

RESOLUTION NO. 060160

A. P. #423-251-024-000

In the matter of the application of
Jacobo Ruelas (PLN060160)

FINDINGS AND DECISION

to allow a **Combined Development Permit** in accordance with Title 21 (Zoning) Chapter 21.76 (Combined Development Permits) of the Monterey County Code, consisting of: 1) a Use Permit for a boat and recreational vehicle storage facility; and 2) a Use Permit for the establishment of a 1,921 square foot manufactured residential dwelling unit with an attached 637 square foot garage. The establishment of 7 standard parking spaces and 1 handicap accessible space, new driveway access and improvements to existing driveway, grading of 310 cubic yards of cut and 2,032 cubic yards of fill and no tree removal. The property is located at 55345 Stern St, Bradley, South County Area Plan, and came on regularly for meeting before the Zoning Administrator on November 9, 2006.

Said Zoning Administrator, having considered the application and the evidence presented relating thereto,

FINDINGS OF FACT

1. **FINDING: CONSISTENCY** – The project, as described in Condition No. 1 and as conditioned, conforms to the policies, requirements, and standards of the Monterey County General Plan, the South County Area Plan, South County Area Plan Inventory and Analysis, and the Monterey County Zoning Ordinance (Title 21), which designates this area as appropriate for commercial and residential development.

EVIDENCE: (a) The text, policies, and regulations in the above referenced documents have been evaluated during the course of review of applications. No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

(b) The property is located at 55345 Stern Street, Bradley (Assessor's Parcel Number 423-251-024-000), South County Area Plan. The parcel is zoned Heavy Commercial with a Building Site Zoning Overlay District of B-6 or "HC/B-6". The subject property complies with all the rules and regulations pertaining to zoning uses and any other applicable provisions of Title 21, and is therefore suitable for the proposed development.

(c) The "HC" Zoning District allows the commercial operation of recreational vehicles and boat storage pursuant to Section 21.20.060.B of the Monterey County Zoning Ordinance, Title 21, subject to obtaining a Use Permit.

(d) The "HC" Zoning District allows the establishment of residential uses provided that the gross square footage of the residential use does not exceed the gross square footage of the commercial use, pursuant to Section 21.20.060.R. of the Monterey County Zoning Ordinance, Title 21, subject to obtaining a Use Permit. The proposed square footage of the residential structure is 2,558 square feet (residence and garage) and the proposed commercial outdoor area is 20,000 square feet. Therefore, the proposed residential use will not exceed the square footage of the commercial use.

- (e) The project planner conducted a site inspection on October 24, 2006 to verify that the project on the subject parcel conforms to the plans listed above.
- (f) The lot is a legal lot of record per Volume 15 of Cities and Towns, Page 80. The subdivision was filed as the North Shore Estates Subdivision, Planning File No. PC-5229.
- (g) The project was not referred to the Bradley-Parkfield Land Use Advisory Committee (LUAC) for review. Based on the current review guidelines adopted by the Monterey County Board of Supervisors per Resolution No. 04-236, this application did not warrant referral to the LUAC because the project does not involve slope restrictions, ridgeline or viewshed development or variances. Furthermore, the project is exempt for CEQA pursuant to Section 15303 (a) and 15304.
- (h) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN060160.

2. FINDING: SITE SUITABILITY – The site is physically suitable for the use proposed.

- EVIDENCE:**
- (a) The project has been reviewed for site suitability by the following departments and agencies: RMA - Planning Department, CDF-South County Fire Protection District, RMA- Public Works, Environmental Health Division, Water Resources Agency and the Sheriff's Office. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
 - (b) Technical reports by outside geological and archaeological consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use propose. County staff concurs. The reports were prepared as part of the original North Shore Estates Subdivision and are found with Planning File No. PC-5229 as follows:
 - 1) *"Geologic Hazard Report for the Proposed North Shore Estates"* (filed with PC-5229), prepared by Edward A. Gribi, Jr., Geologist, King City, CA, July 6, 1984.
 - 2) *"Preliminary Report for Secondary Archaeological Testing at CA-MNT-1255, West of Bradley, Monterey County, California"* (filed with PC-5229), prepared by Archaeological Consulting, Salinas, CA, April 24, 1985 with attached supplemental survey prepared on July 23, 1985.
 - (c) Monterey County GIS indicates that no environmentally sensitive habitat or species exist on the subject property.
 - (d) Areas in excess of 30% slopes will not be developed.
 - (e) Staff conducted a site inspection on October 24, 2006 to verify that the site is suitable for this use.
 - (f) The proposed use is compatible with the surrounding uses of heavy commercial and residential. The neighboring property to the east, APN 423-251-025-000 located at 55395 Stern Road, has a current commercial storage yard operation and a residence. The neighboring property to the west, APN 423-251-021-000 located at 55295 Stern Road, has an approved Combined Development Permit consisting of an Administrative Permit for a 952 square foot electrical trade shop and an attached 884 square foot residence (Planning File No. PLN050163). Both of these properties are also zoned "HC/B-6".
 - (g) Materials in Project File PLN060160.

3. FINDING: CEQA (Exempt): - The project is categorically exempt from environmental review.

EVIDENCE: (a) California Environmental Quality Act (CEQA) Guidelines Section 15303(a), categorically exempts one single family residence in a residential zone. Although the subject property is located in a Heavy Commercial Zoning District, this designation allows residential development, as long as the residential development does not exceed the gross square footage of the commercial use. In this particular case, the residential development is 2,558 square feet compared to the 20,000 square feet of commercial development. When comparing the proposed use of the subject property with the surrounding uses of the immediate properties, which are zoned "HC", staff found that these uses are consistent with the standards for Low Density Residential, since the subject lot and surrounding lots have sizes of 2.5 to 3 acres with a residence on site. The neighboring property to the east, APN 423-251-025-000 located at 55395 Stern Road, has a current commercial storage yard operation and a residence. The neighboring property to the west, APN 423-251-021-000 located at 55295 Stern Road, has an approved Combined Development Permit consisting of an Administrative Permit for a 952 square foot electrical trade shop and an attached 884 square foot residence (Planning File No. PLN050163).

(b) California Environmental Quality Act (CEQA) Guidelines Section 15304, categorically exempts minor public or private alterations in the condition of the land, water, and/or vegetation which do not involve removal of healthy, mature, scenic trees. In this case the commercial operation of the RV and boat storage will not involve the construction of structures. The proposed 20,000 square feet of storage area will be outdoors surrounded by a 6 foot in height chain link security fence. In order to accommodate the proposed commercial operation, grading is proposed over areas of less than 10% slope for driveway access and driveway improvements. The commercial operation will not involve the removal of trees.

(c) The proposed grading will not affect areas in excess of 30 percent.

(d) No adverse environmental effects were identified during staff review of the development application during a site visit on October 24, 2006.

(e) See preceding and following findings and supporting evidence.

4. **FINDING: NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property. Zoning violation abatement costs, if any, have been paid.

EVIDENCE: Staff reviewed Monterey County RMA - Planning Department and Building Services Department Monterey County records and is not aware of any violations existing on subject property.

5. **FINDING: HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

EVIDENCE: Preceding findings and supporting evidence.

6. **FINDING: APPEALABILITY** - The decision on this project is appealable to the Planning Commission.

EVIDENCE: Section 21.80.040.B of the Monterey County Zoning Ordinance (Title 21).

DECISION

It is the decision of the Zoning Administrator of the County of Monterey that said application for a Combined Development Permit be granted as shown on the attached sketch and subject to the attached conditions.

PASSED AND ADOPTED this 9th day of November, 2006.



JEFF MAIN, ZONING ADMINISTRATOR

COPY OF THIS DECISION MAILED TO APPLICANT ON

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY TO THE MONTEREY COUNTY PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning and Building Inspection Department office in Salinas.

2. This permit expires 2 years after the above date of granting thereof unless construction or use is started within this period.

