

JEFF MAIN
ZONING ADMINISTRATOR

COUNTY OF MONTEREY
STATE OF CALIFORNIA

RESOLUTION NO. 060025

A. P. # : 103-011-004-000

In the matter of the application of
Brandon M. Gesicki (PLN060025)

FINDINGS AND DECISION

to allow a **Combined Development Permit** in accordance with Title 21 (Zoning) Chapter 21.76 (Combined Development Permits) of the Monterey County Code, consisting of: (1) an Administrative Permit for the construction of a 3,522 square foot two-story single family dwelling with an attached 836 square foot three car garage, associated grading and a removal of eight Monterey pines, one cypress and one acacia tree in a Site Plan Review District; and (2) a Use Permit for development on 30% slopes. The property is located at 610 Viejo Road, Carmel, Greater Monterey Peninsula Area Plan, and came on regularly for meeting before the Zoning Administrator on December 14, 2006.

Said Zoning Administrator, having considered the application and the evidence presented relating thereto,

FINDINGS OF FACT

1. **FINDING: CONSISTENCY** – The project, as described in Condition No. 1 and as conditioned, conforms to the policies, requirements, and standards of the Monterey County General Plan, Greater Monterey Peninsula Area Plan, Greater Monterey Peninsula Area Plan Inventory and Analysis, and the Monterey County Zoning Ordinance (Title 21), which designates this area as appropriate for residential development.

- EVIDENCE:** (a) The text, policies, and regulations in the above referenced documents have been evaluated during the course of review of applications. No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
- (b) The property is located at 160 Viejo Road, Carmel (Assessor's Parcel Number 103-011-004-000), Greater Monterey Peninsula Area Plan. The parcel is zoned "RDR/5.1-UR-D-S" (Rural Density Residential, 5.1 acres per unit with an Urban Reserve, Design Control, and Site Plan Review Overlays). The subject property complies with all the rules and regulations pertaining to zoning uses and any other applicable provisions of Title 21, and is therefore suitable for the proposed development.
- (c) The project planner conducted a site inspection on November 14, 2006 to verify that the project on the subject parcel conforms to the plans listed above.
- (d) The project was referred to the Greater Monterey Peninsula Land Use Advisory Committee (LUAC) for review. The LUAC recommended approval of the project with a vote of three ayes with one member absent. The LUAC's recommended conditions include that a drainage plan be prepared as well as a landscape plan incorporating screening to conceal as the structures from the highway as much as possible. (See conditions No.'s 13 and 7)

- (e) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN060025.

2. **FINDING: SITE SUITABILITY** – The site is physically suitable for the use proposed.

EVIDENCE: (a) The project has been reviewed for site suitability by the following departments and agencies: RMA - Planning Department, Carmel Highlands Fire Protection District, Public Works, Environmental Health Division, Water Resources Agency, Sheriffs Department and the City of Monterey. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.

- (b) Technical reports by outside forestry and geotechnical consultants indicate that there are no physical or environmental constraints that would indicate that the site is not suitable for the use propose. County staff concurs. The following reports have been prepared:

“Arborist Report” (LIB060524) prepared by Frank Ono, Pacific Grove, CA, April 24, 2006.

“Geotechnical and Percolation Investigation Report” (LIB060523) prepared by Soil Surveys Inc., Salinas, CA June 26, 2005.

- (c) Staff conducted a site inspection on November 14, 2006 to verify that the site is suitable for this use.
- (d) Materials in Project File PLN060025.

3. **FINDING: CEQA (Exempt):** - The project is categorically exempt from environmental review.

EVIDENCE: (a) California Environmental Quality Act (CEQA) Guidelines Section 15303 (a), categorically exempts the construction of single family dwellings in a residential area.

- (b) CEQA Guidelines Section 15061(b) (3) states that CEQA applies only to projects which have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA. An Arborist and Geotechnical/Geological reports submitted by the applicant have shown that tree removal and grading will not have a significant effect on the environment.

- (c) No adverse environmental effects were identified during staff review of the development application during a site visit on November 14, 2006.

- (d) See preceding and following findings and supporting evidence.

4. **FINDING: TREE REMOVAL IN A SITE PLAN REVIEW DISTRICT**–The review of impacts to natural resources is necessary in the S District in accordance with Section 21.45.010 of the Monterey County Zoning Ordinance (Title 21). The proposed tree removal has been evaluated and it has been determined that it will not adversely affect natural resources.

EVIDENCE: (a) The project includes the removal eight Monterey pines, one cypress and one acacia tree. The trees intended for removal are not protected in the Greater Monterey Peninsula Planning Area.

- (b) Measures for tree protection during construction have been incorporated as conditions and include tree protection zones, trunk protection, hand excavation and bridging roots.

- (c) An Arborist report dated April 24, 2006 (LIB060524) stated that the impacts of the tree removal may be mitigated by replacement planting. An amended version emailed to staff

by the arborist on December 8, 2006 revised the language to replace "impact and mitigation" to "assessments and recommendations". The arborist report does not state that the tree removal will cause an adverse affect on the existing forest.

(d) The removal will not involve a risk of adverse environmental impacts.

5. **FINDING: VISUAL SENSITIVITY** – The project will not create an adverse visual impact from Highway 1, an officially designated scenic highway shown on Figure 17 of the Greater Monterey Area Plan Inventory and Analysis.

EVIDENCE: (a) Policy 40.2.1 of the Monterey County General Plan (GP) states that "...sensitive treatment provisions shall be employed within the scenic corridor, including placement of utilities underground, where feasible; architectural and landscape controls..."

(b) A condition of approval requires replanting of native pines as recommended by the arborist (LIB0060524). Due to visibility issues, the replanting shall be located in areas where the trees will screen the structures from Highway 1. (See condition No. 7)

6. **FINDING: DEVELOPMENT ON SLOPES IN EXCESS OF 30%** - There is no feasible alternative which would allow development to occur on slopes of less than 30%.

EVIDENCE: (a) The areas of development where slope exceeds 30% are as follows: 5 small areas (roughly 180 sq. ft. each) located within the driveway, driveway fill and walkway; two very small areas (50 sq. ft. each) located in the parking area that will be graded; and a larger section (approximately 858 sq. ft.) at the southern side of the house as well as a retaining wall at the parking area and garage that will be in and abut against the slope.

(b) The project is located on the parcel where the least amount of disturbance of slopes in excess of 30% takes place. Site constraints such as setbacks, trees and other areas with steeper slopes restrict the development to its current location.

(c) The placement of the single family dwelling has been rotated from the original application in order to avoid some steeper areas to the south complying with the regulations set forth in Section 21.80.040.B of Title 21.

7. **FINDING: NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property. Zoning violation abatement costs, if any, have been paid.

EVIDENCE: Staff reviewed Monterey County RMA - Planning Department and Building Services Department Monterey County records and is not aware of any violations existing on subject property.

8. **FINDING: HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

EVIDENCE: Preceding findings and supporting evidence.

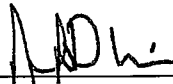
9. **FINDING: APPEALABILITY** - The decision on this project is appealable to the Planning Commission.

EVIDENCE: Section 21.80.040.B of the Monterey County Zoning Ordinance (Title 21).

DECISION

It is the decision of the Zoning Administrator of the County of Monterey that said application for a Combined Development Permit be granted as shown on the attached sketch and subject to the attached conditions.

PASSED AND ADOPTED this 14th day of December, 2006.



JEFF MAIN, ZONING ADMINISTRATOR

COPY OF THIS DECISION MAILED TO APPLICANT ON JAN - 3 2007

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY TO THE MONTEREY COUNTY PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE JAN 13 2007

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning and Building Inspection Department office in Salinas.

