

JEFF MAIN
ZONING ADMINISTRATOR

COUNTY OF MONTEREY
STATE OF CALIFORNIA

REVISED

RESOLUTION NO. 050226

MAR 21 2007

A. P. # 261-131-039-000

In the matter of the application of
Juan and Beatrice Ruiz (PLN050226)

FINDINGS AND DECISION

to allow a **Combined Development Permit** in accordance with Title 21 (Zoning) Chapter 21.76 (Combined Development Permits) of the Monterey County Code, consisting of: 1) a General Development Plan, 2) an Administrative Permit to allow auto repair facilities and 3) a Use Permit for truck tow and storage operation in an existing 10,000 sq. ft. commercial warehouse with 22 parking spaces on 0.6 acre parcel. The property is located at 17048 El Rancho Way, Salinas, Greater Salinas Area Plan, and came on regularly for meeting before the Zoning Administrator on March 8, 2007.

Said Zoning Administrator, having considered the application and the evidence presented relating thereto,

FINDINGS OF FACT

- 1.
2. **FINDING: CONSISTENCY** – The project, as described in Condition No. 1 and as conditioned, conforms to the policies, requirements, and standards of the Monterey County General Plan, Greater Salinas Area Plan, and the Monterey County Zoning Ordinance (Title 21), which designates this area as appropriate for commercial development.
EVIDENCE: (a) The text, policies, and regulations in the above referenced documents have been evaluated during the course of review of the application. No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
(b) The project planner conducted a site inspection on 7/2/06 to verify that the project on the subject parcel conforms to the plans listed above.
(c) The parcel is recorded on Parcel Map (MS 81-25), Volume 14, page 215 (Assessor's Parcel Number 261-131-039-000). The subject parcel is determined to be a legal lot.
(d) The Boronda Redevelopment Citizen's Advisory Committee (CAC) met on September 21, 2005 and recommended denial of the project. The CAC met again on September 27, 2006 to reconsider the project and were provided comprehensive site plans, floor plans and elevations and operations description. The members recommended approval of the project with conditions concerning the quality of exterior design, landscaping, fencing, signage, and limits on the hours of operation to reduce intensity of use and noise. The members considered the use compatible with the neighborhood, although it is not considered "neighborhood commercial".
(e) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning for the proposed development found in Project File PLN050226.
3. **FINDING: SITE SUITABILITY** – The site is physically suitable for the use proposed.
EVIDENCE: (a) The project has been reviewed for site suitability by the following departments and agencies: RMA - Planning, Salinas Rural Fire Protection District, Public Works, Environmental Health Division, and the Water Resources Agency, Monterey Bay Unified Air Quality Control Board; the Monterey County Sheriff's Department., and the City of Salinas. There has been no indication from these departments/agencies that the site is not

suitable for the proposed development. Conditions recommended have been incorporated.

- (b) Technical reports by an outside Registered Professional engineering consultant indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff concurs. The following reports have been prepared:

1. Noise Study for Mirza's Towing Service by Charles Salter & Associates, dated November 3, 2006, (Library No.: LIB060661)

- (c) Planning and Building Inspection staff conducted a site inspection on 7/2/06 to verify that the site is suitable for this use. The parcel is zoned HC-UR Heavy Commercial/Urban Reserve. The subject property complies with all the rules and regulations pertaining to zoning uses and any other applicable provisions of Title 21, and is therefore suitable for the proposed development.

- (d) Materials in Project File PLN050226.

3. FINDING: CEQA. The proposed project will not have a potentially significant adverse impact on the environment. A Mitigated Negative Declaration has been prepared and is on file (File No. PLN050226) in the RMA - Planning Department. Mitigation measures identified in the Initial Study and Mitigated Negative Declaration required to avoid potential significant effects to the environment have been incorporated into the approved project or as conditions of approval. A Condition Compliance and Mitigation Monitoring Reporting Plan (hereafter "the MMRP") has been prepared pursuant to Public Resources Code 21081.6 and is required as a condition of approval. The MMRP is incorporated herein by reference. Potential environmental effects have been studied, and there is no substantial evidence in the record, as a whole, that supports a fair argument that the project, as designed, may have a significant effect on the environment. The Mitigated Negative Declaration reflects the independent judgment and analysis of the County based upon the findings and conclusions drawn in the Initial Study and the testimony and information received, and scientific and factual data presented as evidence during the public review process. The Monterey County Planning Department, located at 168 West Alisal Street, 2nd Floor, Salinas is the custodian of the documents and the materials that constitute the record of proceedings upon which the adoption of the Mitigated Negative Declaration is based.

- EVIDENCE:** (a) The application, plans, and support materials submitted by the project applicant to the Monterey County Planning Department for the proposed development, found in the project file.
- (b) County staff prepared an Initial Study for the project in compliance with the California Environmental Quality Act (CEQA and Guidelines). The Initial Study provided substantial evidence that the project, with the addition of mitigation measures, would not have significant environmental impacts. A Mitigated Negative Declaration was filed with the County Clerk on December 29, 2006, and noticed for public review. All comments received on the Initial Study/Mitigated Negative Declaration have been considered as well as all evidence in the record, which includes studies, data, and reports supporting the Initial Study; additional documentation requested by staff in support of the Initial Study findings; information presented or discussed during public hearings; staff reports that reflect the County's independent judgment and analysis regarding the above referenced studies, data, and reports; application materials; and expert testimony. Among the studies, data, and reports analyzed as part of the environmental determination are the following:
1. Project Application and Plans PLN050226 (dated 6/20/05).

2. Interdepartmental Review Agency Comments
3. Monterey County General Plan (1982) as amended.
4. The Boronda Improvement Plan (a part of the Greater Salinas Area Plan adopted July 14, 1987).
5. Greater Salinas Area Plan (adopted as part of the Monterey County General Plan 10/86).
6. Title 21 of the Monterey County Code (Zoning Ordinance)
7. Site visit by Project Planner on 7/2/06.
8. Monterey County Geographical Information System (GIS) Property Report for Assessors parcel Number 261-131-039-000.
9. Boronda Redevelopment Citizen's Advisory Committee meeting minutes September 21, 2005 and September 27, 2006.
10. CEQA Air Quality Guidelines, Monterey Bay Unified Air Pollution Control District, Revised June 2004.
12. State of California Regional Water Quality Control Board, Central Coast Region, Stormwater Management Program Revision Requirements, February 11, 2005.
13. City of Salinas General Plan
14. Noise Study for Mirza's Towing Service by Charles Salter & Associates, dated November 3, 2006.
15. Boronda Redevelopment Plan, November 1988.
16. Monterey County Code, Chapter 10.60.030 Operation of noise-producing devices restricted.
17. Communication with Jean Getchell at MBUAPCD

4. FINDING: FISH AND GAME FEES – Filing of Notice of Determination. For Purposes of the Fish and Game Code, the project will NOT have a potential for adverse impact on fish and wildlife resources upon which the wildlife depends.

EVIDENCE: (a) Staff analysis contained in the Initial Study and the record as a whole indicate the project will not result in changes to the resources listed in Section 753.5(d) of the Department of Fish and Game regulations. Implementation of the project described herein will affect changes to native and non-native plant life and soils, and the biological analyses identified potential impacts to wildlife and special status species.

(b) Initial Study and Mitigated Negative Declaration contained in the project file.

(c) Evidence in Finding No. 3 above.

5. FINDING: USE PERMIT – The Use Permit findings shall be met in order to grant any Use Permit. The Appropriate Authority may designate such conditions in connection with the Use Permit as it deems necessary to secure the purposes of this Title. Such conditions may include monitoring, at reasonable times and intervals, to assure compliance with the conditions set forth in the permit. Other such conditions may include, but are not limited to, health and safety requirements, architectural and site approval, time limitations, street dedication, and

street and drainage improvements. The Appropriate Authority may also require such bond and guarantees as it appropriate to assure the compliance of the conditions.

EVIDENCE: (a) Operating hours are restricted to 8:00 a.m. to 6:00 p.m. Monday through Friday, and 9:00 a.m. to 6:00 p.m. Saturday, closed Sundays. Auto related uses approved include light mechanical repairs, such as wheels and brakes, smog inspection, and installation of stereo sound systems. Other allowed uses would include plumbing and small appliance repairs. Uses not allowed include heavy mechanical work such as removing and rebuilding engines, open flame welding, auto body or painting, tire repairs and installation. A layer of soundproofing in the interior of the wood framed building and blanket insulation in the ceiling to reduce noise, shall be installed. Proposed improvements such as new paint and awnings, and landscaping to include a noise buffer and visual screening. No new development or phases are proposed, the project would be reuse of the existing facilities, located in an existing 10,000 square foot commercial warehouse with an existing paved parking lot.

(c) See Finding No. 6 and 7 below.

6. FINDING: NO VIOLATIONS - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property. Zoning violation abatement costs, if any, have been paid.

EVIDENCE: Staff reviewed Monterey County Resource Management Agency - Planning Department and Building Services Department Monterey County records and is not aware of any violations existing on subject property.

7. FINDING: HEALTH AND SAFETY - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

EVIDENCE: Preceding findings and supporting evidence.