**Monterey County Resource Management Agency
Planning Department
Condition Compliance and/or Mitigation Monitoring
Reporting Plan**

Project Name: Jacobo Ruelas

File No: PLN060160 APN: 423-251-024-000

Approved by: Zoning Administrator

Date: November 9, 2006

**Monitoring or Reporting refers to projects with an EIR or adopted Mitigated Negative Declaration per Section 21081.6 of the Public Resources Code.*

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
1.		PBD029 - SPECIFIC USES ONLY This Combined Development Permit (PLN060160) consisting of: 1) Use Permit to allow a boat and recreational vehicle storage facility; and 2) a Use Permit for the establishment of a 1,921 square foot manufactured residential dwelling unit with an attached 637 square foot garage. The establishment of 7 standard parking spaces and 1 handicap accessible space, new driveway access proposal and improvements to existing driveway, grading of 310 cubic yards of cut and 2,032 cubic yards of fill and no tree removal. The property is located at 55345 Stern Road, Bradley (Assessor's Parcel Number 423-251-024-000), South County Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the following terms and conditions. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of RMA - Planning Department. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional	Adhere to conditions and uses specified in the permit.	Owner/ Applicant	Ongoing unless other- wise stated	

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		permits are approved by the appropriate authorities. [Resource Management Agency (RMA) - Planning Department]				
2.		PBD025 - NOTICE-PERMIT APPROVAL The applicant shall record a notice which states: "A permit (Resolution No. 060160) was approved by the Zoning Administrator for Assessor's Parcel Number 423-251-021- 000 on November 9, 2006. The permit was granted subject to 25 conditions of approval, which run with the land. A copy of the permit is on file with the Monterey County RMA - Planning Department." Proof of recordation of this notice shall be furnished to the Director of RMA - Planning Department prior to issuance of building permits or commencement of the use. (RMA - Planning Department)	Proof of recordation of this notice shall be furnished to RMA - PD	Owner/ Applicant	Prior to Issuance of grading and building permits or start of use.	
3.		PBD030 - STOP WORK - RESOURCES FOUND If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. The Monterey County RMA - Planning Department and a qualified archaeologist (i.e., an archaeologist registered with the Society of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery. (RMA - Planning Department)	Stop work within 50 meters (165 feet) of uncovered resource and contact the Monterey County RMA - Planning Department and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.	Owner/ Applicant/ Archaeo- logist	Ongoing	

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4.		PBD016 - INDEMNIFICATION AGREEMENT The property owner agrees as a condition and in consideration of the approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the county for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, filing of the final map, whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the county harmless. (RMA - Planning Department)	Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to the RMA-Planning Department.	Owner/ Applicant	Upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, filing of the final map, whichever occurs first and as applicable.	
5.		PBD014 - GRADING-WINTER RESTRICTION No land clearing or grading shall occur on the subject parcel between October 15 and April 15 unless authorized by the RMA-Director of Planning. (RMA - Planning Department)	None	Owner/ Applicant	Ongoing	

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6.		PBD015 - HOURS OF OPERATION Hours of operation shall be 8 a.m. to 5 p.m. daily. (RMA- Planning Department)	None	Owner/ Applicant	Ongoing	
7.		PBD003 - BANNERS, FLAGS, PENNANTS There shall be no flags, banners, pennants, or other attention getting devices, other than approved signs, on the property. (RMA-Planning Department)	There shall be no flags, banners, pennants, or other attention getting devices, other than approved signs, on the property.	Owner/ Applicant	Ongoing	
8.		PBD (NON-STANDARD) LIGHTING – EXTERIOR LIGHTING PLAN All exterior lighting shall be unobtrusive, <i>down-lit</i> , harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. <i>Exterior lights shall have recessed lighting elements.</i> The applicant shall submit 3 copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The exterior lighting plan shall be subject to approval by the RMA-Director of Planning, prior to the issuance of building permits. (RMA-Planning Department)	Submit three copies of the lighting plans to PBI for review and approval.	Owner/ Applicant	Prior to issuance of building permits.	
			Construct and maintain lighting in accordance with approved plans.	Owner/ Applicant	Ongoing	
9.		PBD042 – GRADING PERMITS REQUIRED A grading permit is required for new private single family access driveways greater than fifty (50) feet in total length that require 100 cubic yards or more of earthwork. An over the counter (OTC) grading permit may be issued for new private single family access driveways greater than fifty (50) feet in total length that require less than 100 cubic yards of earthwork.. (RMA-Planning Department)	If applicable, apply and receive the appropriate grading permit from Monterey County Planning and Building Inspection.	Engineer/ Owner/ Applicant	Prior to Issuance of Grading or Building Permits	

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10.		PBD018(A) - LANDSCAPE PLAN AND MAINTENANCE (SINGLE FAMILY DWELLING ONLY) The site shall be landscaped. At least 60 days prior to occupancy, three (3) copies of a landscaping plan shall be submitted to the Director of Planning and Building Inspection for approval. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the RMA-Monterey County Planning Department. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (RMA- Planning Department)	Submit landscape plans and contractor's estimate to PBI for review and approval.	Owner/ Applicant/ Contractor	At least 60 days prior to final inspection or occupancy	
			All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.	Owner/ Applicant	Ongoing	
11.		PBD018(B) - LANDSCAPE PLAN AND MAINTENANCE (OTHER THAN SINGLE FAMILY DWELLING) The site shall be landscaped. At least 60 days prior to occupancy, three (3) copies of a landscaping plan shall be submitted to the RMA-Director of Planning for approval. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping. The landscaping shall be installed and inspected prior to occupancy. All landscaped areas and/or fences shall be continuously maintained by the applicant and all plant material shall be continuously maintained in a litter-free,	Submit landscape plans and contractor's estimate to PBI for review and approval.	Owner/ Applicant/ Contractor	At least 60 days prior to final inspection or occupancy	
			All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.	Owner/ Applicant	Ongoing	

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		weed-free, healthy, growing condition. (RMA- Planning Department)				
12.		WR45 - WELL INFORMATION The applicant shall provide the Water Resources Agency information on the well to serve the project including a map showing the well location and any available well logs/e-logs. (Water Resources Agency)	Submit all applicable well information to the Water Resources Agency for review and approval.	Owner/ Applicant	Prior to issuance of any grading or building permits.	
13.		WR40 - WATER CONSERVATION MEASURES The applicant shall comply with Ordinance No. 3932, or as subsequently amended, of the Monterey County Water Resources Agency pertaining to mandatory water conservation regulations. The regulations for new construction require, but are not limited to: a. All toilets shall be ultra-low flush toilets with a maximum tank size or flush capacity of 1.6 gallons, all shower heads shall have a maximum flow capacity of 2.5 gallons per minute, and all hot water faucets that have more than ten feet of pipe between the faucet and the hot water heater serving such faucet shall be equipped with a hot water recirculating system. b. Landscape plans shall apply xeriscape principles, including such techniques and materials as native or low water use plants and low precipitation sprinkler heads, bubblers, drip irrigation systems and timing devices. (Water Resources Agency)	Compliance to be verified by building inspector at final inspection.	Owner/ Applicant	Prior to final building inspection/ Occu- pancy.	

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14.		EH11 - SEPTIC SYSTEM DESIGN Submit plans for review and approval showing the location and design of the proposed septic system meeting the standards found in Chapter 15.20 of the Monterey County Code (Septic Ordinance) and "Prohibitions", Central Coast Basin Plan, RWQCB. (Environmental Health)	Division of Environmental Health must approve plans. Applicant shall obtain a permit to install the septic system.	CA Licensed Engineer /Owner/ Applicant	Prior to filing the final parcel map or issuance of building.	
15.		EH6 - WATER SERVICE CAN/WILL SERVE Provide to the Division of Environmental Health written certification, and any necessary certification from State agencies that North Shore Estates Water System <u>can</u> and <u>will</u> supply sufficient water flow and pressure to comply with both Health and fire flow standards. (Environmental Health)	Submit written certification to the Division of Environmental Health for review and approval.	CA Licensed Engineer /Owner/ Applicant	Prior to filing a final map and/or issuance of a building permit.	
16.		FIRE002 - ROADWAY ENGINEERING The grade for all roads shall not exceed 15 percent. Where road grades exceed 8 percent, a minimum structural roadway surface of 0.17 feet of asphaltic concrete on 0.34 feet of aggregate base shall be required. The length of vertical curves in roadways, exclusive of gutters, ditches and drainage structures designed to hold or divert water, shall not be less than 100 feet. No roadway turn shall have a horizontal inside radius of less than 50 feet. A roadway turn radius of 50 to 100 feet is required to have an additional 4 feet of roadway surface. A roadway turn radius of 100 to 200 feet is required to have an additional 2 feet of roadway surface. Roadway turnarounds shall be required on dead-end roads in excess of 150 feet of surface length. The minimum turning radius for a turnaround shall be 40 feet from the center line of the road. If a hammerhead/T is used, the top of the "T" shall be a minimum of 60 feet in length.	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	
			Applicant shall schedule fire dept. clearance inspection for each phase of development.	Applicant or owner	Prior to final building inspection.	