2. This permit expires 2 years after the above date of granting thereof unless construction or use is started within this period.

**Monterey County Resource Management Agency
Planning Department
Condition Compliance and/or Mitigation Monitoring
Reporting Plan**

Project Name: Gesicki

File No: PLN060025

Approved by: Zoning Administrator

APNs: 103-011-004-000

Date: December 14, 2006

**Monitoring or Reporting refers to projects with an EIR or adopted Mitigated Negative Declaration per Section 21081.6 of the Public Resources Code.*

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
1.		PBD029 - SPECIFIC USES ONLY This Combined Development Permit (PLN060025) allows construction of a 3,522 square foot two-story single family dwelling with an attached 836 square foot three car garage, associated grading, the removal of seven non-protected Monterey pine trees and development on 30% slopes. The property is located at 610 Viejo Road, Carmel (Assessor's Parcel Number 103-011-004-000), East of Highway One and North of Aguajito Road, Greater Monterey Peninsula Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the following terms and conditions. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of RMA - Planning Department. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. [Resource Management Agency (RMA) - Planning Department]	Adhere to conditions and uses specified in the permit.	Owner/ Applicant	Ongoing unless other- wise stated	

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2.		PBD025 - NOTICE-PERMIT APPROVAL The applicant shall record a notice which states: "A permit (Resolution No. 060025) was approved by the Planning Commission for Assessor's Parcel Number 103-011-004-000 on December 14, 2006. The permit was granted subject to 22 conditions of approval, which run with the land. A copy of the permit is on file with the Monterey County RMA - Planning Department." Proof of recordation of this notice shall be furnished to the Director of RMA - Planning Department prior to issuance of building permits or commencement of the use. (RMA - Planning Department)	Proof of recordation of this notice shall be furnished to RMA - PD	Owner/ Applicant	Prior to Issuance of grading and building permits or start of use.	
3.		PBD030 - STOP WORK - RESOURCES FOUND If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. The Monterey County RMA - Planning Department and a qualified archaeologist (i.e., an archaeologist registered with the Society of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery. (RMA - Planning Department)	Stop work within 50 meters (165 feet) of uncovered resource and contact the Monterey County RMA - Planning Department and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.	Owner/ Applicant/ Archaeo- logist	Ongoing	

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4.		PBD009 - GEOTECHNICAL CERTIFICATION Prior to final inspection, the geotechnical consultant shall provide certification that all development has been constructed in accordance with the geotechnical report. (RMA – Planning Department and Building Services Department)	Submit certification by the geotechnical consultant to the RMA – Building Services Department showing project's compliance with the geotechnical report.	Owner/ Applicant/ Geotechnical Consultant	Prior to final inspection	
5.		PBD010 - EROSION CONTROL PLAN AND SCHEDULE The approved development shall incorporate the recommendations of the Erosion Control Plan as reviewed by the Director of RMA – Planning and Director of Building Services. All cut and/or fill slopes exposed during the course of construction be covered, seeded, or otherwise treated to control erosion during the course of construction, subject to the approval of the Director of RMA - Planning and Director of RMA - Building Services. The improvement and grading plans shall include an implementation schedule of measures for the prevention and control of erosion, siltation and dust during and immediately following construction and until erosion control planting becomes established. This program shall be approved by the Director of RMA - Planning and Director of RMA - Building Services. (RMA - Planning Department and RMA - Building Services Department)	Evidence of compliance with the Erosion Control Plan shall be submitted to the RMA - Planning Department and the RMA - Building Services Department prior to issuance of building and grading permits.	Owner/ Applicant	Prior to the issuance of grading and building permits	
			Comply with the recommendations of the Erosion Control Plan during the course of construction until project completion as approved by the Director of RMA - Planning and Director of RMA - Building Services.	Owner/ Applicant	Ongoing	
			Evidence of compliance with the Implementation Schedule shall be submitted to the RMA - Planning Department and the RMA - Building Services Department	Owner/ Applicant	Prior to final inspection	

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6.		PBD011 – TREE AND ROOT PROTECTION Trees which are located close to the construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by a certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of the RMA – Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by a certified arborist. (RMA - Planning Department)	Submit evidence of tree protection to the RMA - Planning Department for review and approval.	Owner/ Applicant	Prior to the issuance of grading and/or building permits	
			If damage is possible, submit an interim report prepared by a certified arborist.	Owner/ Applicant/ Arborist	During Construct ion	
			Submit photos of the trees on the property to the RMA – Planning Department after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.	Owner/ Applicant	Prior to final inspectio n	
7.		PBD012(A) - LANDSCAPE PLAN AND MAINTENANCE (NON-STANDARD) The site shall be landscaped. At least three (3) weeks prior to occupancy, three (3) copies of a landscaping plan shall be submitted to the Director of the RMA - Planning Department. Landscape screening, utilizing native trees per the arborist report, between the structure and Highway 1 shall be incorporated in the landscape plan. A landscape	Submit landscape plans and contractor's estimate to the RMA - Planning Department for review and approval.	Owner/ Licensed Landscape Contractor/ Licensed Landscape Architect	At least three (3) weeks prior to final inspectio n or occupanc y	

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		plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County RMA - Planning Department. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (RMA – Planning Department)	All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.	Owner/ Applicant	Ongoing	
			Submit certification by arborist consultant to the RMA – Planning Department showing successful tree replanting. Should the replanting be unsuccessful, the replanting must be repeated until successful and the monitoring period extended.	Owner/ Applicant	5 years after the final of the building permit.	
8.		PBD014(A) – LIGHTING – EXTERIOR LIGHTING PLAN All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The applicant shall submit 3 copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations, Title 24, Part 6. The exterior lighting plan shall be subject to approval by the Director of the RMA - Planning Department, prior to the issuance of building permits. (RMA – Planning Department)	Submit three copies of the lighting plans to the RMA - Planning Department for review and approval. Approved lighting plans shall be incorporated into final building plans.	Owner/ Applicant	Prior to the issuance of building permits.	
			The lighting shall be installed and maintained in accordance with the approved plan.	Owner/ Applicant	Ongoing	

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9.		PBD016 – NOTICE OF REPORT Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states: "An Arborist report has been prepared for this parcel by Frank Ono, dated April 24, 2006 and is on record in the Monterey County RMA - Planning Department, Library No. LIB060524. All development shall be in accordance with this report." (RMA – Planning Department)	Proof of recordation of this notice shall be furnished to the RMA - Planning Department.	Owner/ Applicant	Prior to the issuance of grading and building permits.	
10.		PBD033 - RESTORATION OF NATURAL MATERIALS Upon completion of the development, the area disturbed shall be restored to a condition to correspond with the adjoining area, subject to the approval of the Director of the RMA - Planning Department. Plans for such restoration shall be submitted to and approved by the Director of the RMA - Planning Department prior to commencement of use. (RMA – Planning Department)	Submit restoration plans to the RMA - Planning Department for review and approval.	Owner/ Applicant	Prior to commencement of use.	
11.		PBD035 - UTILITIES - UNDERGROUND All new utility and distribution lines shall be placed underground. (RMA - Planning Department; Public Works)	Install and maintain utility and distribution lines underground.	Owner/ Applicant	Ongoing	
12.		PBD041 – HEIGHT VERIFICATION The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of the RMA- Building Services Department	1) The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection	Owner/ Applicant	Prior to the issuance of grading or building permits	