8. FINDING: APPEALABILITY - The decision on this project is appealable to the Planning Commission.

EVIDENCE: Section 21.80.040(B) of the Monterey County Zoning Ordinance (Title 21).

DECISION

THEREFORE, it is the decision of the Zoning Administrator of the County of Monterey that the Mitigated Negative Declaration and Program for Mitigation Monitoring and/or Reporting on Conditions of Approval be adopted and said application for a Combined Development Permit be granted as shown on the attached sketch and subject to the attached conditions.

PASSED AND ADOPTED this 8th day of March, 2007.



JEFF MAIN, ZONING ADMINISTRATOR

COPY OF THIS DECISION MAILED TO APPLICANT ON MAR 21 2007

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY TO THE MONTEREY COUNTY PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE MARCH 24, 2007.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning and Building Inspection Department office in Salinas.

2. This permit expires 2 years after the above date of granting thereof unless construction or use is started within this period.

**Monterey County Resource Management Agency
Planning Department
Condition Compliance and/or Mitigation Monitoring
Reporting Plan**

Project Name: Ruiz
File No: PLN050226 **PN: 261-131-039-000**
Approved by: Zoning Administrator **Date: March 8, 2007**

**Monitoring or Reporting refers to projects with an EIR or adopted Mitigated Negative Declaration per Section 21081.6 of the Public Resources Code.*

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
1.		<p>PBD029 - SPECIFIC USES ONLY A Combined Development Permit consisting of 1) a General Development Plan, 2) an Administrative Permit to allow auto repair facilities and 3) a Use Permit for truck tow & storage operation in an existing 10,000 sq. ft. commercial warehouse with 22 parking spaces on 0.6 acre parcel. The property is located at 17048 El Rancho Way, Salinas (Assessor's Parcel Number 261-131-039-000), Greater Salinas Area Plan, and Boronda Neighborhood Improvement Plan. Operating hours are restricted to 8:00 a.m. to 6:00 p.m. Monday through Friday, and 9:00 a.m. to 6:00 p.m. Saturday, closed Sundays. Auto related uses approved include light mechanical repairs, such as wheels and brakes, smog inspection, and installation of stereo sound systems. Other allowed uses would include plumbing and small appliance repairs. Uses not allowed include heavy mechanical work such as removing and rebuilding engines, open flame welding, auto body or painting, tire repairs and installation. Soundproofing in the interior of the wood framed building and blanket insulation in the ceiling to reduce noise, shall be installed. This permit was approved in accordance with County ordinances and land use regulations subject to the following terms and conditions. Neither the uses nor the construction allowed by this permit shall commence</p>	Adhere to conditions and uses specified in the permit.	Owner/ Applicant	Ongoing unless otherwise stated	

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		unless and until all of the conditions of this permit are met to the satisfaction of the Director of RMA - Planning Department. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. (Resource Management Agency (RMA) – Planning)				
2.		PBD025 - NOTICE-PERMIT APPROVAL The applicant shall record a notice which states: "A permit (Resolution No. 050226) was approved by the Zoning Administrator for Assessor's Parcel Number 261-131-039-000 on March 8, 2007. The permit was granted subject to 30 conditions of approval, which run with the land. The General Development Plan shall be recorded as part of this notice. A copy of the permit is on file with the Monterey County RMA - Planning Department." Proof of recordation of this notice shall be furnished to the Director of RMA - Planning Department prior to issuance of building permits or commencement of the use. (Resource Management Agency (RMA) – Planning)	Proof of recordation of this notice shall be furnished to RMA - Planning.	Owner/ Applicant	Prior to issuance of grading and building permits	
3.		PBD026 – NOTICE OF REPORT Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states: "A Noise Study for Mirza's Towing Service was prepared by Charles Salter & Associates, dated November 3, 2006 (Library No.: LIB060661). All development shall be in accordance with this report". (Resource Management Agency (RMA) – Planning)	Proof of recordation of this notice shall be furnished to Planning Director.	Owner/ Applicant	Prior to issuance of grading and building permits	

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4.		PD006 - MITIGATION MONITORING PROGRAM The applicant shall enter into an agreement with the County to implement a Mitigation Monitoring and/or Reporting Plan in accordance with Section 21081.6 of the California Public Resources Code and Section 15097 of Title 14, Chapter 3 of the California Code of Regulations. Compliance with the fee schedule adopted by the Board of Supervisors for mitigation monitoring shall be required and payment made to the County of Monterey at the time the property owner submits the signed mitigation monitoring agreement. (RMA - Planning Department)	1) Enter into agreement with the County to implement a Mitigation Monitoring Program. 2) Fees shall be submitted at the time the property owner submits the signed mitigation monitoring agreement. The deposit fee required for MM1 is \$500.	Owner/ Applicant	Within 60 days after project approval or prior to the issuance of grading and building permits, whichever occurs first.	
5.		PD012A- NONSTANDARD WORDING - LANDSCAPE PLAN AND MAINTENANCE (OTHER THAN SINGLE FAMILY DWELLING) The site shall be landscaped. At least three (3) weeks prior to occupancy, three (3) copies of a landscaping plan shall be submitted to the Director of the RMA - Planning Department. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping and shall include an irrigation plan. The landscaping shall be installed and inspected prior to occupancy. All landscaped areas and/or fences shall be continuously maintained by the applicant and all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (RMA - Planning Department)	Submit landscape plans and contractor's estimate to the RMA - Planning Department for review and approval. Landscaping is required including on the El Rancho Way frontage, the property line to the west, and along Calle del Adobe. Landscaping will include the installation of trees for visual screening and a noise buffer between the commercial and residential uses.	Owner/ Applicant/ Licensed Landscape Contractor/ Licensed Landscape Architect	At least three (3) weeks prior to final inspection or occupancy	
			All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.	Owner/ Applicant	Ongoing	
6.		PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site	Submit three copies of the lighting plans to the RMA - Planning Department for review and approval. Approved lighting plans shall be incorporated into final building plans.	Owner/ Applicant	Prior to the issuance of building permits.	

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		glare is fully controlled. The applicant shall submit 3 copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations, Title 24, Part 6. The exterior lighting plan shall be subject to approval by the Director of the RMA - Planning Department, prior to the issuance of building permits. (RMA – Planning Department)	The lighting shall be installed and maintained in accordance with the approved plan.	Owner/ Applicant	Ongoing	
7.		PW0007 – PARKING STD The parking shall meet the standards of the Zoning Ordinance and be approved by the Director of Public Works and the Director of Planning and Building Inspection. (Public Works)	Applicant’s engineer or architect shall prepare a parking plan for review and approval.	Owner/ Applicant/ Engineer	Prior to Building/ Grading Permits Issuance	
8.		PW0001 – NON-STANDARD – TAMC FEES Applicant shall pay the Transportation Agency of Monterey County (TAMC) regional traffic mitigation fee in accordance with Table 7 of the TMC Nexus Study and as approved by TAMC. (Public Works)	Applicant’s engineer or architect shall pay the fee to the County of Monterey Public Works Department.	Owner/ Applicant/ Engineer	Prior to Building/ Grading Permits Issuance	
9.		PW0004 – NON-STANDARD – AGREEMENT (CURB, ETC) Enter into an agreement with the County of Monterey to install curb, gutter, sidewalk and pave-out along the frontage of El Rancho Way. (Public Works)	Owner shall submit executed agreement to DPW. DPW can prepare agreement. Improvements shall be constructed upon demand of DPW. Failure to construct can result in a lien placed on the property.	Owner/ Applicant	Prior to Building/ Grading Permits Issuance	
10.		PW0002 – NON-STANDARD – CITY OF SALINAS TFO Contribute to the City of Salinas the amount required in accordance with the City’s Traffic Fee Ordinance as determined by the City of Salinas. (Public Works)	Pay the required fee to the City of Salinas.	Owner/ Applicant/ Engineer	Prior to Building/ Grading Permits Issuance	

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11.		PW0010 – SEWER CONNECTION Obtain a sewer connection permit from the Department of Public Works and pay all applicable fees. (Public Works)	Applicant shall apply for permit with Department of Public Works, obtain the permit, and pay applicable fees.	Owner/ Applicant	Prior to Building/ Grading Permits Issuance	
12.		EH28 - HAZ MAT BUSINESS RESPONSE PLAN Comply with Title 19 of the California Code of Regulations and Chapter 6.95 of the California Health and Safety Code (Hazardous Material Registration and Business Response Plans) as approved by the Director of Environmental Health. (Environmental Health)	Contact the Hazardous Materials Program of the Division of Environmental Health.	Owner/ Applicant	Continuous	
13.		EH30 - HAZARDOUS WASTE CONTROL Comply with Title 22, Division 4.5 of the California Code of Regulations and Chapter 6.50 of the California Health and Safety Code (Hazardous Waste Control) as approved by the Director of Environmental Health. (Environmental Health)	Contact the Hazardous Materials Program of the Division of Environmental Health.	Owner/ Applicant	Continuous	
14.		EH31 - HAZ MAT RMP Submit a Risk Management Plan to the Director of Environmental Health for review and approval. The RMP shall comply with Title 19, Chapter 4.5 of the California Code of Regulations and Chapter 6.95, Article 2 of the California Health & Safety Code. (Environmental Health)	Submit plan to the Hazardous Materials Program of the Division of Environmental Health for review and approval.	Owner/ Applicant	Prior to commence- ment of operation	
15.		EH33 - VEHICLES/PARTS IMPERVIOUS SURFACE All vehicles or parts stored for longer than 72 hours that contain gasoline, oils, lubricants, coolants, or any other hazardous materials/wastes shall be stored in impervious areas properly graded and bermed for surface drainage into an approved oil/water separator. (Environmental Health)	Submit plans to the Division of Environmental Health for review and approval.	Owner/ Applicant	Prior to issuance of building permits or commence- ment of operation	