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		(CDF-South County Fire Protection District)				
17.		FIRE005 - DEAD-END ROADS (3) For parcels greater than 5 acres and not exceeding 20 acres, the maximum length of a dead-end road, including all dead-end roads accessed from that dead-end road, shall not exceed 2640 feet. All dead-end road lengths shall be measured from the edge of the roadway surface at the intersection that begins the road to the end of the road surface at its furthest point. Where a dead-end road serves parcels of differing sizes, the shortest allowable length shall apply. Each dead-end road shall have turnarounds at its terminus and at no greater than 1320-foot intervals. The minimum turning radius for a turnaround shall be 40 feet from the center line of the road. If a hammerhead/T is used, the top of the "T" shall be a minimum of 60 feet in length. (CDF-South County Fire Protection District)	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	
			Applicant shall schedule fire dept. clearance inspection for each phase of development.	Applicant or owner	Prior to final building inspection.	
18.		FIRE008 - GATES <i>All gates providing access from a road to a driveway shall be located at least 30 feet from the roadway and shall open to allow a vehicle to stop without obstructing traffic on the road. Gate entrances shall be at least the width of the traffic lane but in no case less than 12 feet wide. Where a one-way road with a single traffic lane provides access to a gated entrance, a 40-foot turning radius shall be used. Where gates are to be locked, the installation of a key box or other acceptable means for immediate access by emergency equipment may be required. (CDF-South County Fire Protection District)</i>	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection.	

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19.		FIRE011 - ADDRESSES FOR BUILDINGS All buildings shall be issued an address in accordance with Monterey County Ordinance No. 1241. Each occupancy, except accessory buildings, shall have its own permanently posted address. When multiple occupancies exist within a single building, each individual occupancy shall be separately identified by its own address. Letters, numbers and symbols for addresses shall be a minimum of 4-inch height, 1/2-inch stroke, contrasting with the background color of the sign, and shall be Arabic. The sign and numbers shall be reflective and made of a noncombustible material. Address signs shall be placed at each driveway entrance and at each driveway split. Address signs shall be and visible from both directions of travel along the road. In all cases, the address shall be posted at the beginning of construction and shall be maintained thereafter. Address signs along one-way roads shall be visible from both directions of travel. Where multiple addresses are required at a single driveway, they shall be mounted on a single sign. Where a roadway provides access solely to a single commercial occupancy, the address sign shall be placed at the nearest road intersection providing access to that site. Permanent address numbers shall be posted prior to requesting final clearance. (CDF-South County Fire Protection District)	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection.	
20.		FIRE015 - FIRE HYDRANTS/FIRE VALVES A fire hydrant or fire valve is required. The hydrant or fire valve shall be 18 inches above grade, 8 feet from flammable vegetation, no closer than 4 feet nor further than 12 feet from a roadway, and in a location where fire apparatus using it will not block the roadway. The	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		hydrant serving any building shall be not less than 50 feet and not more than 1000 feet by road from the building it is to serve. Minimum hydrant standards shall include a brass head and valve with at least one 2 1/2 inch National Hose outlet supplied by a minimum 4 inch main and riser. More restrictive hydrant requirements may be applied by the Reviewing Authority. Each hydrant/valve shall be identified with a reflectorized blue marker, with minimum dimensions of 3 inches, located on the driveway address sign, non-combustible post or fire hydrant riser. If used, the post shall be within 3 feet of the hydrant/valve, with the blue marker not less than 3 feet or greater than 5 feet above the ground, visible from the driveway. On paved roads or driveways, reflectorized blue markers shall be permitted to be installed in accordance with the State Fire Marshal's Guidelines for Fire Hydrant Markings Along State Highways and Freeways, May 1988. (CDF-South County Fire Protection District)	Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection.	
21.		FIRE019 - DEFENSIBLE SPACE REQUIREMENTS - (STANDARD) Remove combustible vegetation from within a minimum of 30 feet of structures. Limb trees 6 feet up from ground. Remove limbs within 10 feet of chimneys. Additional and/or alternate fire protection or firebreaks approved by the fire authority may be required to provide reasonable fire safety. Environmentally sensitive areas may require alternative fire protection, to be determined by Reviewing Authority and the Director of Planning and Building Inspection. (CDF-South County Fire Protection District)	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection.	

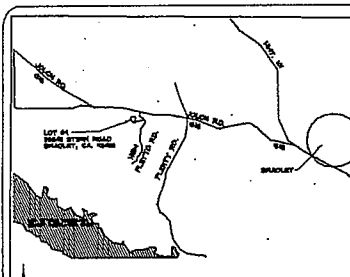
<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
22.		FIRE025 - SMOKE ALARMS – (SINGLE FAMILY DWELLING) Where a household fire warning system or combination fire/burglar alarm system is installed in lieu of single-station smoke alarms required by the Uniform Building Code the alarm panel shall be required to be placarded as permanent building equipment. (CDF-South County Fire Protection District)	Applicant shall enumerate as “Fire Dept. Notes” on plans.	Applicant or owner	Prior to issuance of building permit.	
			Applicant shall schedule fire alarm system acceptance test.	Applicant or owner	Prior to final building inspection.	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
23.		FIRE027 - ROOF CONSTRUCTION - (VERY HIGH HAZARD SEVERITY ZONE) All new structures, and all existing structures receiving new roofing over 50 percent or more of the existing roof surface within a one-year period, shall require a minimum of ICBO Class A roof construction. (CDF-South County Fire Protection District)	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
24.		<p>FIRE030 – NON-STANDARD CONDITIONS</p> <p>In lieu of a 30 foot set back from the property line, the property owner agrees to build a six foot wall constructed of non-flammable material such as concrete or cinder block along the property line in areas where the structure(s) are 20 feet from the property line. At no time may the structures be less than 20 feet from the property line.</p> <p>The structure(s) may be 20 feet from the property line in the area where the public street is adjacent to the property without the requirement of the six foot wall.</p> <p>Emergency Water: Must provide 20,000 gallons of water storage or must have permanent legal access to 20,000 gallons of emergency water storage in a tank or tanks that meet Monterey County Standards for water storage tanks.</p> <p>A fire hydrant or fire valve is required. The hydrant or fire valve shall be 18 inches above grade, 8 feet from flammable vegetation, no closer than 4 feet nor further than 12 feet from a roadway, and in a location where fire apparatus using it will not block the roadway. The hydrant serving any building shall be not less than 50 feet and not more than 100 feet by road from the building it is to serve. Minimum hydrant standards shall include a brass head and valve with at least one 2 1/2 inch National Hose outlet supplied by a minimum 4 inch main and riser. More restrictive hydrant requirements may be applied by the Reviewing Authority. Each hydrant/valve shall be identified with a reflectorized blue marker, with minimum dimensions of 3 inches, located on the driveway address sign, non-combustible</p>	<p>Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.</p> <p>Applicant shall schedule fire dept. clearance inspection.</p>	<p>Applicant or owner</p> <p>Applicant or owner</p>	<p>Prior to issuance of grading and/or building permit.</p> <p>Prior to final building inspection.</p>	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		<p>post or fire hydrant riser. If used, the post shall be within 3 feet of the hydrant/valve, with the blue marker not less than 3 feet or greater than 5 feet above the ground, visible from the driveway. On paved roads or driveways, reflectorized blue markers shall be permitted to be installed in accordance with the State Fire Marshal's Guidelines for Fire Hydrant Markings Along State Highways and Freeways, May 1988.</p> <p>An existing hydrant may be used if the hydrant meets the above description and the property owner has permanent legal access to the hydrant.</p> <p>(CDF-South County Fire Protection District)</p>				

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
25.		SOSP001- PUBLIC SAFETY AND SECURITY (NON-STANDARD CONDITION) Prior to occupancy, the applicant shall comply with the Monterey County Public Safety and Security Guidelines to the satisfaction of the Monterey County Sheriff's Department. The project site shall meet the required conditions regarding security measures, addressing, doors, windows, locks, lighting, rooftops, and landscaping. (Sheriff-Marshall-Coroner-Public Administrator Department)	Applicant shall incorporate specifications into the design of the project. Applicant shall prepare a security plan for the review and approval of the Monterey County Sheriff.	Owner/ Applicant	Prior to occupancy/ Commence- ment of operations.	



VICINITY MAP

N.T.S.

