

JEFF MAIN
ZONING ADMINISTRATOR

STATE OF CALIFORNIA
COUNTY OF MONTEREY

RESOLUTION NO. 060123

A.P.# 416-212-015-000

In the matter of the application of
Franklin D. White, Jr. and Lucinda June White (PLN060123)

FINDINGS & DECISION

for a **Use Permit** in accordance with Title 21 (Zoning) Chapter 21.74 (Use Permits) of the Monterey County Code, Use Permit to rectify Code Enforcement Case CE040209 to allow development on slopes in excess of 30% for the reconstruction of a 4,401 square foot, two-story single family dwelling with an attached 568 square foot two-car garage and 90 square feet of balconies; an approximately 775 linear foot driveway/fire access road; a septic disposal system; and grading (approximately 1,200 cubic yards cut/980 cubic yards fill). The property is located at 154 San Benancio Road, Salinas, Toro Area., came on regularly for hearing before the Zoning Administrator on May 31, 2007.

Said Zoning Administrator, having considered the application and the evidence presented relating thereto,

FINDINGS OF FACT

1. FINDING: CONSISTENCY – The project, as described in Condition No. 1 and as conditioned, conforms to the policies, requirements, and standards of the Monterey County General Plan, Toro Area Plan, Toro Area Plan Inventory and Analysis, and the Monterey County Zoning Ordinance (Title 21), which designates this area as appropriate for development.

- EVIDENCE:**
- (a) The text, policies, and regulations in the above referenced documents have been evaluated during the course of review of applications. No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
 - (b) The property is located at 154 San Benancio Road, Salinas, (Assessor's Parcel Number 416-212-015-000), Toro Area Plan. The parcel is zoned "RC/40" or Resource Conservation, 40 acres per unit. The subject property complies with all the rules and regulations pertaining to zoning uses and any other applicable provisions of Title 21, and is therefore suitable for the proposed development.
 - (c) The project for a single-family dwelling with detached garage is a use allowed use in accordance with Section 21.36.030.A and is consistent with the development standards of Section 21.36.060.
 - (d) Development on slopes in excess of 30% is a use allowed pursuant to Section 21.64.230 subject to a Use Permit and substantial evidence that no alternative location for development exists. See Finding No. 3.
 - (e) The project was not reviewed by the Toro Land Use Advisory Committee (LUAC). This application consists of a Use Permit to stabilize slopes exceeding 30% and rectifying related Code Enforcement activities for the reconstruction of an exiting residence. No new development on slopes exceeding 30% is requested in this application.
 - (f) The project planner conducted a site inspection on July 13, 2006 to verify that the project on the subject parcel conforms to the plans listed above.
 - (g) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN060123.

2. FINDING: SITE SUITABILITY – The site is physically suitable for the use proposed.

EVIDENCE: (a) The project has been reviewed for site suitability by the following departments and agencies: RMA - Planning Department, Salinas Rural Fire Protection District, Public Works, Environmental Health Division, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.

(b) Technical reports by outside biological, archaeological, and geotechnical consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use propose. County staff concurs. The following reports have been prepared:

i. A “Cultural Resources Survey Report” has been prepared for this parcel by Greenwood and Associates, Pacific Palisades, CA, dated December, 2006 and is on record at the Monterey County RMA – Planning Department, Library No. LIB070117.

ii. A “Geotechnical Engineering Report” has been prepared for this parcel by Earth Systems Pacific, Hollister, CA, dated January 16, 2007 and is on record at the Monterey County RMA – Planning Department, Library No. LIB070118.

iii. A Tree Assessment Forest Management Plan has been prepared for this parcel by Frank Ono, Forester, Pacific Grove, CA, dated November 20, 2006 and is on record at the Monterey County RMA – Planning Department, Library No. LIB070119.