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16.		EH34 - HAZ MAT SPCC Submit a site Spill Prevention Control Countermeasure (SPCC) Plan to the California Regional Water Quality Control Board for storage of petroleum products (i.e. diesel, oil, and gasoline) in above ground storage tanks greater than 650-gallon capacity or for cumulative storage of more than 1320 gallons. The Plan shall meet the standards as per Title 26, Division 22, Article 3, Sections 66264.30-66264.56 (Preparedness and Prevention). (Environmental Health)	Submit plan to the Hazardous Materials Program of the Division of Environmental Health for review and approval.	Owner/ Applicant	Prior to commencement of operation	
17.		WR40 - WATER CONSERVATION MEASURES The applicant shall comply with Ordinance No. 3932, or as subsequently amended, of the Monterey County Water Resources Agency pertaining to mandatory water conservation regulations. The regulations for new construction require, but are not limited to: a. All toilets shall be ultra-low flush toilets with a maximum tank size or flush capacity of 1.6 gallons, all shower heads shall have a maximum flow capacity of 2.5 gallons per minute, and all hot water faucets that have more than ten feet of pipe between the faucet and the hot water heater serving such faucet shall be equipped with a hot water recirculating system. b. Landscape plans shall apply xeriscape principles, including such techniques and materials as native or low water use plants and low precipitation sprinkler heads, bubblers, drip irrigation systems and timing devices. (Water Resources Agency)	Compliance to be verified by building inspector at final inspection.	Owner/ Applicant	Prior to final building inspection/occupancy	

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18.		<p>WRA001 NONSTANDARD- DRAINAGE PLAN (WR) Prior to issuance of any grading or building permits, the applicant shall provide the Water Resources Agency a drainage plan prepared by a registered civil engineer or architect addressing on-site and off-site impacts, that includes routing stormwater runoff from the paved parking areas to oil-grease/water separators. Drainage improvements shall be constructed in accordance with plans approved by the Water Resources Agency. (Water Resources Agency)</p>	Submit 3 copies of the drainage plan to the Water Resources Agency for review and approval.	Owner/ Applicant	Prior to issuance of any grading or building permits	WRA
19.		<p>FIRE002 - ROADWAY ENGINEERING The grade for all roads shall not exceed 15 percent. Where road grades exceed 8 percent, a minimum structural roadway surface of 0.17 feet of asphaltic concrete on 0.34 feet of aggregate base shall be required. The length of vertical curves in roadways, exclusive of gutters, ditches and drainage structures designed to hold or divert water, shall not be less than 100 feet. No roadway turn shall have a horizontal inside radius of less than 50 feet. A roadway turn radius of 50 to 100 feet is required to have an additional 4 feet of roadway surface. A roadway turn radius of 100 to 200 feet is required to have an additional 2 feet of roadway surface. Roadway turnarounds shall be required on dead-end roads in excess of 150 feet of surface length. The minimum turning radius for a turnaround shall be 40 feet from the center line of the road. If a hammerhead/T is used, the top of the "T" shall be a minimum of 60 feet in length. (Salinas Rural Fire District)</p>	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	
			Applicant shall schedule fire dept. clearance inspection for each phase of development.	Applicant or owner	Prior to final building inspection	

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20.		FIRE003 - DEAD-END ROADS (1) For parcels less than 1 acre, the maximum length of a dead-end road, including all dead-end roads accessed from that dead-end road, shall not exceed 800 feet. All dead-end road lengths shall be measured from the edge of the roadway surface at the intersection that begins the road to the end of the road surface at its furthest point. Where a dead-end road serves parcels of differing sizes, the shortest allowable length shall apply. Each dead-end road shall have a turnaround constructed at its terminus. The minimum turning radius for a turnaround shall be 40 feet from the center line of the road. If a hammerhead/T is used, the top of the "T" shall be a minimum of 60 feet in length. . (Salinas Rural Fire District)	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	
			Applicant shall schedule fire dept. clearance inspection for each phase of development.	Applicant or owner	Prior to final building inspection.	
21.		FIRE008 - GATES All gates providing access from a road to a driveway shall be located at least 30 feet from the roadway and shall open to allow a vehicle to stop without obstructing traffic on the road. Gate entrances shall be at least the width of the traffic lane but in no case less than 12 feet wide. Where a one-way road with a single traffic lane provides access to a gated entrance, a 40-foot turning radius shall be used. Where gates are to be locked, the installation of a key box or other acceptable means for immediate access by emergency equipment may be required. (Salinas Rural Fire District)	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection.	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
22.		FIRE011 - ADDRESSES FOR BUILDINGS All buildings shall be issued an address in accordance with Monterey County Ordinance No. 1241. Each occupancy, except accessory buildings, shall have its own permanently posted address. When multiple occupancies exist within a single building, each individual occupancy shall be separately identified by its own address. Letters, numbers and symbols for addresses shall be a minimum of 4-inch height, 1/2-inch stroke, contrasting with the background color of the sign, and shall be Arabic. The sign and numbers shall be reflective and made of a noncombustible material. Address signs shall be placed at each driveway entrance and at each driveway split. Address signs shall be and visible from both directions of travel along the road. In all cases, the address shall be posted at the beginning of construction and shall be maintained thereafter. Address signs along one-way roads shall be visible from both directions of travel. Where multiple addresses are required at a single driveway, they shall be mounted on a single sign. Where a roadway provides access solely to a single commercial occupancy, the address sign shall be placed at the nearest road intersection providing access to that site. Permanent address numbers shall be posted prior to requesting final clearance. (Salinas Rural Fire District)	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Owner/ Applicant	Prior to issuance of building permit	
			Applicant shall schedule fire dept. clearance inspection.	Owner/ Applicant	Prior to final building inspection	
23.		FIRE030 – NON-STANDARD CONDITIONS ROAD ACCESS Access roads shall be required for every building when any portion of the exterior wall of the first story is located more than 150 feet from fire department access.	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	

Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed: Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
		All roads shall be constructed to provide a minimum width of 20 feet with an unobstructed vertical clearance of not less than 15 feet. The roadway surface shall provide unobstructed access to conventional drive vehicles including sedans and fire apparatus and shall be an all-weather surface designed to support the imposed load of fire apparatus (22 tons). Each road shall have an approved name. (Salinas Rural Fire District)				
			Applicant shall schedule fire dept. clearance inspection for each phase of development.	Applicant or owner	Prior to final building inspection.	
24.		FIRE026 - ROOF CONSTRUCTION (STANDARD) All new structures, and all existing structures receiving new roofing over 50 percent or more of the existing roof surface within a one-year period, shall require a minimum of ICBO Class B roof construction. (Salinas Rural Fire District)	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	
25.		<u>ADDED 3/21/07</u> FIRE030 –NON-STANDARD CONDITIONS – EMERGENCY ACCESS KEYBOX – Emergency access key box shall be installed and maintained. The type and location shall be approved by the fire department. The fire department shall be notified when locks are changed so that the emergency access key box can be maintained with current keys. (Salinas Rural Fire District)	<u>Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.</u>	<u>Applicant or owner</u>	<u>Prior to issuance of building permit.</u>	
			<u>Applicant shall schedule fire dept. clearance inspection for each phase of development.</u>	<u>Applicant or owner</u>	<u>Prior to commencement of use</u>	
26.		<u>ADDED 3/21/07</u> FIRE030 – NON-STANDARD CONDITIONS – PORTABLE FIRE EXTINGUISHERS – Portable fire extinguishers shall be installed and maintained in accordance with Uniform Fire Code Standard 10-1. (Salinas Rural Fire District)	<u>Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.</u>	<u>Applicant or owner</u>	<u>Prior to issuance of building permit.</u>	
			<u>Applicant shall schedule fire dept. clearance inspection for each phase of development.</u>	<u>Applicant or owner</u>	<u>Prior to commencement of use</u>	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
27.		<p>ADDED 3/21/07 FIRE030 – NON-STANDARD CONDITIONS – FIRE SPRINKLER SYSTEM – This project constitutes a change of occupancy, and, pursuant to Section 102.2.1, California Fire Code, 2001, as adopted by the Salinas Rural Fire District, the existing fire sprinkler system shall be modified to accommodate the proposed use and tenant improvement(s). Installation shall be in accordance with the applicable NFPA standard. A minimum of four (4) sets of plans for fire sprinkler systems must be submitted by a California licensed C-16 contractor and approved prior to installation. This requirement is not intended to delay issuance of a building permit. A rough sprinkler inspection must be scheduled by the installing contractor and completed prior to requesting a framing inspection. The existing fire sprinkler system shall undergo a 5-year test in accordance with Title 19, California Code of Regulations. Any necessary repairs shall be made and the system shall be tagged prior to occupancy. (Salinas Rural Fire District)</p>	Applicant shall enumerate as “Fire Dept. Notes” on plans.	Applicant or owner	Prior to issuance of building permit.	
			Applicant shall schedule fire dept. rough sprinkler inspection	Applicant or owner	Prior to framing inspection	
			Applicant shall schedule fire dept. final sprinkler inspection	Applicant or owner	Prior to commencement of use	
28.		<p>ADDED 3/21/07 FIRE030 – NON-STANDARD CONDITIONS - FIRE ALARM SYSTEM - (COMMERCIAL) This project constitutes a change of occupancy, and, pursuant to Section 102.2.1, California Fire Code, 2001, as adopted by the Salinas Rural Fire District, this building shall be fully protected with a fire alarm system. Any sprinklered building having 50 or more fire sprinklers shall be fully protected with an approved</p>	Applicant shall enumerate as “Fire Dept. Notes” on plans.	Applicant or owner	Prior to issuance of building permit.	
			Applicant shall submit fire alarm plans and obtain approval.	Applicant or owner	Prior to rough sprinkler or framing inspection	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		central station, proprietary station, or remote station automatic fire alarm system as defined by NFPA Standard 72. Plans and specifications for the fire alarm system shall be submitted by a California licensed C-10 contractor and approved prior to requesting a rough sprinkler or framing inspection. (Salinas Rural Fire District)	Applicant shall schedule fire alarm system acceptance test.	Applicant or owner	Prior to commencement of use	
29.		ADDED 3/21/07 FIRE030 –NON-STANDARD CONDITIONS – HYDRANTS AND FIRE FLOW- Existing hydrant(s) for fire protection serving the project location shall be flow tested by the Salinas Rural Fire District and shall conform to the following requirements: a. FIRE FLOW - Pursuant to Uniform Fire Code Appendix III-A, the minimum fire flow requirement for 10,000 square foot commercial facilities built with Type V-Non-Rated construction is 2,750 gallons per minute with a residual pressure of 20 psi under normal operating conditions for a duration of 2 hours. Fire flow for facilities protected with automatic fire sprinkler systems may be reduced to 1,500 gallons per minute with a residual pressure of 20 psi under normal operating conditions for a duration of 2 hours. b. HYDRANT SIZE - The hydrant shall have a minimum of two (2) 2-1/2 inch outlets NST and one (1) 4-1/2 inch outlet NST. The riser shall be a minimum of six (6) inches and shall be wet barrel type with a coefficient of 0.9. c. SIGNING OF WATER SOURCES - Hydrant or fire valve identification may be allowed as specified in the State Fire Marshal’s Guidelines for Fire Hydrant Markings Along State Highways and Freeways, May 1988. (Salinas Rural Fire District)	Applicant shall incorporate specification into design and enumerate as “Fire Dept. Notes” on plans. Applicant shall schedule fire dept. clearance inspection for each phase of development.	Applicant or owner Applicant or owner	Prior to commencement of use Prior to commencement of use	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
30.		ADDED 3/21/07 FIRE030 – NON-STANDARD CONDITIONS – AUTO REPAIR FACILITIES – The proposed auto repair facilities shall comply with the requirements of <u>Article 29, California Fire Code, 2001 edition. (Salinas Rural Fire District)</u>	Applicant shall comply with the requirements of Article 29, California Fire Code, 2001 edition.	Applicant or owner	Ongoing condition.	
	MM-1	MITIGATION MEASURE NO. 1 – TAMC FEES Applicant shall pay the Transportation Agency of Monterey County (TAMC) regional traffic mitigation fee in accordance with Table 7 of the TMC Nexus Study and as approved by TAMC. (Public Works)	Pay the required fee at the County of Monterey Public Works Department.	Owner/ Applicant/ Engineer	Prior to Building/ Grading Permits Issuance	

END OF CONDITIONS

"MIRSA'S PLAZA"

GENERAL NOTES

- All work shall conform to 2001 California Building Code (CBC), CMC, CPC, 2004 California Electrical Code, AND 2003 CA 24, The California Building Standards Code based on the 1997 UBC, 2000 UBC, and 2000 UPC.
- Owner: All workmanship and materials shall be guaranteed for a minimum of one year from completion date.
- No person may tap into any fire hydrant for any purpose other than fire suppression or emergency and without first obtaining written approval from the water purveyor supplying water to the hydrant and from the Monterey County Health Dept.
- All boxes used in connection with any construction activities shall be equipped with a shutoff nozzle. When an automatic shutoff nozzle can be purchased or otherwise obtained for the size or type of hose in use, the nozzle shall be an automatic shutoff nozzle.
- No potable water may be used for compaction or dust control purposes in construction activities where there is a reasonably available source of wellbored or other sub-potable water approved by the Monterey County Health Dept. and appropriate for such use.
- Adequate water shall be applied during construction in order to control dust caused by grading and construction.
- Contractor to determine the location of underground utilities and services and perform work in a manner which will avoid possible damage to such.
- Excavation: Excavate for utility trenches, sewer, drain lines and footings. Slope utility trenches uniformly. Backfill of footing and utility trenches shall be compacted of clean sand, mechanically compacted in 6" lifts to a minimum of 95 test on firm, undisturbed soil or compacted fill.
- Exterior Finish: Edging (1-1-11) D.F., exterior grade siding (to remain)
- Roofing: Edging (to remain) oil roof repair work is to match existing.
- Sheet Metal Flashing, fascia gutters, rainwater leaders, and roof jacks to be 26 ga. G.I.
- Windows: Existing to remain.
- Doors: Exterior doors shall be 1-3/4" thick, solid core wood. Interior doors shall be 1-3/8" thick hollow core, U.O.A.I.
- Insulation: No insulation to be used.
- All gypsum board in areas subject to moisture shall be water-resistant.
- Gypsum board utilized in fire-separation walls shall be 5/8" Type "X".
- All concrete used for this work shall comply with A.C.I. "Specifications for Structural Concrete" (A.C.I. 301-89). The material used to prepare the concrete shall meet the following standards:

Water	Clean, Potable
Portland Cement	ASTM C150
Coarse Aggregate (3/4" max)	ASTM C33
Fine Aggregate (No. 20)	ASTM C33-77

- All concrete used for this work shall be proportioned to meet the following 28 day ultimate compressive strength requirements:
- | | |
|---------------|----------|
| Footings | 2500 PSI |
| Slab on Grade | 2500 PSI |
- All reinforcing bars, anchor bolts, hold-downs and other embeds shall be well secured in place prior to concrete placement.
 - Reinforcing bars shall conform to ASTM A615 for deformed bars, Grade 40 for #4 bars and smaller, Grade 60 for #5 bars and larger.
 - All bars shall be clean of rust, grease or other materials likely to impair bond.
 - All reinforcing bar bends shall be made cold and conform to the ACI Manual of Standard Practice.
 - Reinforcing bars shall be wired together at splices and lapped 40 diameters (min).
 - U.O.A.I., minimum concrete coverage for reinforcing bars shall be as follows:
- | | |
|--|-----------------------|
| Concrete in contact with earth, unformed | 3" |
| Concrete in contact with earth, formed | 2" |
| Slab on grade | At mid-height of slab |
- All structural woodwork shall be done in accordance with the provisions of Chapter 23 of the CBC.
 - All structural lumber shall be Douglas Fir-Larch of the grade indicated below or better, unless otherwise noted on plans.
- | | |
|-----------------------------------|-----------------|
| Horizontal Framing 2x or Smaller | No.2 |
| Horizontal Framing 4x or Larger | No.1 |
| 2x4 Studs and Blocking | No.2 |
| 2x6 and Larger Studs and Blocking | No.2 |
| 4x4 Post | No.2 |
| 5x5 Posts or Larger | No.1 |
| Roof Trusses | No.1 |
| Wood Sill on Concrete | P.I. 1a, 1 |
| All Wood Exposed to the Elements | P.I. or Better. |

- Outlets, boring, or staining of girders, beams, joists and other structural elements shall not be permitted without the approval of the Designer or as specifically detailed on the drawings.
 - Holes for bolts in wood shall be drilled 1/16" larger than bolt diameter. Metal washers shall be provided for head nuts of bolts and lag screws that bear on wood.
 - Nailing: Common wire nails, galvanized where exposed to the exterior. Size and spacing of nails shall conform to Table 23-4.1-1 in 2001 CBC.
 - All framing clips, angles, post caps, bases, etc. shall be as manufactured by "Simpson Strong Tie Co." or equal and galvanized where exposed to the exterior.
 - U.O.A.I. headers shall consist of a solid member the width of the studs and a nominal depth as shown below:
- | | |
|--------------|---------------|
| Maximum Span | Nominal Depth |
| 3'-0" | 4" |
| 4'-0" | 6" |
| 6'-0" | 8" |
| 8'-0" | 10" |
| 11'-0" | 12" |