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		for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (RMA – Planning Department and Building Services Department)	2) The applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of the RMA- Building Services Department for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.	Owner/ Applicant/ Engineer	Prior to the final inspection	
13.		WR2 - STORMWATER CONTROL The applicant shall provide the Water Resources Agency a drainage plan prepared by a registered civil engineer or architect addressing on-site and off-site impacts. Stormwater runoff from impervious surfaces shall be dispersed at multiple points, away from and below any septic leach fields, over the least steep available slopes, with erosion control at outlets. Drainage improvements shall be constructed in accordance with plans approved by the Water Resources Agency. (Water Resources Agency)	Submit 3 copies of the engineered drainage plan to the Water Resources Agency for review and approval.	Owner/ Applicant/ Engineer	Prior to issuance of any grading or building permits	
14.		WR40 - WATER CONSERVATION MEASURES The applicant shall comply with Ordinance No. 3932, or as subsequently amended, of the Monterey County Water Resources Agency pertaining to mandatory water conservation regulations. The regulations for new construction require, but are not limited to: a. All toilets shall be ultra-low flush toilets with a maximum tank size or flush capacity of 1.6 gallons, all shower heads shall have a maximum flow capacity of 2.5 gallons per minute, and all hot water faucets that have more than ten feet of pipe between the faucet and the hot water heater serving such faucet shall be equipped with a hot water recirculating system.	Compliance to be verified by building inspector at final inspection.	Owner/ Applicant	Prior to final building inspection/occupancy	

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		b. Landscape plans shall apply xeriscape principles, including such techniques and materials as native or low water use plants and low precipitation sprinkler heads, bubblers, drip irrigation systems and timing devices. (Water Resources Agency)				
15.		WR43 - WATER AVAILABILITY CERTIFICATION The applicant shall obtain from the Monterey County Water Resources Agency, proof of water availability on the property, in the form of an approved Monterey Peninsula Water Management District Water Release Form. (Water Resources Agency)	Submit the Water Release Form to the Water Resources Agency for review and approval.	Owner/ Applicant	Prior to issuance of any building permits	
16.		WR- WELL INFORMATION (NON-STANDARD) The applicant shall provide the Water Resources Agency information on the well to serve the project including a map showing the well location and any available well logs/e-logs. (Water Resources Agency)	Submit all applicable well information to the Water Resources Agency for review and approval.	Owner/Applicant	Prior to the issuance of any grading or building permits.	
17.		EH11 - SEPTIC SYSTEM DESIGN Submit plans for review and approval showing the location and design of the proposed septic system meeting the standards found in Chapter 15.20 of the Monterey County Code (Septic Ordinance) and "Prohibitions", Central Coast Basin Plan, RWQCB. (Environmental Health)	Division of Environmental Health must approve plans. Applicant shall obtain a permit to install the septic system.	CA Licensed Engineer /Owner/ Applicant	Prior to filing the final parcel map or issuance of building	

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18.		PW0005 – ENCROACHMENT (STD DRIVEWAY) Obtain an encroachment permit from the Department of Public Works and construct a standard driveway connection to Viejo Road.(Public Works)	Applicant shall obtain an encroachment permit from DPW prior to issuance of building permits and complete improvement prior to occupancy or commencement of use. Applicant is responsible to obtain all permits and environmental clearances.	Owner/ Applicant	Prior to Building/ Grading Permits Issuance	
19.		FIRE007 - DRIVEWAYS Driveways shall not be less than 12 feet wide unobstructed, with an unobstructed vertical clearance of not less than 15 feet. The grade for all driveways shall not exceed 15 percent. Where the grade exceeds 8 percent, a minimum structural roadway surface of 0.17 feet of asphaltic concrete on 0.34 feet of aggregate base shall be required. The driveway surface shall be capable of supporting the imposed load of fire apparatus (22 tons), and be accessible by conventional-drive vehicles,	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	

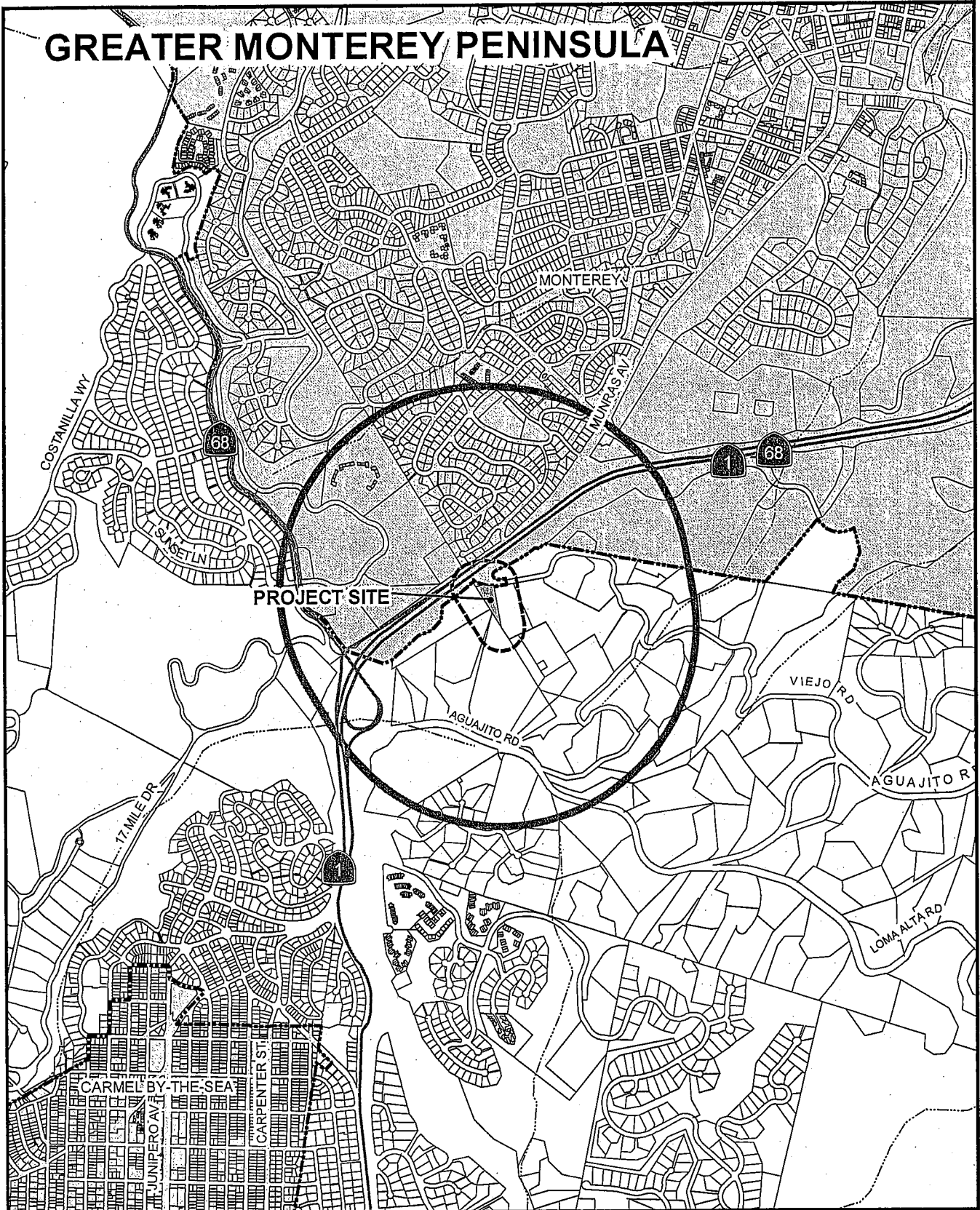
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		including sedans. For driveways with turns 90 degrees and less, the minimum horizontal inside radius of curvature shall be 25 feet. For driveways with turns greater than 90 degrees, the minimum horizontal inside radius curvature shall be 28 feet. For all driveway turns, an additional surface of 4 feet shall be added. All driveways exceeding 150 feet in length, but less than 800 feet in length, shall provide a turnout near the midpoint of the driveway. Where the driveway exceeds 800 feet, turnouts shall be provided at no greater than 400-foot intervals. Turnouts shall be a minimum of 12 feet wide and 30 feet long with a minimum of 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall long with a minimum 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall be located within 50 feet of the primary building. The minimum turning radius for a turnaround shall be 40 feet from the center line of the driveway. If a hammerhead/T is used, the top of the "T" shall be a minimum of 60 feet in length. (Carmel Highlands Fire Protection District)	Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection.	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
20.		FIRE011 - ADDRESSES FOR BUILDINGS All buildings shall be issued an address in accordance with Monterey County Ordinance No. 1241. Each occupancy, except accessory buildings, shall have its own permanently posted address. When multiple occupancies exist within a single building, each individual occupancy shall be separately identified by its own address. Letters, numbers and symbols for addresses shall be a minimum of 4-inch height, 1/2-inch stroke, contrasting with the background color of the sign, and shall be Arabic. The sign and numbers shall be reflective and made of a noncombustible material. Address signs shall be placed at each driveway entrance and at each driveway split. Address signs shall be and visible from both directions of travel along the road. In all cases, the address shall be posted at the beginning of construction and shall be maintained thereafter. Address signs along one-way roads shall be visible from both directions of travel. Where multiple addresses are required at a single driveway, they shall be mounted on a single sign. Where a roadway provides access solely to a single commercial occupancy, the address sign shall be placed at the nearest road intersection providing access to that site. Permanent address numbers shall be posted prior to requesting final clearance. (Carmel Highlands Fire Protection District)	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	

Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
21.		FIRE019 - DEFENSIBLE SPACE REQUIREMENTS - (STANDARD) Remove combustible vegetation from within a minimum of 30 feet of structures. Limb trees 6 feet up from ground. Remove limbs within 10 feet of chimneys. Additional and/or alternate fire protection or firebreaks approved by the fire authority may be required to provide reasonable fire safety. Environmentally sensitive areas may require alternative fire protection, to be determined by Reviewing Authority and the Director of Planning and Building Inspection. (Carmel Highlands Fire Protection District)	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	
22.		FIRE021 - FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM (STANDARD) The building(s) and attached garage(s) shall be fully protected with automatic fire sprinkler system(s). Installation shall be in accordance with the applicable NFPA standard. A minimum of four (4) sets of plans for fire sprinkler systems must be submitted by a California licensed C-16 contractor and approved prior to installation. This requirement is not intended to delay issuance of a building permit. A rough sprinkler inspection must be scheduled by the installing contractor and completed prior to requesting a framing inspection. (Carmel Highlands Fire Protection District)	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	
			Applicant shall schedule fire dept. rough sprinkler inspection	Applicant or owner	Prior to framing inspection	
			Applicant shall schedule fire dept. final sprinkler inspection	Applicant or owner	Prior to final building inspection	

END OF CONDITIONS

GREATER MONTEREY PENINSULA



APPLICANT: GESICKI

APN: 103-011-004-000

FILE # PLN060025



300' Limit



2500' Limit





City Limits



0 1,000
Feet



PLANNER: MURPHY

DATE	FEB 06		Benjamin! Associates, Inc. 723 7th Street #114 San Francisco, California 94110 Tel: 415-393-0333 Fax: 415-393-0335 www.benjamin!inc.com	GESICKI RESIDENCE NEW SINGLE FAMILY DWELLING MONTEREY, CALIFORNIA APN 008-112-015 SECTION, DETAILS	GESICKI RESIDENCE NEW SINGLE FAMILY DWELLING MONTEREY, CALIFORNIA APN 008-112-015	Benjamin! Associates, Inc. 723 7th Street #114 San Francisco, California 94110 Tel: 415-393-0333 Fax: 415-393-0335 www.benjamin!inc.com		1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100	101 102 103 104 105 106 107 108 109 110 111 112 113 114 115 116 117 118 119 120 121 122 123 124 125 126 127 128 129 130 131 132 133 134 135 136 137 138 139 140 141 142 143 144 145 146 147 148 149 150 151 152 153 154 155 156 157 158 159 160 161 162 163 164 165 166 167 168 169 170 171 172 173 174 175 176 177 178 179 180 181 182 183 184 185 186 187 188 189 190 191 192 193 194 195 196 197 198 199 200
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SCALE	AS								
REVISION	PS								
PROJECT	0572								
SHEET	2	2							

