

RESOLUTION NO. 060019

A.P.# 169-091-056-000

In the matter of the application of
Giovanni & Ann Pennisi (PLN060019)

FINDINGS & DECISION

for a Use Permit in accordance with Title 21 (Zoning) Chapter 21.74 (Use Permits) of the Monterey County Code, to allow development on a 30% slope for a new retaining wall, deck and patio; and Design Approval for a 1,525 sq. ft. first floor addition and a 2,273 sq. ft. second story addition, a detached 944 sq. ft. three-car garage and a 589 sq. ft. porte cochere to an existing 1,277 sq. ft. one-story, single-family dwelling on a 2.57 acre parcel; and to clear Code Enforcement Case (CE040165). The property is located at 9955 Eddy Road, Carmel Valley, Carmel Valley Master Plan, and came on regularly for hearing before the Zoning Administrator on May 11, 2006.

Said Zoning Administrator, having considered the application and the evidence presented relating thereto,

FINDINGS OF FACT

1. FINDING: CONSISTENCY - The project, as conditioned, is consistent with applicable plans and policies, the Carmel Valley Land Use Plan, and the Monterey County Zoning Ordinance (Title 21), which designates this area as appropriate for residential development. Specifically, the proposed project complies with Section 21.14, Section 21.44 and Section 21.64.230.

EVIDENCE: (a) Staff has reviewed the project as contained in the application and accompanying materials for consistency and conformity with the General Plan, Carmel Valley Master Plan and the Monterey County Zoning Ordinance (Title 21) and has determined that the project is consistent, and conforms with, said Plans and Ordinance. Staff notes are provided in Project File PLN060019.

(b) The project planner conducted an on-site inspection on 10/05/05 to verify that the project on the subject parcel conforms to the plans listed above.

(c) The application, plans, and support materials submitted by the project applicant to the Monterey County Planning and Building Inspection Department for the proposed development, found in Project File PLN060019.

2. FINDING: SITE SUITABILITY - The site is suitable for the use proposed.

EVIDENCE: (a) The project has been reviewed for suitability by Planning and Building Inspection, Public Works, Environmental Health, Water Resources, and the Carmel Valley Fire Protection District. Recommended conditions have been incorporated.

(b) Staff conducted an on-site visit on 10/05/05 to verify that the site is suitable for this use.

(c) Necessary public facilities are available and will be provided.

(d) A geological report was required in addition to the geotechnical report since the project is a two story residence in a designated "TV" seismic zone and a geological report was accepted for an adjacent parcel by the Building Official.

3. FINDING: CEQA - The project is exempt from environmental review.

- EVIDENCE:** (a) The project is exempt from CEQA pursuant to Section 15303 Class 3(a) and no potential significant environmental impacts will result from the project. Section 15303, Class 3(a) exempts small facilities or structures; installation of equipment or facilities in small structures including one-single family residence in a residential zone.
- (b) No adverse environmental effects were identified during staff review of the development application or during a site visit.
- (c) The site is designated "high" archaeological sensitivity and an archaeological report waiver was obtained. A standard condition of approval (Condition No. 4) requires work stopped if archaeological resources are uncovered during construction.

4. FINDING: NO VIOLATIONS – With the approval of this permit the subject property will be in compliance with all rules and regulations pertaining to zoning uses, subdivision and any other applicable provisions of the County's zoning ordinance. Zoning violation abatement costs, if any, have been paid.

- EVIDENCE:** (a) Staff reviewed Monterey County Planning and Building Inspection Department records and is aware that there is a code violation (CE040165) on the subject property. Approval of this project prior to applying for building and building permits will serve to correct the code violation.
- (b) Restoration of the site is not feasible or required. Restoration could require replacing rock removed onto the slope by the driveway/porte cochere and removing the posts, removing engineered structures (caissons) under the deck, and a section of poured concrete retaining wall which is not considered feasible. The house, driveways and decks existed on the site prior to the remodel, it was not in a natural condition.
- (c) Construction commenced on the residential remodel and retaining wall and deck on a 30% slope without obtaining planning or building permits. Approval of the Use Permit will allow a code enforcement action (CE040165) to be cleared on the property and double fees are required for the after the fact planning and grading permits. Double fees have been imposed for the planning permit and will also be required for grading and building permits.

5. FINDING: DEVELOPMENT ON EXCESS OF 30% SLOPES- The project is consistent with the findings required for Section 21.64.230 Development on Slopes in Excess of 30 percent, specifically Finding No. 21.64.230(E)(b). a) There is no feasible alternative which would allow the development to occur on slopes of less than 30%. b) There is no alternative design that better achieves the goals, policies and objectives of the Monterey County General Plan, the Greater Monterey Peninsula Area Plan, and the Title 21 Zoning Code, than the design proposed.

- EVIDENCE:** (a) The only alternative to avoid development on the 30% slope would be not to build (demolish) the existing retaining wall and deck. Restoration of the site is not feasible or required.
- (b) A "Geotechnical Investigation" report was prepared by Soils Surveys, dated November 14, 2005 and is on record in the Monterey County Planning and Building Inspection Department (Library No. LIB050178). The report concluded that the site is considered suitable for the project with recommendations for design and construction incorporated into the project See (Condition of Approval No. 3).
- (c) File and application materials in Project File PLN060019.

6. FINDING: HEALTH AND SAFETY - The establishment, maintenance or operation of the project applied for will, under the circumstances of this particular case, will not be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in

the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

EVIDENCE: Preceding findings and supporting evidence.

7. **FINDING: APPEALABILITY** - The decision on this project is appealable to the Planning Commission.
EVIDENCE: Section 21.80.040(B) of the Monterey County Zoning Ordinance (Title 21).
8. **FINDING: CONSISTENCY** - The proposed garage is NOT consistent with the Monterey County Zoning Ordinance (Title 21). Specifically, the proposed garage project does not comply with Section 21.14.060(3)(b) Site Development Standards, and 21.64.260(C)(2), Preservation of Oaks and Other Protected Trees.
EVIDENCE: (a) The new detached garage exceeds the maximum height for an accessory building. The plans show the garage height is 21 feet, where 15 feet is allowed for a non-habitable accessory structure in the LDR district.
(b) If the tunnel structure was considered part of the project, the height based on natural grade would increase from 30 to 44 feet where a 30 foot maximum height is allowed.
(c) If the lower driveway is to be developed or used a tree removal permit would be required as the plans show at least one 20 foot tall protected oak tree.
(d) Project planner conducted an on-site inspection on 10/05/05 to verify that the project on the subject parcel conforms to the plans listed above.
(e) The application, plans, and support materials submitted by the project applicant to the Monterey County Planning and Building Inspection Department for the proposed development, found in Project File PLN060019.
9. **FINDING: DEVELOPMENT ON EXCESS OF 30% SLOPES** - Part of the proposed project is NOT consistent with the findings required for Section 21.64.230 Development on Slopes in Excess of 30 percent: a) There is no feasible alternative which would allow the development to occur on slopes of less than 30%; b) There is no alternative design that better achieves the goals, policies and objectives of the Monterey County General Plan, the Carmel Valley Master Area Plan, and the Title 21 Zoning Code, than the design proposed.
EVIDENCE: The required finding cannot be made for the proposed deck expansion over a tunnel/carport for the lower existing driveway. This proposal was added to the project plans and is not approved as part of the project. These additional structures would increase the area of the development on 30% slope and do not meet the goals, policies and objectives of the ordinance. The geotechnical report submitted for the project did not include review of the tunnel and deck extension.

DECISION

THEREFORE, it is the decision of said Zoning Administrator that said application for a Use Permit be granted in part and denied in part as shown on the attached sketch, and subject to the attached conditions.

PASSED AND ADOPTED this 11th day of May, 2006.



MIKE NOVO, ZONING ADMINISTRATOR

COPY OF THIS DECISION WAS MAILED TO THE APPLICANT ON MAY 30 2006.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY TO THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE JUN - 9 2006

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning and Building Inspection Department office in Salinas.

2. This permit expires two years after the above date of granting thereof unless construction or use is started within this period.

**Monterey County Planning and Building Inspection
Condition Compliance and/or Mitigation Monitoring
Reporting Plan**

Project Name: Pennisi

File No: PLN060019

APN: 169-091-056-000

Approval by: Zoning Administrator

Date: May 11, 2006

**Monitoring or Reporting refers to projects with an EIR or adopted Mitigated Negative Declaration per Section 21081.6 of the Public Resources Code.*

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
1.		<p>PBD029 - SPECIFIC USES ONLY This Use Permit (PLN060019 PENNISI) for development on a 30% slope for a new retaining wall, deck and patio; and Design Approval for a 1,525 sq. ft. first floor addition and a 2,273 sq. ft. second-story addition, a detached 944 sq. ft. three-car garage and a 589 sq. ft. porte cochere to an existing 1,277 sq. ft. one-story, single family dwelling on a 2.57 acre parcel; and clear code enforcement case (CE040165). The project is located at 9955 Eddy Road, Carmel Valley (Assessor's Parcel Number 169-091-056-000), Carmel Valley Master Plan Area. The garage elevation as shown is not approved as part of the plans. The footprint and exterior elevations of the garage, if reduced to a maximum 15 feet, is approved. The new tunnel and expanded deck over the tunnel are not approved as part of the plans. The revised plans for the garage shall be subject to an Administrative Design approval (no fee). This permit was approved in accordance with County ordinances and land use regulations subject to the following terms and conditions. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of Planning and Building Inspection. Any use or construction not in substantial conformance with the</p>	Adhere to conditions and uses specified in the permit.	Owner/ Applicant	Ongoing unless otherwise stated	

		terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. (Planning and Building Inspection)				
2.		PBD025 - NOTICE-PERMIT APPROVAL The applicant shall record a notice which states: "A Use permit (Resolution 060019) was approved by the Zoning Administrator for Assessor's Parcel Number 169-091-056-000 on May 11, 2006. The permit was granted subject to 21 conditions of approval which run with the land. A copy of the permit is on file with the Monterey County Planning and Building Inspection Department. Proof of recordation of this notice shall be furnished to the Director of Planning and Building Inspection prior to issuance of building permits or commencement of the use. (Planning and Building Inspection)	Proof of recordation of this notice shall be furnished to PBI.	Owner/ Applicant	Prior to Issuance of grading and building permits or start of use	
3.		PBD026 – NOTICE OF REPORT Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states: "A Geotechnical Investigation" report was prepared by Soils Surveys, dated November 14, 2005 and is on record in the Monterey County Planning and Building Inspection Department (Library No. LIB050178). All development shall be in accordance with this report." (Planning and Building Inspection)	Proof of recordation of this notice shall be furnished to PBI.	Owner/ Applicant	Prior to issuance of grading and building permits	

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4.		<p>PBD030 - STOP WORK - RESOURCES FOUND</p> <p>If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. The Monterey County Planning and Building Inspection Department and a qualified archaeologist (i.e., an archaeologist registered with the Society of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery. (Planning and Building Inspection)</p>	<p>Stop work within 50 meters (165 feet) of uncovered resource and contact the Monterey County Planning and Building Inspection Department and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.</p>	<p>Owner/ Applicant/ Archaeologist</p>	<p>Ongoing</p>	
5.		<p>PBD018(A) - LANDSCAPE PLAN AND MAINTENANCE (SINGLE FAMILY DWELLING ONLY)</p> <p>The site shall be landscaped. At least 60 days prior to occupancy, three (3) copies of a landscaping plan shall be submitted to the Director of Planning and Building Inspection for approval. A landscape plan review fee is required for this project. Fees shall be paid at the time of</p>	<p>Submit landscape plans and contractor's estimate to PBI for review and approval.</p>	<p>Applicant/ Owner/ Contractor</p>	<p>At least 60 days prior to final inspection or occupancy</p>	

		<p>landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County Planning and Building Inspection Department. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (Planning and Building Inspection)</p>	<p>All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.</p>	<p>Owner/ Applicant</p>	<p>Ongoing</p>	
6.		<p>PBI- NONSTANDARD The garage elevation as shown is not approved as part of the plans. The footprint and exterior elevations of the garage, if reduced to a maximum 15 feet, is approved. The redesigned garage shall be approved through a no-fee, Administrative Design Approval process. The elevations for the residence show the maximum height limit of 30 feet, not based on average natural grade. The residence maximum height allowed of 30 feet, if based on average natural grade, is approved. (Planning and Building Inspection)</p>	<p>Submit revised plans to PBI for review and approval.</p>	<p>Owner/ Applicant</p>	<p>Prior to issuance of building permits</p>	
7.		<p>PBD021 – EXTERIOR LIGHTING PLAN All exterior lighting shall be unobtrusive, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The applicant shall submit 3 copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The exterior lighting plan shall be subject to approval by the Director of Planning and Building Inspection, prior to the issuance of building permits.</p>	<p>Submit two copies of the lighting plans to PBI for review and approval.</p>	<p>Owner/ Applicant</p>	<p>Prior to issuance of building permits</p>	