- All wood sills for structural walls shall be attached to concrete slabs or foundations with 3/8" diameter x 12" anchor bolts and with 2"x2" x 3/16" washers at 4'-0" maximum spacing or as noted on drawings.
- Wood sills for interior, non-structural partitions may be attached with powder driven pins per local code requirements. (When walls sit on concrete slab)
- Plans for one (1) gas line and appliance BVI sheets will be provided to the Building Inspection Office by the contractor before inspection.
- Waste lines shall be P.E.S. pipe, vent pipes shall be P.V.C. pipe, hot and cold water lines shall be copper pipe, type "L" underground and type "M" above ground.
- Toilets shall be ultra low-flow with a maximum flush capacity of 1.6 gallons.
- Lavatory and sink faucets shall have a maximum flow capacity of 2.2 gpm.
- Provide access panel (12"x12" min.) or utility space for all plumbing fixtures having concealed stop-valve connections.
- Provide pressure valve or mixing valve to limit water temperature to 120 degrees F. of tubs and showers.
- All hot water faucets that have more than 10 feet of pipe between the faucet and the hot water heater serving such faucet shall be equipped with a hot water recirculating system.
- All hot water piping in unheated areas shall be insulated with minimum R-3 insulation in accordance with Sec. 123 and Table 1-6 of the 7/1/93 Building Energy Efficiency Standards. Insulation of supply lines not made by building trades or envelope.
- Water Heaters: Contractor to install a new 18 gal. electric tank on top of each existing structure ceiling framing and strapped to walls. All water heaters shall be listed in the California Energy Commission list of approved water heaters. All appliances and water heaters must comply with the State of California Building Energy Efficiency Code, Sept., 1992 and with Sect. 600 O.M.P.C. 1997 for thermal expansion.
- All hose bibbs and junior sink faucets shall be equipped with permanently mounted vacuum breakers.
- Exhaust fans shall be capable of providing 3 air changes per hour, minimum. (at each exhaust space).
- Heating: No heating supplied to tenant spaces.
- Electrical: 800 amp main electrical panel.
- Provide separate GFCI circuits for remodeled restrooms receptacles.

FIRE PROTECTION NOTES:

- The opening around gas vents, ducts, and pipes of the ceiling shall be fireblocked with noncombustible materials.
- Provide fireblocking at 10-foot intervals in the wall both horizontal and vertical.
- Emergency access key box shall be installed and maintained. The type and location shall be indicated on plans. Key boxes shall be changed so that the emergency access key box can be reactivated with standard keys. (Prior to commencement of use)
- Portable fire extinguishers shall be installed and maintained in accordance with Uniform Fire Code Standards 10-1. (Prior to commencement of use)
- Fire sprinklers: The building shall be protected with an automatic fire sprinkler system. Installation, operation and maintenance shall be in compliance with applicable National Fire Protection Association Standard 130 and local ordinances, the edition(s) of which shall be determined by the enforcing jurisdiction. (Prior to framing completion and commencement of use)
- Fire Sprinkler System: The existing fire sprinkler system shall be modified to accommodate the proposed use and tenant improvements. Installation shall be in accordance with the applicable NFPA standards. Four sets of plans for fire sprinkler systems must be submitted by a California Licensed C-18 contractor and approved prior to installation. A rough sprinkler projection must be scheduled by the installing contractor and completed prior to receiving a framing inspection. The existing fire sprinkler system shall undergo a 3-year test in accordance with the 19. California Code of Regulations. Any necessary repairs shall be made and the system shall be logged prior to occupancy.
- Fire Alarm System: The building shall be fully protected with a fire alarm system. Any sprinklered building having 50 or more fire sprinklers shall be fully protected with an approved central station, proprietary station, or remote station automatic fire alarm system as defined by NFPA Standard 72. (Prior to rough sprinkler or framing inspection and commencement of use)
- Hydrants and Fire Pumps: Existing hydrants for fire protection serving the project location shall be fire tested by the Salinas Rural Fire District and shall conform to the following requirements:
 - Fire Pumps: Pursuant to Uniform Fire Code Appendix B-A, the minimum fire flow requirement for 10,000 sq. ft. commercial facilities with Type V-H construction is 750 gpm with a residual pressure of 20 psi under normal operating conditions for a duration of 2 hours.
 - Fire Pumps: Pursuant to Uniform Fire Code Appendix B-A, the minimum fire flow requirement for 10,000 sq. ft. commercial facilities with Type V-H construction is 750 gpm with a residual pressure of 20 psi under normal operating conditions for a duration of 2 hours.
 - Hydrants: Existing hydrants shall have a minimum of (2) 2-1/2" outlets and a (1) 4-1/2" outlet. The fire shall be a minimum of 6" and shall be well barrel type with a coefficient of 1.0.
 - Spinks of Water Sources: Method of fire flow identification may be obtained on specified sites. The State Fire Marshal's Guidelines for Fire Hydrant Markings along State Highways and Freeways, May 1982.
- Auto Repair Facilities: The proposed auto repair facilities shall comply with the requirements of Article 29, California Fire Code, 2001 edition. (Pending condition)

FIRE DEPARTMENT NOTES

- Access roads shall be required for every building when any portion of the exterior wall is first story to located more than 150 feet from the fire department access. All roads shall be constructed to provide a minimum width of 20 feet with an unobstructed vertical clearance of not less than 15 feet. The roadway surface shall provide unobstructed access to commercial fire vehicles including access and approach and shall be constructed to meet minimum standards for supporting a proposed load of fire apparatus (25 tons). Each road shall have an approved, durable, (Prior to issuance of grading and/or building permit and final building inspection)
- Dead-End Roads: Not applicable.
- Roadway Obstructions: Not applicable, driveway is existing.
- Storage: Storage materials shall be provided with Fire Department vehicles meeting Fire Department specifications. Gate openings shall be at least the width of the vehicle plus 12 feet. Storage shall be not less than 15 feet.
- Roof construction shall be Class A or B, with fire resistive materials, or as approved by the enforcing Authority. This requirement shall apply to all new construction and existing roofs that are replaced so as to affect 50 percent or more of the roof. (Fire District)

BUILDING CODE DATA:

- PROJECT ADDRESS: 1704B EL RANCHO WY., SALINAS CA, 93907
- A.P.N.: 261-131-029-000
- ZONED: H-O-SP
- OCCUPANCY: 3-3
- PREVIOUS TENANT USE: COMMERCIAL
- NEW TENANT USE: COMMERCIAL
- DESCRIPTION OF PROPOSED USE: "AUTO REPAIR SHOP" AND AUTO STORAGE
- NUMBER OF EMPLOYEES: 5 PERSONS (1 PER TENANT SPACE)
- FLOOR AREAS: AUTO REPAIR = 1,500 S.F. EACH, NEW TRUCK SERVICE, AUTO STORAGE = 4,000 S.F.
- TOTAL FLOOR AREA = 10,000 S.F.
- NUMBER OF STORES: ONE
- TYPE OF CONSTRUCTION: U-M
- SPRINKLERED: YES
- ENERGY METHOD: N/A
- 40' CEILING: B.U.B.
- CODE CONTROL: 2001 CA - BLDG., MECH., PLUMBING, E.T.C. 2003 CAL. ELEC. AND 2003 CA 24

PROJECT DESCRIPTION:

- EXISTING EXISTING PAVED PARKING LOT FOR CUSTOMERS & EMPLOYEES, INCORPORATE FIRE DEPARTMENT REQUIREMENTS.
- LANDSCAPE EXISTING SITE TO MEET 10% OF SITE LANDSCAPING REQUIREMENT.
- LAND EXISTING BUILDING A.B.A. ACCESSIBLE BY PROVIDING H.C. PARKING, EXIST EXISTING DRIVEWAY AND ACCESS REPAIRED EXISTING DRIVEWAY.
- EXISTING TRUCK SERVICE FACILITIES A.B.A. COMPLIANT.
- PROVIDE OTHER LABOR INTERIOR TENANT IMPROVEMENTS.

PARKING REQUIREMENTS:

- (1) PARKING SPACE FOR EACH 500 S.F. OF AUTO REPAIR AND STORAGE AREA. TOTAL AREA = 10,000 S.F. PARKING REQUIRED = 20
- PARKING PROVIDED = 22 SPACES
- HANDICAP PARKING REQUIRED = 1 SPACE. N/A. PARKING PROVIDED = 2 SPACES

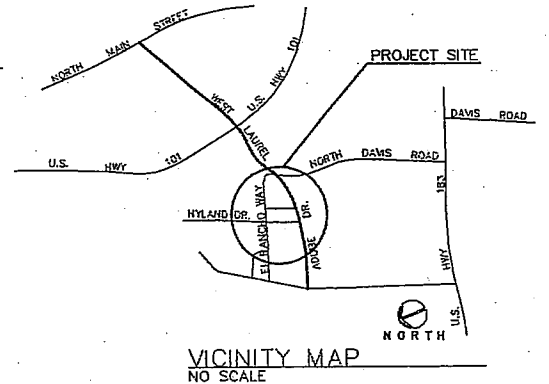
WATER RESOURCES NOTE:

- Drainage Plan (DW): Prior to issuance of any grading or building permits, the applicant shall supply the Water Resources Agency a drainage plan prepared by a registered civil engineer or architect addressing on-site and off-site impacts, that includes existing stormwater runoff from the paved parking areas to off-growing water pollutants. Drainage improvements shall be constructed in accordance with plans approved by the Water Resources Agency. (Prior to issuance of any grading or building permits)

WINTER GRADING MEASURES

- VEGETATION REMOVAL: BETWEEN OCTOBER 15th AND APRIL 15th SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS. DURING THE PERIOD EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE.
- BETWEEN OCTOBER 15th AND APRIL 15th, DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- RUN-OFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY REPAIRS, VEGETATED FILTER STRIPS AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA. THESE EROSION CONTROL MEASURES MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
- THE CHIEF BUILDER OFFICIAL MAY STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.
- DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION OR ADJACENT TO THE ROADWAY OR ON COMMON PROPERTIES. EROSION-PROOF SURFACING MAY BE REQUIRED IN AREAS OF HIGH EROSION HAZARD.

