

JEFF MAIN
ZONING ADMINISTRATOR

STATE OF CALIFORNIA
COUNTY OF MONTEREY

RESOLUTION NO. 060625

A.P.# 416-071-007-000

In the matter of the application of
MICHAEL/SHARON OSGOOD (PLN060625)

FINDINGS & DECISION

Use Permit to allow the reconstruction of a fire destroyed 3,237 square foot single family residence with a 3,294 square foot single family residence, the construction of approximately 40 linear feet of retaining wall, a new Fire Department turn-out on the driveway and grading of approximately 492 cubic yards (251 cubic yards and 241 cubic yards fill). The property is located at 26120 Zdan Road, Carmel Valley (Assessor's Parcel Number 416-071-007-000), Greater Monterey Peninsula Area, came on regularly for hearing before the Zoning Administrator on December 14, 2006.

Said Zoning Administrator, having considered the application and the evidence presented relating thereto,

FINDINGS OF FACT

1. **FINDING: CONSISTENCY** – The project, as described in Condition No. 1 and as conditioned, conforms to the policies, requirements, and standards of the Monterey County General Plan, Greater Monterey Peninsula Area Plan, Greater Monterey Peninsula Area Plan Inventory and Analysis, and the Monterey County Zoning Ordinance (Title 21), which designates this area as appropriate for residential development.
EVIDENCE: (a) The text, policies, and regulations in the above referenced documents have been evaluated during the course of review of applications. No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
(b) The property is located at 26120 Zdan Road, Salinas (Assessor's Parcel Number 416-071-007-000), Greater Monterey Peninsula Area Plan. The parcel is zoned LDR/B-6-VS (20)" (Low Density Residential, no further subdivision, Visually Sensitive, with 20' height limit). The subject property complies with all the rules and regulations pertaining to zoning uses and any other applicable provisions of Title 21 except height which will be the original 27', and is therefore suitable for the proposed development.
(c) The project planner conducted a site inspection to verify that the project on the subject parcel conforms to the plans listed above.
(d) The application, plans, and related support materials submitted by the project applicant to the Monterey County Planning and Building Inspection Department for the proposed development found in Project File PLN060625.
(e) The project is to rebuild the same single family dwelling that existed on the parcel since its construction in 1989. The project involves minimal grading to accommodate a stair from a deck and will utilize the foundation from the destroyed house. The proposed house will look like the destroyed home.

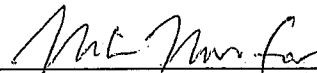
2. **FINDING: SITE SUITABILITY** – The site is physically suitable for the use proposed.
EVIDENCE: (a) The project has been reviewed for site suitability by the following departments and agencies: Planning and Building Inspection, Salinas Rural Fire Protection District, Public Works, Environmental Health Division, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
 (b) Staff conducted a site inspection to verify that the site is suitable for this use.
 (c) Materials in Project File PLN060625.
 (d) Evidence for Finding 1.
3. **FINDING: CEQA (Exempt):** - The project is categorically exempt from environmental review.
EVIDENCE: (a) California Environmental Quality Act (CEQA) Guidelines Section 15302 and 15303 categorically exempt the reconstruction of the former single family residence and the construction of the retaining walls for the fire turnouts and turnaround area.
 (b) No adverse environmental effects were identified during staff review of the development application during a site visit.
 (c) See preceding and following findings and supporting evidence.
4. **FINDING: NO VIOLATIONS** - The subject property is not in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. The is due to the legal non-conforming state of the original structure being over the Visually Sensitive height limit of 20 feet. However, approval of this Use Permit will bring it into compliance. No violations exist on the property. Zoning violation abatement costs, if any, have been paid.
EVIDENCE: Staff reviewed Monterey County Planning and Building Inspection Department records and is not aware of any violations existing on subject property.
5. **FINDING: VISUAL SENSITIVITY** - The proposed development, as approved and conditioned, will not create a substantially adverse visual impact when viewed from a common public viewing area.
EVIDENCE: (a) The application, plans, and related support materials submitted by the project applicant to the Monterey County Planning and Building Inspection Department for the proposed development found in Project File PLN060625.
 (b) Site visit by project planner. The site is not visible from a public viewing area based on the staff site visit. There fore there are no visual impacts of the proposed project.
6. **FINDING: HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.
EVIDENCE: Preceding findings and supporting evidence.

7. **FINDING: APPEALABILITY** - The decision on this project is appealable to the Planning Commission.
EVIDENCE: Section 21.80.040.B of Monterey County Zoning Ordinance Title 21.

DECISION

THEREFORE, it is the decision of said Zoning Administrator that said application for a Use Permit be granted as shown on the attached sketch, and subject to the attached conditions:

PASSED AND ADOPTED this 14th day of December 2006.



JEFF MAIN, ZONING ADMINISTRATOR

COPY OF THIS DECISION WAS MAILED TO THE APPLICANT ON JAN - 3 2007

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE

JAN 13 2007

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning and Building Inspection Department office in Salinas.

2. This permit expires two years after the above date of granting thereof unless construction or use is started within this period.

**Monterey County Planning and Building Inspection
Condition Compliance and/or Mitigation Monitoring Reporting
Plan**

Project Name: Michael/Sharon Osgood

File No: PLN060625

APNs: 416-071-007-000

Approved by: Zoning Administrator

Date: December 14, 2006

***Monitoring or Reporting refers to projects with an EIR or adopted Mitigated Negative Declaration per Section 21081.6 of the Public Resources Code.**

Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
1.		<p>PBD029 - SPECIFIC USES ONLY This permit (PLN060625, Osgood) consists of a Use Permit to allow the reconstruction of a non-conforming fire destroyed 3,237 square foot single family residence with a 3,294 square foot single family residence, the construction of approximately 40 linear feet of retaining wall, a new fire department turn-out and turnaround area on the driveway, and grading of approximately 492 cubic yards (251 cubic yards and 241 cubic yards fill) in a Visual Sensitivity (VS) district on a 2.5 acre parcel. The property is located at 26120 Zdan Road, Salinas (Assessor's Parcel Number 416-071-007-000), Greater Monterey Peninsula Area. This permit was approved in accordance with County ordinances and land use regulations subject to the following terms and conditions. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of Planning and Building Inspection. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. [Resource Management Agency (RMA) - Planning and Building Inspection]</p>	Adhere to conditions and uses specified in the permit.	Owner/ Applicant	Ongoing unless otherwise stated	

2.		<p>PBD025 - NOTICE-PERMIT APPROVAL The applicant shall record a notice which states: "A permit (Resolution No. 060625) was approved by the Zoning Administrator for Assessor's Parcel Number 416-071-007-000 on December 14, 2006. The permit was granted subject to 16 conditions of approval, which run with the land. A copy of the permit is on file with the Monterey County Planning and Building Inspection Department." Proof of recordation of this notice shall be furnished to the Director of Planning and Building Inspection prior to issuance of building permits or commencement of the use. (RMA - Planning and Building Inspection)</p>	Proof of recordation of this notice shall be furnished to PBI.	Owner/ Applicant	Prior to Issuance of grading and building permits or start of use.	
3		<p>PBD026 – NOTICE OF REPORT Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states: "A Soils report has been prepared for this parcel by Landset Engineers, dated September 2006, and is on record in the Monterey County Planning and Building Inspection Department Library. All development shall be in accordance with this report." (RMA - Planning and Building Inspection)</p>	Proof of recordation of this notice shall be furnished to PBI.	Owner/ Applicant	Prior to issuance of grading and building permits	
4		<p>PD014(B) – LIGHTING – EXTERIOR LIGHTING PLAN (VISUAL SENSITIVITY DISTRICT/ RIDGELINE DEVELOPMENT) All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. Exterior lights shall have recessed lighting elements. Exterior light sources that would be directly visible from when viewed from a</p>	Submit three copies of the lighting plans to the RMA - Planning Department for review and approval. Approved lighting plans shall be incorporated into final building plans.	Owner/ Applicant	With in 60 days of the issuance of building permits.	

		common public viewing area, as defined in Section 21.06.195, are prohibited. The applicant shall submit 3 copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations, Title 24, Part 6. The exterior lighting plan shall be subject to approval by the Director of the RMA - Planning Department, prior to the issuance of building permits. (RMA – Planning Department)	The lighting shall be installed and maintained in accordance with the approved plan.	Owner/ Applicant	Ongoing	
5		PBD018(A) - LANDSCAPE PLAN AND MAINTENANCE (SINGLE FAMILY DWELLING ONLY) The site shall be landscaped. At least 60 days prior to occupancy, three (3) copies of a landscaping plan shall be submitted to the Director of Planning and Building Inspection for approval. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County Planning and Building Inspection Department. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (Planning and Building Inspection)	Submit landscape plans and contractor's estimate to PBI for review and approval.	Owner/ Applicant/ Contractor	At least 60 days prior to final inspection or occupancy	
			All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.	Owner/ Applicant	Ongoing	