PROJECT DATA	
OWNER:	MR. & MRS. RUELAS
DESIGNER:	RAY SCHMITT
CONTRACTOR:	FOUR WINDS CONSTRUCTION
	CONTRACT NO. # 94-031
FILE:	423-231-024
ADDRESS:	552-16 STERN RD. #1
	PRUNEDALE, CA. 93024
PROJECT:	NEW SINGLE FAMILY HOME, 1000 SF. 1/2 ACRE GARAGE 600 SF. 1.500 E.Y. & 8000 PRUNEDALE AREA 10,000 SF.
ZONING:	NC-1-B
LOT SIZE:	10,000 SF. 1/2 ACRE
OCCUPANCY:	1-2 FHS Y-H (UNDEVELOPED)
GRADE:	11
LOT COVERAGE:	1-2-12 B
BUILDING HEIGHT:	11' - 6"
PROPOSED NEW MANUFACTURED HOME 90,000 SQ. FT.	
DATE:	1994 10/11
DATE:	1994 10/11
DATE:	1994 10/11

PROJECT DATA

TREE NOTES: NO TREES TO BE REMOVED
AUTOMATIC SPRINKLER SYSTEM:

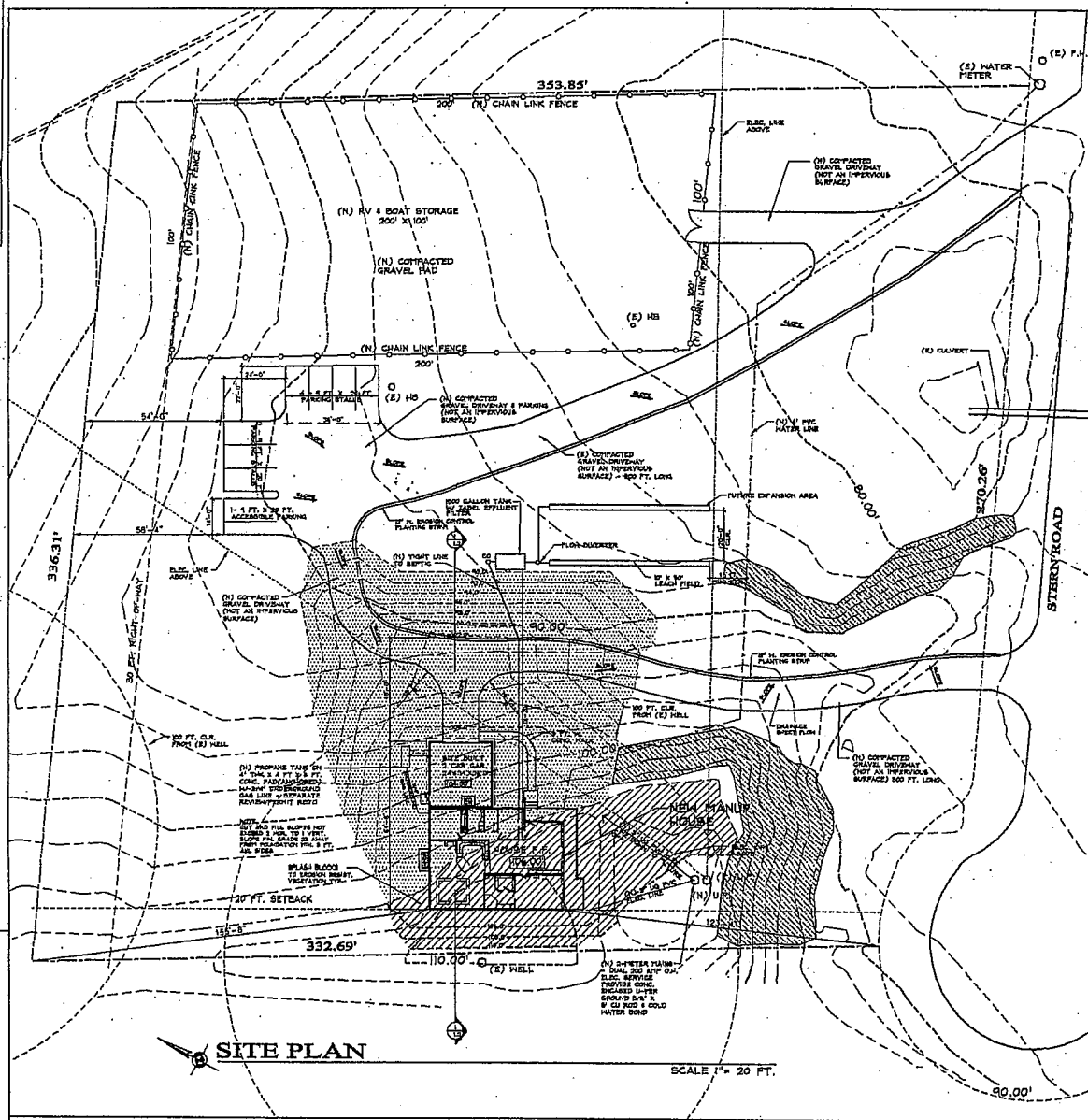
THIS BUILDING SHALL BE PROTECTED BY AN APPROVED AUTOMATIC SPRINKLER SYSTEM COMPLYING WITH THE EDITION OF NFPA 130 CURRENTLY ADOPTED IN CHAPTER 35 OF THE CALIFORNIA BUILDING CODE.

SOILS REPORT FOR SUBDIVISION STATES THAT THIS PARCEL HAS NO GEOLOGICAL PROBLEMS

(A) 106 SQ. FT. CUT X 80 FT. AVG. LENGTH = 8480 CU. FT. = 310 CU. YDS.	27
(B) 686 SQ. FT. FILL X 80 FT. AVG. LENGTH = 54880 CU. FT. = 2082 CU. YDS.	27

CUT/FILL CALCS.

NOTE: SEE SHT. 1.2 FOR CUT/FILL CROSS SECTIONS

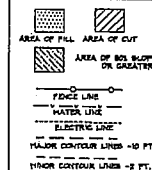


SITE PLAN

SCALE 1" = 20 FT.

- GRADING & EROSION CONTROL NOTES**
1. PROPOSED DRIVEWAY CUT: 214 CU. YDS. EXCESS 1' TO BE SHOWN ON SITE PLAN. <12" DEEP AS SHOWN ON SITE PLAN.
 2. NATURAL SLOPE OF SITE LESS THAN 15% SLOPE. MIN. GRADE 2" AWAY FROM FOUNDATION MIN. 3 FT. ALL SIDE.
 3. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL FOUNDATIONS.
 4. COVER DISTURBED AREAS & CONTROL RUNOFF THAT CAUSES EROSION.
 5. (CONTRACTOR'S) TO PREVENT SEDIMENT EROSION OF ANY DISTURBED AREAS DURING AND AFTER CONSTRUCTION. INSTALLATION OF EROSION CONTROL STRIPS AND 2" THICK STAIN WASH ON DISTURBED AREAS.
 6. ALL RUNOFF FROM DISTURBED AREAS TO BE ALLOWED TO DISSEminate ON SITE INTO EXISTING VEGETATION VIA ROOF DUTTERS, DOWNSPOUTS/SPLASH BLOCKS AND VEGETATED EROSION CONTROL STRIP ALONG DRIVEWAY.

- DRAINAGE CONTROL NOTES:**
1. ALL DRAINAGE PATTERNS CREATED BY GRADING ARE INTENDED TO BE SHOWN TO AVOID CONCENTRATED RUNOFF. DRIVEWAY INSTALLED TO EXISTING CONTOURS. DRIVE TO BE COMPACTED BASE ROCK AND GRAVEL. NOT ASPHALT. POOL RUNOFF TO BE DISPERSED VIA DE TO SPLASH BUCKS TO EROSION CONTROL VEGETATION.
- NOTE:** HOME SHALL HAVE HUD APPROVAL CERTIFICATION AFFIXED TO EACH SHIPPED SECTION.



SHEET LEGEND

PRELIMINARY STOP WORK - RESOURCES FOUND
If, during the course of excavation, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. The Monterey County Planning and Building Inspection Department and a qualified archaeologist (i.e., an archaeologist registered with the Society of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.

ARCHAEOLOGICAL NOTES

SHEET INDEX

- 1.1 SITE PLAN
- 1.2 GRADING - EROSION NOTES & DRIVEWAY CUT & FILL CALCS. DTL.
- FD 1 FIRE DEPT. NOTES
- 2.1 FLOOR PLAN & NOTES - 4434D
- 3.1 ELEVATIONS
- 3.2 ELEVATIONS
- 4 GARAGE PLAN
- 6.1 SUPPORT REQUIREMENTS
- 7 FOUNDATION

REV. DATE

APN: 423-231-024
ADD: 552-16 STERN RD.
PRUNEDALE, CA. 93024
MR. & MRS. RUELAS
(MODEL 4434D)

APPLICANT: RAY SCHMITT
CONTRACTOR: FOUR WINDS
CONSTRUCTION
PRUNEDALE, CA. 93027
(831) 643-1114 FAX (831) 643-1118

SITE PLAN, VICINITY MAP, PROJECT DATA, SHEET LEGEND

Date: 03-05-06

Drawn R68

Checked

Scale: As Shown

Job

Sheet

1.1

PURPOSE OF GRADING

INSTALL NEW COMPACTED GRAVEL DRIVEWAY & TURNOUT.