SHEET SCHEDULE	
SHT. #	DRAWING DESCRIPTION
1.	GENERAL NOTES
2.	SITE PLAN & ELEVATIONS
3.	SITE DETAILS, NOTES
4.	EXISTING/DEMO PLAN, NEW FLOOR PLAN
5.	RESTROOM ELEVATIONS, NOTES
6.	NAILING SCHEDULE, SECTION & DETAILS



REVISIONS	BY

DATE: 04-17-05
SCALE: NO SCALE
DATE: 12/12/05

1. GENERAL NOTES
2. VICINITY MAP

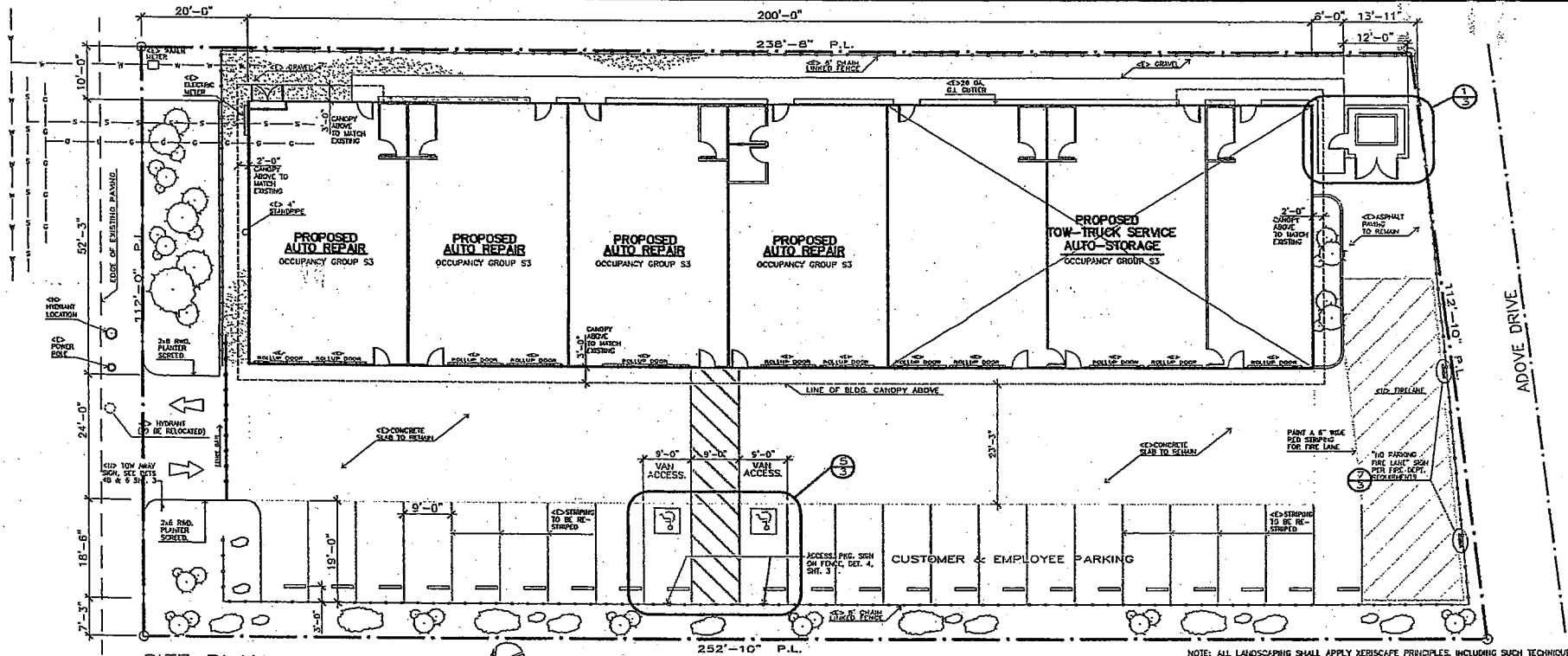
A.Q. DESIGNS
Professional Drafting Consultant
(831) 424-5181
Arturo Quintero

AUTO STORAGE & SHOPS
FOR: Mirso's Auto Parts and Towing
1704B EL RANCHO WY., SALINAS, CALIF. 93907
(831) 757-3023
APR. 26-131-038-000

SHEET 1
OF 6 SHEETS

EL RANCHO WAY

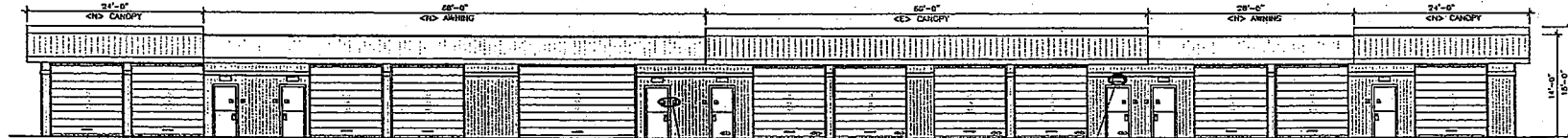
ADOVE DRIVE



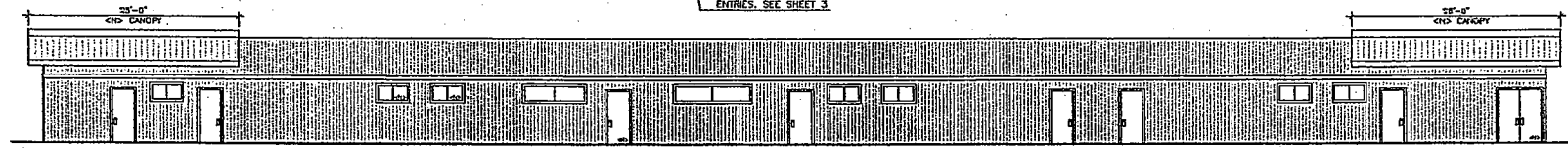
SITE PLAN
1" = 10' R



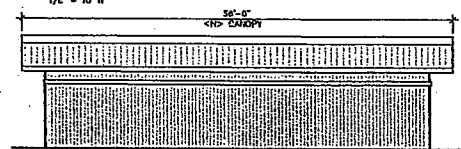
NOTE: ALL LANDSCAPING SHALL APPLY XERISCAPE PRINCIPLES, INCLUDING SUCH TECHNIQUES AND MATERIALS AS NATIVE OR LOW WATER USE PLANTS AND LOW PUMPATION SPRINKLER HEADS, BUBBLERS, DRIP IRRIGATION SYSTEMS AND TRUNG DEVICES.



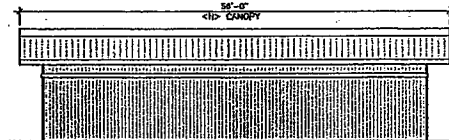
FRONT (WEST) ELEVATION
1/8" = 10' R



REAR (EAST) ELEVATION
1/8" = 10' R



RIGHT (SOUTH) ELEVATION
1/8" = 10' R



LEFT (NORTH) ELEVATION
1/8" = 10' R

REVISIONS	BY

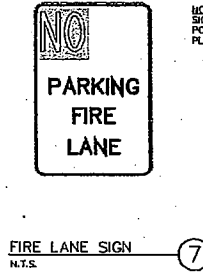
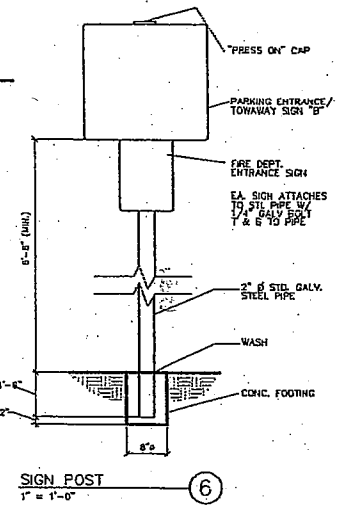
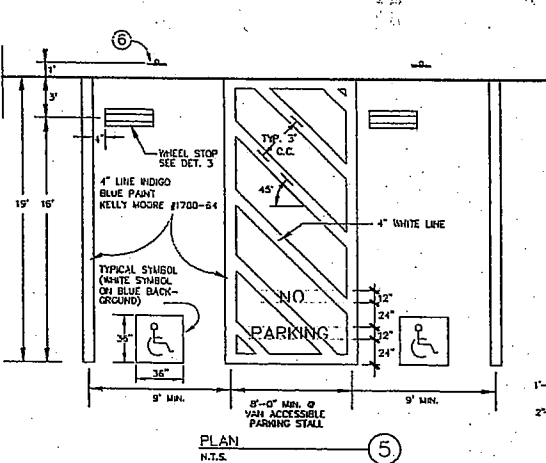
DATE: 12/12/05
SCALE: AS NOTED