6	<p>PBD030 - STOP WORK - RESOURCES FOUND If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. The Monterey County Planning and Building Inspection Department and a qualified archaeologist (i.e., an archaeologist registered with the Society of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery. (RMA - Planning and Building Inspection)</p>	<p>Stop work within 50 meters (165 feet) of uncovered resource and contact the Monterey County Planning and Building Inspection Department and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.</p>	<p>Owner/ Applicant/ Archaeologist</p>	<p>Ongoing</p>	
7	<p>WR40 - WATER CONSERVATION MEASURES The applicant shall comply with Ordinance No. 3932, or as subsequently amended, of the Monterey County Water Resources Agency pertaining to mandatory water conservation regulations. The regulations for new construction require, but are not limited to: a. All toilets shall be ultra-low flush toilets with a maximum tank size or flush capacity of 1.6 gallons, all shower heads shall have a maximum flow capacity of 2.5 gallons per minute, and all hot water faucets that have more than ten feet of pipe between the faucet and the hot water heater serving such faucet shall be equipped with a hot water recirculating system. b. Landscape plans shall apply xeriscape principles, including such techniques and materials as native or low water use plants and low precipitation sprinkler heads, bubblers, drip irrigation systems and timing devices. (Water Resources Agency)</p>	<p>Compliance to be verified by building inspector at final inspection.</p>	<p>Owner/ Applicant</p>	<p>Prior to final building inspection/occupancy</p>	

8	<p>WR2 - STORMWATER CONTROL The applicant shall provide the Water Resources Agency a drainage plan prepared by a registered civil engineer or architect addressing on-site and off-site impacts. Stormwater runoff from impervious surfaces shall be dispersed at multiple points, away from and below any septic leach fields, over the least steep available slopes, with erosion control at outlets. Drainage improvements shall be constructed in accordance with plans approved by the Water Resources Agency. (Water Resources Agency)</p>	Submit 3 copies of the engineered drainage plan to the Water Resources Agency for review and approval.	Owner/ Applicant/ Engineer	Prior to issuance of any grading or building permits	
9	<p>WR43 - WATER AVAILABILITY CERTIFICATION The applicant shall obtain from the Monterey County Water Resources Agency, proof of water availability on the property, in the form of an approved Monterey Peninsula Water Management District Water Release Form. (Water Resources Agency)</p>	Submit the Water Release Form to the Water Resources Agency for review and approval.	Owner/ Applicant	Prior to issuance of any building permits	
10	<p>FIRE008 - GATES All gates providing access from a road to a driveway shall be located at least 30 feet from the roadway and shall open to allow a vehicle to stop without obstructing traffic on the road. Gate entrances shall be at least the width of the traffic lane but in no case less than 12 feet wide. Where a one-way road with a single traffic lane provides access to a gated entrance, a 40-foot turning radius shall be used. Where gates are to be locked, the installation of a key box or other acceptable means for immediate access by emergency equipment may be required. (Salinas Rural Fire District)</p>	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	
		Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	
11	<p>FIRE011 - ADDRESSES FOR BUILDINGS All buildings shall be issued an address in accordance with Monterey County Ordinance No. 1241. Each occupancy, except accessory buildings, shall have its own permanently posted address. When multiple</p>	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	<i>Applicant or owner</i>	Prior to issuance of building permit.	

	<p>occupancies exist within a single building, each individual occupancy shall be separately identified by its own address. Letters, numbers and symbols for addresses shall be a minimum of 4-inch height, 1/2-inch stroke, contrasting with the background color of the sign, and shall be Arabic. The sign and numbers shall be reflective and made of a noncombustible material. Address signs shall be placed at each driveway entrance and at each driveway split. Address signs shall be and visible from both directions of travel along the road. In all cases, the address shall be posted at the beginning of construction and shall be maintained thereafter. Address signs along one-way roads shall be visible from both directions of travel. Where multiple addresses are required at a single driveway, they shall be mounted on a single sign. Where a roadway provides access solely to a single commercial occupancy, the address sign shall be placed at the nearest road intersection providing access to that site. Permanent address numbers shall be posted prior to requesting final clearance. (Salinas Rural Fire District)</p>	Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	
12	<p>FIRE007 - DRIVEWAYS Driveways shall not be less than 12 feet wide unobstructed, with an unobstructed vertical clearance of not less than 15 feet. The grade for all driveways shall not exceed 15 percent. Where the grade exceeds 8 percent, a minimum structural roadway surface of 0.17 feet of asphaltic concrete on 0.34 feet of aggregate base shall be required. The driveway surface shall be capable of supporting the imposed load of fire apparatus (22 tons), and be accessible by conventional-drive vehicles, including sedans. For driveways with turns 90 degrees and less, the minimum horizontal inside radius of curvature shall be 25 feet. For driveways with turns greater than 90 degrees, the minimum horizontal inside radius curvature shall be 28 feet. For all driveway</p>	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	
		Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	

		turns, an additional surface of 4 feet shall be added. All driveways exceeding 150 feet in length, but less than 800 feet in length, shall provide a turnout near the midpoint of the driveway. Where the driveway exceeds 800 feet, turnouts shall be provided at no greater than 400-foot intervals. Turnouts shall be a minimum of 12 feet wide and 30 feet long with a minimum of 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall long with a minimum 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall be located within 50 feet of the primary building. The minimum turning radius for a turnaround shall be 40 feet from the center line of the driveway. If a hammerhead/T is used, the top of the "T" shall be a minimum of 60 feet in length. (Salinas Rural Fire District)	Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	
13		FIRE017 - DISPOSAL OF VEGETATION AND FUELS Disposal, including chipping, burying, or removal to a landfill site approved by the local jurisdiction, of vegetation and debris caused by site development and construction, road and driveway construction, and fuel modification shall be completed prior to final clearance of the related permit. (Salinas Rural Fire District)	Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	
14		FIRE020 - DEFENSIBLE SPACE REQUIREMENTS (HAZARDOUS CONDITIONS) Remove combustible vegetation from within a minimum of 30 feet of structures (may be up to 100 feet). Limb trees 6 feet up from ground. Remove limbs within 10 feet of chimneys. Additional fire protection or firebreaks approved by the Reviewing Authority may be required to provide reasonable fire safety. Environmentally sensitive areas may require alternative fire protection, to be determined by Reviewing Authority and the Director of Planning and Building	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	