(c) According to the Toro Area Plan, the site is located in an area designated as having a VI or “very high” landslide and erosion, susceptibility and within an IV or “moderately high” seismic hazard zone. The geotechnical report prepared for this parcel accounts for these high hazards. Condition No. 5 has been incorporated requiring that a geotechnical certification be submitted to the Director of the RMA - Planning Department for review and approval prior to final building inspection.

(d) Staff conducted a site inspection on July 13, 2006 to verify that the site is suitable for this use.

(e) Materials in Planning File No. PLN060123.

3. FINDING: DEVELOPMENT ON SLOPES IN EXCESS OF 30% - Pursuant to Section 21.64.230.E.1.a of the Monterey County Zoning Ordinance (Title 21) staff finds there is no feasible alternative, which would allow development to occur on slopes less than 30%.

EVIDENCE: (a) Development activities are requested in areas surrounding the reconstructed residence. The original residence was constructed circa 1950. Improvements to the residence requires adherence to present health and safety regulations. The application requests development on slopes exceeding 30% to provide the required building department requirements for the clearance area between the rear of the structure and the retaining wall. According to the Geotechnical report prepared for this parcel, 9 feet of fill will be placed at the front of the residence development to create a 2:1 slope in order to facilitate a driveway and auto court at 15% grade. At the rear of the residence, approximately 9 feet of cut will be made to reduce the inclination of the existing slope descending toward the back of the residence.

(b) A “Geotechnical Engineering Report” has been prepared for this parcel by Earth Systems Pacific, Hollister, CA, dated January 16, 2007, Monterey County RMA – Planning Department, Library No. LIB070118, supports that development is appropriate at this site given that the construction incorporates the report’s recommendations.

- (c) The application, plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File No. PLN060123.
- (d) Staff conducted an on-site inspection on July 13, 2006 to verify that no feasible alternative exists.

4. FINDING: CEQA (Exempt) - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- (a) California Environmental Quality Act (CEQA) Guidelines Section 15303 categorically exempts single-family dwellings.
 - (b) California Environmental Quality Act (CEQA) Guidelines Section 15304 categorically exempts minor alteration to land.
 - (c) According to the Toro Area Plan, the parcel is located within an area of "high" archeological sensitivity, Figure 13, and an area designated as having vegetation, which consists of woodlands and chaparral, Figure 11. No protected trees will be removed. Staff review of the application, plans, and related support materials indicates that the parcel is not located in an area of high environmental concern.
 - (c) No adverse environmental effects were identified during staff review of the development application during a site visit on July 13, 2006.
 - (d) See preceding and following findings and supporting evidence.

5. FINDING: NO VIOLATIONS - This Use Permit rectifies pending CE040209 thereby, the subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. Approval of this application, PLN060123, and adherence to the conditions of approval rectifies Code Enforcement Case No. CE040209 for the rebuilding of a single-family dwelling, the addition to a single-family dwelling, reconstruction of the attached garage, and covered porch.

- EVIDENCE:**
- (a) The applicants have applied for this Use Permit for development on slopes exceeding 30% to comply with the regulations governing development on slopes and to complete the construction related activities required to clear Code Enforcement File No. CE040209
 - (b) According to the Toro Area Plan, the site is located in an area designated as having a VI or "very high" landslide and erosion, susceptibility and within an IV or "moderately high" seismic hazard zone. The geotechnical report prepared for this parcel accounts for these high hazards. Condition No. 5 has been incorporated requiring that a geotechnical certification be submitted to the Director of the RMA - Planning Department for review and approval prior to final building inspection.
 - (c) See preceding findings and evidence.
 - (d) Staff conducted a site inspection on July 13, 2006 to verify that the subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's Zoning Ordinance (Title 21).
 - (e) Application, plans, and related support materials found in Project File PLN060123.

6. FINDING: HEALTH AND SAFETY - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

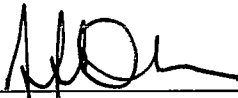
EVIDENCE: Preceding findings and supporting evidence.