1. SITE PLAN
2. ELEVATIONS

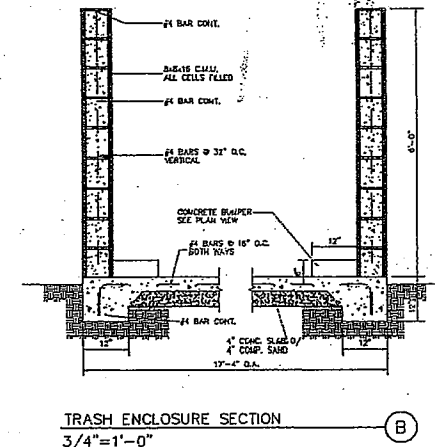
A.O. DESIGNS
Professional Drafting Consultant
(831) 424-5191
Arturo Quintana
233 W. 4th St.
San Jose, CA 95128



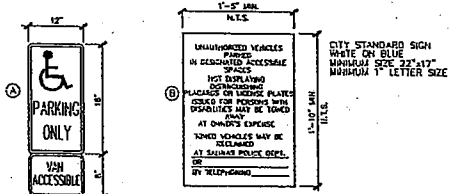
AUTO STORAGE & SHOPS
FOR: Mirco's Auto Parts and Towing
17014 EL RANCHO WY.
SALINAS, CALIF.
(831) 757-8023
APNF: 261-131-059-000



NOTE:
SIGN IS TO BE WALL, FENCE, OR
POST HUNG, AS NOTED ON SITE
PLAN.

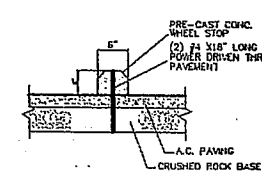


TRASH ENCLOSURE SECTION
3/4" = 1'-0"

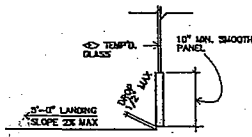


STATE STANDARD R99 SIGN
WHITE ON BLUE
1/2" X 1/2"
3" SERIES B LETTERS
(MOUNT ON FENCE)

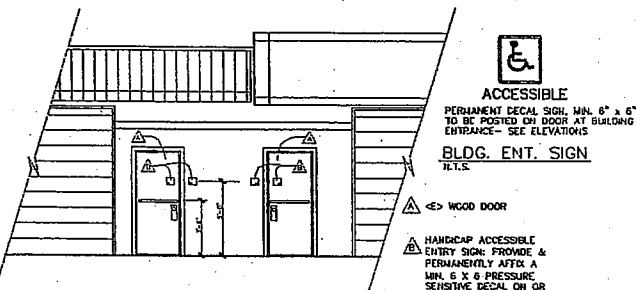
DISABLED PARKING STANDARDS
N.T.S.



CONCRETE WHEEL STOP
1" = 1'-0"



LANDING @ DOOR
N.T.S.



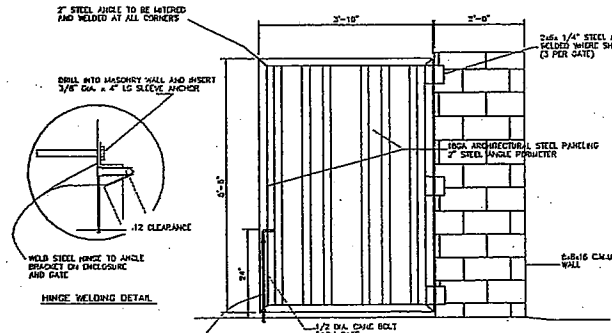
PARTIAL FRONT ELEVATION
1/4" = 1'-0"

PARKING NOTES

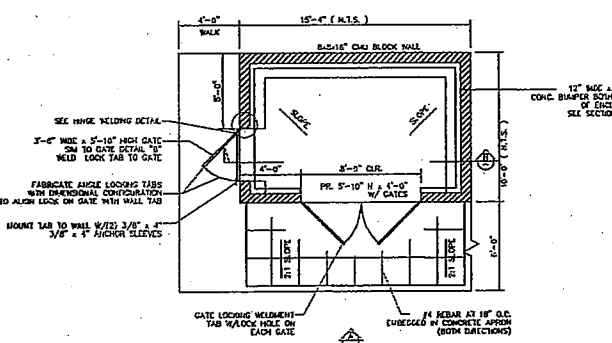
- DRAWING NOT TO SCALE.
- PAVEMENT MARKINGS AND STRIPING SHALL BE IN ACCORDANCE WITH STATE SPECIFICATION 8010-12-02, 04 AND 05; AND SECTION 84-3.
- EACH COAT SHALL BE APPLIED AT THE RATE OF 1 GALLON PER 107 SQUARE FEET (MIN. 2 COATS)
- REFLECTORIZATIONS (GLASS SPHERES) SHALL BE TYPE II PER STATE SPECIFICATION 8010-71L-22, APPLIED AT 5 POUNDS PER GALLON FOR EACH COAT.
- SIGNS SHALL BE IN ACCORDANCE WITH SECTION 96-2 OF THE STANDARD SPECIFICATIONS AND PLANS.
- PARKING STALLS SHALL HAVE A MINIMUM SIDE CLEARANCE OF 1' FROM COLUMNS, WALLS, AND OTHER STRUCTURES.
- ALTERNATE PARKING ANGLES AND/OR LAYOUTS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL.
- SIGN MATERIAL SHALL BE 3M SCOTCHGUTE REFLECTIVE SHEETING - DIAMOND GRADE OR APPROVED EQUAL.

DOOR/EXIT NOTES

- NEW EXIT SIGNS SHALL BE PER EBC SECT. 1603.2.8. THE PATH OF TRAVEL TO AND FROM EXITS SHALL BE IDENTIFIED BY THESE SIGNS.
- NO POINT SHALL BE MORE THAN 100 FEET FROM THE NEAREST VISIBLE SIGN.
- PLACE SIGN ON DOOR HEADER IN 1" HIGH BLOCK LETTERS TO READ "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS".
- THE COLOR AND DESIGN OF LETTERING, ARROWS AND OTHER SYMBOLS ON EXIT SIGNS SHALL BE HIGH IN CONTRAST WITH THEIR BACKGROUND. EXIT SIGNS SHALL HAVE THE WORD "EXIT" ON THE SIGN IN BLOCK CAPITAL LETTERS NOT LESS THAN 6" IN HEIGHT WITH A STROKE OF NOT LESS THAN 3/4". THE WORD "EXIT" SHALL HAVE LETTERS HAVING A WIDTH OF NOT LESS THAN 2" AND A MINIMUM SPACING BETWEEN LETTERS OF NOT LESS THAN 3/8".
- ILLUMINATION: EXIT SIGNS SHALL BE INTERNALLY ILLUMINATED WITH AN INTENSITY OF NOT LESS THAN 5 FOOT-CANDELES. ALL EXIT SIGNS SHALL BE REILLUMINATED AT ALL TIMES. THE EXIT SIGNS SHALL ALSO BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM PROVIDED FROM STORAGE BATTERIES, LAUNCH CHARGER, OR ON SITE GENERATOR SET, AND THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE ELECTRICAL CODE.
- WHY THE TIME THE BUILDING IS OCCUPIED, THE MEANS OF EGRESS SERVING THE OCCUPIED PORTION SHALL BE REILLUMINATED AT AN INTENSITY OF NOT LESS THAN 1 FOOTCANDLE AT THE FLOOR LEVEL.
- ADDITIONAL EXIT SIGNS MAY BE REQUIRED DURING FINAL INSPECTION. EXACT LOCATIONS MAY BE ALTERED DURING FINAL INSPECTION.
- EXIT DOORS: SHALL OPEN FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. DEAD BOLTS OR SECURITY CHAINS ARE NOT TO BE MOUNTED MORE THAN 48" ABOVE THE FLOOR. LATCHES AND LOCKING DEVICES THAT ARE HAND ACTIVATED SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HORIZONTAL PULL BARS, PUSH-PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPERATING HARDWARE. THE ACTIVATING MEMBER SHALL BE MOUNTED AT A HEIGHT OF NOT LESS THAN 30" NOR MORE THAN 44" ABOVE THE FLOOR. THE UNLATCHING FORCE SHALL NOT EXCEED 5 LBS. FOR INTERIOR AND EXTERIOR DOORS AND 15 LBS. FOR REQUIRED FIRE DOORS WHEN APPLIED IN THE DIRECTION OF TRAVEL. THE BOTTOM 10" OF A DOOR MUST HAVE A SMOOTH, UNINTERRUPTED SURFACE. ALL EGRESS DOORS SHALL SWING IN THE DIRECTION OF EGRESS.
- ALL INTERIOR DOORS SHALL HAVE LEVER TYPE HARDWARE MOUNTED BETWEEN 30" AND 44".
- GLASS ON-SITE SECURITY LIGHTS HAVE CUT OFF LENSES AND SHIELDS THAT ELIMINATE IMPACT TO ADJACENT PROPERTIES AND STREET TRAFFIC.