GREATER MONTEREY PENINSULA



APPLICANT: OSGOOD

APN: 416-071-007-000

FILE # PLN060625



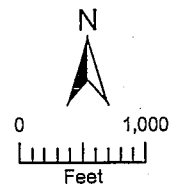
300' Limit



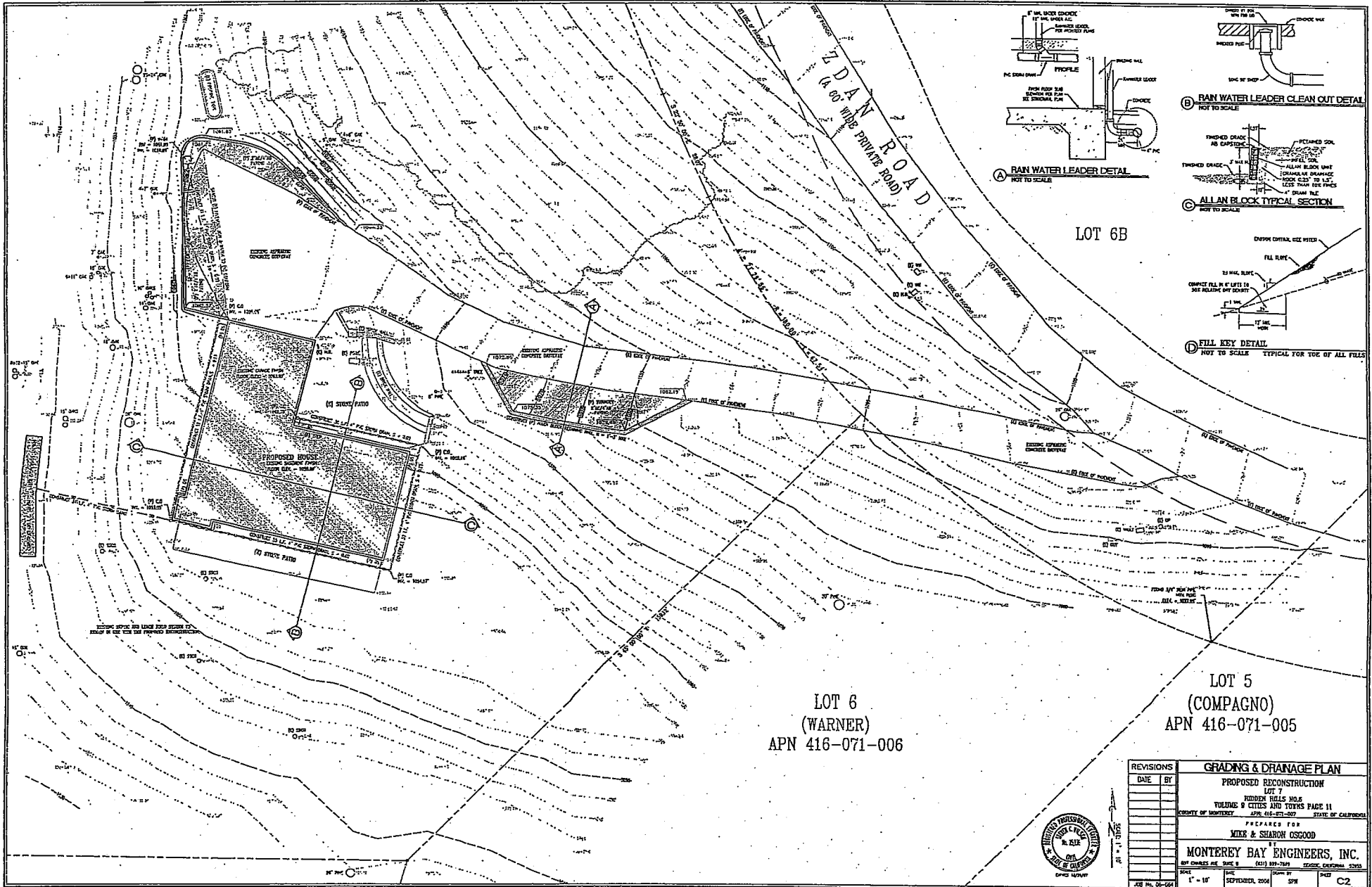
2500' Limit



City Limits

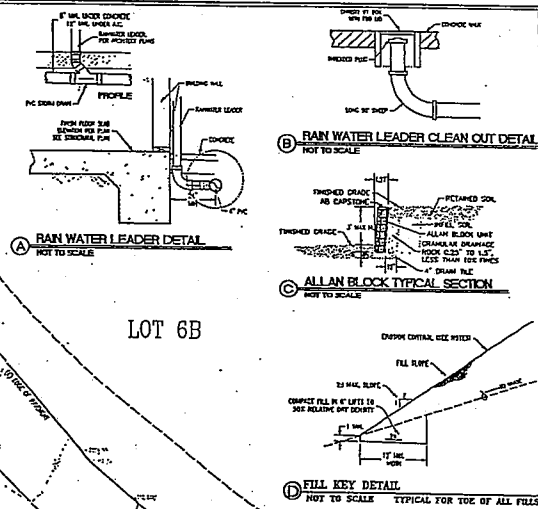


PLANNER: LYONS



LOT 6
(WARNER)
APN 416-071-006

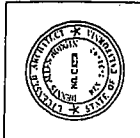
LOT 5
(COMPAGNO)
APN 416-071-005



REVISIONS		DATE		BY	

GRADING & DRAINAGE PLAN			
PROPOSED RECONSTRUCTION			
LOT 1			
HIDDEN HILLS NO.6			
VOLUME 9 CITIES AND TOWNS PAGE 11			
CITY OF MONTEREY		STATE OF CALIFORNIA	
PREPARED FOR			
MIKE & SHARON OSGOOD			
BY			
MONTEREY BAY ENGINEERS, INC.			
907 CHURCH AVE. SUITE 2		SEASIDE, CALIFORNIA 94062	
PHONE (415) 899-7849		FAX (415) 899-7849	
SCALE	SHEET	DATE	APP'D BY
1" = 10'	SEPTEMBER 2004	MSW	C2

PENNIS ROBBIN ARCHITECTS
 ARCHITECTS
 AND PLANNING
 288 BELMONT LANE #100
 MONTEREY, CA 93940
 TEL: 408/318-1100
 WWW.PENNISROBBIN.COM



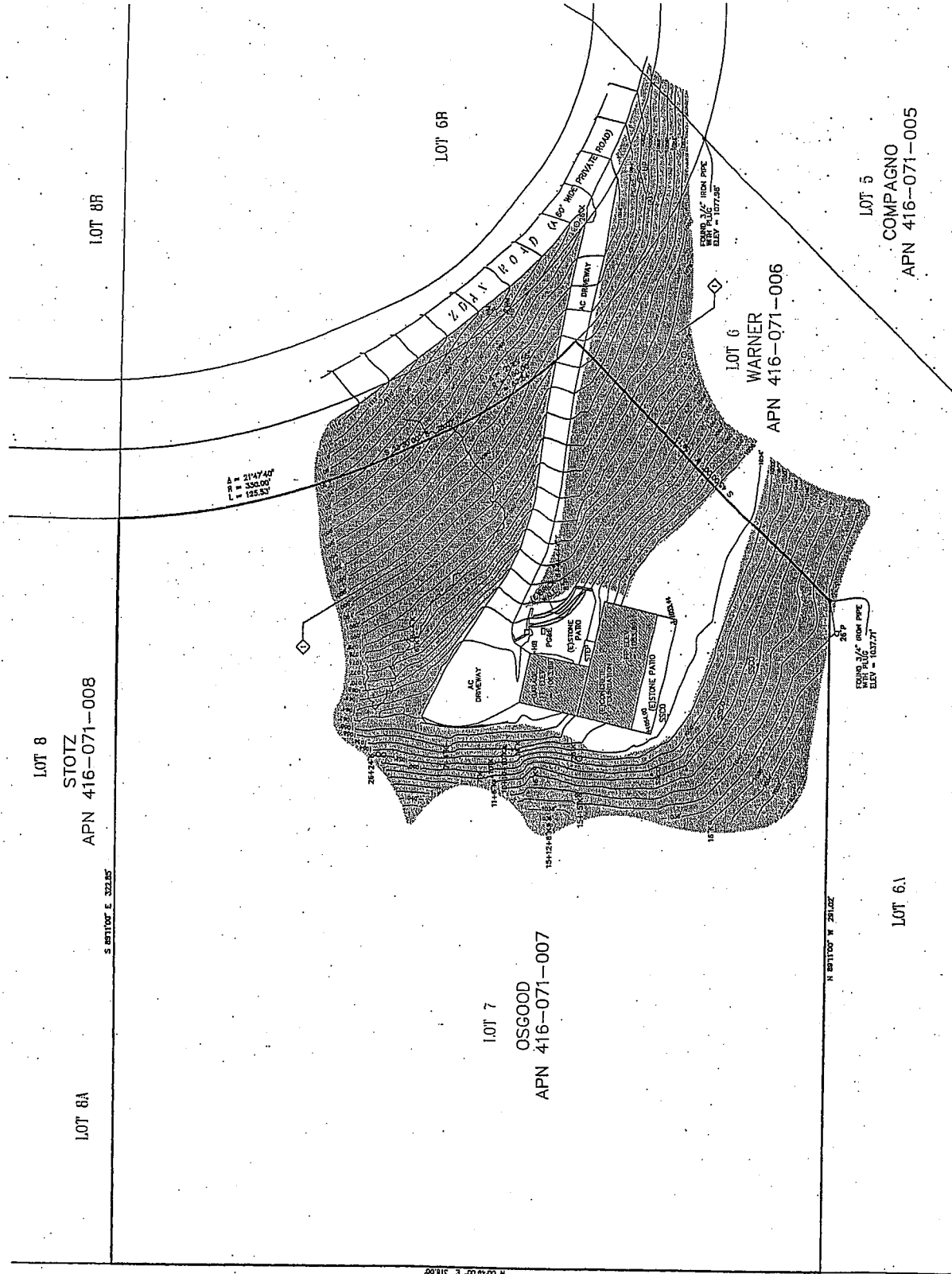
USE PERMIT

Keynotes:
 1. SHaded AREAS IN Slope EQUAL TO OR GREATER THAN 30%.

MONTEREY BAY ENGINEERS, INC.
 2000 Highway 101, Suite 100
 Marina del Rey, CA 90292
 TEL: 310/371-1111

REVISIONS

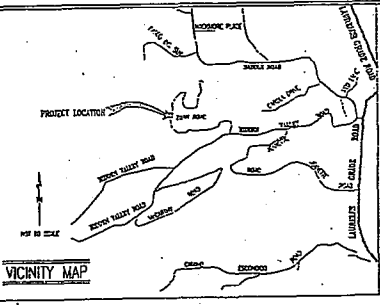
PROJECT: 025600008	FILE: Revis0256-016
DATE: 09/20/06	DRAWN: JPC
SHEET: A10	(E) SITE PLAN



(E) SITE PLAN
 SCALE: 1"=30'-0"



Prepared by: [Name]
 Date: [Date]



GRADING & DRAINAGE PLAN PROPOSED RECONSTRUCTION LOT 7, HIDDEN HILLS NO. 6 VOLUME 9 CITIES & TOWNS PAGE 11

LOT 8
(STOTZ)
APN: 416-071-008

APN: 416-071-007
PREPARED FOR
MIKE & SHARON OSGOOD
SEPTEMBER, 2006

APPLICANT INFORMATION

PROJECT APN: 416-071-007
ADDRESS: ZDAN ROAD ROAD
 CARROLL VALLEY, CA 93323

OWNER: MIKE & SHARON OSGOOD
 3232 ZDAN ROAD
 CARROLL VALLEY, CA 93323
 (925) 243-9493

CIVIL ENGINEER: MONTEREY BAY ENGINEERS, INC.
SURVEYOR: STEVEN C. MILLER, REG. CIVIL & SURV.
 907 CHARLES AVENUE, SUITE 8
 SEASIDE, CA 93335
 (925) 879-7979

PROJECT ARCHITECT: DENNIS HORTON LLC
 3153 BLUE LARKSPUR LANE
 SUITE 301
 MONTEREY, CA 93940
 (831) 553-9224

GEOTECHNICAL ENGINEER: LOUGHEY ENGINEERS, INC.
 CHARLES MITCHELL, CEE, ESTD 1958
 520 S CROFT HORSE CANTON ROAD
 SALINAS, CA 93707
 (831) 443-9370