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8.		PBD011 - EROSION CONTROL PLAN AND SCHEDULE The approved development shall incorporate the recommendations of the Erosion Control Plan as reviewed by the Soils Conservation Service and the Director of Planning and Building Inspection. All cut and/or fill slopes exposed during the course of construction be covered, seeded, or otherwise treated to control erosion during the course of construction, subject to the approval of the Director of Planning and Building Inspection. The improvement and grading plans shall include an implementation schedule of measures for the prevention and control of erosion, siltation and dust during and immediately following construction and until erosion control planting becomes established. This program shall be approved by the Director of Planning and Building Inspection. (Planning and Building Inspection)	1. Evidence of compliance with the Erosion Control Plan shall be submitted to PBI prior to issuance of building and grading permits.	Owner/ Applicant	Prior to Issuance of Grading and Building Permits	
			2. Evidence of compliance with the Implementation Schedule shall be submitted to PBI during the course of construction until project completion as approved by the Director of PBI.	Owner/ Applicant	Prior to Final Inspection	
9.		PBD014 - GRADING-WINTER RESTRICTION No land clearing or grading shall occur on the subject parcel between October 15 and April 15 unless authorized by the Director of Planning and Building Inspection. (Planning and Building Inspection)	None	Owner/ Applicant	Ongoing	
10.		EH11 - SEPTIC SYSTEM DESIGN Submit plans for review and approval showing the location and design of the proposed septic system meeting the standards found in Chapter 15.20 of the Monterey County Code (Septic Ordinance) and "Prohibitions", Central Coast Basin Plan, RWQCB. (Environmental Health)	Division of Environmental Health must approve plans. Applicant shall obtain a permit to install the septic system.	CA Licensed Engineer /Owner/ Applicant	Prior to filing the final parcel map or issuance of building	

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11.		WR0003 - DRAINAGE PLAN - RETENTION The applicant shall provide the Water Resources Agency a drainage plan prepared by a registered civil engineer or architect addressing on-site and off-site impacts. The plan shall include retention/percolation facilities to mitigate the impact of impervious surface storm water runoff. Drainage improvements shall be constructed in accordance with plans approved by the Water Resources Agency. (Water Resources Agency)	Submit 3 copies of the engineered drainage plan to the Water Resources Agency for review and approval.	Owner/ Applicant/ engineer	Prior to issuance of grading or building permits	
12.		WR43 - WATER AVAILABILITY CERTIFICATION The applicant shall obtain from the Monterey County Water Resources Agency, proof of water availability on the property, in the form of an approved Monterey Peninsula Water Management District Water Release Form. (Water Resources Agency)	Submit the Water Release Form to the Water Resources Agency for review and approval.	Owner/ Applicant	Prior to issuance of any building permits	
13.		WR0008 - COMPLETION CERTIFICATION The applicant shall provide the Water Resources Agency certification from a registered civil engineer or licensed contractor that storm water detention/retention facilities have been constructed in accordance with approved plans. (Water Resources Agency)	Submit a letter to the Water Resources Agency, prepared by a registered civil engineer or licensed contractor, certifying compliance with approved drainage plan.	Owner/ Applicant/ Engineer/ Contractor	Prior to final inspection	

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14.		<p>WR40 - WATER CONSERVATION MEASURES The applicant shall comply with Ordinance No. 3932, or as subsequently amended, of the Monterey County Water Resources Agency pertaining to mandatory water conservation regulations. The regulations for new construction require, but are not limited to:</p> <p>a. All toilets shall be ultra-low flush toilets with a maximum tank size or flush capacity of 1.6 gallons, all shower heads shall have a maximum flow capacity of 2.5 gallons per minute, and all hot water faucets that have more than ten feet of pipe between the faucet and the hot water heater serving such faucet shall be equipped with a hot water recirculating system.</p> <p>b. Landscape plans shall apply xeriscape principles, including such techniques and materials as native or low water use plants and low precipitation sprinkler heads, bubblers, drip irrigation systems and timing devices. (Water Resources Agency)</p>	Compliance to be verified by building inspector at final inspection.	Owner/ Applicant	Prior to final building inspection/occupancy	
<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>

15.		<p>FIRE007 - DRIVEWAYS</p> <p>Driveways shall not be less than 12 feet wide unobstructed, with an unobstructed vertical clearance of not less than 15 feet. The grade for all driveways shall not exceed 15 percent. Where the grade exceeds 8 percent, a minimum structural roadway surface of 0.17 feet of asphaltic concrete on 0.34 feet of aggregate base shall be required. The driveway surface shall be capable of supporting the imposed load of fire apparatus (22 tons), and be accessible by conventional-drive vehicles, including sedans. For driveways with turns 90 degrees and less, the minimum horizontal inside radius of curvature shall be 25 feet. For driveways with turns greater than 90 degrees, the minimum horizontal inside radius curvature shall be 28 feet. For all driveway turns, an additional surface of 4 feet shall be added. All driveways exceeding 150 feet in length, but less than 800 feet in length, shall provide a turnout near the midpoint of the driveway. Where the driveway exceeds 800 feet, turnouts shall be provided at no greater than 400-foot intervals. Turnouts shall be a minimum of 12 feet wide and 30 feet long with a minimum of 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall long with a minimum 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall be located within 50 feet of the primary building. The minimum turning radius for a turnaround shall be 40 feet from the center line of the driveway. If a hammerhead/T is used, the top of the "T" shall be a minimum of 60 feet in length.</p> <p>(Carmel Valley Fire Department)</p>	<p>Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.</p>	<p>Applicant or owner</p>	<p>Prior to issuance of grading and/or building permit.</p>	
			<p>Applicant shall schedule fire dept. clearance inspection</p>	<p>Applicant or owner</p>	<p>Prior to final building inspection.</p>	

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16.		FIRE008 - GATES All gates providing access from a road to a driveway shall be located at least 30 feet from the roadway and shall open to allow a vehicle to stop without obstructing traffic on the road. Gate entrances shall be at least the width of the traffic lane but in no case less than 12 feet wide. Where a one-way road with a single traffic lane provides access to a gated entrance, a 40-foot turning radius shall be used. Where gates are to be locked, the installation of a key box or other acceptable means for immediate access by emergency equipment may be required. (Carmel Valley Fire Department)	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant/ Owner	Prior to issuance of grading and/or building permit	
			Applicant shall schedule fire dept. clearance inspection	Applicant/ owner	Prior to final building inspection	
17.		FIRE020 - NONSTANDARD - DEFENSIBLE SPACE REQUIREMENTS (HAZARDOUS CONDITIONS) Remove combustible vegetation from within a minimum of 100 feet of structures. Limb trees 6 feet up from ground. Remove limbs within 10 feet of chimneys. Additional fire protection or firebreaks approved by the Reviewing Authority may be required to provide reasonable fire safety. Environmentally sensitive areas may require alternative fire protection, to be determined by Reviewing Authority and the Director of Planning and Building Inspection. (Carmel Valley Fire Department)	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	

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18.		FIRE021 - FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM (STANDARD) The building(s) and attached garage(s) shall be fully protected with automatic fire sprinkler system(s). Installation shall be in accordance with the applicable NFPA standard. A minimum of four (4) sets of plans for fire sprinkler systems must be submitted by a California licensed C-16 contractor and approved prior to installation. This requirement is not intended to delay issuance of a building permit. A rough sprinkler inspection must be scheduled by the installing contractor and completed prior to requesting a framing inspection. (Carmel Valley Fire Department)	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	
19.		FIRE025 - SMOKE ALARMS – (SINGLE FAMILY DWELLING) Where a household fire warning system or combination fire/burglar alarm system is installed in lieu of single-station smoke alarms required by the Uniform Building Code the alarm panel shall be required to be placarded as permanent building equipment. (Carmel Valley Fire Department)	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit	
			Applicant shall schedule fire dept. clearance inspection.	Applicant or owner	Prior to final building inspection	
20.		FIRE028 - ROOF CONSTRUCTION - (CARMEL VALLEY FPD) All new structures, and all existing structures receiving new roofing over 50 percent or more of the existing roof surface within a one-year period, shall require a minimum of ICBO Class A roof construction. (Carmel Valley Fire Department)	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	

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21.		<p>PBD040 – HEIGHT VERIFICATION</p> <p>The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of Planning and Building Inspection for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (Planning and Building Inspection)</p>	1) The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection	Owner/ Applicant	Prior to Issuance of Grading or Building Permits	
			2) The applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of Planning and Building Inspection for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.	Engineer/ Owner/ Applicant	Prior to Final Inspection	

EXHIBIT "E-1"

CARMEL VALLEY



APPLICANT: PENNISI

APN: 169-091-056-000

FILE # PLN060019



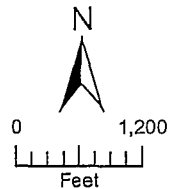
300' Limit



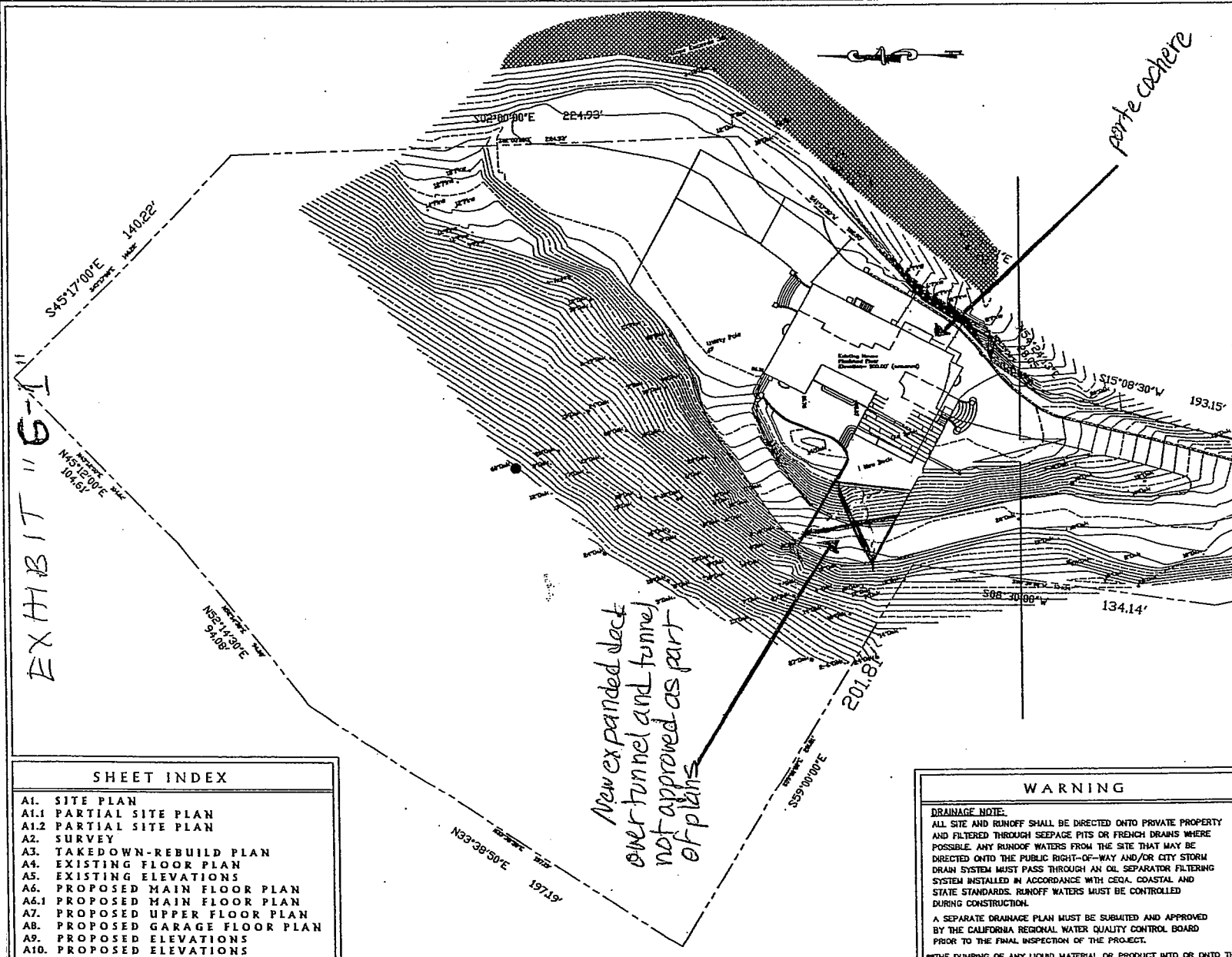
2500' Limit



City Limits



PLANNER: BRADLEY



PROJECT DATA

LOT SIZE:	105,037.3 S.F.	100.0 X
ZONING:	LDR-1-D-S	
A.P.N.:	189-081-050	
LEGAL DESCRIPTION:	WEL. 15 2.575 ACRES	
SCOPE:	REMODEL TO EX. SFR.	
OCCUPANCY GROUP(S):	R-3/1-1	
CONS. TYPE:	V-N	
FLOOR AREA		
FAR ALLOWED:	N/A	
PROPOSED		
MAIN FLOOR:	2,201.5 S.F.	
UPPER FLOOR:	2,273.3 S.F.	
GARAGE (DETACHED):	944.4 S.F.	
TOTAL PROPOSED FLOOR AREA:	6,019.2 S.F.	
SITE COVERAGE		
SITE COVERAGE ALLOWED:	27,009.3 S.F.	25.0%
PROPOSED		
PORCH:	35.0 S.F.	
COVERED DECK #1:	222.2 S.F.	
COVERED DECK #2:	351.0 S.F.	
DECK:	1,210.1 S.F.	
BALCONY #1:	50.7 S.F.	
BALCONY #2:	220.0 S.F.	
BALCONY #3:	31.6 S.F.	
TERRACE:	288.9 S.F.	
DRIVEWAY:	12,991.0 S.F.	
TOTAL PROPOSED COVERAGE:	15,752.4 S.F.	14.0%

NOTES:

- Final inspection and approval from Water District required prior to City final approval.
- disposal, washoff, or washdown of any and all materials such as mortar, concrete, paint, grease, glue, etc. on property, including the storm drain system, is strictly prohibited unless specifically and individually approved by Public Works Director. Violators will be cited and assessed of cleaning costs.
- Survey hubs to be in place.
- The contractor shall locate and expose all property corners and set the side yard property lines prior to the initial foundation and footing inspection.
- Survey hubs to be in place.
- All surface water drainage shall be directed away from the building for a distance of five (5) feet with a minimum grade of 2%.
- Existing trees shall be protected from construction including but not limited to the hand digging of any trenches near trees, refer to the city or county regulations.
- The main floor elevation is to be above the crown of the street.
- Protect all trees during construction.

