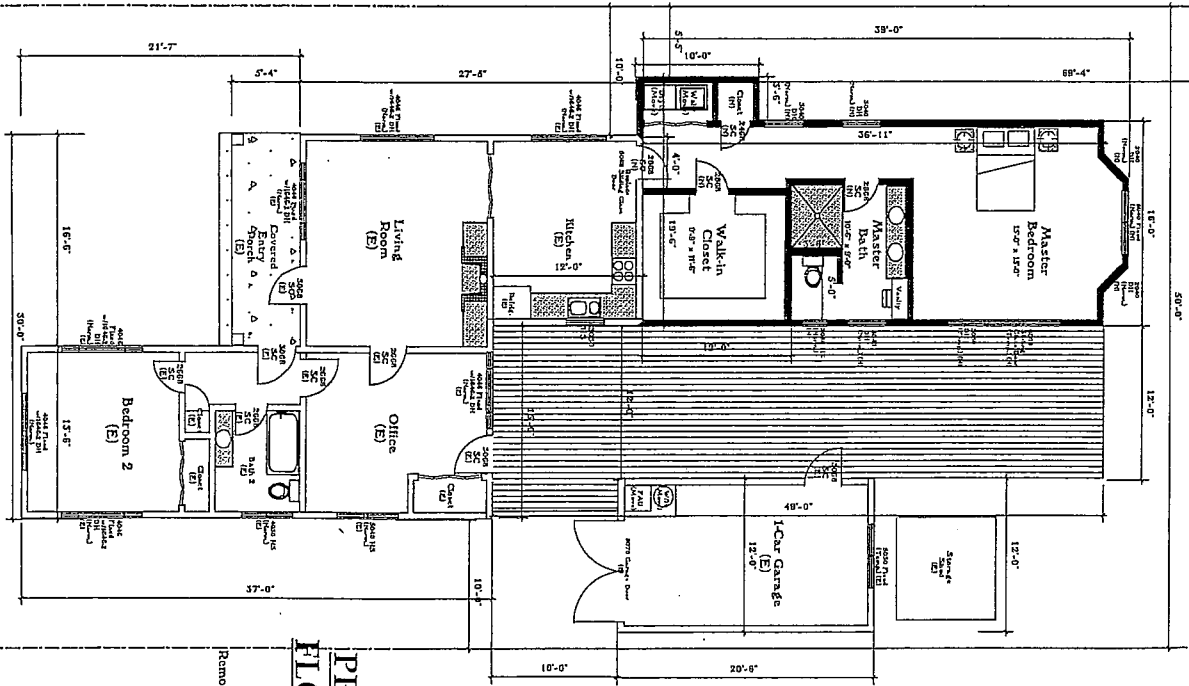
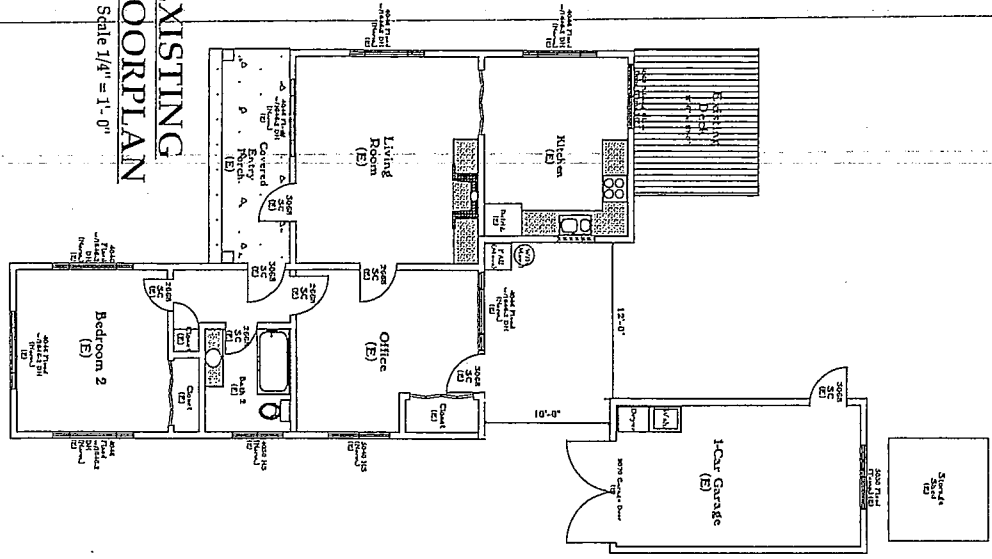
A-1