- SURVEY NOTES**
1. EXISTING ELEVATIONS SHOWN HEREON WERE OBTAINED BY A FEED SURVEY PERFORMED BY [Name] ON [Date]. ALL ELEVATIONS ARE GIVEN IN FEET ABOVE MEAN SEA LEVEL UNLESS OTHERWISE NOTED.
 2. ALL ELEVATIONS SHOWN ON THIS PLAN ARE UNLESS OTHERWISE NOTED AS BEING VERTICAL CURVE GRADE.
 3. ALL ELEVATIONS SHOWN ARE BASED ON THE 1985 NATIONAL MEAN SEA LEVEL DATUM.
 4. ALL ELEVATIONS SHOWN ARE BASED ON THE 1985 NATIONAL MEAN SEA LEVEL DATUM.
 5. ALL ELEVATIONS SHOWN ARE BASED ON THE 1985 NATIONAL MEAN SEA LEVEL DATUM.
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- GRADING NOTES**
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 2. ALL ELEVATIONS SHOWN ARE BASED ON THE 1985 NATIONAL MEAN SEA LEVEL DATUM.
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VEGETATIVE SOIL STABILIZATION

1. MAINTAIN EXISTING VEGETATION WHERE POSSIBLE TO PREVENT EROSION AND PROVIDE THE FOLLOWING CONDITIONS:

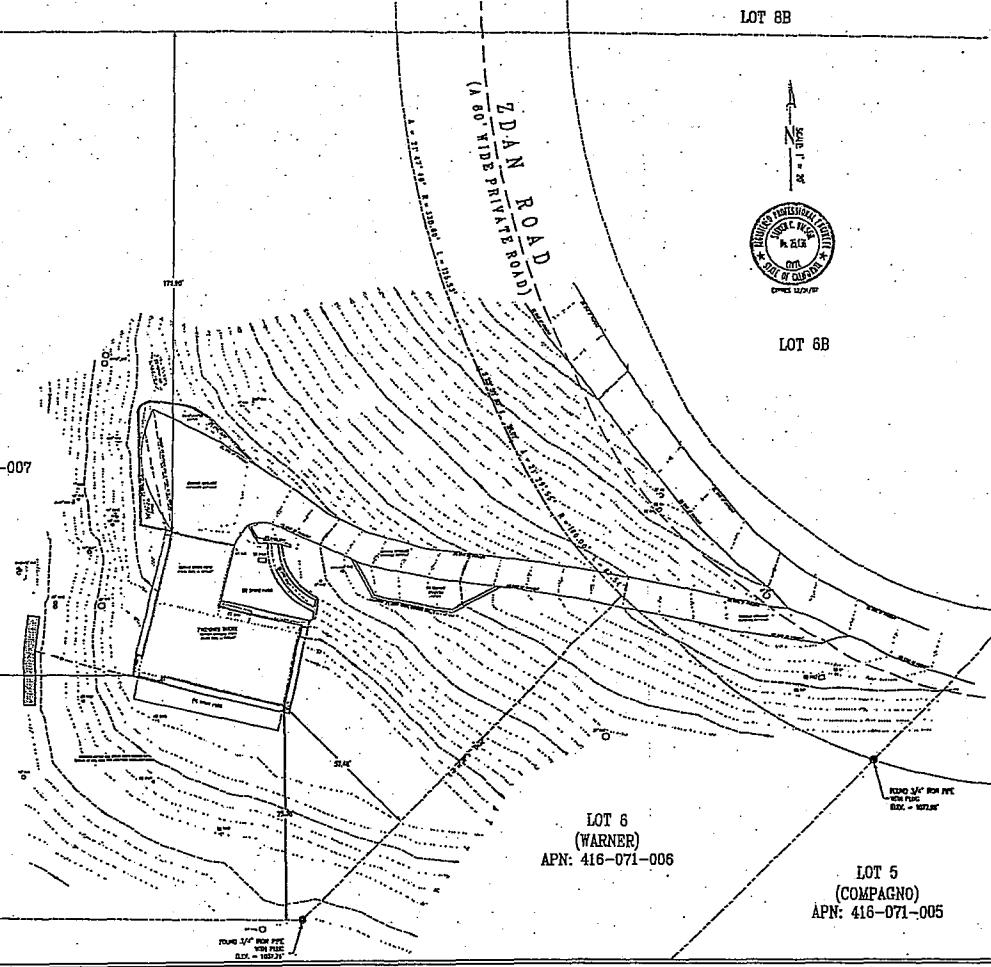
- (a) MAINTAIN EXISTING VEGETATION WHERE POSSIBLE TO PREVENT EROSION AND PROVIDE THE FOLLOWING CONDITIONS:
- (b) MAINTAIN EXISTING VEGETATION WHERE POSSIBLE TO PREVENT EROSION AND PROVIDE THE FOLLOWING CONDITIONS:

GRADING LEGEND

1.0	EXISTING	2.0	PROPOSED FINISH	3.0	EXISTING ELEVATIONS
1.1	NEW	2.1	PROPOSED FINISH	3.1	PROPOSED ELEVATIONS
1.2	EXISTING	2.2	PROPOSED FINISH	3.2	PROPOSED ELEVATIONS
1.3	EXISTING	2.3	PROPOSED FINISH	3.3	PROPOSED ELEVATIONS
1.4	EXISTING	2.4	PROPOSED FINISH	3.4	PROPOSED ELEVATIONS

UTILITY LEGEND

1.0	EXISTING	1.1	EXISTING	1.2	EXISTING
1.3	EXISTING	1.4	EXISTING	1.5	EXISTING
1.6	EXISTING	1.7	EXISTING	1.8	EXISTING
1.9	EXISTING	1.10	EXISTING	1.11	EXISTING



LOT 8B



LOT 8B

EROSION CONTROL NOTES

1. ALL DISTURBED AREAS MUST BE PROTECTED FROM EROSION, BETWEEN RETICULATION AND 30 FEET, BY EXCAVATING CHANNELS, OR BY OTHER MEANS AS APPROVED BY THE COUNTY ENGINEER.
2. DISTURBED AREAS MUST BE PROTECTED FROM EROSION, BETWEEN RETICULATION AND 30 FEET, BY EXCAVATING CHANNELS, OR BY OTHER MEANS AS APPROVED BY THE COUNTY ENGINEER.
3. DISTURBED AREAS MUST BE PROTECTED FROM EROSION, BETWEEN RETICULATION AND 30 FEET, BY EXCAVATING CHANNELS, OR BY OTHER MEANS AS APPROVED BY THE COUNTY ENGINEER.

FIRE SAFETY NOTES

1. THE GRADE FOR ALL ROADS, STREETS, DRIVEWAYS AND DRIVEWAYS SHALL BE FINISHED TO PREVENT STAGNATION OF WATER.
2. THE GRADE FOR ALL ROADS, STREETS, DRIVEWAYS AND DRIVEWAYS SHALL BE FINISHED TO PREVENT STAGNATION OF WATER.
3. THE GRADE FOR ALL ROADS, STREETS, DRIVEWAYS AND DRIVEWAYS SHALL BE FINISHED TO PREVENT STAGNATION OF WATER.

ROOF WATER COLLECTION NOTES

1. ALL ROOF WATER SHALL BE COLLECTED BY THE GUTTERS AND DOWN SPOUTS, AND DOWN SPOUTS SHALL BE SIZED TO HANDLE THE MAXIMUM ANTICIPATED RAINFALL.
2. ALL DOWN SPOUTS SHALL BE SIZED TO HANDLE THE MAXIMUM ANTICIPATED RAINFALL.
3. ALL DOWN SPOUTS SHALL BE SIZED TO HANDLE THE MAXIMUM ANTICIPATED RAINFALL.

WATER CONSERVATION NOTES

1. ALL ROADS SHALL BE FINISHED TO PREVENT STAGNATION OF WATER.
2. ALL ROADS SHALL BE FINISHED TO PREVENT STAGNATION OF WATER.
3. ALL ROADS SHALL BE FINISHED TO PREVENT STAGNATION OF WATER.