WARNING

DRAINAGE NOTE:
ALL SITE AND RUNOFF SHALL BE DIRECTED ONTO PRIVATE PROPERTY AND FILTERED THROUGH SEEPAGE PITS OR FRENCH DRAINS WHERE POSSIBLE. ANY RUNOFF WATERS FROM THE SITE THAT MAY BE DIRECTED ONTO THE PUBLIC RIGHT-OF-WAY AND/OR CITY STORM DRAIN SYSTEM MUST PASS THROUGH AN OIL SEPARATOR FILTERING SYSTEM INSTALLED IN ACCORDANCE WITH CEQA, COASTAL AND STATE STANDARDS. RUNOFF WATERS MUST BE CONTROLLED DURING CONSTRUCTION.
A SEPARATE DRAINAGE PLAN MUST BE SUBMITTED AND APPROVED BY THE CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD PRIOR TO THE FINAL INSPECTION OF THE PROJECT.
**THE DUMPING OF ANY LIQUID MATERIAL OR PRODUCT INTO OR ONTO THE EARTH/SOIL IS PROHIBITED. ALL EXCESS WASTE LIQUID MATERIAL SHALL BE REMOVED FROM THE SITE IN PROPER CONTAINERS AND DISPOSED OF IN A MANNER MEETING STATE LAW. VIOLATORS WILL BE CITED AND THE PERMIT FOR THE PROJECT SUSPENDED PENDING A HEARING BY THE PLANNING COMMISSION TO REVOKE THE LICENSE OF ANY CONTRACTOR(S) INVOLVED IN THE VIOLATION.

LEGEND

- EXISTING CONTOURS
- EXISTING TREES
- TREES TO BE REMOVED
- NEW TREES
- 25 W. LIGHT FIXTURE
- DRAINAGE DIRECTION 2% SLOPE

Site Plan
SCALE: 1"=0' = 60'-0"

SHEET INDEX

- A1. SITE PLAN
- A1.1 PARTIAL SITE PLAN
- A1.2 PARTIAL SITE PLAN
- A2. SURVEY
- A3. TAKEDOWN-REBUILD PLAN
- A4. EXISTING FLOOR PLAN
- A5. EXISTING ELEVATIONS
- A6. PROPOSED MAIN FLOOR PLAN
- A6.1 PROPOSED MAIN FLOOR PLAN
- A7. PROPOSED UPPER FLOOR PLAN
- A8. PROPOSED GARAGE FLOOR PLAN
- A9. PROPOSED ELEVATIONS
- A10. PROPOSED ELEVATIONS
- A11. PROPOSED ELEVATIONS
- A12. PROPOSED GARAGE ELEVATIONS
- A13. ROOF PLAN
- A14. ROOF PLAN (GARAGE)
- A15. DOOR SCHEDULE
- A16. WINDOW SCHEDULE

OWNER: JOHN PENNISI
484 B WASHINGTON STREET BOX-174
MONTEREY, CA 93940
TEL. (651) 655-6874

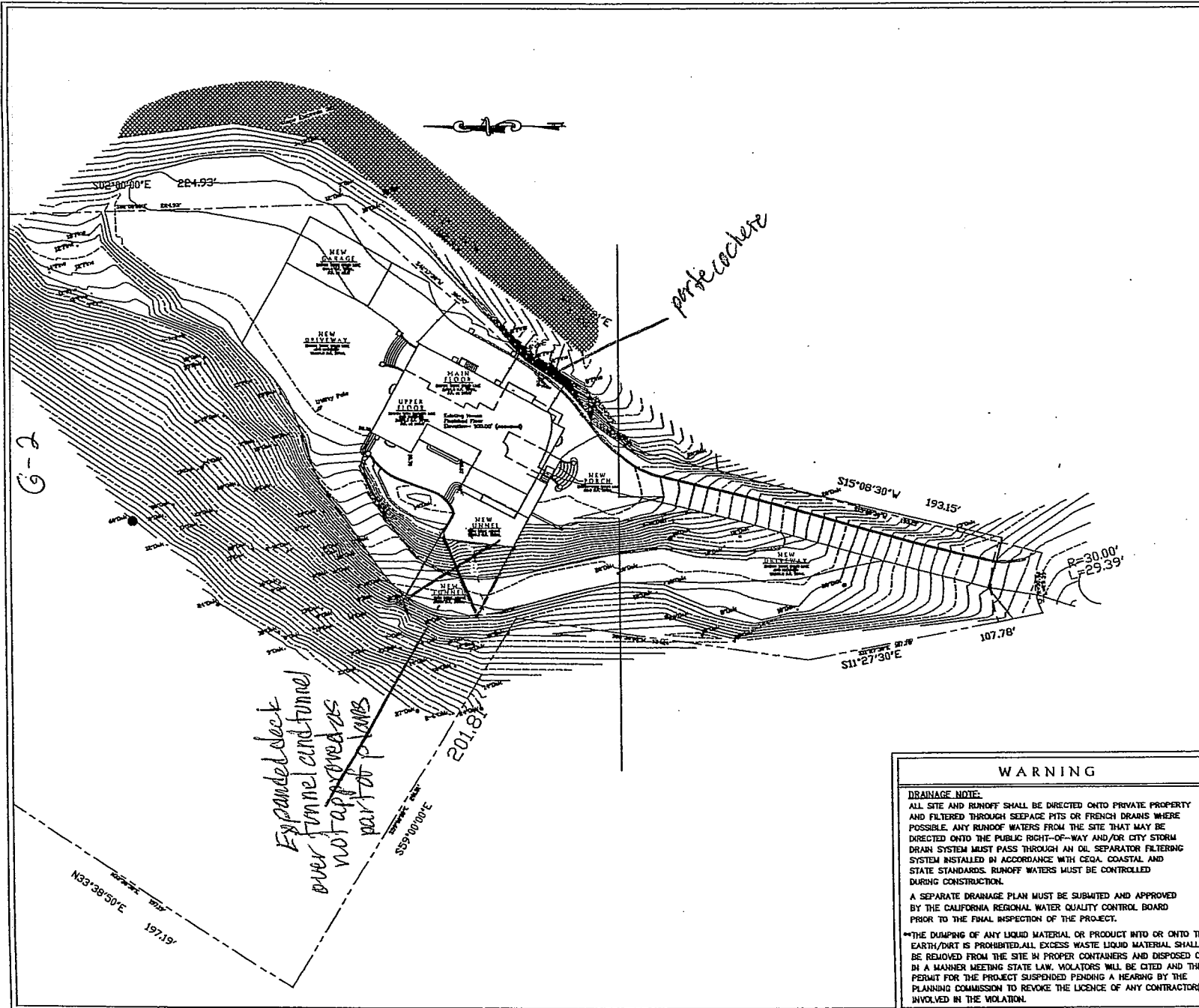
CLAUDIO ORTIZ
DESIGN GROUP
5/11/01
S/W 1000 COLLEGE AVE 3TH
COSTA MESA, CA 92626
CLM-101-010-001-001 CA 93921

PENNISI RESIDENCE



DATE: 01/5/01
JOB NO: 04-2

SHEET: A1.



PROJECT DATA

LOT SIZE:	106,037.3 S.F.	100.0 X
ZONING:	DR/1-D-5	
A.P.N.:	189-001-056	
LEGAL DESCRIPTION:	VOL. 16 SUR. MAPS PG. 8 2.576 ACRES	
SCOPE:	REMODEL TO EX. SFR.	
OCCUPANCY GROUP(S):	R-3/1-1	
CONS. TYPE:	V-N	
FLOOR AREA		
FAR ALLOWED:	N/A	
PROPOSED:		
MAIN FLOOR:	2,801.5 S.F.	
UPPER FLOOR:	2,273.3 S.F.	
GARAGE (DETACHED):	944.4 S.F.	
TOTAL PROPOSED FLOOR AREA:	6,019.2 S.F.	
SITE COVERAGE		
SITE COVERAGE ALLOWED:	27,069.3 S.F.	25.0%
PROPOSED:		
PORCH:	33.0 S.F.	
COVERED DECK #1:	222.2 S.F.	
COVERED DECK #2:	351.0 S.F.	
DECK:	1,701.1 S.F.	
BALCONY #1:	60.7 S.F.	
BALCONY #2:	220.0 S.F.	
BALCONY #3:	31.6 S.F.	
TRAMPOLINE:	360.9 S.F.	
DRIVEWAY:	12,981.9 S.F.	
TOTAL PROPOSED COVERAGE:	15,732.4 S.F.	14.8%

NOTES:

- Final inspection and approval from Water District required prior to City final approval.
- Disposal, washoff, or washdown of any and all materials such as mortar, concrete, paint, grease, oil, etc. on property, including the storm drain system, is strictly prohibited unless specifically and in writing approved by Public Works Director. Violators will be cited and assessed of cleaning costs.
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LEGEND

- EXISTING COURTS
- EXISTING TREES
- ⊗ (N) TREES TO BE REMOVED
- (N) NEW TREES
- ⊕ 25 W. LIGHT FIXTURE
- ▬ DRAINAGE DIRECTION
- ▬ 2% SLOPE

Site Plan

SCALE: 1"=0' = .60"=0'

CLAUDIO ORTIZ
DESIGN GROUP
574 N. P.O. BOX 3775
Carmel-by-the-Sea, CA 93921
Tel: 831.923.1111

REVISION
DATE:
BY:
D

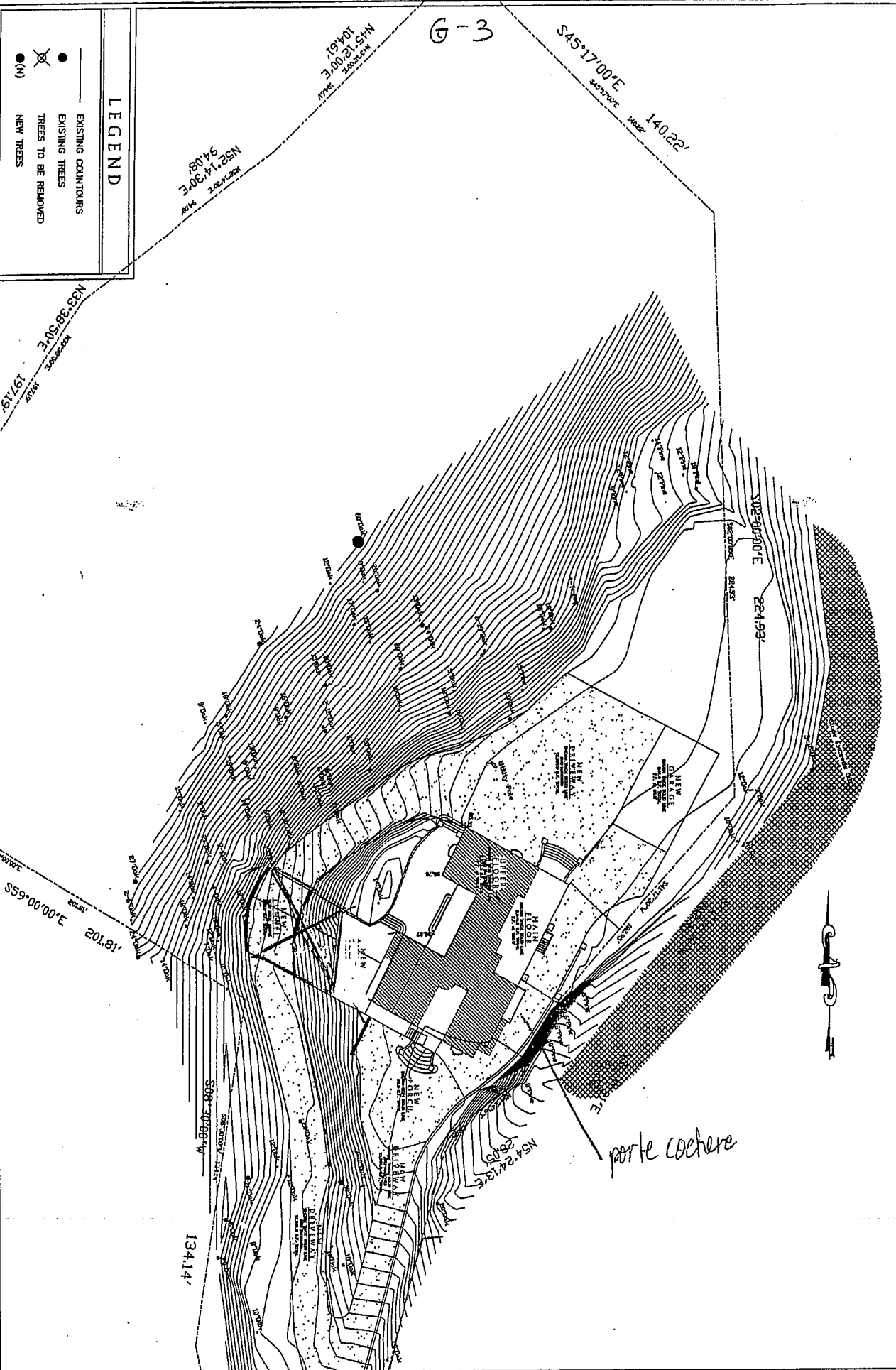
PENLISI RESIDENCE
0000 Fiddly Rd. Carmel Valley, California