NOTE: GRADING SHALL START WITHIN 15 DAYS OF THE ISSUANCE OF THIS PERMIT.
THIS GRADING PERMIT EXPIRES 18 MONTHS FROM THE DAY OF ISSUANCE.

EROSION CONTROL & GRADING NOTES

1. EXPOSED BARTH SHALL BE LANDSCAPED FOR EROSION CONTROL PRIOR TO THIS BATHY SEARCH (DOT 15 TO APRIL 15). IF LANDSCAPING IS NOT ESTABLISHED PRIOR TO THIS BATHY SEARCH, SLOPES AND SHOULDER SHALL BE PLANTED WITH ANNUAL RYB GRASS (KALAMAZOO) AND MULCHED WITH A 2" LAYER OF STRAW, WOOD CHIPS OR COMPOST. IN ADDITION, MULCH SHALL BE REAPPLIED ON SLOPES BY JULY NEXTING STAPLED TO ORLAND. SET FENCES AND/OR STRAW BALES SHALL BE INSTALLED ALONG THE LIMITS OF ORLAND LAYERS BELOW AREAS WITHOUT ESTABLISHED LANDSCAPING.
2. DURING CONSTRUCTION, EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. SUCH PROTECTION MAY CONSIST OF MULCHING AND/OR PLANTING OF NATIVE VEGETATION OF ADEQUATE DENSITY, SET FENCES, STRAW BALES, ETC. LOCATION OF SUCH PROTECTION WILL DEPEND ON THE CONSTRUCTION SEASON, REASON OF GRADING, AND THE DIRECTION OF PROJECT. ANY EXPOSED SOIL OF DISTURBED SLOPES SHALL BE PERMANENTLY PROTECTED FROM EROSION.
3. DRAINAGE SLOPES SHALL BE A MINIMUM OF 3% AWAY FROM THE HOUSE FOR A MINIMUM OF 3 FEET.
4. A COPY OF ALL COMPACTION TESTS AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY PRIOR TO BEGINNING ANY DISTURBANCE.
5. ALL GRADING SHALL CONFORM WITH CHAPTER 16.4 OF THE COUNTY OF MONTGOMERY GRADING ORDINANCES (2011) AND EROSION CONTROL ORDINANCES (2010).
6. PAD ELEVATIONS SHALL BE CERTIFIED TO 0.1 FEET, PRIOR TO BEGINNING ANY FOOTING OR SUPERSTRUCTURE ANY INSTRUCTIONS.
7. ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION.
8. ALL FILL SHALL BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY THE SBC STANDARD T-99.
9. CONTRACTOR TO MAINTAIN ADEQUATE WATER SUPPLY TO USE FOR DUST CONTROL AT ALL TIMES DURING GRADING OPERATIONS.
10. EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY BETWEEN OCT. 15 AND APRIL 15.

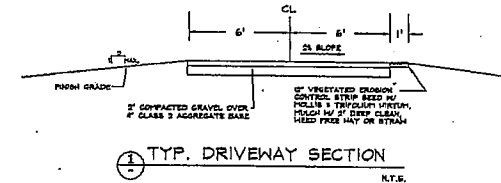
WINTER OPERATION NOTES OCTOBER 15 THRU APRIL 15

WHEN WINTER OPERATIONS TAKE PLACE, THE FOLLOWING MEASURES MUST BE TAKEN TO PREVENT ACCELERATED EROSION:

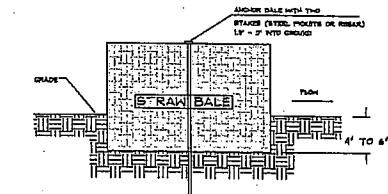
- A. VEGETATION REMOVAL BETWEEN OCT. 15 AND APRIL 15 SHALL NOT PROCEED SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS DURING THIS PERIOD. BACKFILL AND EROSION CONTROL MEASURES SHALL BE IN PLACE.
- B. BETWEEN OCT. 15 AND APRIL 15, DISTURBED SUBSLOPES NOT DEVELOPED FOR THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- C. RUN-OFF FROM THE SITE SHALL BE DEFERRED OR FILTERED BY SOME VEGETATED FILTER STRIP AND/OR OTHER MEANS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA OR SITE. THESE DRAINAGE CONTROL MEASURES MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT.
- D. EROSION CONTROL MEASURES SHALL BE AT THE END OF EACH DAY'S WORK.
- E. ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT BACKUP ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTY.
- F. THE DIRECTOR OF THE BUILDING INSPECTION DEPT. MAY STOP OPERATIONS DURING A PERIOD OF DISCREPANT WEATHER IF HE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.

PROPOSED CONSTRUCTION SCHEDULE

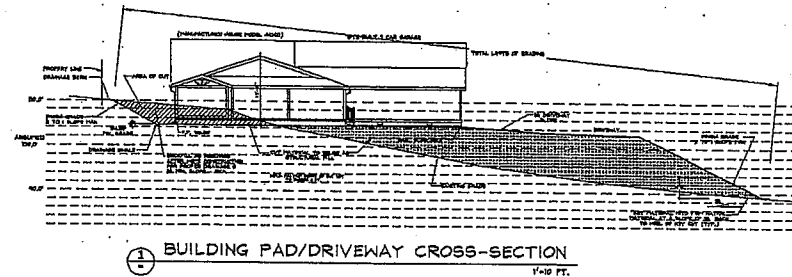
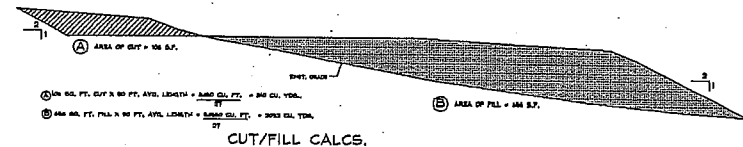
CLEARING & GRADING	- TO BE DETERMINED
DRIVEWAY CONSTRUCTION	- TO BE DETERMINED
SURFACE DRIVEWAY	- TO BE DETERMINED
SEED AND MULCH IN PLACE	- DAILY AS REQD



① TYP. DRIVEWAY SECTION
N.T.S.



④ STRAW BALE DETAIL - SECTION
N.T.S.



⑤ BUILDING PAD/DRIVEWAY CROSS-SECTION
1"=10 FT.

REV. DATE

APR. 423-201-024
ADD.: 95345 STERN RD.
BRADLEY, CA. 95426
MR. & MRS. RUELAS
(MODEL 4424D)

AFFILIATE: RAY SCHMITT
CONTRACTOR # B514791
COASTAL HOME SOLUTIONS
7850 MESSICK ROAD
PRUNEDALE, CA. 93907
(831) 663-1114 FAX (831) 663-1118

GRADING NOTES
EROSION CONTROL
NOTES - DRIVEWAY
CALCS. & DTLS.

Date: 03-05-08

Drawn: RKB

Checked:

Scale: As Shown

Job:

Sheet:

1.2

"FIRE DEPARTMENT NOTES"

The following paragraphs must be printed on the project plans under "FIRE DEPARTMENT NOTES".

☐ Fire sprinklers are required. Place the following note on the project plans:

Fire Sprinkler Required: The installation shall be in accordance with automatic fire sprinkler system(s). Fire sprinklers are required in attached garages, basements, appurtenances, and outbuildings. The installation shall be in accordance with applicable National Fire Protection Association, Standard 135 and local amendments. The installation of water shall be determined by the engineering jurisdiction. Place the fire sprinkler system(s) must be submitted and approved prior to construction. Any fire sprinkler must be completed prior to requesting a building inspection from the Building Department.

☐ When fire sprinklers are required, place the following note on the project plans:

Fire Alarm Plan: Fire alarm shall be in the kitchen and entrance area(s). Any deviations require approval from the fire department.

☐ Address numbers shall be posted pursuant to the note that follows. Place the following note on project plans:

Address Numbers to be Posted: Before construction begins, temporary or permanent address numbers shall be posted. Temporary address numbers shall be posted prior to request of a final inspection. All address numbers (permanent or temporary) shall be posted on the property so as to be clearly visible from the street. Where visibility cannot be provided, a post or sign bearing the address numbers shall be set adjacent to the driveway or access road to the property. Address numbers posted shall be "Aluminum", 12" x 12" inch, and "Rearview" (12" x 12" inch) or white on black (12" x 12" inch). Address numbers posted shall be a minimum number height of 3 inches, 1/2 inch wide stroke, and contrasting with the background colors of the sign. **NOTE:** If numbers are not posted, Building Fire Inspectors will not grant a final inspection.