REVISIONS		DATE		BY	
1					
2					
3					

GRADING & DRAINAGE PLAN

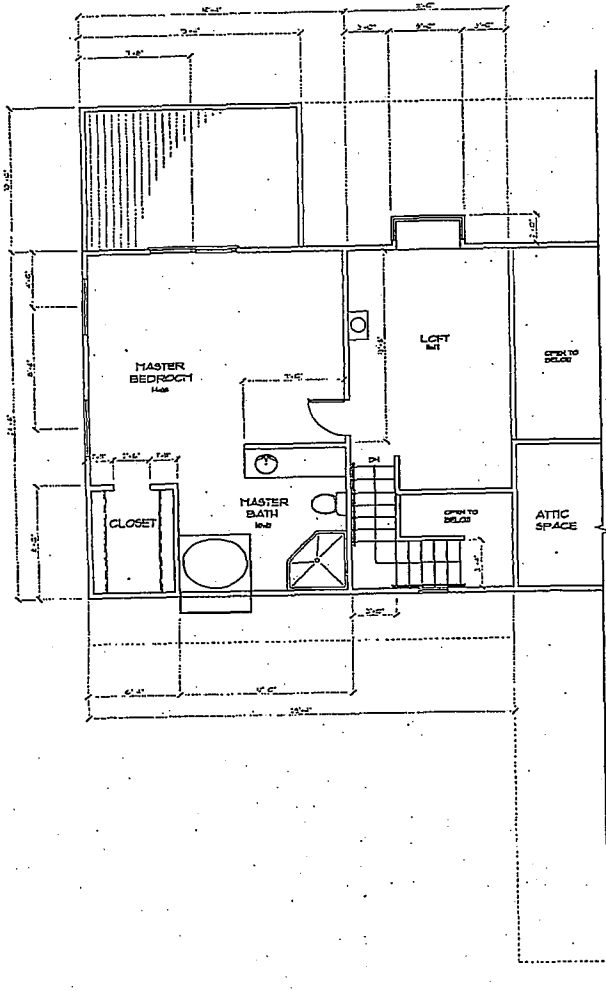
PROPOSED RECONSTRUCTION
LOT 7
HIDDEN HILLS NO. 6
VOLUME 9 CITIES & TOWNS PAGE 11
COUNTY OF MONTEREY APN: 416-071-007 STATE OF CALIFORNIA

PREPARED FOR
MIKE & SHARON OSGOOD

MONTEREY BAY ENGINEERS, INC.
323 CHARLES AVENUE SUITE 8 (831) 881-7674 SEASIDE, CALIFORNIA, 93335

SCALE: 1" = 30' DATE: SEPTEMBER, 2006 DRAWN BY: SJK CHECKED BY: SJK PLOT: C1

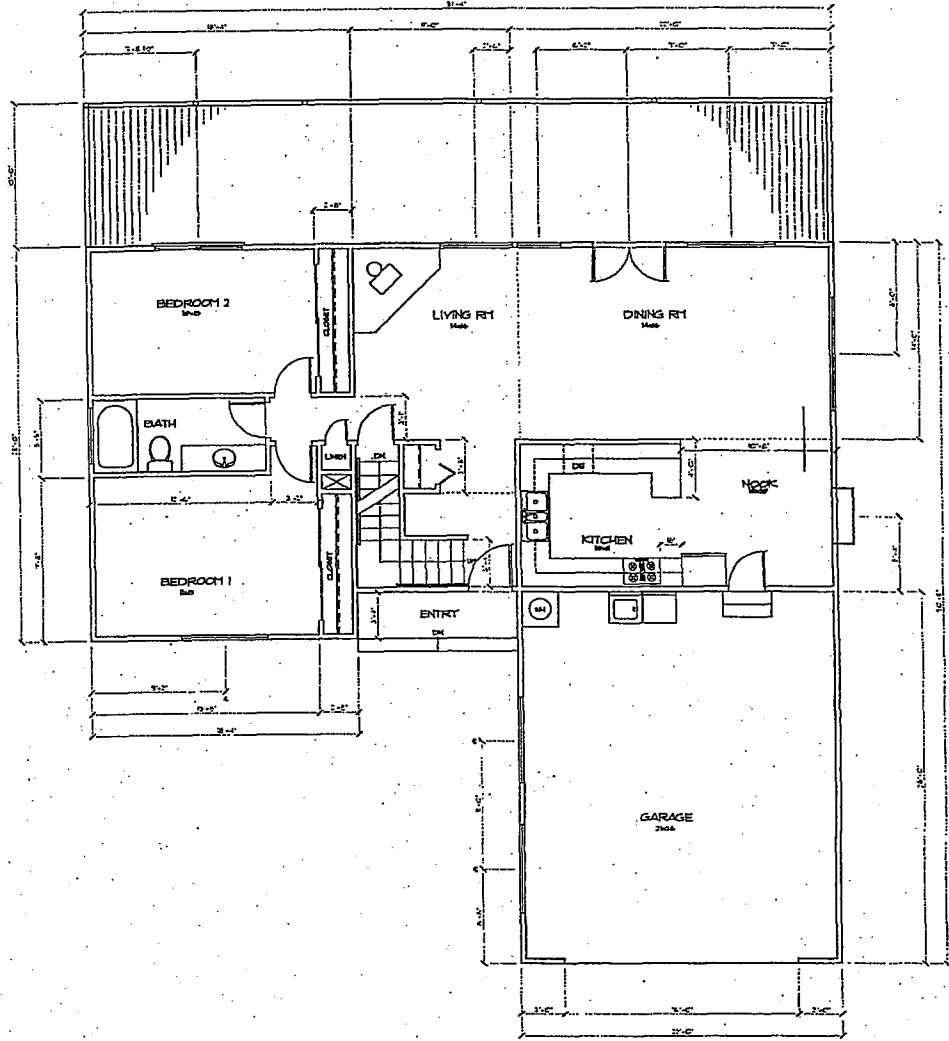
JOB NO. 06-041



(E) SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"



DESCRIPTION
11/20/2011 11:20 AM '11



(E) FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



DESCRIPTION
11/20/2011 11:20 AM '11

**DENNIS
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AND PLANNING
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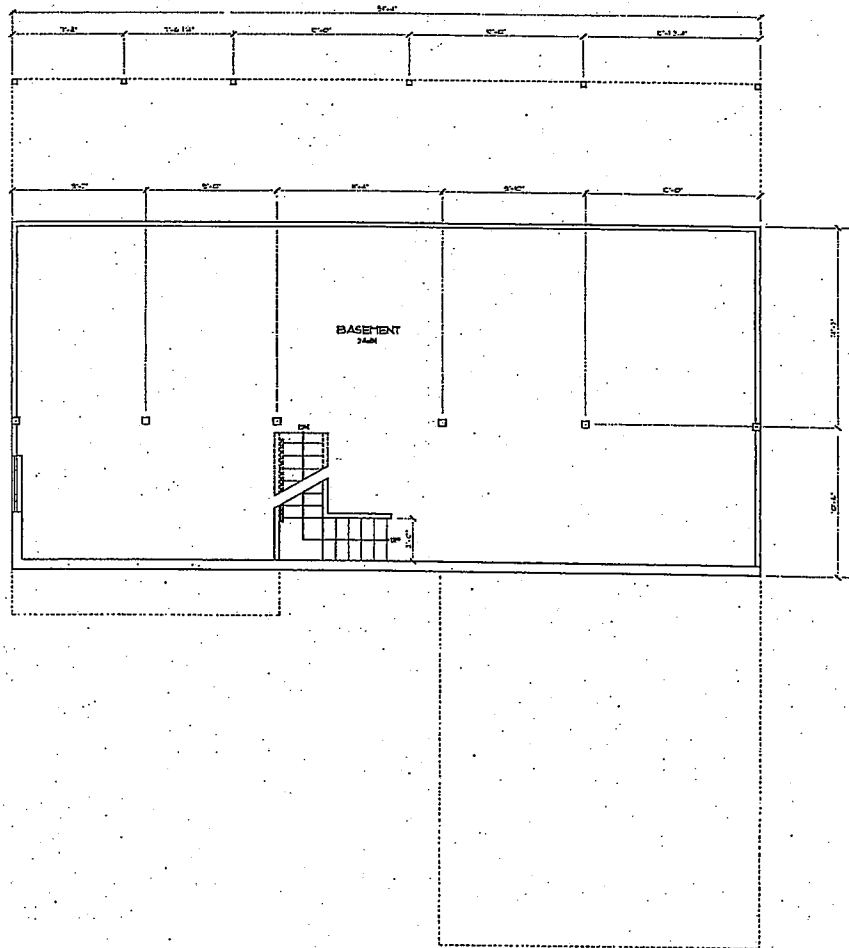
REVISIONS:

Reconstruction
Osgood Residence
28120 Zdan Rd.
Carmel Valley, CA
APN# 416-071-07

PROJECT: ROS00020
FILE: Ros0000-A10
DATE: 09/10/2016
DRAWN: YFG
SHEET:

A2.0
4 OF 8

(E) FLOOR PLANS



(E) BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

DESCRIPTION
Basement Floor Plan

**DENNIS
RODGAN
ARCHITECTS**
ARCHITECTURE
AND PLANNING
908 BLUE WALKER LANE STE 10
MONTEREY, CA 93940
831.665.0224 FAX 831.665.0564
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REVISIONS:

Reconstruction Osgood Residence 26120 Zdan Rd. Carmel Valley, CA APN# 418-071-07	PROJECT: ROSG0000 FILE: Rosg0000-A21 DATE: 09/20/06 DRAWN: YFG SHEET:
(E) BASEMENT FLR PLN	A2.1

**RENNIS
RODGERS
ARCHITECTS**
ARCHITECTURE
AND PLANNING
1058 BLUE LARKER LANE, STE 101
MONTEREY, CA 93940
831.865.9024 FAX 831.865.1964
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Keynotes:

1. EXTERIOR STAIR
2. 4" STONE FINISH
3. WOOD STOVE
4. WALL TO MOUNT FLASHIA TV
5. DOOR TO BASEMENT
6. 1 HR RATED WALL
7. EDGE OF LOFT ABOVE
8. BUILT-IN PANTRY
9. DECK AREA
10. STAIRS
11. CONCRETE ENTRY PORCH
12. CHAIRRAIL, SEE DTL 171A3.3
13. 200 AMP ELECTRICAL PANEL
14. DECK
15. GARDEN WINDOW, SEE WDW SCHEDULE
16. WINDOW SEAT
17. CHAIRRAIL AT LOFT
18. HANDRAIL, SEE DTL 18A/3.3
19. TUB, TILE DECK & SURROUND
20. OUTLINE OF STRUCTURE BELOW
21. 12" x 12" ACCESS PANEL
22. OUTLINE OF DECK ABOVE
23. 6x4 POST, TYP
24. CURU WALL
25. 6x4 POST, TYP
26. OUTLINE OF DECK BELOW
27. OUTLINE OF STRUCTURE ABOVE
28. 4" DIA GL DRIVER VENT SLOPE TO VENT
29. FAN
30. 18" HIGH PLATFORM
31. 12" x 12" ACCESS PANEL, BELOW TUB
32. 3" SLOPE
33. BEDROOM EGRESS WDW, MAX SLHT 44"; MIN WDW OPENING CLEAR.
34. BUILT-IN BOOKSHELF
35. WATER HEATER WALL ANCHOR, SEE DTL 18A.5.0

LEGEND:

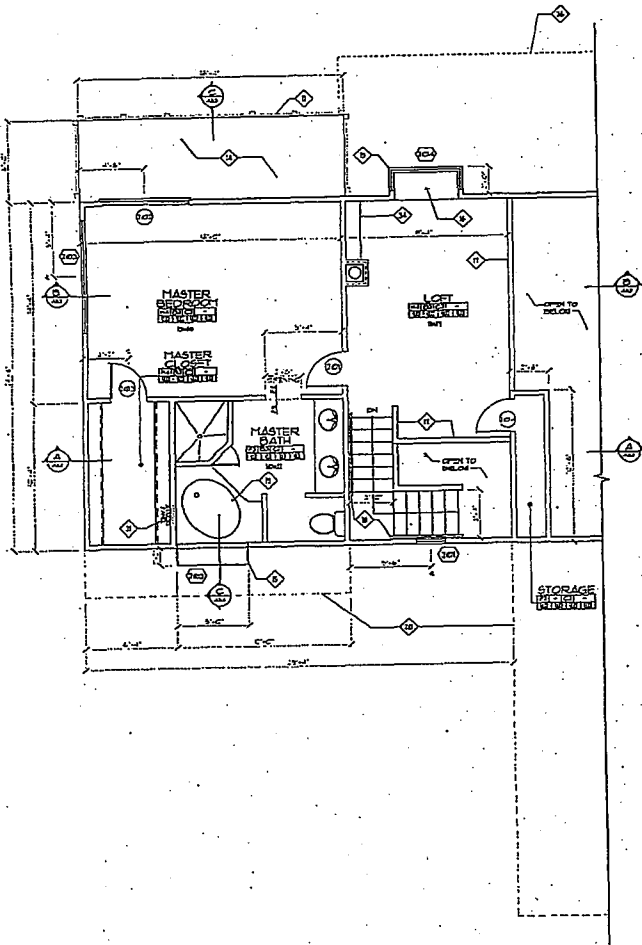
SEE A&P FOR FROM LEGEND

ROOM NAME ROOM NAME
ROOM NUMBER ROOM NUMBER
DOOR TYPE DOOR TYPE
WINDOW TYPE WINDOW TYPE
FLOOR FINISH FLOOR FINISH
FRAMING FRAMING

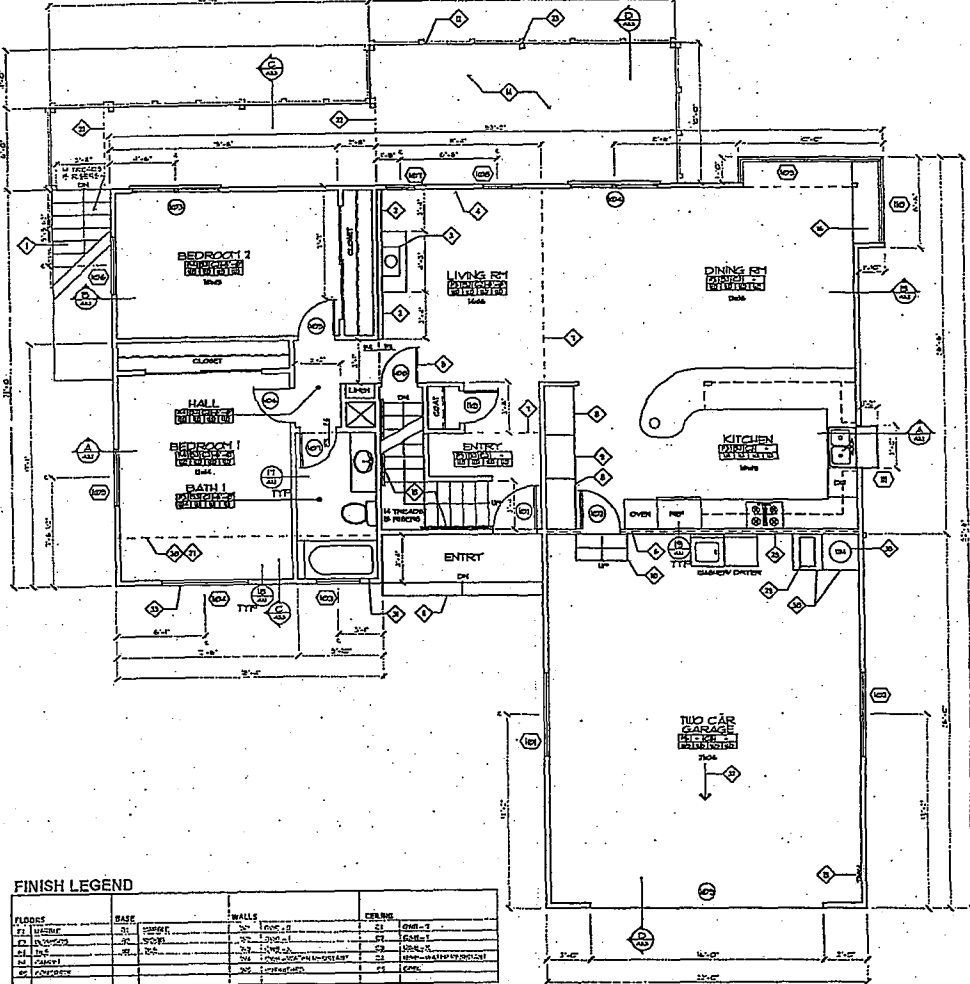
UPCH LINE TO MESH
IN-HOUSE WALL, POOR
IN PART WALL, POOR
IN SCUM WALL, POOR
IN REST WALL, POOR

REVISIONS:

Reconstruction Osgood Residence 26120 Zdan Rd. Carmel Valley, CA APN# 418-071-07	PROJECT: ROSS0000 FILE: Ross000-A22 DATE: 02/20/06 DRAWN: VFD SHEET: A2.2
--	--



(N) SECOND FLOOR PLAN.
SCALE: 1/4"=1'-0"



(N) FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



FINISH LEGEND

FLOOR	BASE	WALLS	CEILING
F1: MASTER	21: STONE	22: TRIPLE G	23: GYM-G
F1: LIVING	21: STONE	22: TRIPLE G	23: GYM-G
F1: DINING	21: STONE	22: TRIPLE G	23: GYM-G
F1: KITCHEN	21: STONE	22: TRIPLE G	23: GYM-G
F1: ENTRY	21: STONE	22: TRIPLE G	23: GYM-G
F1: BEDROOM	21: STONE	22: TRIPLE G	23: GYM-G
F1: BATH	21: STONE	22: TRIPLE G	23: GYM-G
F1: LOFT	21: STONE	22: TRIPLE G	23: GYM-G

FIRE NOTES

FIRE007 - DRIVEWAYS

CONCRETE DRIVEWAYS SHALL BE 4 INCH THICK AT POINTS UNDER LOADS, WITH AN UNIFORM THICKNESS THROUGHOUT. DRIVEWAYS SHALL BE FINISHED WITH A FINISH THAT PROVIDES A COEFFICIENT OF FRICTION OF NOT LESS THAN 0.60. DRIVEWAYS SHALL BE CONCRETE WITH A MINIMUM 4 INCH THICKNESS. DRIVEWAYS SHALL BE FINISHED WITH A FINISH THAT PROVIDES A COEFFICIENT OF FRICTION OF NOT LESS THAN 0.60. DRIVEWAYS SHALL BE CONCRETE WITH A MINIMUM 4 INCH THICKNESS. DRIVEWAYS SHALL BE FINISHED WITH A FINISH THAT PROVIDES A COEFFICIENT OF FRICTION OF NOT LESS THAN 0.60.

FIRE011 - ADDRESSES FOR BUILDINGS

ALL BUILDINGS SHALL BE PROVIDED WITH A PERMANENT ADDRESS. THE ADDRESS SHALL BE PROVIDED TO THE LOCAL FIRE DEPARTMENT. THE ADDRESS SHALL BE PROVIDED TO THE LOCAL FIRE DEPARTMENT. THE ADDRESS SHALL BE PROVIDED TO THE LOCAL FIRE DEPARTMENT.

FIRE016 - SETBACKS

ALL PARCELS 1 ACRE AND LARGER SHALL PROVIDE A MINIMUM 30-FOOT SETBACK FOR NEW BUILDINGS AND ACCESSORY BUILDINGS FROM ALL PROPERTY LINES AROUND THE CENTER OF THE ROAD. FOR PARCELS LESS THAN 1 ACRE, ALTERNATE FUEL MODIFICATION STANDARDS OR OTHER REQUIREMENTS MAY BE IMPOSED BY THE LOCAL FIRE JURISDICTION TO PROVIDE THE SAME PRACTICAL EFFECT.