DATE: 01/5/06

JOB NO: 04-2

SHEET: A1



G-3

LEGEND

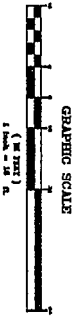
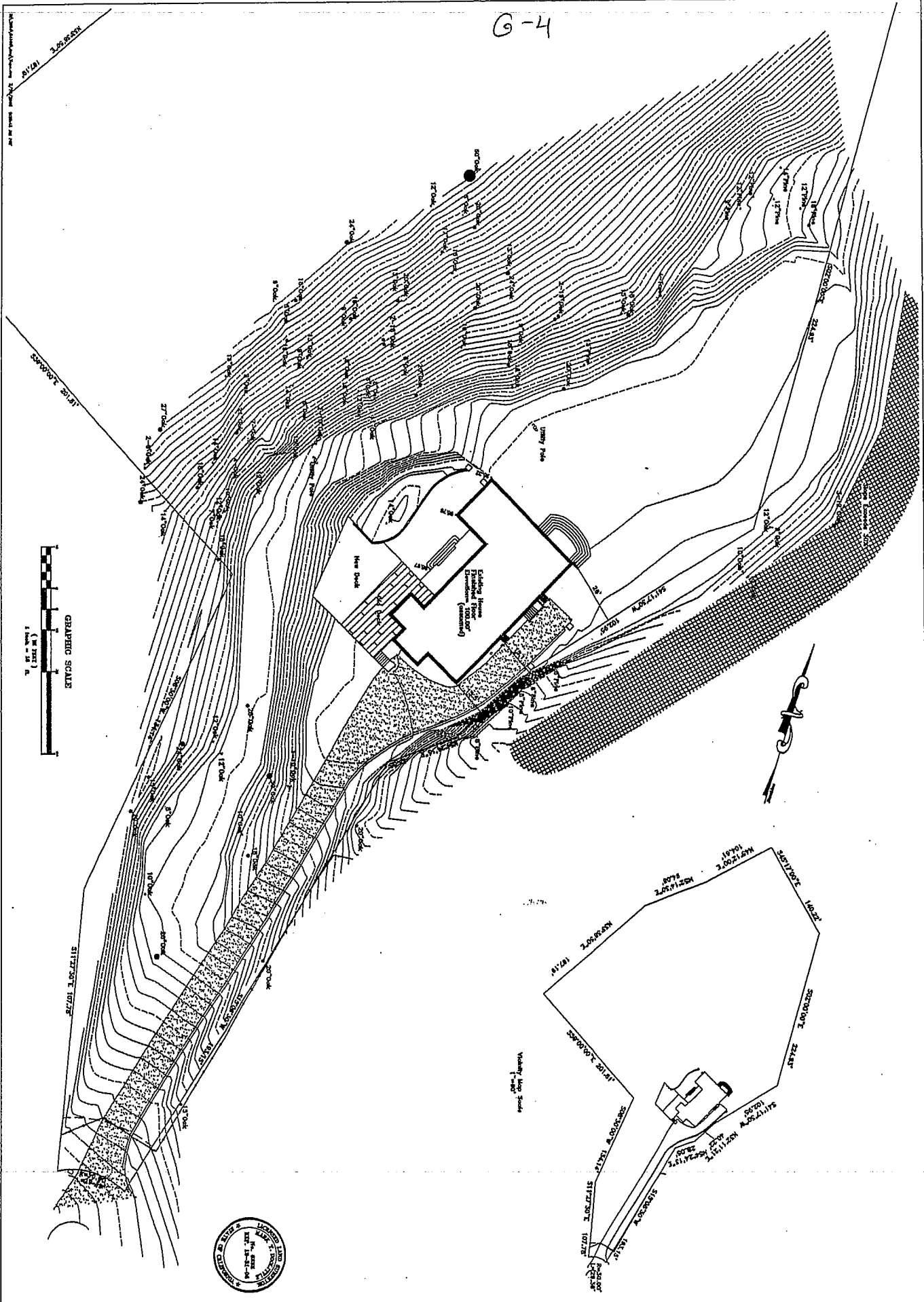
- EXISTING COUNTOURS
- EXISTING TREES
- ⊗ TREES TO BE REMOVED
- (M) NEW TREES

SCALE:
1/16" = 1'-0"

Partial Site Plan

	<p>PENNISI RESIDENCE</p> <p>3251 14th St, Castrol Valley, California</p>	<p>DATE: 01/15/06</p> <p>04-2</p>	<p>CLAUDIO ORTIZ DESIGN GROUP</p> <p>5740 ex. DOLANES and 5TH</p> <p>P.O. BOX 3772</p> <p>Connel—by—Use—Sec, CA 93921</p>
---	---	-----------------------------------	---

G-4



SITE PLAN
 APN 169-091-056
 9955 Eddy Rd., Carmel Valley, Ca
 prepared for:
 Giovanni Bessini

DRAWN BY: TER
 APPROVED BY: M.D.
M. DOOLITTLE
L.S. 6332
 REVISION: 03-07-05
 SCALE: 1/18" = 1'

TOPOGRAPHIC SURVEYS
 ALTA SURVEYS
 831-373-3293 P.H.

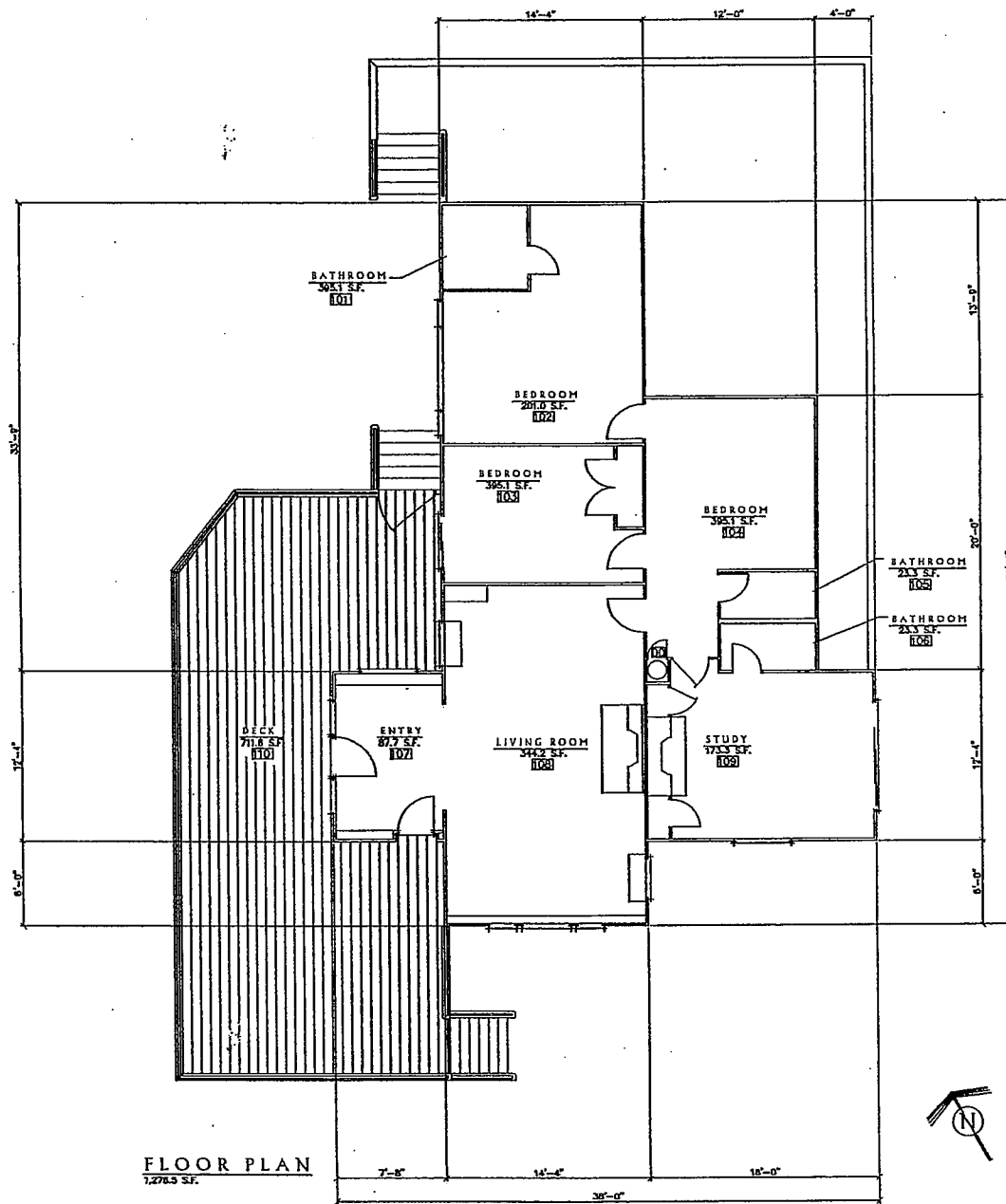


CONSTRUCTION STAKING
 LAND DEVELOPMENT

FAX 831-373-3294

1 SHEETS
 OF
 SHEET 1

G-6



FLOOR PLAN
1,276.5 SF.



KEY NOTES

Blank area for key notes.

Blank area for key notes.

Existing
Floor Plan
SCALE: 1" = 1/4"

CLAUDIO ORTIZ
DESIGN GROUP
5741 E. 12TH AVE. SUITE 100
DENVER, CO 80231
303.755.1111
claudio@ortizdesign.com
www.ortizdesign.com

REVISION
DATE
BY

PENNISI RESIDENCE
Architectural & Design Group, California

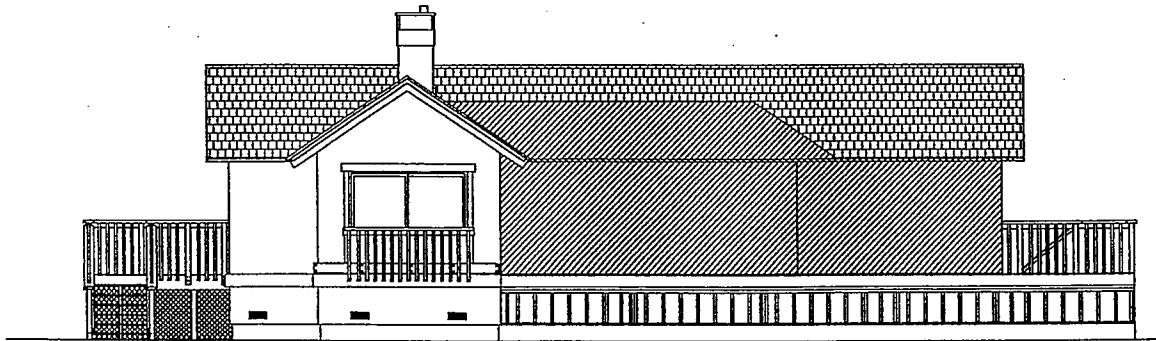


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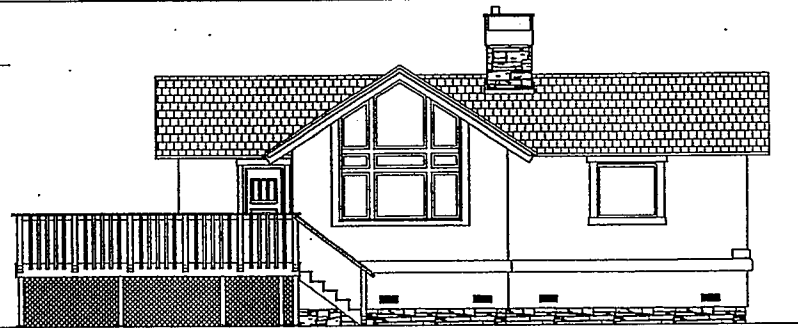
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SCALE: A4