7. **FINDING: APPEALABILITY** - The decision on this project is appealable to the Planning Commission.
EVIDENCE: Section 21.80.040.B Monterey County Zoning Ordinance (Title 21).

DECISION

THEREFORE, it is the decision of the Zoning Administrator that said application for a Use Permit be granted as shown on the attached sketch, and subject to the attached conditions.

PASSED AND ADOPTED this 31st day of May, 2007.



JEFF MAIN, ZONING ADMINISTRATOR

COPY OF THIS DECISION WAS MAILED TO THE APPLICANT ON JUN 14 2007

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY TO THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE JUN 24 2007

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning and Building Inspection Department office in Salinas.

2. This permit expires two years after the above date of granting thereof unless construction or use is started within this period.

**Monterey County Resource Management Agency
Planning Department
Condition Compliance Reporting Plan**

Project Name: Franklin D. Jr. White & Lucinda June White
File No: PLN060123 **APN:** 416-212-015-000
Approved by: Zoning Administrator **Date:** May 31, 2007

**Monitoring or Reporting refers to projects with an EIR or adopted Mitigated Negative Declaration per Section 21081.6 of the Public Resources Code.*

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
1.		<p>PD001 - SPECIFIC USES ONLY This Use Permit (PLN060123) rectifies Code Enforcement Case CE040209 and allows development on slopes in excess of 30% for the construction of a 4,401 square foot, two-story single family dwelling with an attached 568 square foot two-car garage and 90 square feet of balconies; a septic disposal system; and grading approximately 1,200 cubic yards cut/ 980 cubic yards fill). The property is located at 154 San Benancio Road, Salinas (Assessor's Parcel Number 416-212-015-000), Toro Area. This permit was approved in accordance with County ordinances and land use regulations subject to the following terms and conditions. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of the Resource Management Agency - Planning Department. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. [Resource Management Agency (RMA) - Planning Department]</p>	Adhere to conditions and uses specified in the permit.	Owner/ Applicant	Ongoing unless otherwise stated	

2.		<p>PD002 - NOTICE-PERMIT APPROVAL The applicant shall record a notice which states: "A permit (Resolution No. 060123) was approved by the Zoning Administrator for Assessor's Parcel Number 239-011-023-000 on May 31, 2007. The permit was granted subject to 23 conditions of approval, which run with the land. A copy of the permit is on file with the Monterey County Resource Management Agency - Planning Department." Proof of recordation of this notice shall be furnished to the Director of RMA - Planning Department prior to issuance of building permits or commencement of the use. (RMA - Planning Department)</p>	Proof of recordation of this notice shall be furnished to the RMA - Planning Department.	Owner/ Applicant	Prior to the issuance of grading permit	
3.		<p>PD003(A) – CULTURAL RESOURCES – NEGATIVE ARCHAEOLOGICAL REPORT If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. The Monterey County RMA - Planning Department and a qualified archaeologist (i.e., an archaeologist registered with the Society of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery. (RMA - Planning Department)</p>	Stop work within 50 meters (165 feet) of uncovered resource and contact the Monterey County RMA - Planning Department and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.	Owner/ Applicant/ Archaeologist	Ongoing	
4.		<p>PD007 - GRADING-WINTER RESTRICTION No land clearing or grading shall occur on the subject parcel between October 15 and April 15 unless authorized by the Director of RMA - Building Services Department. (RMA - Planning Department and Building Services Department)</p>	Obtain authorization from the Director of RMA - Building Services Department to conduct land clearing or grading between October 15 and April 15.	Owner/ Applicant	Ongoing	