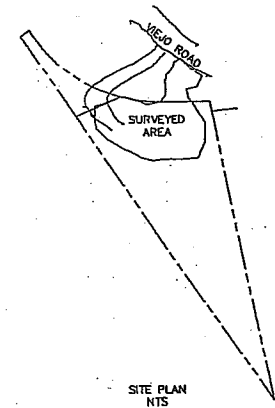
C-2

PLN 060025

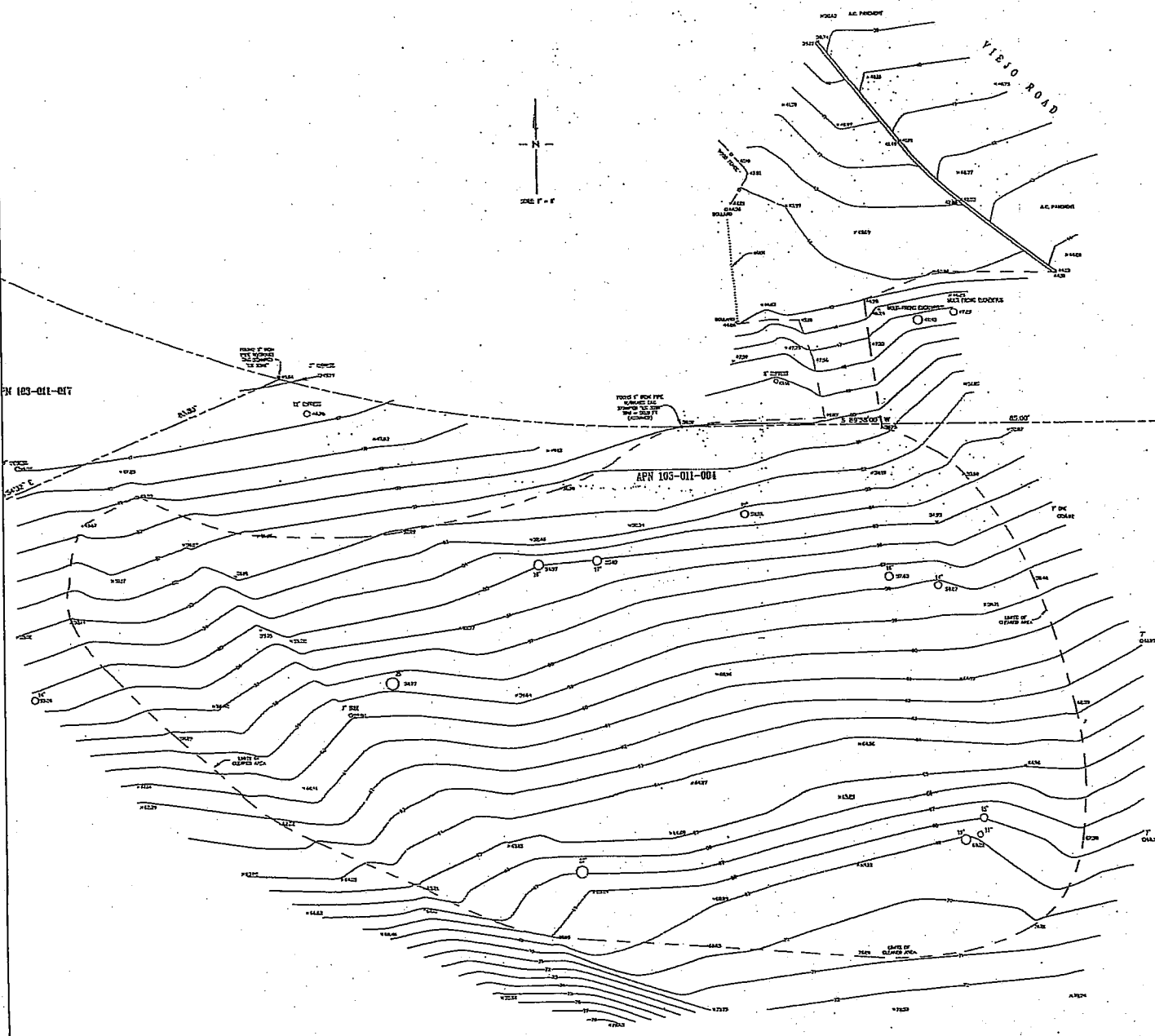


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SITE PLAN
NTS



Brandon Gesicki Residence

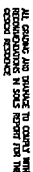
140 Viejo Road
Montreay, California 93940

JOB NO.
04172
PRINT DATE:
PLOT DATE: 3.24.2020
DRAWN BY: JVI
CHECKED BY: PWR/PT
SET ISSUED:

SHEET NAME:
TOPOGRAPHIC
MAP
SHEET NO:

A1.1

FILE NAME: 04172-A1



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NOV	AB
NOV	PS
NOV	05172
NOV	1 - 1
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APN 103-011-004

160 Viojo Road
Monterey, California 93940

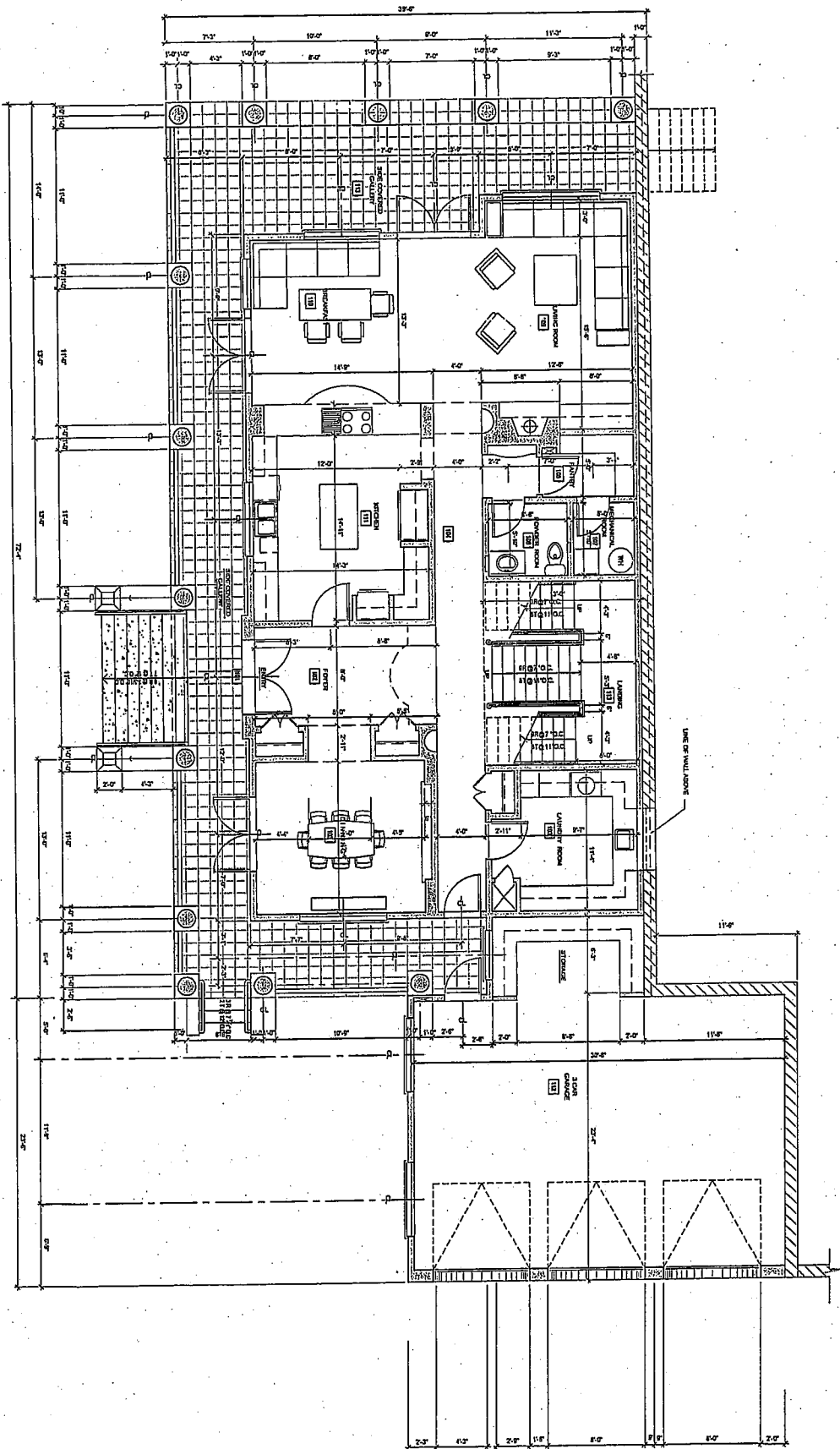
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PRINT DATE	
PLAT DATE	2/14/2005
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SHEET NAME:
FIRST FLOOR
DIMENSION
PLAN