☐ Egress addresses shall be obtained pursuant to the note that follows for member's units, similar common units and "primary houses". Also, place the following note on the project plans:

Egress Address Required: Common Units, Senior Citizen Units and "Granny Houses" shall be listed addresses separate from the main residences. Contact the Monterey County Public Works Dept. at 755-4556.

☐ Show the type and class of roof on the project plans.

Roofing - Class "A" or "B" Required: Roof construction shall be a Class A or Class B building, as defined by Uniform Building Code Standard 19-2. This requirement shall apply to all new construction and to all 50 percent or more of an existing roof to include a replacement.

☐ Vegetation shall be cleared pursuant to the note that follows. Place the note on the project plans.

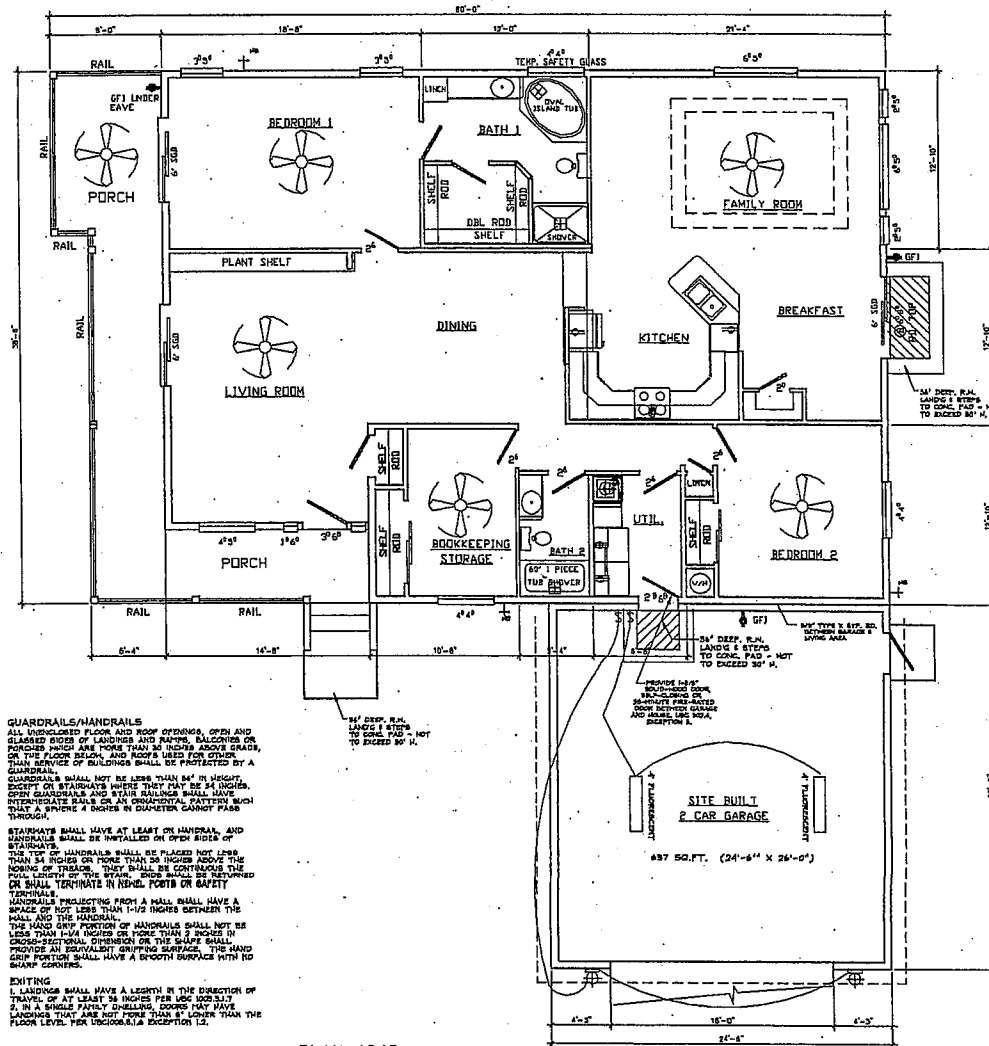
Clear Vegetation: All flammable vegetation or other combustible growth shall at all times maintain clear a distance of not less than 10 feet from structures or buildings. This shall not apply to single residential lots, commercial structures or other plants used as ground covers, provided that they do not form a mass of rapidly accumulating fire fuel. Clearing shall be maintained. Additional fire protection or firebreak may be required when because of more hazardous conditions, a firebreak of only 10 feet around such structures is not sufficient to provide reasonable fire safety. Non-compliance with this note may require alternative fire protection to be determined by the Fire Chief and Director of Planning and Building. This project requires _____ feet clearance.

Monterey County Fire Department Office - Standard Notes 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 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GENERAL ELECTRICAL NOTES

1. ELECTRICAL WORK SHALL BE PERFORMED BY AN ELECTRICAL CONTRACTOR LICENSED TO PERFORM SAME WORK, AND IN THE JURISDICTION OF THE PROJECT, AND LICENSES SHALL BE IN EFFECT PRIOR TO AND THROUGHOUT THE EXECUTION OF THE WORK.
2. DESIGN SHOWN IS DIAGNOSTIC ONLY AND IS BASED ON BEST INFORMATION AVAILABLE. ELECTRICAL CONTRACTOR SHALL PROVIDE COMPLETE ELECTRICAL SYSTEM INCLUDING ALL ITEMS, MATERIALS, AND COMPONENTS NECESSARY FOR A COMPLETE WORK. ALL EQUIPMENT AND MATERIALS SHALL BE INSTALLED IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE NECA STANDARD OF INSTALLATION MANUAL.
3. ALL WORK SHALL CONFORM WITH THE 1998 NEC, LATEST EDITION OF THE CALIFORNIA ADMINISTRATIVE CODE, TITLE-24, PART 3, CAL/OSHA LOW VOLTAGE ELECTRICAL SAFETY ORDERS AND REGULATIONS, NFPA BULLETIN #101 LIFE SAFETY CODE, AND ALL APPLICABLE LOCAL CODES, RULES AND REGULATIONS. NOTHING IN THESE DRAWINGS SHALL BE CONSTRUED AS PERMITTING ANY WORK OR MATERIALS NOT IN CONFORMANCE WITH CODES.
4. ALL MATERIALS SHALL BE NEW AND BEAR UNDERWRITERS AND UNION LABELS.
5. ALL WIRING, CIRCUITS, ITEMS AND EQUIPMENT RENDERED OBSOLETE BY NEW WORK SHALL BE REMOVED ENTIRELY, OR ANY ACCESSIBLE CIRCUITS WHICH MUST REMAIN RENDERED ELECTRICALLY "DEAD" ALONG THEIR LENGTH. (REMODEL PROJECTS.)
6. PROVIDE SMOKE DETECTORS AT REQUIRED LOCATIONS. DETECTORS TO BE "HARDWIRED" PER UBC 310.9 WHERE REQUIRED.
7. OUTLETS AT ALL LOCATIONS REQUIRED BY CODE (I.E. INTERIOR "WET" AREAS AND EXTERIOR LOCATIONS) SHALL BE GFI-PROTECTED.
8. GFCI CERTIFIED GASKETS SHALL BE PROVIDED AT ALL ELECTRICAL RECEPTACLES AND SWITCHES AT EXTERIOR LOCATIONS.
9. VERIFY ALL FIXTURE, OUTLET, AND EQUIPMENT LOCATIONS INDICATED WITH OWNER PRIOR TO INSTALLATION. VERIFY POWER AND WIRING REQUIREMENTS OF ALL LIGHTS, FIXTURES, APPLIANCES AND EQUIPMENT NECESSARY TO THE WORK PRIOR TO BEGINNING.
10. UPON COMPLETION OF WORK, ALL SYSTEMS SHALL BE TESTED IN PRESENCE OF CONTRACTOR, OWNER OR OWNER'S REPRESENTATIVE, AND BUILDING INSPECTOR TO DEMONSTRATE THAT ALL EQUIPMENT FURNISHED, INSTALLED, OR CONNECTED FUNCTIONS IN THE MANNER REQUIRED. ALL CIRCUITS SHALL BE TESTED FOR PROPER NEUTRAL CONNECTIONS, AND SYSTEMS TEST FREE OF SHORT CIRCUITS AND GROUNDS, AND BE FREE OF DEFECTS PER NEC.
11. PROPERLY LABEL ALL CIRCUITS AT SUB PANEL AND MAIN PANEL BREAKERS.
12. PROVIDE CONCRETE ENCASED UFER GROUND, COLD WATER BOND AND 5/8" X 8" CU GROUND ROD FOR MAIN SERVICE ENTRANCE. CONNECT MANUFACTURED HOME EQUIPMENT GROUNDING CONTINUOUS PER INSTALLATION INSTRUCTIONS.
13. GROUND ELECTRICAL OUTLETS SHALL HAVE GFCI PROTECTION PER 210-8(a). EXTERIOR ELECTRICAL OUTLET SHALL HAVE A WEATHERPROOF ENCLOSURE & GFCI PER NEC 410-57(e). GFCI PROTECTED ELECTRICAL OUTLETS SHALL BE INSTALLED AT THE FRONT AND REAR OF THE HOUSE AS PER NEC 210-52(e).