5.		<p>PD009 - GEOTECHNICAL CERTIFICATION Prior to final inspection, the geotechnical consultant shall provide certification that all development has been constructed in accordance with the geotechnical report. (RMA – Planning Department and Building Services Department)</p>	Submit certification by the geotechnical consultant to the RMA – Building Services Department showing project’s compliance with the geotechnical report.	Owner/ Applicant/ Geotechnical Consultant	Prior to final inspection	
6.		<p>PD043 – GRADING PERMITS REQUIRED A grading permit is required for new private single family access driveways greater than fifty (50) feet in total length that require 100 cubic yards or more of earthwork. An over the counter (OTC) grading permit may be issued for new private single family access driveways greater than fifty (50) feet in total length that require less than 100 cubic yards of earthwork.. (RMA – Planning Department and Building Services Department)</p>	If applicable, apply and receive the appropriate grading permit from Monterey County RMA – Building Services Department.	Owner/ Applicant/ Engineer	Prior to the issuance of grading or building permits	
7.		<p>PD010 - EROSION CONTROL PLAN AND SCHEDULE The approved development shall incorporate the recommendations of the Erosion Control Plan as reviewed by the Director of RMA – Planning and Director of Building Services. All cut and/or fill slopes exposed during the course of construction be covered, seeded, or otherwise treated to control erosion during the course of construction, subject to the approval of the Director of RMA - Planning and Director of RMA - Building Services. The improvement and grading plans shall include an implementation schedule of measures for the prevention and control of erosion, siltation, and dust during and immediately following construction and until erosion control planting becomes established. This program shall be approved by the Director of RMA - Planning and Director of RMA - Building Services. (RMA - Planning Department and RMA - Building Services Department)</p>	An Erosion Control Plan shall be submitted to the RMA - Planning Department and the RMA - Building Services Department prior to issuance of building and grading permits.	Owner/ Applicant	Prior to the issuance of grading permits	
			Comply with the recommendations of the Erosion Control Plan during the course of construction until project completion as approved by the Director of RMA - Planning and Director of RMA - Building Services.	Owner/ Applicant	Ongoing	

			Evidence of compliance with the Implementation Schedule shall be submitted to the RMA - Planning Department and the RMA - Building Services Department	Owner/ Applicant	Prior to final inspection	
8.		<p>PDSP001 – TREE AND ROOT PROTECTION - (NON-STANDARD)</p> <p>Trees which are located close to the construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by a certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of the RMA – Director of Planning. A certified arborist shall be present during site disturbance and / or construction related activities at the base of oak tree clusters # 007, 008, and 009. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by a certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. A certified forester or arborist shall prepare a report after site disturbance addressing success rates, corrective measures, monitoring, and maintenance. The report shall be submitted to the Planning Department for review and approval of the Director of Planning describing the site disturbance and / or construction related activities and the impacts to the base of oak tree clusters # 007, 008, and 009. (RMA - Planning Department)</p>	Submit evidence of tree protection to the RMA - Planning Department for review and approval.	Owner/ Applicant	Prior to the issuance of grading permit	
			Submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.	Owner/ Applicant/ Arborist	During grading	
			Submit photos of the trees on the property to the RMA – Planning Department after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.	Owner/ Applicant	Prior to final building inspection	
9.		<p>PDSP002 – TREE REPLACEMENT (NON-STANDARD)</p>	The applicant shall provide a planting plan for the trees within 30 days of	Owner/ Applicant	Prior to issuance of	