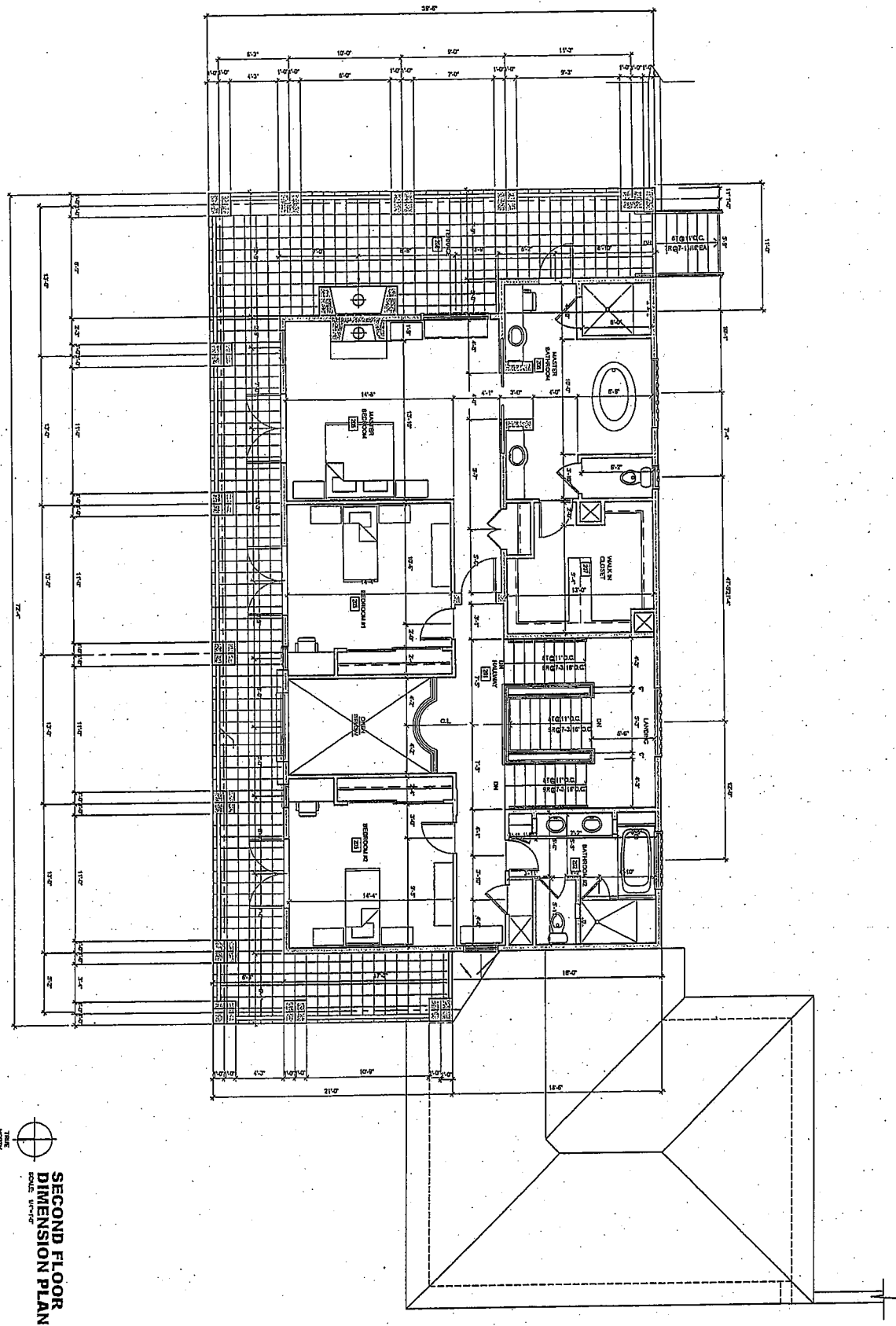
A2.1

FILE NAME: 01172-A2

**FIRST FLOOR
DIMENSION PLAN**
SCALE 1/8"=1'-0"



PN1000025



SECOND FLOOR
DIMENSION PLAN

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Brandon Gesicki Residence

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APH 103-011-004

DATE	04/17/20
PROJECT NAME	BRANDON GESICKI RESIDENCE
PROJECT DATE	04/17/20
DRAWN BY	WILSON RAYMOND & PARTNERS
CHECKED BY	WILSON RAYMOND & PARTNERS
BY	WILSON RAYMOND & PARTNERS

FILE NAME: 041720

SHEET NO.: A2.2

PL 060025

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APR 03-011-004
180 Vile Road
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Brandon Gestick Residence

JOB NO.
04172
PRINT DATE:
PLOT DATE: 3/31/2006
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CHECKED BY: PIR/PI
SET ISSUED:
SHEET NAME:
SECOND FLOOR NOTED PLAN
SHEET NO.:
A2.4
FILE NAME: 04172.A3

FLOOR PLAN KEYNOTES

THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWINGS ON SHEETS A2.3 & A2.4. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

- 1.0. **APPLIANCES**
 - 1.1. 42" CLEAR REFRIGERATOR AND FREEZER SPACE - PROVIDE PLUMBING FOR 1/4" CSD WATERLINE FOR ICE MAKER (BRAND, SIZE/DO MODEL, JOINT, WOODEN HANG ON LEFT SIDE).
 - 1.2. DISHWASHER, BRAND, XXX, MODEL, XXX.
 - 1.3. GAS RANGE, BRAND, XXX, MODEL, XXX, COUNTER TOP RANGE TOP W/ LIGHT AND EXHAUST FAN ABOVE DUCT TO OUTSIDE AIR. VERIFY DIMENSIONS WITH MANUFACTURER'S SPECIFICATIONS.
 - 1.4. MICROWAVE OVER, BRAND, XXX, MODEL, XXX, VERIFY DIMENSIONS WITH MANUF. SPEC.
 - 1.5. TRASH COMPACTOR, BRAND, XXX, MODEL, XXX.
 - 1.6. MICROWAVE, BRAND, XXX, MODEL, XXX.
 - 1.7. INDICATED (2) COMPARTMENT REFRIGERATOR WITH GARBAGE DISPOSAL MOUNTED 30" A.F.F., VERIFY WITH MANUFACTURER'S DIMENSIONS AND SPECIFICATIONS.
- 1.8. BREAKFAST COUNTER
- 1.9. DRYER, BRAND, XXX, DRYER VENT TO BE 5'0" AND 15'4" LONG MAX WITH (1) ELBOW, CLEAN SPACE FOR DRYER VERIFY DIMENSIONS WITH MANUFACTURER'S SPECIFICATION, PROVIDE PLUMBING CONNECTIONS (WASTE & WATER) RECESSED IN WALL.
- 1.10. WASHING MACHINE, BRAND, XXX, CLEAR SPACE FOR WASHER, VERIFY DIMENSIONS WITH MANUFACTURER'S SPECIFICATIONS, PROVIDE PLUMBING CONNECTIONS (WASTE & WATER) RECESSED IN WALL.
- 2.0. **CABINETS**
 - 2.1. MEDICINE CABINET INSERTED INTO THE WALL, BEHIND MIRROR.
 - 2.2. COUNTERTOP DEEP BASE CABINET WITH 36" HIGH COUNTER TOP.
 - 2.3. SHELF, VERIFY CONFIGURATION WITH OWNER.
 - 2.4. SHELF AND POLE 1/2" DIAMETER @ 16" & 3/4" MELAMINE SHELF, VERIFY CONFIGURATION WITH OWNER.
 - 2.5. INDICATES CABINETS ABOVE, WITH LIGHT STRIP PICTURE UNDER.
 - 2.6. PANTS STORAGE, SHELF, DRAWING, DRAWING WITH OWNER.
 - 2.7. COUNTER TOP OVER CABINET BASE (W/ WARE & DOORS).
- 3.0. **BATH**
 - 3.1. TOILET TO HAVE 1.6 GAL. MAX FLUSH FLOW.
 - 3.2. TUB WITH ACCESS AND AIRT SCALING TUB VALVES REQ'D.
 - 3.3. 6" C. HBL. TUB (HIGH-CROWN HEAD) W/ CROMAC TUB TO SUBSOUND (OVERSTY WORKMEN IN ANTISCALING TUB & SHOWER VALVES).
 - 3.4. LAMINATORY BATH INSERTED INTO CLOSET DOOR.
 - 3.5. SHOWER W/ANTI SCALING SHOWER VALVES REQUIRED.
 - 3.6. CLEAR 3" TYP. SAFETY GLASS ENCLOSURE.
 - 3.7. 70" HBL. CERAMIC TILE, SHOWER W/ BRASS FERRULES & HEADS.
 - 3.8. INDICATES BUILT IN BENCH.
 - 3.9. INDICATES CLOSET FAN & AIR CHANGE AS PER 7-24 REQ'D. (SEE ELECTRIC PLAN FOR LOCATIONS).
 - 3.10. EXTERIOR BATH ACCESS PANEL TO TYP. SLIP JOINT FITTING.
 - 3.11. MIRROR - CONTRACTOR TO VERIFY SIZE WITH OWNER.
 - 3.12. INDICATES 30" TONG. BATH ON TWO TONG. BATHS.
 - 3.13. TOILET PAPER DISPENSER @ 30" HBL.
 - 3.14. TUB & 4" DEEP SHIP HOLES @ SHOWER WALL.
 - 3.15. INDICATES VARIETY @ 30" HEIGHT.
- 4.0. **MEDICAL**
 - 4.1. BOLLER, SEE PLUMBING/MEDICAL DRAWINGS FOR SPEC. (A2.3).
 - 4.2. WATER HEATER, SEE MECHANICAL PLANS FOR SIZE AND TYP. AS REQUIRED INFORMATION.
 - 4.3. WASHING MACHINE SEE DETAIL 1-4-2.
 - 4.4. DRYER VENT.
- 5.0. **FIREPLACE**
 - 5.1. INSIDE MANUFACTURER FIREPLACE INTO (E) PP OPENING, SUPERIOR SERIES 8-200 A107 20.00 OR SIM. FIREPLACE BRAND, W/ GAS AND TEMP. GAUGES DOORS 7 COMBUST AIR FEED 1/2" DIA. DO NOT COMBUSTION AIR DUCT UP PP. STACK INSTALL FIRE BLOCCING AT OPENING BETWEEN THE ATTIC SPACE AND CHIMNEY CHASE HEART EXTENSIONS SHALL BE PER MANUFACTURER SPECIFICATIONS/INSTRUCTIONS. HEARTH OF NON-COMBUSTIBLE MATERIAL. MANUFACTURER SPECIFICATIONS SHALL INSTRUCTIONS SHALL BE ACCESSIBLE @ CONSTRUCTION SITE.
- 6.0. **FIREFIGHT**
 - 6.1. PROVIDE SOUND INSULATION AT 200 PLUMBING WALL.
 - 6.2. 4" MIN. HEIGHT DIAL.
 - 6.3. RAILING AT 30" MIN. HBL.
 - 6.4. RAILING.
- 7.0. **SERVICES**
 - 7.1. GAS METER PANEL LOCATION.
 - 7.2. 200 AMP ELECTRICAL METER LOCATION.
 - 7.3. WATER METER LOCATION.
 - 7.4. MISCELLANEOUS.
 - 8.1. SMOKE DETECTOR LOCATION.
 - 8.2. INDICATES LOCATION OF 10'X4' FOUNDATION VENT.
 - 8.3. INDICATES FLOOR DRAIN.
 - 8.4. SOFFIT ABOVE WITH RECESSED WITH FLUORESCENT LIGHT RING.
 - 8.5. SHADE.
 - 8.6. NICK.