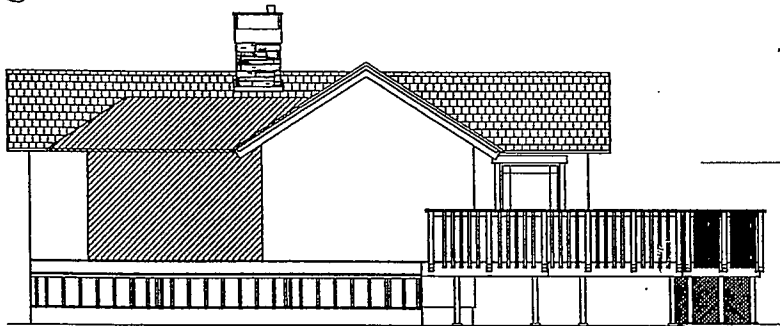
KEY NOTES



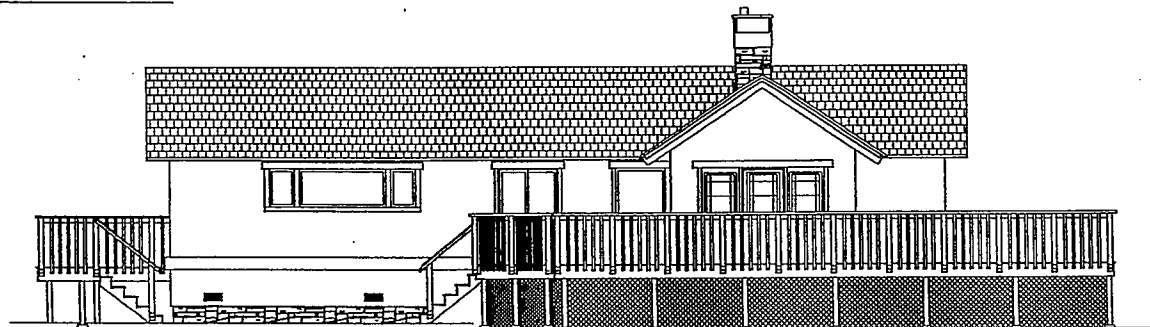
East Elevation



South Elevation



North Elevation



West Elevation

6-7

CLAUDIO ORTIZ
DESIGN GROUP
5740 S. GARDEN BLVD. #200
CERRITOS, CA 94730

DATE: 01/5/04

JOB NO: 04-2

DATE: A5

PENNISI RESIDENCE
414 E. Chestnut Ave. Pacific Grove, California



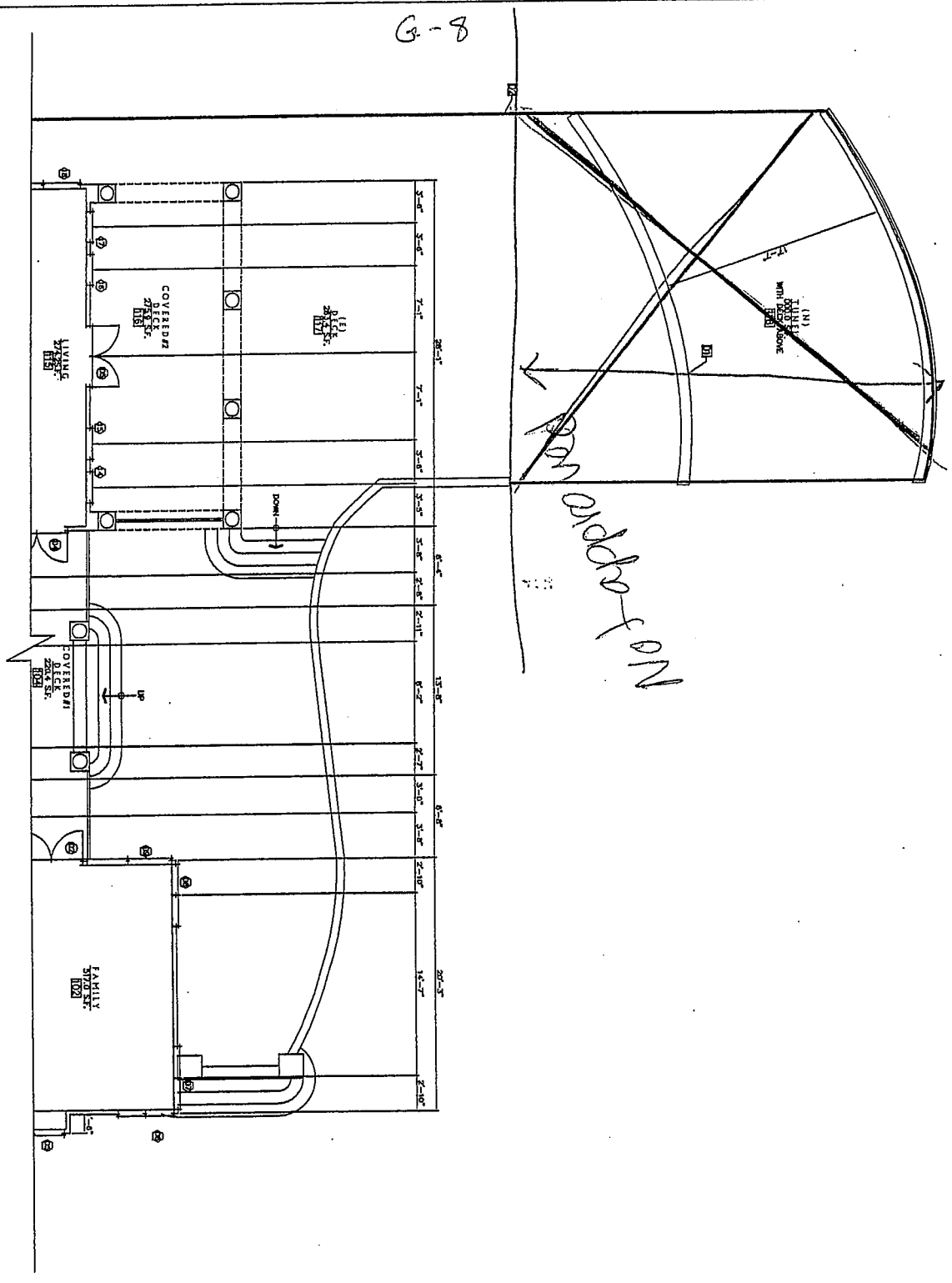
DATE: 01/5/04

JOB NO: 04-2

DATE: A5

Existing
Elevation
SCALE: 1" = 1/4"

G-8



GENERAL NOTES

1. All interior and exterior walls to be 20' wide (10' each).
2. All interior and exterior walls to be finished with 1/2" gypsum board, 5/8" drywall, and 1/2" gypsum board.
3. All exterior walls to be finished with 1/2" gypsum board, 5/8" drywall, and 1/2" gypsum board.
4. All interior walls to be finished with 1/2" gypsum board, 5/8" drywall, and 1/2" gypsum board.
5. All exterior walls to be finished with 1/2" gypsum board, 5/8" drywall, and 1/2" gypsum board.
6. All interior walls to be finished with 1/2" gypsum board, 5/8" drywall, and 1/2" gypsum board.
7. All exterior walls to be finished with 1/2" gypsum board, 5/8" drywall, and 1/2" gypsum board.
8. All interior walls to be finished with 1/2" gypsum board, 5/8" drywall, and 1/2" gypsum board.
9. All exterior walls to be finished with 1/2" gypsum board, 5/8" drywall, and 1/2" gypsum board.
10. All interior walls to be finished with 1/2" gypsum board, 5/8" drywall, and 1/2" gypsum board.
11. All exterior walls to be finished with 1/2" gypsum board, 5/8" drywall, and 1/2" gypsum board.
12. All interior walls to be finished with 1/2" gypsum board, 5/8" drywall, and 1/2" gypsum board.
13. All exterior walls to be finished with 1/2" gypsum board, 5/8" drywall, and 1/2" gypsum board.
14. All interior walls to be finished with 1/2" gypsum board, 5/8" drywall, and 1/2" gypsum board.
15. All exterior walls to be finished with 1/2" gypsum board, 5/8" drywall, and 1/2" gypsum board.
16. All interior walls to be finished with 1/2" gypsum board, 5/8" drywall, and 1/2" gypsum board.
17. All exterior walls to be finished with 1/2" gypsum board, 5/8" drywall, and 1/2" gypsum board.
18. All interior walls to be finished with 1/2" gypsum board, 5/8" drywall, and 1/2" gypsum board.
19. All exterior walls to be finished with 1/2" gypsum board, 5/8" drywall, and 1/2" gypsum board.
20. All interior walls to be finished with 1/2" gypsum board, 5/8" drywall, and 1/2" gypsum board.

KEY NOTES

- 1. 1/2" GYPSUM BOARD
- 2. 5/8" DRYWALL
- 3. 1/2" GYPSUM BOARD

KEY NOTES

- 1. 1/2" GYPSUM BOARD
- 2. 5/8" DRYWALL
- 3. 1/2" GYPSUM BOARD

WALL LEGEND

- 1. 20' EXTERIOR WALL
- 2. FINISHED WALL
- 3. UNFINISHED INTERIOR WALL
- 4. UNFINISHED EXTERIOR WALL
- 5. 20' EXTERIOR WALL W/ 20'00" PROTECTION

Proposed Tunnel Floor Plan
SCALE: 1" = 1/8"

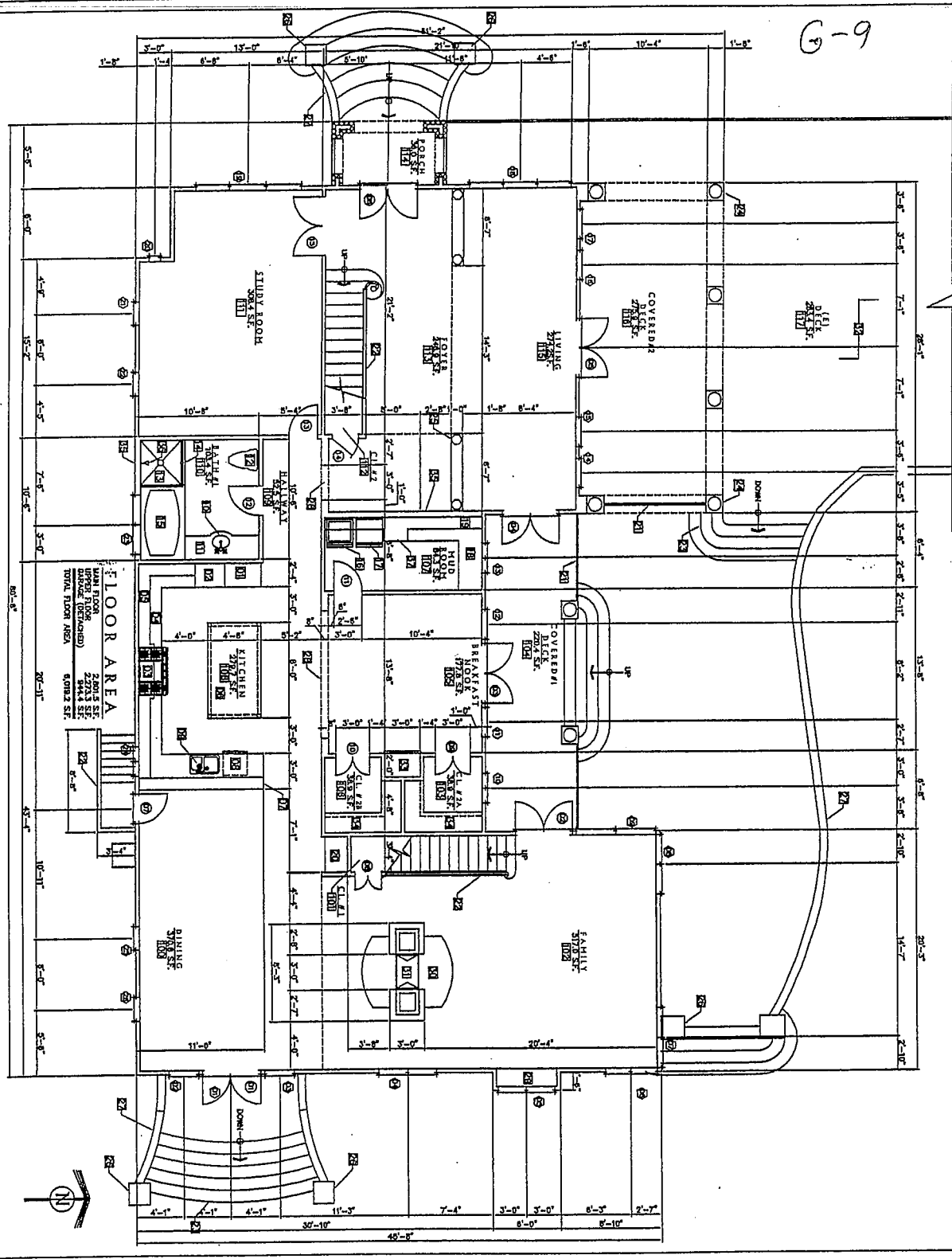


PENNISI RESIDENCE

CLAUDIO ORTIZ
DESIGN GROUP
9740 E. BUCKINGHAM and 8TH
P.O. BOX 3778
CORNELL-BY-THE-SEA, CA 95921

SHEET: 04-2
DATE: 01/15/10
SCALE: 1" = 1/8"
A6.

C-9



FLOOR AREA
 MAIN FLOOR 2,800 S.F.
 UPPER FLOOR 2,275 S.F.
 TOTAL FLOOR AREA 5,075 S.F.

GENERAL NOTES

1. All materials and finishes shall be as per specifications on drawings.
2. All work shall be in accordance with the Uniform Building Code.
3. All work shall be in accordance with the California Building Code.
4. All work shall be in accordance with the International Building Code.
5. All work shall be in accordance with the National Building Code.
6. All work shall be in accordance with the American Building Code.
7. All work shall be in accordance with the International Building Code.
8. All work shall be in accordance with the National Building Code.
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18. All work shall be in accordance with the American Building Code.
19. All work shall be in accordance with the International Building Code.
20. All work shall be in accordance with the National Building Code.