		<p>That all non-landmark oak trees removed as a result of the project at a 2:1 replacement ratio; four (4) oak trees shall be planted. That all oak trees removed shall be replaced in on-site areas suitable for supporting oak species as determined by a qualified resource ecologist. The minimum replacement size shall be 5 gallons. Nursery and/or field propagation of oak seedlings and/or saplings shall be initiated prior to the onset of the particular development phase that results in the loss of oak trees. The oak tree replacement program shall include a monitoring element that guarantees a success period of not less than 5 years after planting and a success ratio threshold of no less than 90%. At five years, a report shall be prepared by a registered forester or arborist and submitted to the Planning Department for review and approval of the Director of Planning describing reforestation activities conducted during the year and shall describe success rates and corrective measures provided to adjust program based on earlier successes or failures. This condition shall cease once the required number of replacement trees for a particular phase have passed the five-year anniversary completion date required for plan success. (RMA – Planning Department)</p>	<p>project approval.</p> <p>The applicant shall provide evidence after five years that tree planting has been successful.</p>	<p>Owner/ Applicant</p>	<p>Building or Grading Permit</p> <p>5 years after successful tree planting</p>	
10.		<p>PDSP003 - LANDSCAPE AND RESTORATION PLAN AND MAINTENANCE (SINGLE FAMILY DWELLING ONLY) (NON-STANDARD)</p> <p>The site shall be landscaped. Areas disturbed during construction related activities shall be restored to a condition corresponding to the adjoining areas. Restoration activities shall be included in the landscaping plan. At least three (3) weeks prior to occupancy, three (3) copies of a landscaping plan shall be submitted to the Director of the RMA - Planning Department. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or</p>	<p>Submit landscape plans and contractor's estimate to the RMA - Planning Department for review and approval.</p> <p>All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.</p>	<p>Owner/ Applicant/ Licensed Landscape Contractor/ Licensed Landscape Architect</p> <p>Owner/ Applicant</p>	<p>At least three (3) weeks prior to final inspection or occupancy</p> <p>Ongoing</p>	

		contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County RMA - Planning Department. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (RMA - Planning Department)				
11.		PD014(A) – LIGHTING – EXTERIOR LIGHTING PLAN All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The applicant shall submit 3 copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations, Title 24, Part 6. The exterior lighting plan shall be subject to approval by the Director of the RMA - Planning Department, prior to the issuance of building permits. (RMA – Planning Department)	Submit three copies of the lighting plans to the RMA - Planning Department for review and approval. Approved lighting plans shall be incorporated into final building plans.	Owner/ Applicant	Prior to issuance of grading permit	
			The lighting shall be installed and maintained in accordance with the approved plan.	Owner/ Applicant	Ongoing	
12.		PBD026 – NOTICE OF REPORT Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states: "A Cultural Resources Survey Report" has been prepared for this parcel by Greenwood and Associates, Pacific Palisades, CA, dated December, 2006 and is on record at the Monterey County RMA – Planning Department, Library No. LIB070117. All development shall be in accordance with this report." (RMA - Planning Department)	Proof of recordation of this notice shall be furnished to PBI.	Owner/ Applicant	Prior to issuance of grading permit	

13.		<p>PBD026 – NOTICE OF REPORT Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states: "A Tree Assessment Forest Management Plan has been prepared for this parcel by Frank Ono, Forester, Pacific Grove, CA, dated November 20, 2006 and is on record at the Monterey County RMA – Planning Department, Library No. LIB070119. All development shall be in accordance with this report." (RMA - Planning Department)</p>	Proof of recordation of this notice shall be furnished to PBI.	Owner/ Applicant	Prior to issuance of grading permit	
14.		<p>PBD026 – NOTICE OF REPORT Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states: "A Geotechnical Engineering Report has been prepared for this parcel by Earth Systems Pacific, Hollister, CA, dated January 16, 2007 and is on record at the Monterey County RMA – Planning Department, Library No. LIB070118. All development shall be in accordance with this report." (RMA - Planning Department)</p>	Proof of recordation of this notice shall be furnished to PBI.	Owner/ Applicant	Prior to issuance of grading permit	