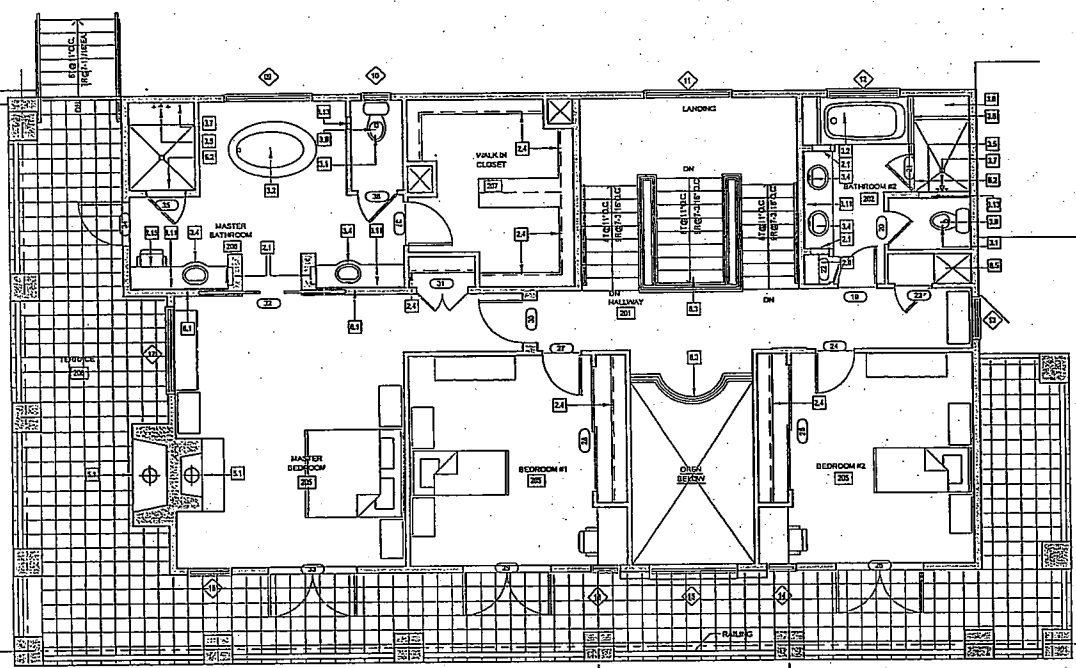
WALL LEGEND

- EXISTING WALLS
- NEW WALLS
- SOUND INSULATED WALLS

GENERAL NOTES

NOTE:
1. A 1/4" SCALE OF 1/4" = 1'-0" SHALL BE USED FOR ALL DIMENSIONS UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.
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9. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.

SECOND FLOOR NOTED PLAN
SCALE: 1/8" = 1'-0"