GUARDRAILS/HANDRAILS
ALL UNENCLOSED FLOOR AND ROOF OPENINGS, OPEN AND GLAZED SIDES OF LANDINGS AND BATHS, BALCONIES OR PORCHES WHICH ARE MORE THAN 30 INCHES ABOVE GRADE, OR THE FLOOR SLAB, AND ROOFS USED FOR OTHER THAN SERVICE OF BUILDINGS SHALL BE PROTECTED BY A GUARDRAIL.
GUARDRAILS SHALL NOT BE LESS THAN 34" IN HEIGHT, EXCEPT ON STAIRWAYS WHERE THEY MAY BE 34 INCHES. OPEN GUARDRAILS AND STAIR RAILINGS SHALL HAVE INTERSPICED RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4 INCHES IN DIAMETER CANNOT PASS THROUGH.
STAIRWAYS SHALL HAVE AT LEAST ONE HANDRAIL, AND HANDRAILS SHALL BE INSTALLED ON OPEN SIDES OF STAIRWAYS.
THE TOP OF GUARDRAILS SHALL NOT BE LESS THAN 34 INCHES OR MORE THAN 36 INCHES ABOVE THE FINISH OF TREADS. THEY SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIR. ENDS SHALL BE RETURNED ON WALLS, TERMINATE IN HAND, POSTS OR SAFETY TERMINALS.
HANDRAILS PROTECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL.
THE HAND GRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/4 INCHES OR MORE THAN 2 INCHES IN CROSS-SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. THE HAND GRIP PORTION SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS.
EXITING
LANDINGS SHALL HAVE A LEGSWAY IN THE DIRECTION OF TRAVEL OF AT LEAST 36 INCHES PER USC 102.10.2. IN A SINGLE FAMILIAR DWELLING, DOORS MAY HAVE LANDINGS THAT ARE NOT MORE THAN 8' LOWER THAN THE FLOOR LEVEL, FOR INDIVIDUALS RECEIVING L.S.



FUQUA HOMES INC.			
TITLE	FLOOR PLAN	REV. SHEET	424D



FLOOR PLAN

1/4" = 1'-0"

REV. DATE

APN: 425-251-024
ADD: 95345 STERN RD.
BRADLEY, CA. 95426
MR. & MRS. RUELAS
(MODEL 4424D)

APPLICANT: RAY SCHMITT
CONTRACTOR # B914791
COASTAL HOME SOLUTIONS
7850 HESSICK ROAD
PRINCEDALE, CA. 95407
(931) 663-1114 FAX (931) 663-1115

**FLOOR PLAN &
ELEC. NOTES**

Date: 03-05-06

Drawn: RKS

Checked:

Scale: As Shown

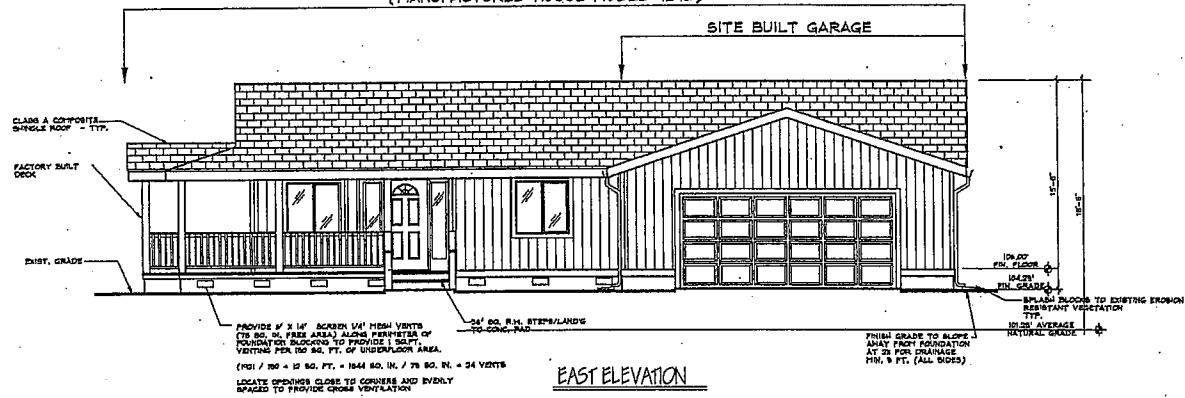
Job:

Sheet:

2.1

QUALITY ASSURANCE
 A. SHINGLES SHALL CARRY UNDERWRITER'S LABORATORY LABELS:
 1. UL # 710, CLASS A FIRE RESISTANCE
 2. UL # 777, WIND RESISTANCE
 3. ASTM D3462
 B. INSTALL SHINGLES TO MEET REQUIREMENTS OF PUBLISHED
 GARDEN CORNING INSTRUCTIONS.

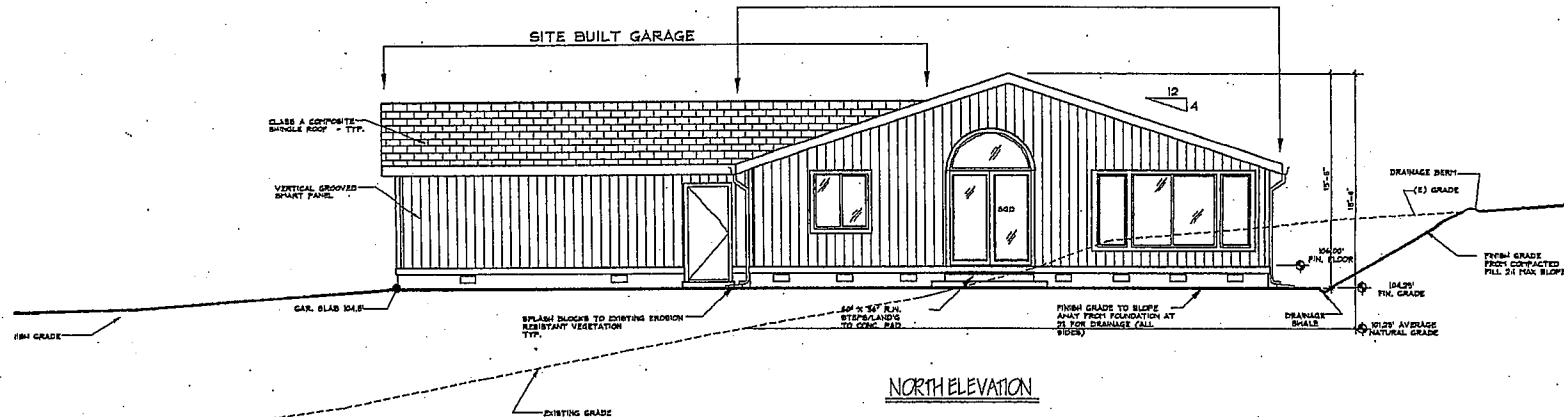
(MANUFACTURED HOUSE MODEL 424D)



EAST ELEVATION

BODY COLOR = S. H. MAGNETIC GRAY
 TRIM = S. H. BOLD WHITE
 FASCIA = S. H. BOLD WHITE
 SHINGLES = SUPPLEMENTARY GRAY

(MANUFACTURED HOUSE MODEL 424D)



NORTH ELEVATION

ELEVATIONS

1/4" = 1'-0"