SALINAS RURAL FIRE PROTECTION DISTRICT CONDITIONS

15.		<p>FIRE007 - DRIVEWAYS Driveways shall not be less than 12 feet wide unobstructed, with an unobstructed vertical clearance of not less than 15 feet. The grade for all driveways shall not exceed 15 percent. Where the grade exceeds 8 percent, a minimum structural roadway surface of 0.17 feet of asphaltic concrete on 0.34 feet of aggregate base shall be required. The driveway surface shall be capable of supporting the imposed load of fire apparatus (22 tons), and be accessible by conventional-drive vehicles, including sedans. For driveways with turns 90 degrees and less, the minimum horizontal inside radius of curvature shall be 25 feet. For driveways with turns greater than 90 degrees, the minimum horizontal inside radius curvature shall be 28 feet. For all driveway turns, an additional surface of 4 feet shall be added. All</p>	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	

		driveways exceeding 150 feet in length, but less than 800 feet in length, shall provide a turnout near the midpoint of the driveway. Where the driveway exceeds 800 feet, turnouts shall be provided at no greater than 400-foot intervals. Turnouts shall be a minimum of 12 feet wide and 30 feet long with a minimum of 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall long with a minimum 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall be located within 50 feet of the primary building. The minimum turning radius for a turnaround shall be 40 feet from the centerline of the driveway. If a hammerhead/T is used, the top of the "T" shall be a minimum of 60 feet in length. (Salinas Rural Fire Protection District)				
16.		FIRE008 - GATES All gates providing access from a road to a driveway shall be located at least 30 feet from the roadway and shall open to allow a vehicle to stop without obstructing traffic on the road. Gate entrances shall be at least the width of the traffic lane but in no case less than 12 feet wide. Where a one-way road with a single traffic lane provides access to a gated entrance, a 40-foot turning radius shall be used. Where gates are to be locked, the installation of a key box or other acceptable means for immediate access by emergency equipment may be required. (Salinas Rural Fire Protection District)	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	
17.		FIRE011 - ADDRESSES FOR BUILDINGS All buildings shall be issued an address in accordance with Monterey County Ordinance No. 1241. Each occupancy, except accessory buildings, shall have its own permanently posted address. When multiple occupancies exist within a single building, each individual occupancy shall be separately identified by its own address. Letters, numbers, and symbols for addresses shall be a minimum of 4-inch height, 1/2-inch stroke, contrasting with the background color of the sign, and shall be Arabic. The sign and numbers shall be reflective and made of a	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	

		noncombustible material. Address signs shall be placed at each driveway entrance and at each driveway split. Address signs shall be and visible from both directions of travel along the road. In all cases, the address shall be posted at the beginning of construction and shall be maintained thereafter. Address signs along one-way roads shall be visible from both directions of travel. Where multiple addresses are required at a single driveway, they shall be mounted on a single sign. Where a roadway provides access solely to a single commercial occupancy, the address sign shall be placed at the nearest road intersection providing access to that site. Permanent address numbers shall be posted prior to requesting final clearance. (Salinas Rural Fire Protection District)				
18.		FIRE017 - DISPOSAL OF VEGETATION AND FUELS Disposal, including chipping, burying, or removal to a landfill site approved by the local jurisdiction, of vegetation and debris caused by site development and construction, road and driveway construction, and fuel modification shall be completed prior to final clearance of the related permit. (Salinas Rural Fire Protection District)	Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	
19.		FIRE019 - DEFENSIBLE SPACE REQUIREMENTS - (STANDARD) Remove combustible vegetation from within a minimum of 30 feet of structures. Limb trees 6 feet up from ground. Remove limbs within 10 feet of chimneys. Additional and/or alternate fire protection or firebreaks approved by the fire authority may be required to provide reasonable fire safety. Environmentally sensitive areas may require alternative fire protection, to be determined by Reviewing Authority and the Director of Planning and Building Inspection. (Salinas Rural Fire Protection District)	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	