GATE DETAIL
3/4" = 1'-0"



TRASH ENCLOSURE
1/4" = 1'-0"

REVISONS
 NO. 1. TRASH ENCLOSURE DETAILS
 2. HANDICAP SITE REGULATIONS & SIGNAGE
 3. MEC. SITE DETAILS
 DATE 2.13.23
 BY JAS. NOTED
 DATE 12/12/23
 PROJECT 1709B EL RANCHO WY. SALINAS, CALIF.
 95077
 APN# 261-131-039-000

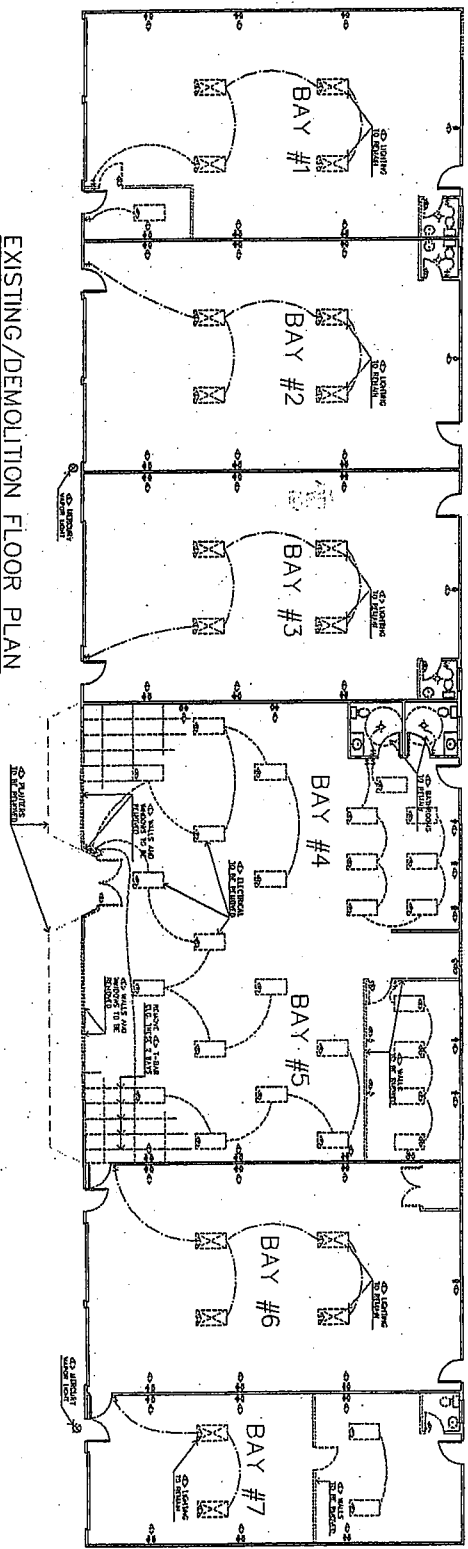
A. Q. DESIGNS
 Professional Building Consultant
 (831) 424-5781
 Arturo Gutierrez

AUTO STORAGE & SHOPS
 FOR: Mirco's Auto Parts and Towing
 1709B EL RANCHO WY. SALINAS, CALIF.
 95077
 APN# 261-131-039-000

SHEET 3 OF 6

EXISTING/DEMOLITION FLOOR PLAN
1/8" = 1'-0"

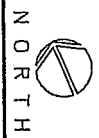
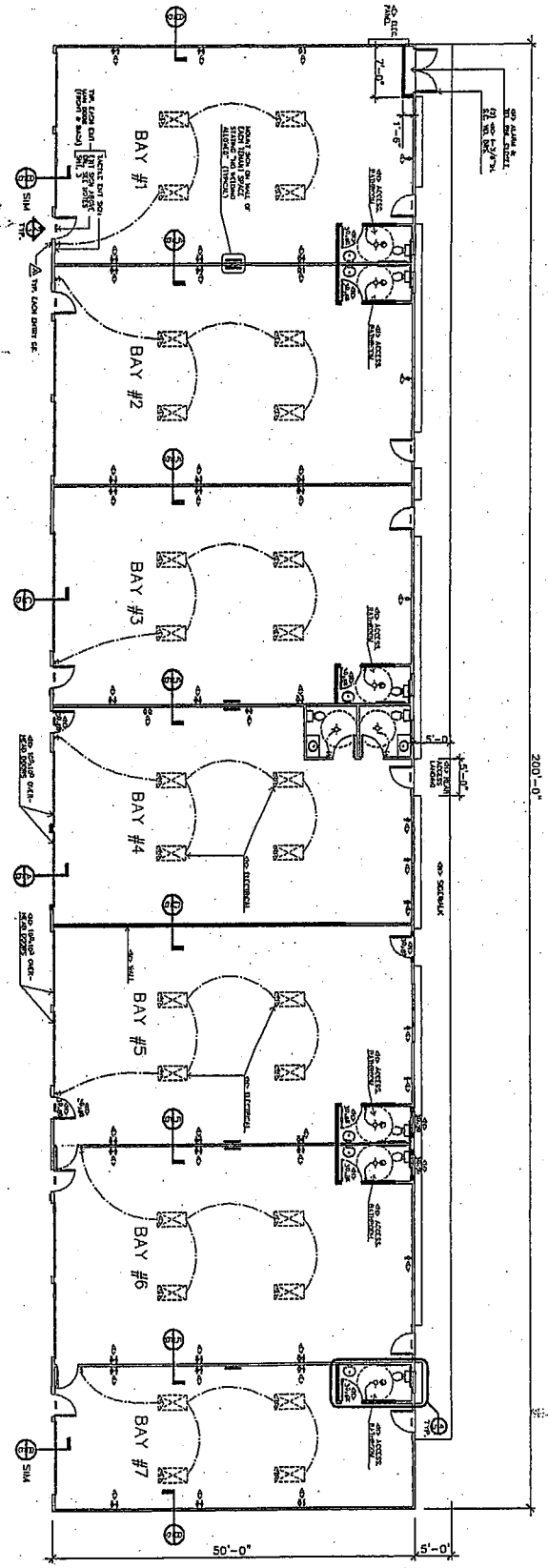
KEY
 EXISTING WALLS
 DEMOLITION WALLS



NEW FLOOR PLAN
1/8" = 1'-0"

KEY
 EXISTING WALLS
 NEW WALLS

NOTE: FOR ACCESS, AIRFLOW PLANS
 TO BE SUBMITTED WITH THIS PERMIT
 APPLICATION. ALL ACCESS DOORS TO BE
 3'-0" MIN. CLEARANCE.



Sheet
 4
 of
 5
 Sheets

AUTO STORAGE & SHOPS
 FOR: **Mirsa's Auto Parts and Towing**
 17048 EL RANCHO WY. SALINAS, CALIF. 93907
 (831) 757-8023
 APN#: 261-131-039-000



A.Q. DESIGNS
 Professional Drafting Consultant
 (831) 424-5101
 Arturo Quintero
 235 1/2 Sofias St.
 Salinas, CA 93901

1. EXISTING/DEMOLITION PLAN
 2. NEW FLOOR PLAN
 Date: 12/12/05
 Scale: 1/8" = 1'-0"

Job#: 24-777-55

CS/SS/MS
 12/12/05

RUIZ PLN050226
GENERAL DEVELOPMENT PLAN
17048 El Rancho Way, Salinas

Proposed Use:

Use Permit for truck tow & storage operation in an existing 10,000 sq. ft. commercial warehouse with 22 parking spaces on 0.6 acre parcel.

Operation:

Hours: 8:00 a.m. to 6:00 p.m. Monday through Friday, and 9:00 a.m. to 6:00 p.m. Saturday, closed Sundays

Employees: up to ten employees.

Tow and storage business: shall operate out of three of the seven bays within the warehouse, no tow trucks or any vehicles shall be stored outside the building. No repairs or storage of vehicles would be allowed outside of the service bays and no storage of vehicles is allowed on the public street on El Rancho Way.

Parking:

- Minimum 20 spaces, and per Monterey County Parking Standards.
- Four spaces designated to each use for both employee and customer use.
- Parking lot shall continue to be enclosed within a fence and gated.
- Bike Racks: four spaces on-site that enable bikes to be locked to the rack

Site improvements:

- Curbs, gutters and sidewalks shall be installed along El Rancho Way.
- Trash enclosure
- Interior and minor exterior remodeling would consist of new paint, the installation of new awnings. The colors shall be similar to the nearby hotel

Uses allowed:

- Auto related uses include: light mechanical repairs, such as wheels and brakes, smog inspection, and installation of stereo sound systems.
- Other allowed uses include plumbing and small appliance repairs.

Uses not allowed:

Heavy mechanical work such as removing and rebuilding engines, open flame welding, auto body or painting, tire repairs and installation.

Landscaping Plan:

- All landscaping shall be consistent with the approved landscape plan including landscaping along the El Rancho Way frontage, the property line to the west, and

along Calle del Adobe. Landscaping includes the installation of trees for visual screening and a noise buffer between the commercial and residential uses.

- All landscaped areas and fences shall be continuously maintained by the applicant; and all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.
- The existing fence shall be improved with either a new fence or the addition of wood colored slats.

Sign Program:

All signage shall be consistent with the approved sign program.

Exterior Lighting:

All exterior lighting shall be consistent with the approved exterior lighting plan.