PLOT PLAN


Scale 1" = 20'-0"



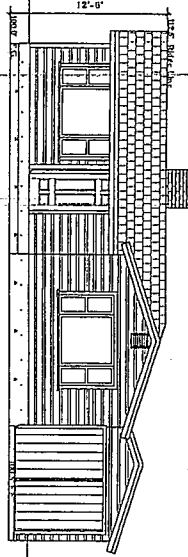
P. O. Box 223201
Carmel, CA 93922
831.626.8219
Fax.831.659.5161



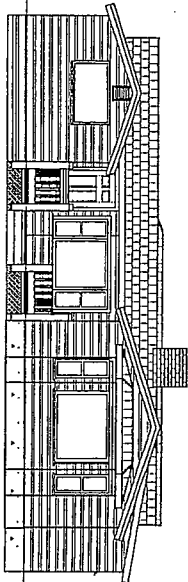
PROPOSED FLOORPLAN
Scale 1/4" = 1'-0"
Existing Wall
Remove Existing Wall
New Wall

A-3	FLOORPLAN	An Addition to the Residence of Donna & Robert Tarr 71 Paso Honda, Carmel Valley, CA 93924 Mtry Cnty A.P.No. 189-252-003, 831.659.4675		Drawn by:  11/14/04 Revisions Cliff Cowles Plans & Permits	P. O. Box 223201 Carmel, CA 93922 831.026.8219 Fax: 831.659.5181

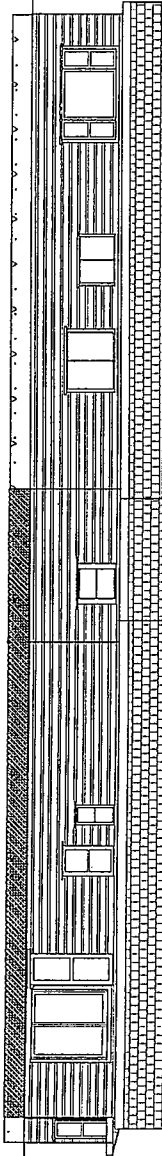
EXISTING & PROPOSED
EAST (FRONT)
ELEVATION
Scale: 1/8" = 1'-0"



EXISTING & PROPOSED
WEST (REAR)
ELEVATION
Scale: 1/8" = 1'-0"

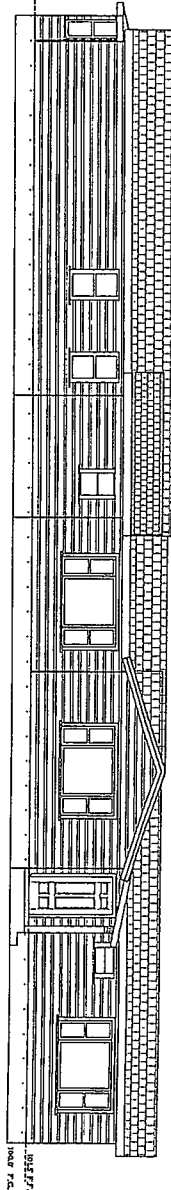


EXISTING & PROPOSED
NORTH (RIGHT)
ELEVATION
Scale: 1/8" = 1'-0"



Finish Schedule
Exterior Painted w/ Clapboard Siding - "Match Existing"
Roof Asphalt Shingle - "Match Existing"
Trim Painted White - "Match Existing"
Windows White Wood - "Match Existing"

EXISTING & PROPOSED
SOUTH (LEFT)
ELEVATION
Scale: 1/8" = 1'-0"