KEY NOTES

- ROOMS**
- 101 Living Room
 - 102 Dining Room
 - 103 Kitchen
 - 104 Study
 - 105 Family Room
 - 106 Living Room
 - 107 Dining Room
 - 108 Kitchen
 - 109 Study
 - 110 Family Room
 - 111 Living Room
 - 112 Dining Room
 - 113 Kitchen
 - 114 Study
 - 115 Family Room
 - 116 Living Room
 - 117 Dining Room
 - 118 Kitchen
 - 119 Study
 - 120 Family Room

KEY NOTES

- 101 Living Room
- 102 Dining Room
- 103 Kitchen
- 104 Study
- 105 Family Room
- 106 Living Room
- 107 Dining Room
- 108 Kitchen
- 109 Study
- 110 Family Room
- 111 Living Room
- 112 Dining Room
- 113 Kitchen
- 114 Study
- 115 Family Room
- 116 Living Room
- 117 Dining Room
- 118 Kitchen
- 119 Study
- 120 Family Room

WALL LEGEND

- 1. 3/4" Gypsum Wallboard
- 2. 5/8" Gypsum Wallboard
- 3. 1/2" Gypsum Wallboard
- 4. 1/4" Gypsum Wallboard
- 5. 1/2" Gypsum Wallboard
- 6. 5/8" Gypsum Wallboard
- 7. 3/4" Gypsum Wallboard
- 8. 1/2" Gypsum Wallboard
- 9. 1/4" Gypsum Wallboard
- 10. 1/2" Gypsum Wallboard
- 11. 5/8" Gypsum Wallboard
- 12. 3/4" Gypsum Wallboard
- 13. 1/2" Gypsum Wallboard
- 14. 1/4" Gypsum Wallboard
- 15. 1/2" Gypsum Wallboard
- 16. 5/8" Gypsum Wallboard
- 17. 3/4" Gypsum Wallboard
- 18. 1/2" Gypsum Wallboard
- 19. 1/4" Gypsum Wallboard
- 20. 1/2" Gypsum Wallboard

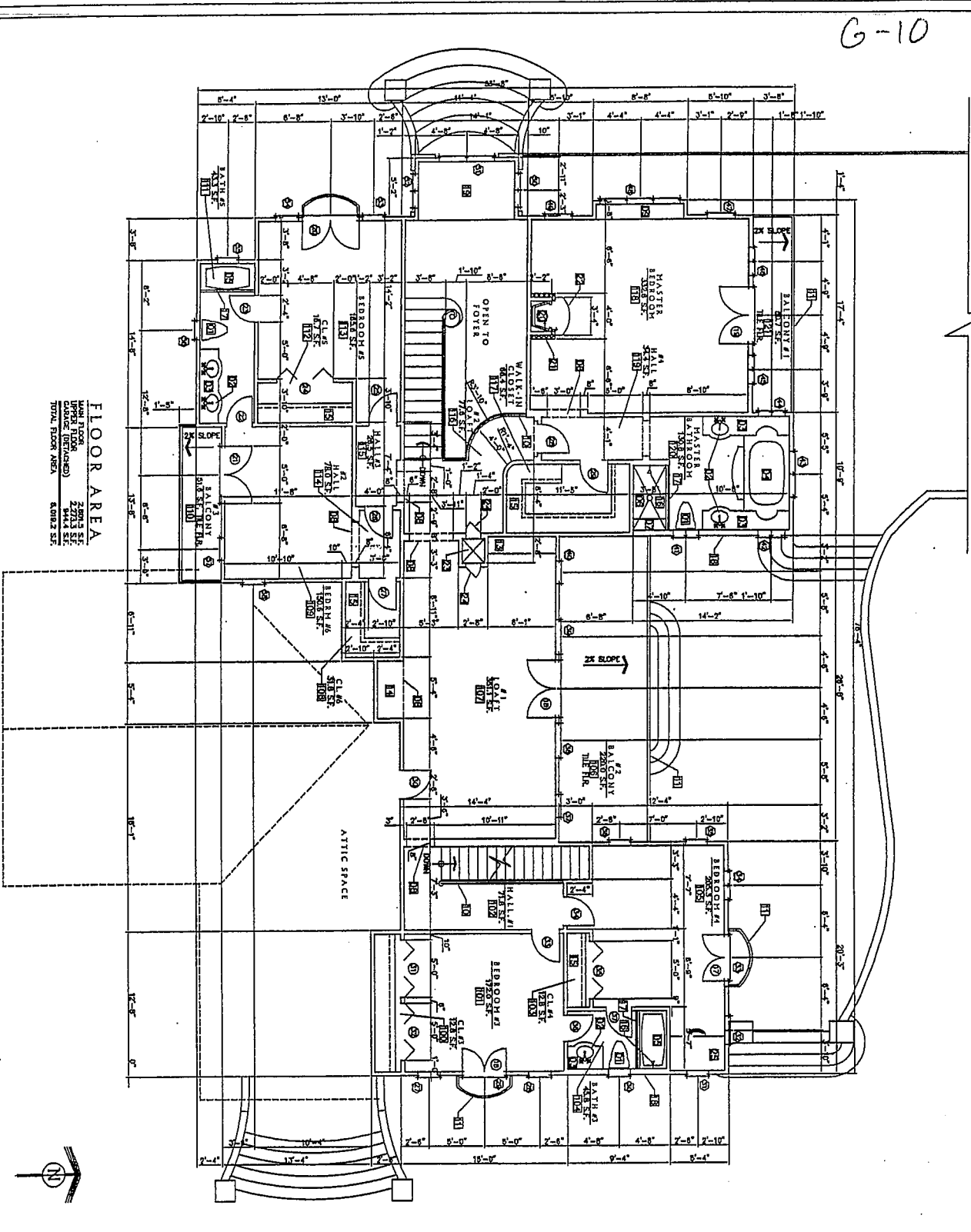
Proposed Floor Plan
 SCALE: 1/8" = 1'-0"



PENNISI RESIDENCE
 10000 Valley View Drive, San Diego, CA 92121

CLAUDIO ORTIZ
 DESIGN GROUP
 5776 POLKES AND 6TH
 P.O. BOX 3775
 Carmel-by-the-Sea, CA 93921

DATE: 01/5/06
 SHEET: 04-2
 PROJECT: AD



FLOOR AREA
 UNIT TOTAL 2,891.3 SF
 UNIT NET 2,444.3 SF
 BALCONY (DETACHED) 447.0 SF
 TOTAL FLOOR AREA 3,082.3 SF

Proposed Floor Plan
 SCALE: 1" = 1/4"

WALL LEGEND

	2x4 BRD WALL
	2x6 BRD WALL
	2x8 BRD WALL
	2x10 BRD WALL
	2x12 BRD WALL
	2x14 BRD WALL
	2x16 BRD WALL
	2x18 BRD WALL
	2x20 BRD WALL
	2x22 BRD WALL
	2x24 BRD WALL
	2x26 BRD WALL
	2x28 BRD WALL
	2x30 BRD WALL
	2x32 BRD WALL
	2x34 BRD WALL
	2x36 BRD WALL
	2x38 BRD WALL
	2x40 BRD WALL
	2x42 BRD WALL
	2x44 BRD WALL
	2x46 BRD WALL
	2x48 BRD WALL
	2x50 BRD WALL
	2x52 BRD WALL
	2x54 BRD WALL
	2x56 BRD WALL
	2x58 BRD WALL
	2x60 BRD WALL
	2x62 BRD WALL
	2x64 BRD WALL
	2x66 BRD WALL
	2x68 BRD WALL
	2x70 BRD WALL
	2x72 BRD WALL
	2x74 BRD WALL
	2x76 BRD WALL
	2x78 BRD WALL
	2x80 BRD WALL
	2x82 BRD WALL
	2x84 BRD WALL
	2x86 BRD WALL
	2x88 BRD WALL
	2x90 BRD WALL
	2x92 BRD WALL
	2x94 BRD WALL
	2x96 BRD WALL
	2x98 BRD WALL
	2x100 BRD WALL

KEY NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2013 CALIFORNIA BUILDING CODE.	11. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2013 CALIFORNIA BUILDING CODE.
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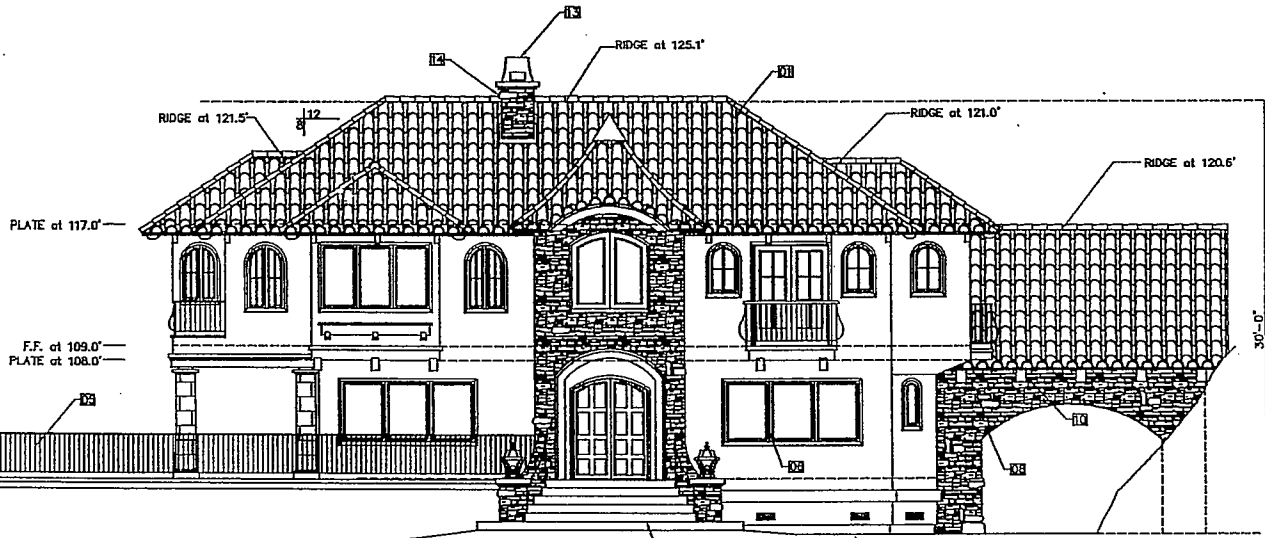
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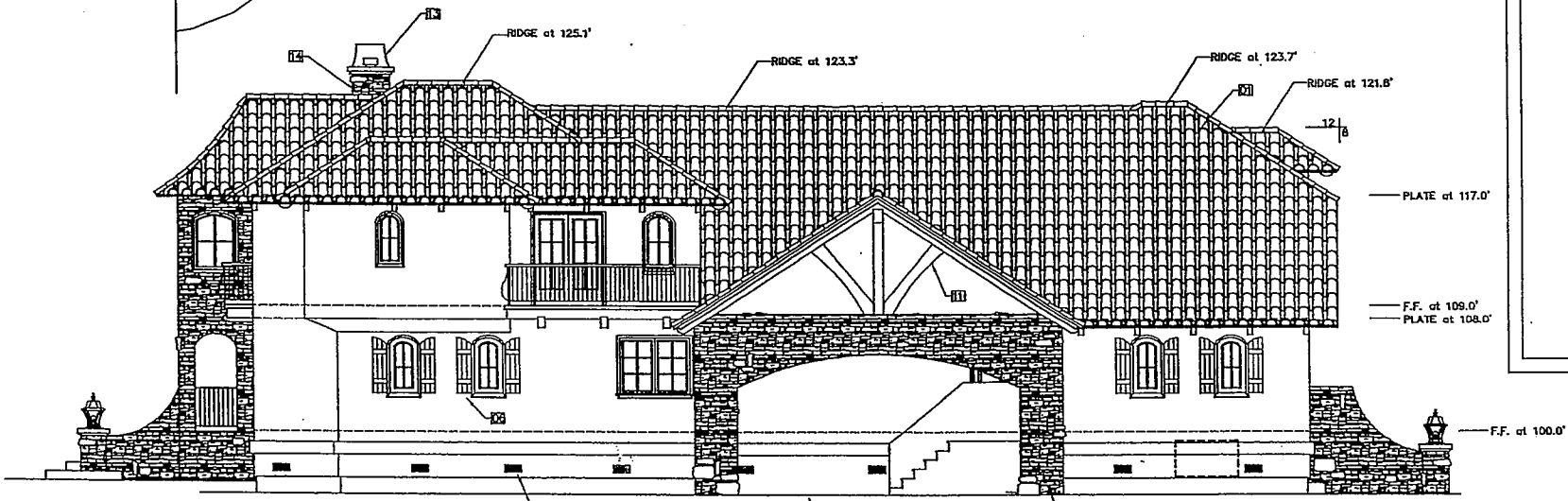
GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2013 CALIFORNIA BUILDING CODE.
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19. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2013 CALIFORNIA BUILDING CODE.
20. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2013 CALIFORNIA BUILDING CODE.