REV.	DATE

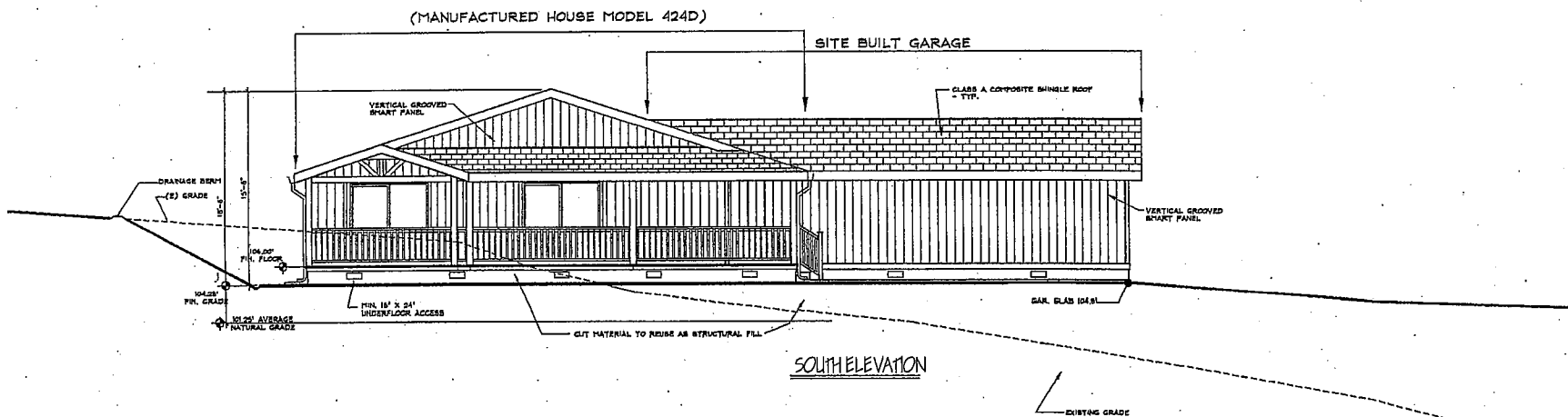
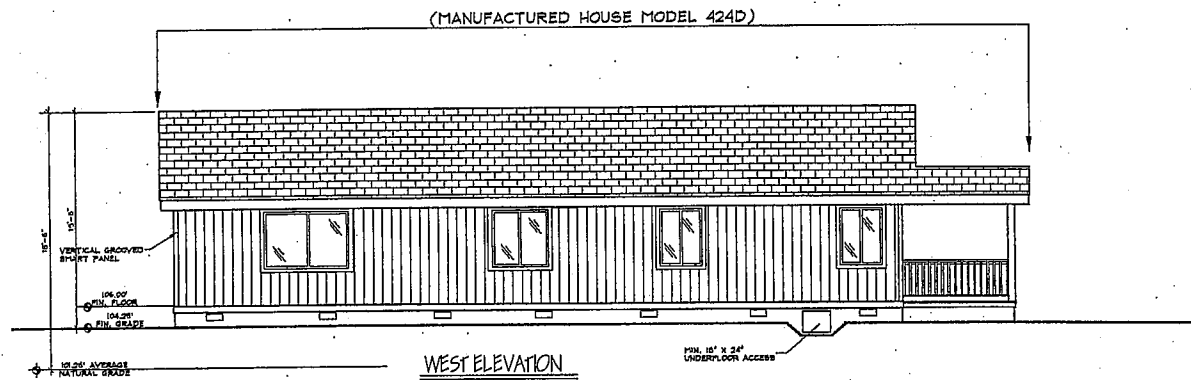
APN: 423-231-024
 CONTRACTOR: RAY SCHMITT
 ADD: 55345 STERN RD.
 BRADLEY, CA 95426
 MR. & MRS. RUELAS
 (MODEL 424D)

APPLICANT: RAY SCHMITT
 CONTRACTOR: RAY SCHMITT
 COASTAL HOME SOLUTIONS
 7850 HESSICK ROAD
 PRUNEDALE, CA 95967
 (951) 669-1114 FAX (951) 669-1118

ELEVATIONS

Date: 03-06-06
 Drawn: RKS
 Checked:
 Scale: As Shown
 Job:
 Sheet:

3.1



ELEVATIONS

1/4" = 1'-0"

REV. DATE

APN: 425-251-024
ADD.: 55345 STERN RD.
MR. & MRS. RUELAS
(MODEL 424D)

APPLICANT: RAY SCHMITT
CONTRACTOR # B514791
COASTAL HOME SOLUTIONS
7850 HESSICK ROAD
PRINEDALE, CA. 95907
(931) 663-1114 FAX (931) 663-1115

ELEVATIONS

Date: 03-05-06

Drawn: RRG

Checked:

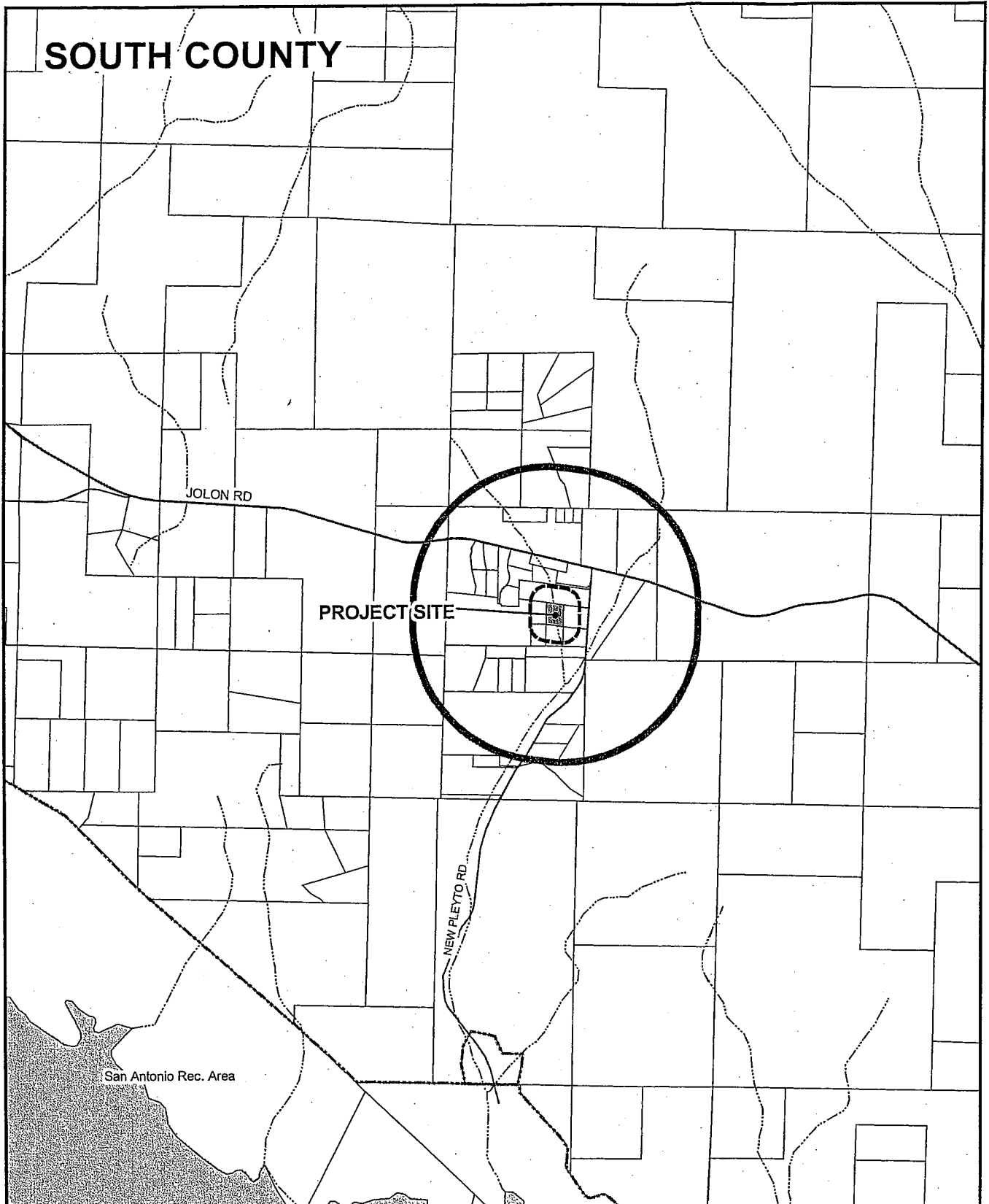
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Job:

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3.2

SOUTH COUNTY



APPLICANT: RUELAS

APN: 423-251-024-000

FILE # PLN060160



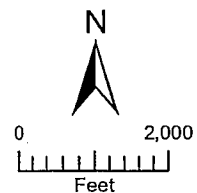
300' Limit



2500' Limit



City Limits



PLANNER: AMADOR