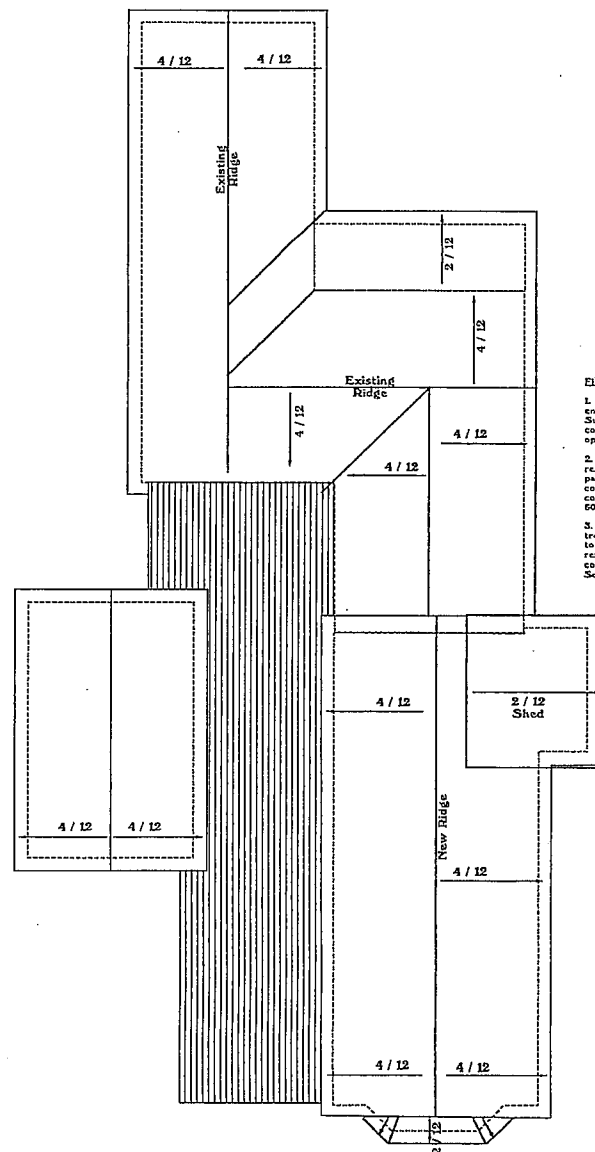
A-4

ELEVATIONS

An Addition to the Residence of
Donna & Robert Tarr
71 Paso Horido, Carmel Valley, CA 93924
Mtry Cnty A.P.No. 189-252-009, 831.659.4675

Drawn by: 
11/14/04
Revisions **Cliff Cowles**
Plans & Permits

P. O. Box 223201
Carmel, CA 93922
831.626.8219
Fax.831.659.5161



Fire Zone 4 Notes

1. Openings into attics, under floors or other enclosed areas shall not exceed 144 sq. in. each. Such openings shall be covered with corrosion-resistant wire mesh with mesh openings of 1/4 in.
2. Accessory Structures, attached to a residential building, including carports, decks, or patio covers must be one-hour fire relative construction, heavy timber construction conforming to the requirements of Section 605.6, or noncombustible construction.
3. Exterior balconies, exterior stairs, eaves, trellises, and other similar structures attached to a habitable building shall be of one-hour fire relative construction, heavy timber construction conforming to the requirements of Section 605.6, or noncombustible construction.

ROOF PLAN

Scale: 1/4" = 1'
Class A 25 Year Asphalt Shingle.
"Match Existing"
12" Overhang Typ.
8" Fascia
(Match Existing)
4 / 12 Slope
(Match Existing)
with Gable Typ.

Drawn by: 
10/14/04
Revisions
Plans & Permits
P. O. Box 223201
Carmel, CA 95922
831.628.8219
Fax: 831.659.5161

An Addition to the Residence of
Donna & Robert Tarr
71 Paso Honda, Carmel Valley, CA 95924
Mtry Cnty A.P.No. 189-252-009, 831.659.4675

**ROOF
PLAN**

A-5