6-12



South Elevation



East Elevation

KEY NOTES

- 11 MEDIUM TILE ROOF
- 12 EXISTING GRADE
- 13 AVERAGE NATURAL GRADE AT 85.1'
- 14 STONE DRIVE STEPS
- 15 BRUSHED IRON RAILING
- 16 WOOD CLAD SHUTTERS AND DOORS, TYP.
- 17 FIRM SHUTTERS
- 18 LOCAL SAND STONE VENEER
- 19 CRANKSPACE VENTS
- 20 EXPOSED BRG RAFTER TAILS STAINED
- 21 PORCH
- 22 BALCONY
- 23 NEW CLAY POT DRINKY FLUE
- 24 NEW CARVED STONE VENEER GRANITE

CLAUDIO ORTIZ
 DESIGN GROUP
 5771 ca. DOLORES and 5TH
 P.O. BOX 3775
 Carmel-by-the-Sea, CA 93921

REVISION
 DATE:
 BY:
 1/

PENNISI RESIDENCE
 9955 Eddy Rd Carmel Valley, California

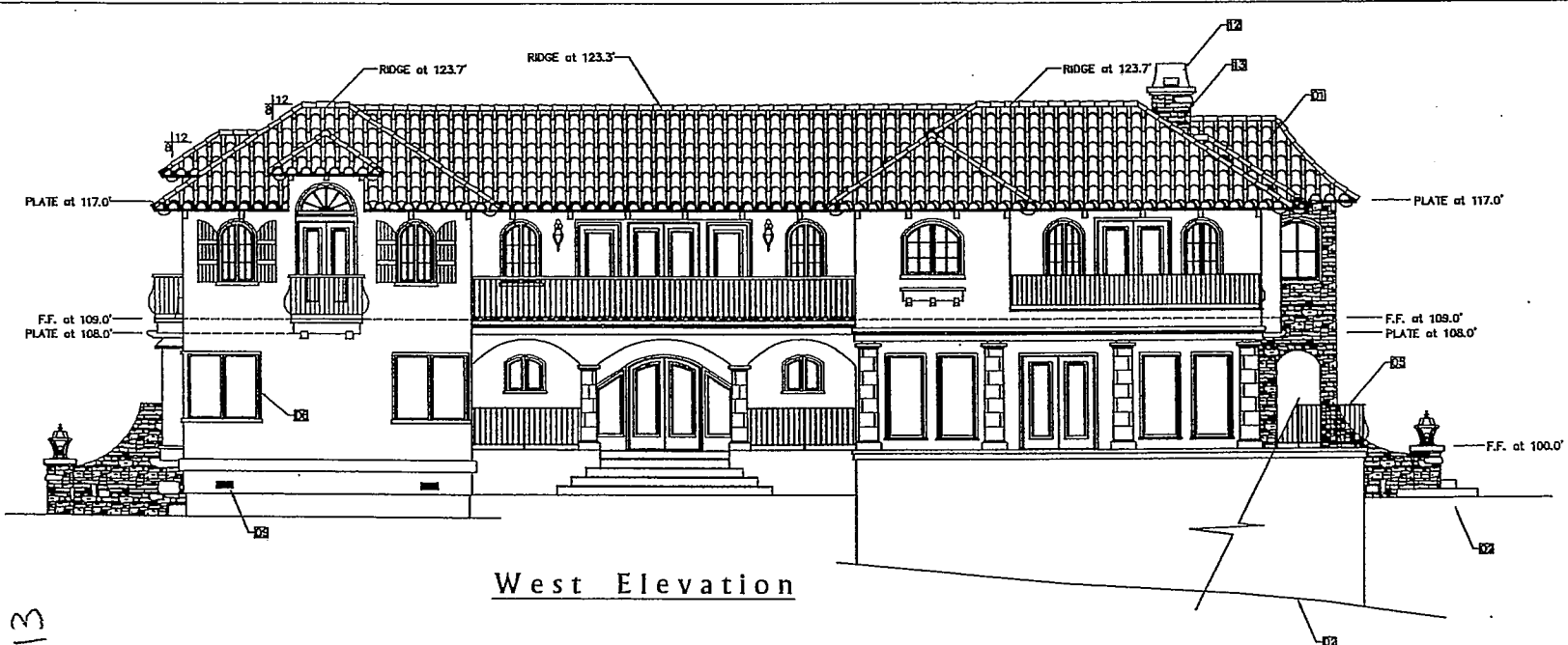


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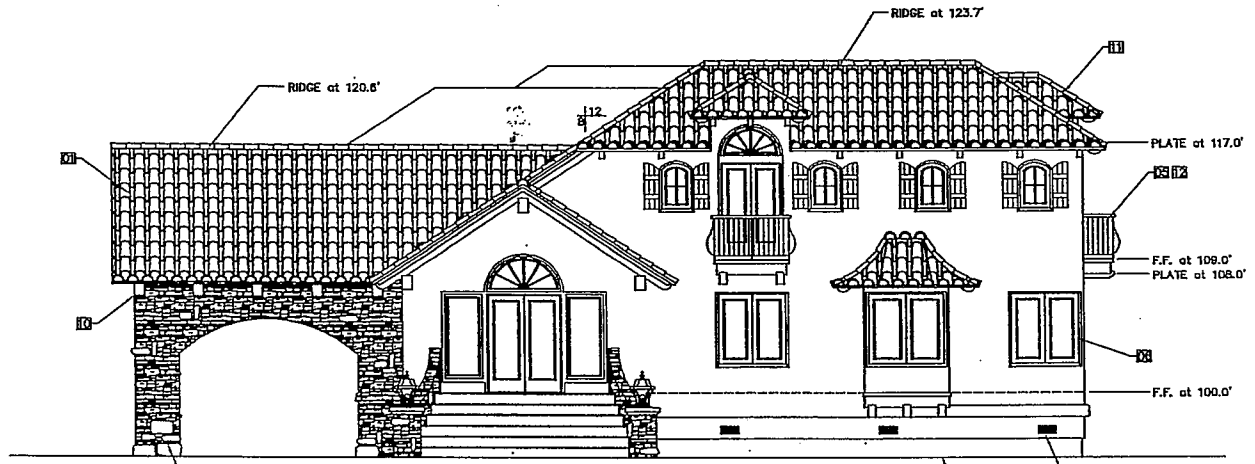
JOB NO: 04-2:

DR: A9

Proposed
 Elevation
 SCALE: 1" = 1/4"



West Elevation



North Elevation

KEY NOTES

- 11 MESHON TILE ROOF
- 12 EXISTING GRADE
- 13 AVERAGE NATURAL GRADE AT 80%
- 14 STONE ENTRY STEPS
- 15 WROUGHT IRON RAILING
- 16 WOOD CLAD WINDOW AND DOORS, TYP.
- 17 FINE SHITTLES
- 18 LOCAL SAND STONE VENEER
- 19 CHAIRSPACE NOTES
- 20 EXPOSED BRD RAFTER TAILS STAINED
- 21 FINE TRAILS, STAINED
- 22 NEW CLAY POT CHIMNEY FLUE
- 23 NEW CARMEL STONE VENEER CHIMNEY

G-13

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CLAUDIO@COSTIZDESIGN.COM
TEL: 561.833.1111

REVISION
DATE:
BY:
NO.
DATE

PENNISI RESIDENCE
10055 Eddy Rd Carmel Valley, California



DATE: 01/5/06

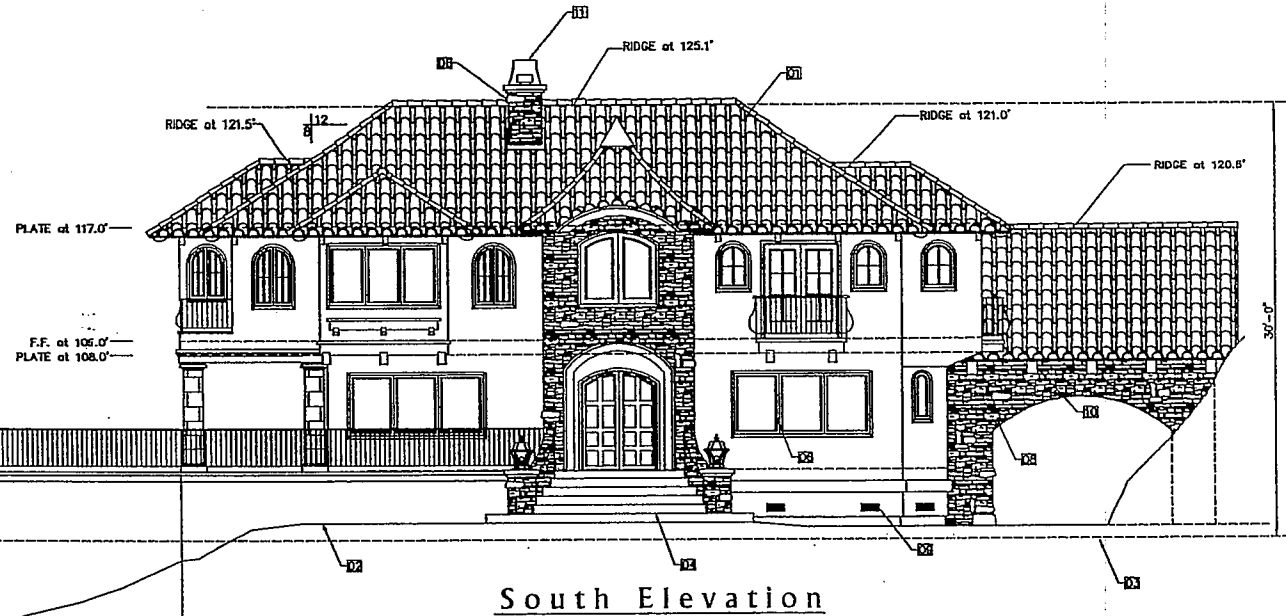
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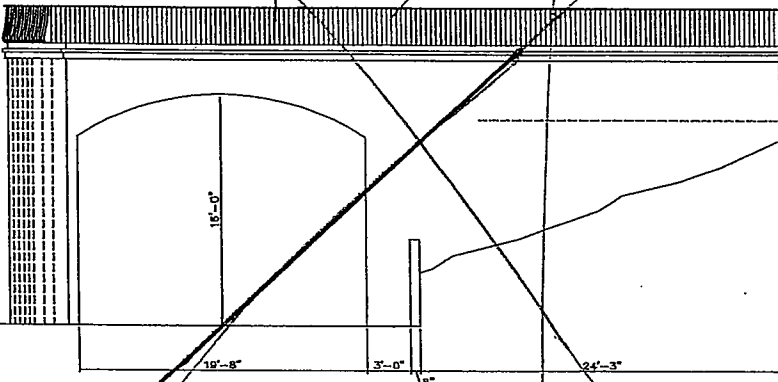
Proposed
Elevation
SCALE: 1" = 1/4"

G-14

not approved



South Elevation



- KEY NOTES**
- 11 MISSION TILE ROOF
 - 12 EXISTING GRADE
 - 13 AVERAGE NATURAL GRADE AT BALI'
 - 14 STONE ENTRY STEPS
 - 15 WROUGHT IRON RAILING
 - 16 WOOD GLAZ WINDOWS AND DOORS, TYP.
 - 17 ROW SHUTTERS
 - 18 LOCAL SAND STONE VENEER
 - 19 CRAMSPACE UNITS
 - 20 CHOPPED ROOF RAFTER TAIL STAMPS
 - 21 HDX CLAY PUT BRANZY FLIC

Proposed
Elevation
SCALE: 1" = 1/4"

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577 E. DOLORES ST
CARMEL VALLEY, CA 93921
CLAUOR01@GMAIL.COM

REVISION
DATE

PENNISI RESIDENCE
6006 Eddy Rd Carmel Valley, California

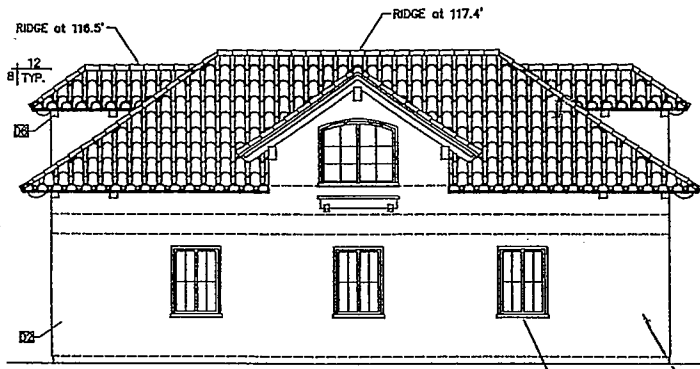


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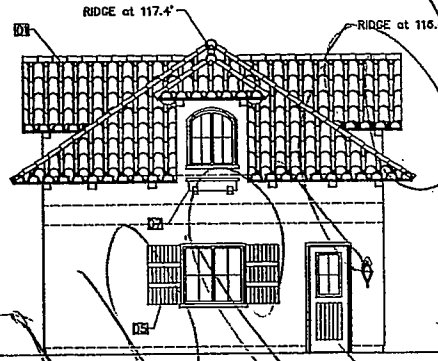
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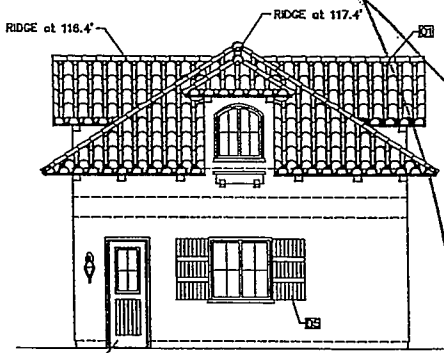
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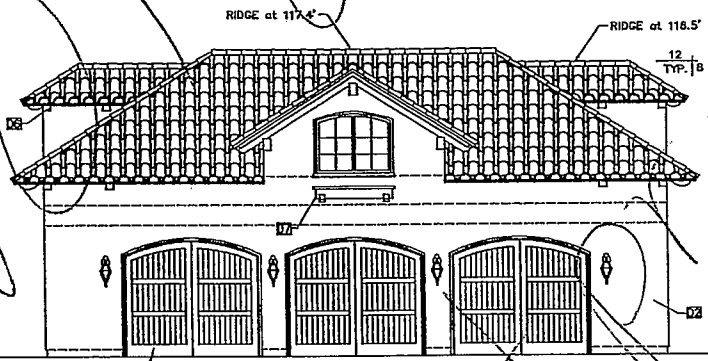
EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