FIRE019 - DEFENSIBLE SPACE REQUIREMENTS (STANDARD)

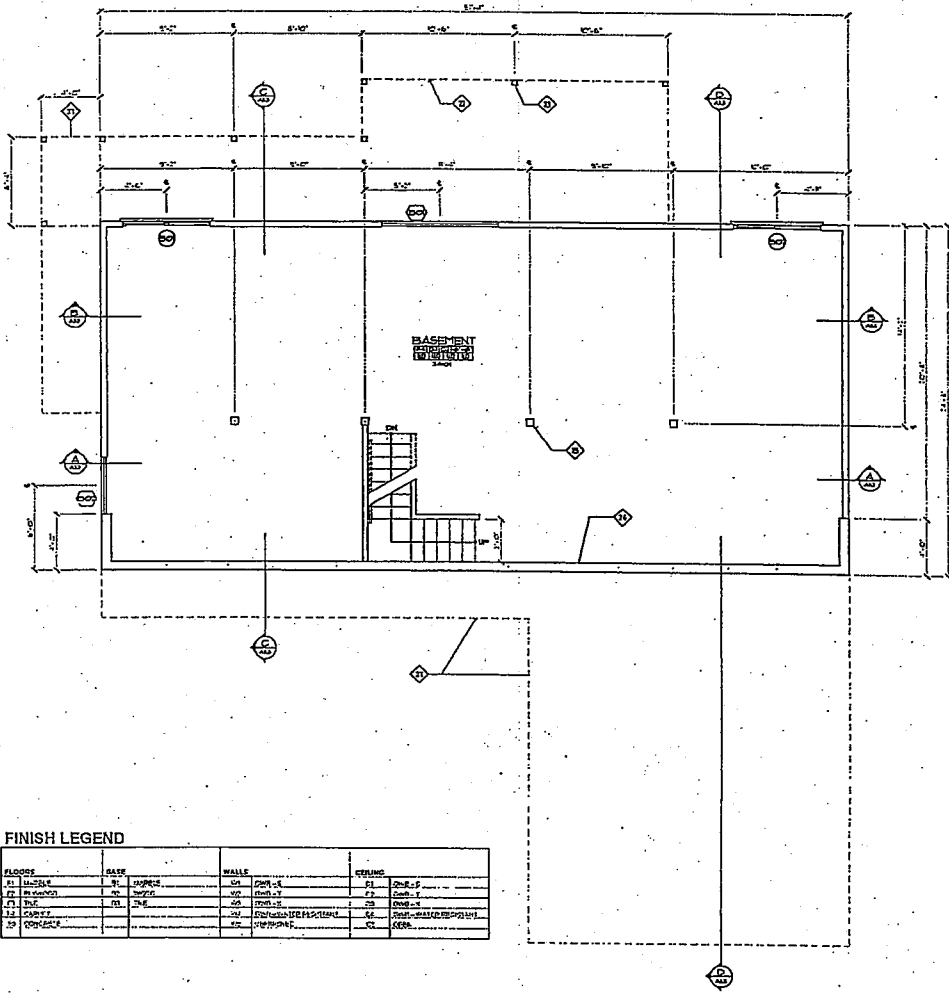
REMOVE COMBUSTIBLE VEGETATION FROM WITHIN A MINIMUM OF 30 FEET OF STRUCTURES. LIMIT TREES 6 FEET IN PROXIMITY. REMOVE LEAVES WITHIN 10 FEET OF CANOPIES. ADDITIONAL AND/OR ALTERNATE FIRE PROTECTION OR FIRESPACE APPROVED BY THE FIRE AUTHORITY MAY BE REQUIRED TO PROVIDE REASONABLE FIRE SAFETY. ESPECIALLY SENSITIVE AREAS MAY REQUIRE ALTERNATE FIRE PROTECTION, TO BE DETERMINED BY FIREWORKS AUTHORITY AND THE DIRECTOR OF PLANNING AND BUILDING INSPECTION.

FIRE021 - FIRE PROTECTION EQUIPMENT AND SYSTEMS - FIRE SPRINKLER SYSTEM (STANDARD)

SEE ARCHITECTURAL NOTES FOR FIRE PROTECTION EQUIPMENT AND SYSTEMS. SEE ARCHITECTURAL NOTES FOR FIRE PROTECTION EQUIPMENT AND SYSTEMS. SEE ARCHITECTURAL NOTES FOR FIRE PROTECTION EQUIPMENT AND SYSTEMS.

FIRE027 - ROOF CONSTRUCTION (VERY HIGH HAZARD SEVERITY ZONE)

ALL NEW STRUCTURES, AND ALL EXISTING STRUCTURES RECEIVING NEW ROOFING OVER 50 PERCENT OR MORE OF THE EXISTING ROOF SURFACE WITHIN A ONE-YEAR PERIOD, SHALL REQUIRE A MINIMUM OF TYPE CLASS A ROOF CONSTRUCTION.



FINISH LEGEND

FLOOR	BASE	WALLS	CEILING
01 UNFIN	01 UNFIN	01 UNFIN	01 UNFIN
02 UNFIN	02 UNFIN	02 UNFIN	02 UNFIN
03 UNFIN	03 UNFIN	03 UNFIN	03 UNFIN
04 UNFIN	04 UNFIN	04 UNFIN	04 UNFIN
05 UNFIN	05 UNFIN	05 UNFIN	05 UNFIN

(N) BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

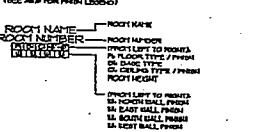
DENNIS RODGIN ARCHITECTS
ARCHITECTURE AND PLANNING
3008 BLUE LARKSPUR LANE, STE 101
MONTPELIER, CA 93940
925.663.3224 FAX 925.663.3344
http://www.droa.com

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- Keynotes:**
- EXTERIOR STAIR
 - 4" STONE VENEER
 - WOOD STOVE
 - WALL TO MOUNT PLASMA TV
 - DOOR TO BASEMENT
 - 1 HR RATED WALL
 - EDGE OF LOFT ABOVE
 - BUILT-IN PANTRY
 - DESK AREA
 - STEPS
 - COND ENTRY PORCH
 - GUARDRAIL, SEE DTL 17(A)3
 - 200 AMP ELECTRICAL PANEL
 - DECK
 - GARDEN WINDOW, SEE WDW SCHEDULE
 - WINDOW SEAT
 - COURTIAL AT LOFT
 - HANDRAIL, SEE DTL 18(A)3
 - TUB, TILE DECK & SURROUND
 - OUTLINE OF STRUCTURE BELOW
 - 12"x12" ACCESS PANEL
 - OUTLINE OF DECK ABOVE
 - 4x4 POST, TYP
 - CMU WALL
 - 6x6 POST, TYP
 - OUTLINE OF DECK BELOW
 - OUTLINE OF STRUCTURE ABOVE
 - 1/4" DIA. DIFFERENT SLOPE TO VENT
 - FAU
 - 18" HIGH PLATFORM
 - 12"x12" ACCESS PANEL BELOW TUB
 - 3" SLOPE
 - BENCH/LOOK EGRESS WDW, MAX 5xL HT 44", MIN WDW OPENING 20" CLEAR
 - BUILT-IN BOOKSHELF
 - WATER HEATER WALL ANCHOR, SEE DTL 18(A)5

LEGEND

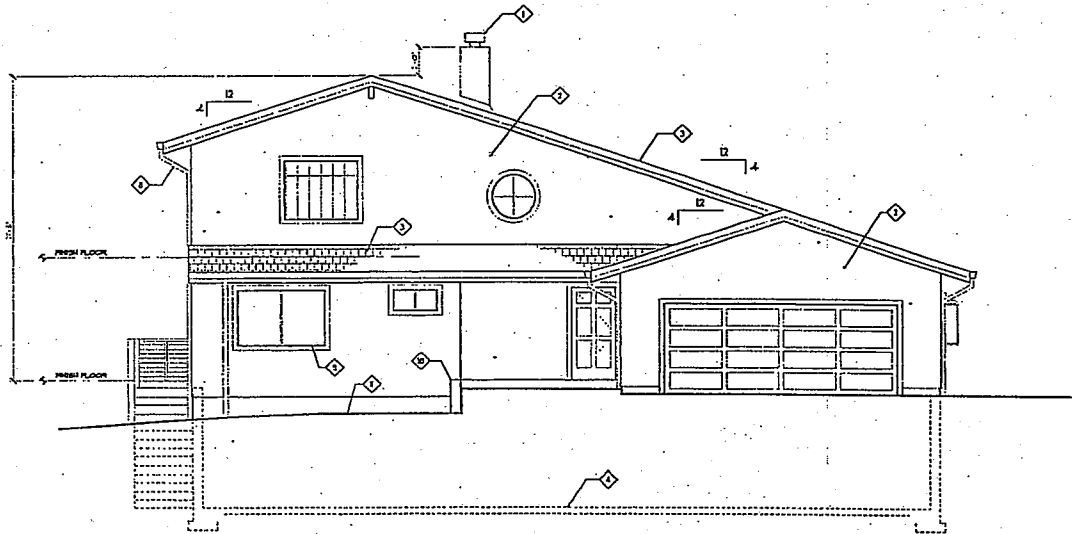


REVISIONS:

Reconstruction
Osgood Residence
28120 Zdan Rd.
Camel Valley, CA
APN# 418-071-07

PROJECT: RO500020
FILE: Rosg0020-A13
DATE: 03/20/06
DRAWN: VFC
SHEET: A2.3

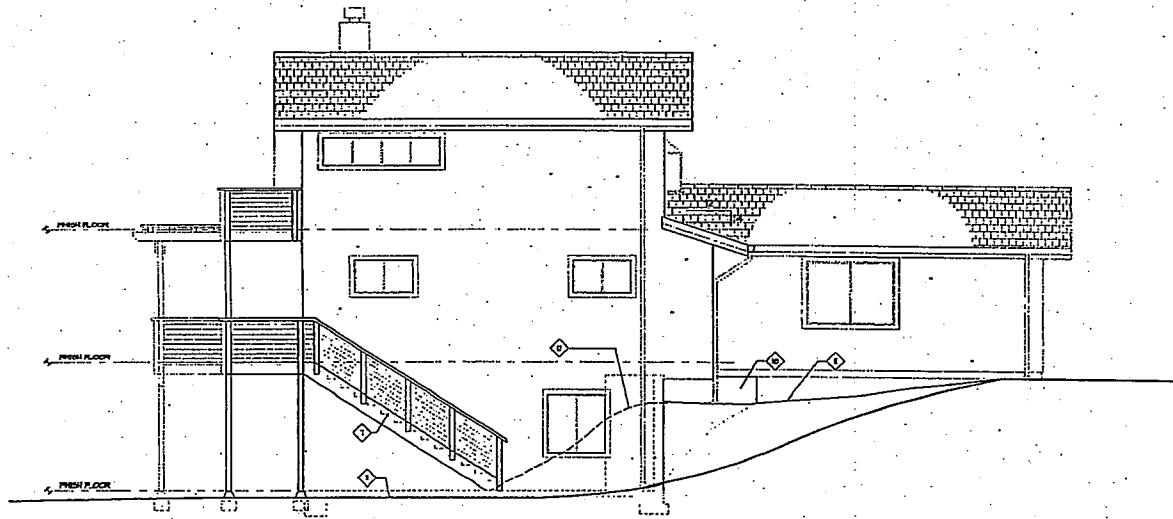
BASEMENT
FLOOR PLAN/DETAILS



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

MATERIAL, COLOR AND DETAIL DESIGNATIONS THIS ELEVATION ARE TYPICAL UNLESS OTHERWISE NOTED.

Project: 2006-02-14-14
11-22-06



EAST ELEVATION
SCALE: 1/4" = 1'-0"

Project: 2006-02-14-14
11-22-06

**DENNIS
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3000 ELLE LARSEN LANE, STE 01
MONTEREY, CA 95040
831.656.8224 FAX 831.656.3354
http://www.drhela.com

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Keynotes:

1. M.T. FLUE CAP SPARK ARRESTOR, SEE DTL 20A3.2
2. STUCCO, TYP
3. SLATE TILE ROOF TYP. SEE SPECS.
4. BASEMENT FINISH FLOOR
5. WOOD TRELLIS, SEE DTL 20A3.3
6. WOOD GUARDRAIL WITH STEEL CABLES, SEE DTL 17A3.3
7. STAIRS
8. DOWNSPOUT, TYP
9. BEDROOM EGRESS WD/WY, MAX SILL HT 4", MIN W/OV OPENING 20" CLEAR
10. GARDEN WALL
- 11.(E) & FINISH GRADES
- 12.(E) GRADE

NOTE:
COLOR OF BRICKS TO MATCH
BRICK COLOR OF PREVIOUS
BUILDING.

REVISIONS:

**Reconstruction
Osgood Residence**
26120 Zdan Rd.
Carmel Valley, CA
APN# 416-071-07

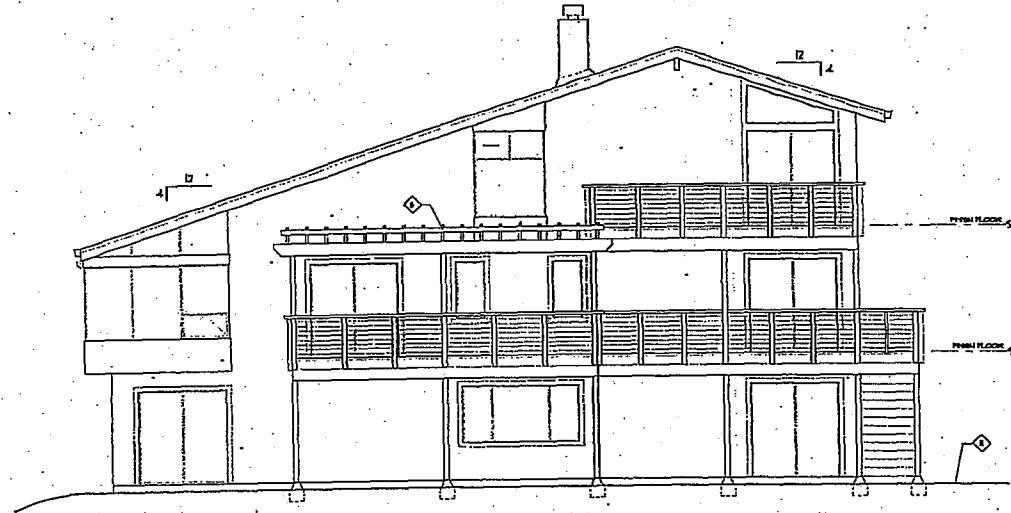
PROJECT: ROS00000
FILE: Ros00000-A3.0
DATE: 03/10/06
DRAWN: YPG
SHEET:

(N) EXTERIOR
ELEVATIONS

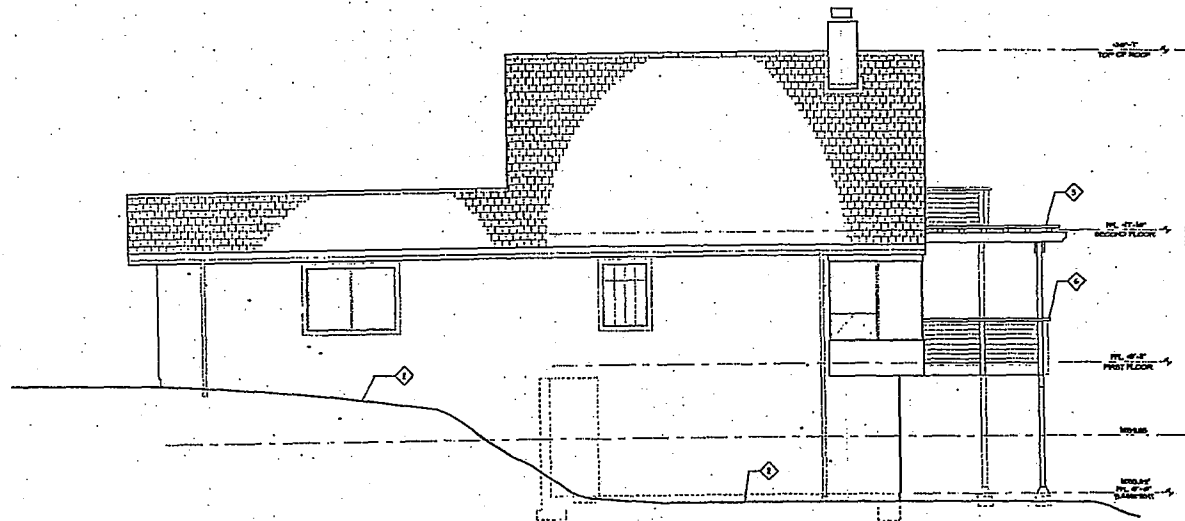
A3.0

1 OF 3

REDACTED BY 2006 12/27/06 10:28:11 AM



SOUTH ELEVATION
SCALE: 1/4"=1'-0"



WEST ELEVATION
SCALE: 1/4"=1'-0"

**DENNIS
RODGREN**
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3900 BLUE LARKSPUR LANE, STE 107
MONTEREY, CA 93940
831.655.2224 FAX 831.655.2564
https://www.drhais.com

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Keynotes:

1. MULTIFLUE CAP SPARK ARRESTOR, SEE DTL 20A3.2
2. STUDS, TYP
3. SLATE TILE ROOF TYP, SEE SPECS.
4. SLAGGENT FINISH FLOOR
5. WOOD TRELLIS, SEE DTL 20A3.3
6. WOOD GUARDRAIL WITH STEEL CABLES, SEE DTL 17A13
7. STAIRS
8. DOWNSPOUT, TYP
9. BEDROOM EGRESS WDW, MAX SILL HT 44", MIN WDW OPENING 20" CLEAR.
10. GARDEN WALL
- 11, (E) & FINISH GRADES
- 12, (E) GRADE

REVISIONS:

**Reconstruction
Osgood Residence**
26120 Zden Rd.
Carmel Valley, CA
APN# 418-071-07
(N) EXTERIOR
ELEVATIONS

PROJECT: ROSG0002
FILE: Rosg0002-A3
DATE: 09/20/20
DRAWN: VFC
SHEET:

A3.1
1 of 1