PLN060025

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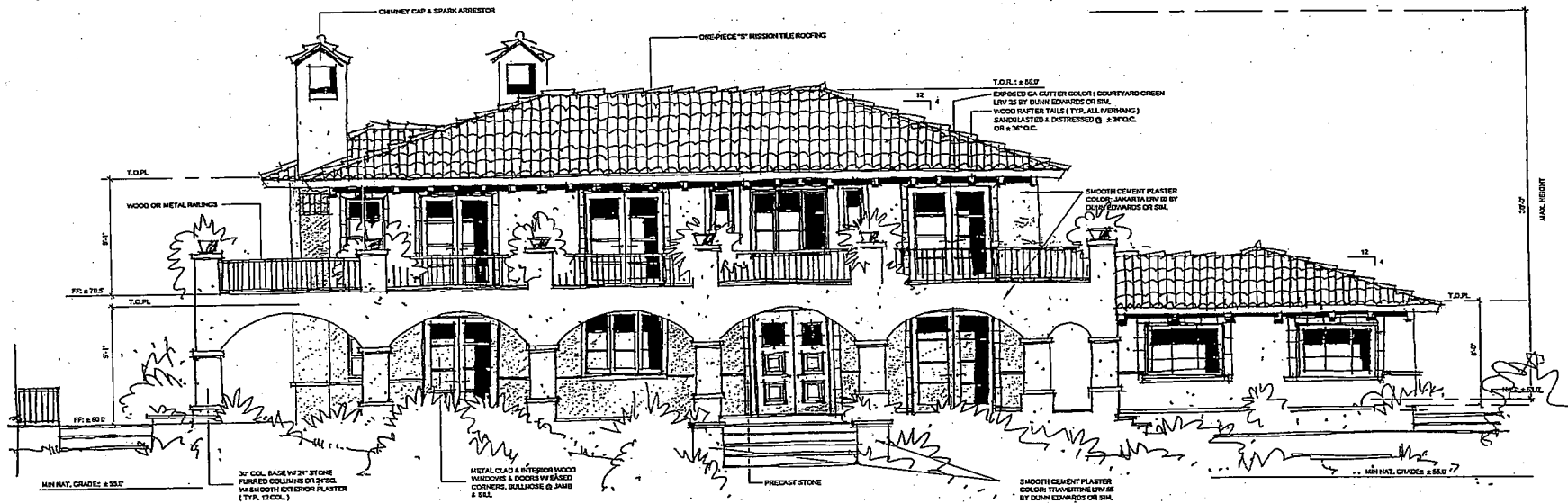
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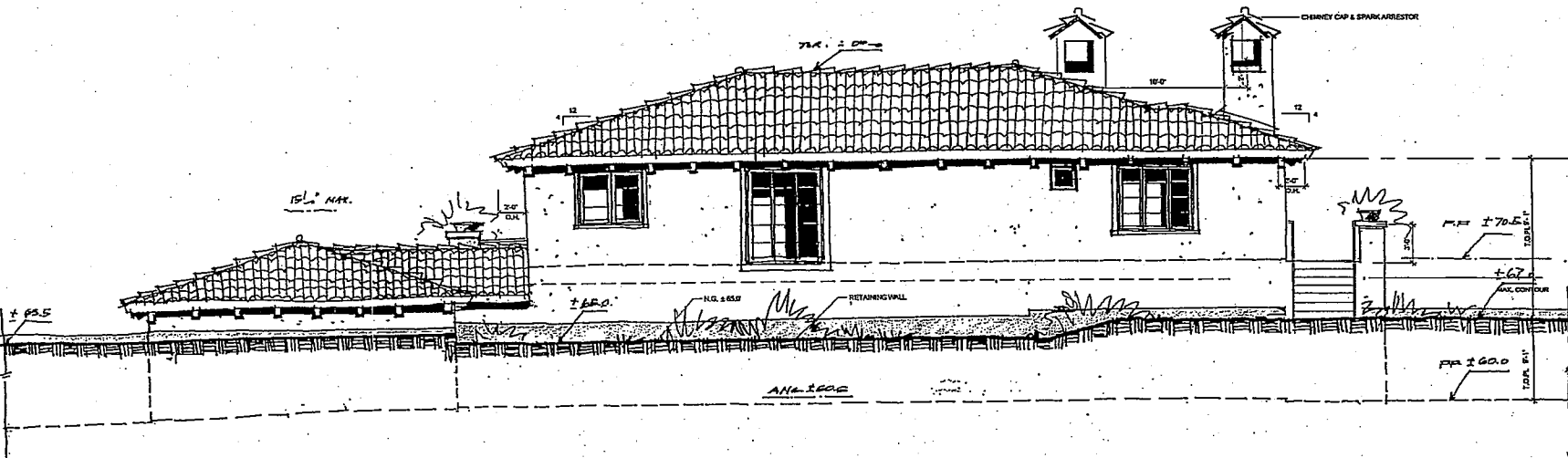
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NORTH ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

Brandon Gesicki Residence

180 Vito Road
Monterey, California 93940

JOB NO.

04172

PRINT DATE:

3/24/2006

PLOT DATE:

03/24/2006

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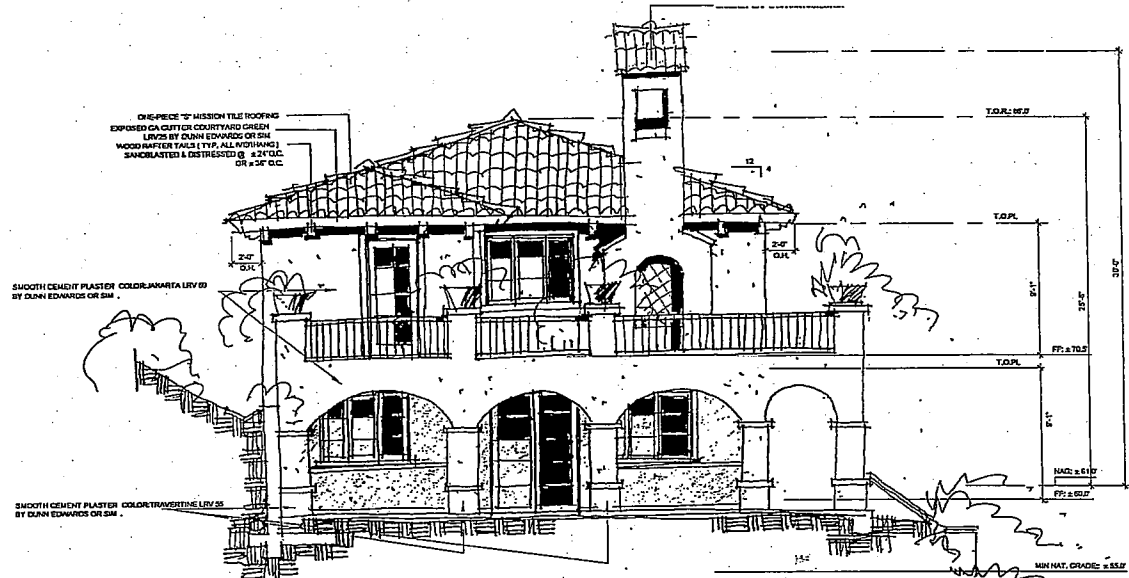
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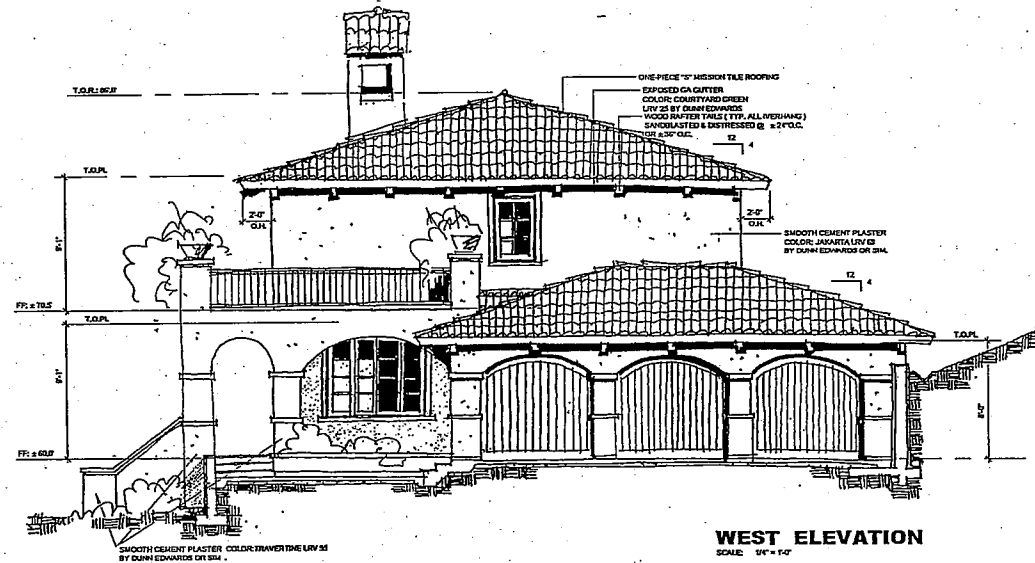
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EAST ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"

APR 12-2011-004

183 Vipe Road
Monterey, California 93940

Brandon Giesicki Residence

JOB NO.
04172

PRINT DATE: 3/24/2006
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CHECKED BY: PWH/1
SET 1003/2/3

SHEET NAME:

EAST & WEST
ELEVATIONS

SHEET NO.:

A3.2

FILE NAME: 04172A3