WEST ELEVATION

— PLATE at 113.9'

— PLATE at 111.3'

— PLATE at 108.9'

— F.F. at 106.9'

— PLATE at 105.5'

— F.F. at 98.5'

KEY NOTES

- 12 MESHON T&C ROOF
- 13 COARSE PLASTER BOND
- 14 WOOD CLAD SHOOKS AND DOCKS, TYP.
- 15 WOOD FRAMING GARAGE DOORS
- 16 ROOF SHAPERS
- 17 EXPOSED ROOF RAFTER TAILS STAINED
- 18 FIN. PLUMBER BOX

Handwritten notes and signatures:

Approved

int only

[Signature]

CLAUDIO ORTIZ
DESIGN GROUP
5740 S. DOLORES and 9TH
CARMEL VALLEY, CA 93970
Carmel-1318-1844

REVISION
DATE

PENNISI RESIDENCE
6066 Eddy Rd Carmel Valley California



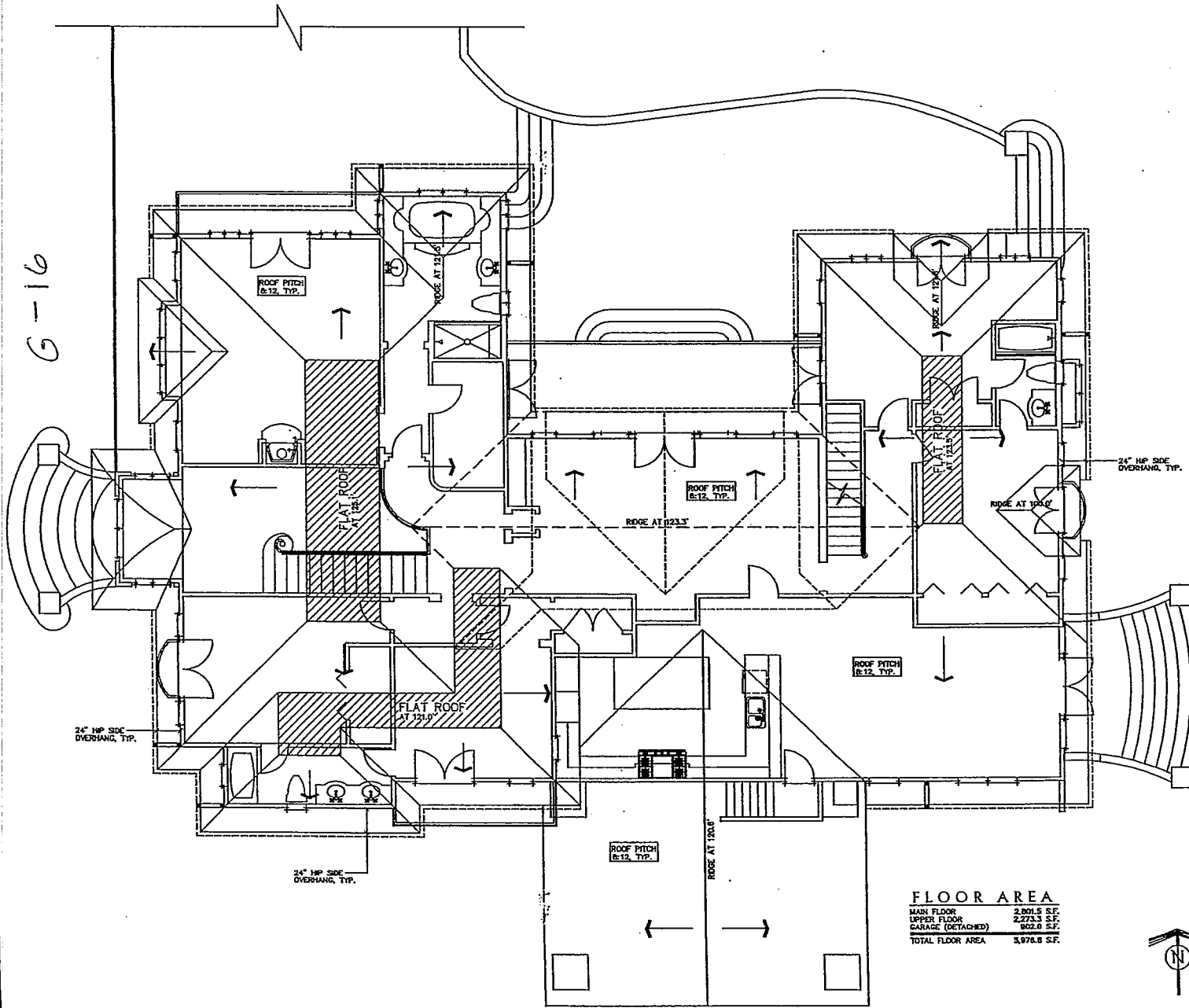
DATE: 01/5/04

JOB No: 04-2

NO: A12

Proposed
Garage
Elevation
SCALE: 1" = 1/4"

G-16



FLOOR AREA

MAIN FLOOR	2,901.5 S.F.
UPPER FLOOR	2,273.3 S.F.
GARAGE (DETACHED)	802.0 S.F.
TOTAL FLOOR AREA	5,976.8 S.F.

GENERAL NOTES

- See plan for roof slope.
- Installation of roofing shall be in accordance with manufacturer's specifications.
- Close 1" min. rafter for roof assembly per U.S.C. 1507.
- In "CALIFORNIA" double framing rafter provide openings in main attic space for ventilation, per U.S.C. 1503.3. If "CALIFORNIA" double frame area has more than 30' headroom provide a 22"x30" access through main roof sheathing with structural engineer.
- all box columns and "pop-pole" shall remain open at top plate line to allow for ventilation. Provide two (2) layers grade "D" min. building paper under sheetrock where wood sheathing occurs.
- provide draft slope per U.S.C. 703.1.3.
- All roof eavens to be capable of resisting wind load of not less than 20 M.P.H. - install per manufacturer's instructions.
- Built up roofing to have mineral surface cap sheet w/ fiberglass base sheet applied to deck. Provide 2 fiberglass plys w/ 1/4" type II overlap @ 2'-0" intervals. Consult manufacturer for specific installation requirements.
- Where eavens are applied to under-side of roof rafters, each separate space shall have cross-ventilation opening & minimum 1" air space between insulation and roof sheathing.

ATTIC VENTILATION

PROVIDE NET FREE VENTILATION PER U.S.C. NOT LESS THAN 1/300 OF ATTIC AREA PROVIDED AT LEAST 50% OF THE REQUIRED VENTILATION IS LOCATED AT LEAST 3'-0" OR MORE ABOVE THE EAVE PLATE LINE.

PROVIDE VAPOR BARRIER NOT EXCEEDING 1 PERM ON THE WARM SIDE OF THE ATTIC INSULATION PER U.S.C. 1505.3 EXCEPTION 2. 2826 S.I.

2826 S.I.

ROOF AREA 1 (FIRST FLOOR)

5886 S.F./300 = 19.62 S.F. X 144 = 2826 S.I.
TOTAL VENTILATION REQUIRED

VENTILATION PROVIDED (36) 80.5 S.I. LOUVERS 2826 S.I.
2826 S.I.

ROOF AREA 2 (SECOND FLOOR)

5820 S.F./300 = 19.40 S.F. X 144 = 2826 S.I.
TOTAL VENTILATION REQUIRED

VENTILATION PROVIDED (36) 80.5 S.I. LOUVERS 2826 S.I.
2826 S.I.

ROOF AREA 3 (GARAGE FLOOR)

888 S.F./300 = 2.96 S.F. X 144 = 426 S.I.
TOTAL VENTILATION REQUIRED

VENTILATION PROVIDED (36) 80.5 S.I. LOUVERS 426 S.I.

Roof Plan
SCALE: 1" = 1/4"

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Tel: 831-921-1111 Fax: 831-921-1112

REVISION
DATE
BY

PENNISI RESIDENCE
9955 Eddy Rd. Carmel Valley, California

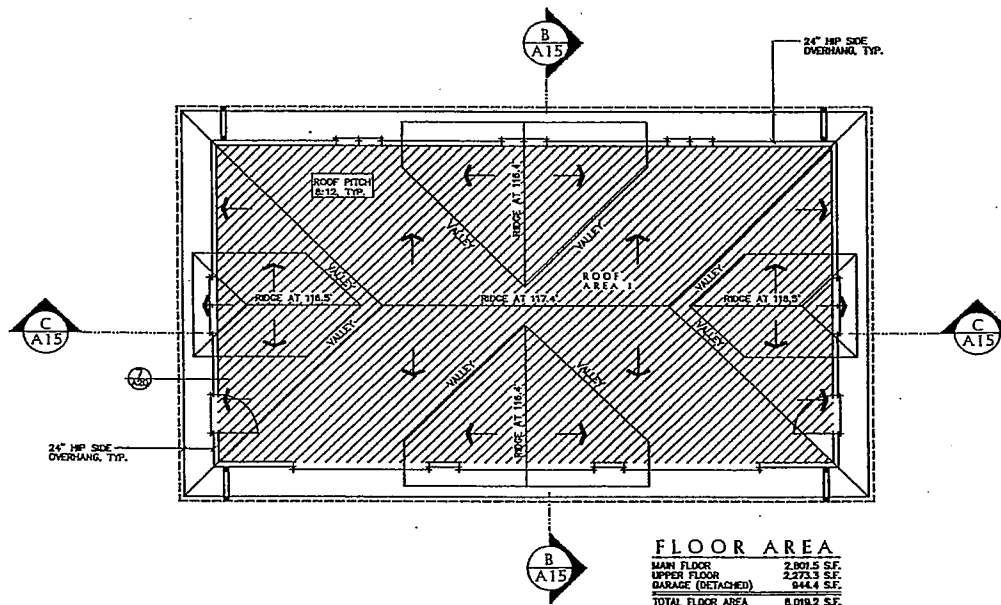


DATE
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JOB NO.
04-2

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G-17



FLOOR AREA

MAIN FLOOR	2,801.5 S.F.
UPPER FLOOR	2,273.3 S.F.
GARAGE (DETACHED)	844.4 S.F.
TOTAL FLOOR AREA	6,019.2 S.F.

GENERAL NOTES

- See plan for roof slope.
- Installation of roofing shall be in accordance with manufacturer's specifications.
- Close 1/2" min. rafter for roof assembly per U.B.C. 1507.
- In "CALIFORNIA" double framing areas provide openings into main attic space for adequate ventilation, per U.B.C. 1503.3. If "CLIFORNIA" double frame area has more than 20' headroom provide a 2" x 2" access through main roof sheathing. Verify openings in roof sheathing with structural engineer.
- At base columns and "pop-outs" shall remain open at top plate line to allow for ventilation. Provide two (2) layers grade "D" min. building paper under sheath where wood sheathing occurs.
- Provide draft stops per U.B.C. 1503.3.
- All roof fasteners to be capable of resisting wind load of not less than 50 M.P.S. - (140 mph) per month, critical extraction.
- Run up roofing to have mineral surface cap sheet w/ fiberglass fiber sheet applied topped in deck. Provide 2 Fiberglass Plysheets w/ 1/2" min. overlap of 2"-3". Consult manufacturer for specific ventilation requirements.
- Where collars are applied to under-side of roof rafters, each separate space shall have cross-ventilation opening & minimum 1" air space between insulation and roof sheathing.

ATTIC VENTILATION

PROVIDE NET FREE VENTILATION PER U.B.C. NOT LESS THAN 1/300 OF ATTIC AREA PROVIDED AT LEAST ONE OF THE REQUIRED VENTILATION IS LOCATED AT LEAST 3'-0" OR MORE ABOVE THE EAVE PLATE LINE.

PROVIDE VAPOR BARRIER NOT EXCEEDING 1 PERM ON THE WARM SIDE OF THE ATTIC INSULATION PER U.B.C. 1505.3 EXCEPTION 2. 2526 S.L.

ROOF AREA 1 (FIRST FLOOR)

802.0 S.F./200 = 1.0 S.F. x 144 = 144.0 S.L.

TOTAL VENTILATION REQUIRED

VENTILATION PROVIDED 144.0 S.L.

(1) 80.5 S.L. LOUVERS 144.0 S.L.

KEY NOTES

- (1) 3/8" x 1/2" PLATE
- (2) 1/2" x 1/2" WOOD NAIL
- (3) 1/2" x 1/2" INSULATION
- (4) 1/2" x 1/2" INSULATION
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- (99) 1/2" x 1/2" INSULATION
- (100) 1/2" x 1/2" INSULATION

Garage Roof Plan

SCALE: 1" = 1/4"

CLAUDIO ORTIZ
DESIGN GROUP
5/17 CALIFORNIA
Completed by: [Signature]
01/15/06

REVISION
DATE
BY

PENNISI RESIDENCE
0955 Fddy Rd. Carmel Valley, California



DATE
01/15/06

JOB NO.
04-2

SHEET
A1