20.	<p>FIRE021 - FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM (STANDARD) The building(s) and attached garage(s) shall be fully protected with automatic fire sprinkler system(s). Installation shall be in accordance with the applicable NFPA standard. A minimum of four (4) sets of plans for fire sprinkler systems must be submitted by a California licensed C-16 contractor and approved prior to installation. This requirement is not intended to delay issuance of a building permit. A rough sprinkler inspection must be scheduled by the installing contractor and completed prior to requesting a framing inspection. (Salinas Rural Fire Protection District)</p>	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	
		Applicant shall schedule fire dept. rough sprinkler inspection	Applicant or owner	Prior to framing inspection	
		Applicant shall schedule fire dept. final sprinkler inspection	Applicant or owner	Prior to final building inspection	
21.	<p>FIRE026 - ROOF CONSTRUCTION (STANDARD) All new structures, and all existing structures receiving new roofing over 50 percent or more of the existing roof surface within a one-year period, shall require a minimum of ICBO Class B roof construction. (Salinas Rural Fire Protection District)</p>	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	
WATER RESOURCES AGENCY CONDITIONS					
22.	<p>WR2 - STORMWATER CONTROL The applicant shall provide the Water Resources Agency a drainage plan prepared by a registered civil engineer or architect addressing on-site and off-site impacts. Stormwater runoff from impervious surfaces shall be dispersed at multiple points, away from and below any septic leach fields, over the least steep available slopes, with erosion control at outlets. Drainage improvements shall be constructed in accordance with plans approved by the Water Resources Agency. (Water Resources Agency)</p>	Submit 3 copies of the engineered drainage plan to the Water Resources Agency for review and approval.	Owner/ Applicant/ Engineer	Prior to issuance of any grading or building permits	

23.	<p>WR40 - WATER CONSERVATION MEASURES The applicant shall comply with Ordinance No. 3932, or as subsequently amended, of the Monterey County Water Resources Agency pertaining to mandatory water conservation regulations. The regulations for new construction require, but are not limited to:</p> <p>a. All toilets shall be ultra-low flush toilets with a maximum tank size or flush capacity of 1.6 gallons, all shower heads shall have a maximum flow capacity of 2.5 gallons per minute, and all hot water faucets that have more than ten feet of pipe between the faucet and the hot water heater serving such faucet shall be equipped with a hot water recirculating system.</p> <p>b. Landscape plans shall apply xeriscape principles, including such techniques and materials as native or low water use plants and low precipitation sprinkler heads, bubblers, drip irrigation systems, and timing devices. (Water Resources Agency)</p>	Compliance to be verified by building inspector at final inspection.	Owner/ Applicant	Prior to final building inspection/occupancy	
-----	---	--	---------------------	--	--

END OF CONDITIONS

general notes

- ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF S'OTLER DESIGN GROUP PRIOR TO COMMENCING.
- VERIFY LOCATION OF UTILITIES AND EXISTING CONDITIONS AT SITE PRIOR TO CONSTRUCTION AND BIDDING.
- ALL WORK TO BE IN CONFORMANCE WITH 1997 U.S.C. L.M.C. 4 U.P.C. AND 1994 EDITION OF N.E.C. AND ALL PERTINENT LOCAL ORDINANCES AND ORDINANCES.
- CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR METHOD AND MANNER OF CONSTRUCTION AND FOR ALL JOB SITE SAFETY DURING CONSTRUCTION.
- SLOPE ALL FINISH GRADES MIN. 2% AWAY FROM STRUCTURE FOR POSITIVE DRAINAGE & LANDSCAPED AREAS & SLOPE GRADE 2% MIN. 8 PAVED AREAS.
- SEPARATE PERMITS ARE REQUIRED FOR COO-FAN-DCY AND ALL OTHER TENANT IMPROVEMENTS. SEPARATE PERMITS ARE REQUIRED FOR MECHANICAL, ELECTRICAL & PLUMBING WORK.

- ALL WORK, APPLIANCES AND EQUIPMENT SHALL COMPLY WITH C.E.C. TITLE 24 RESIDENTIAL ENERGY STANDARDS.
- THE BUILDER SHALL PROVIDE THE BUILDING OWNER, MANAGER, AND THE ORIGINAL OCCUPANTS A LIST OF THE ENERGY-SAVING CONSERVATION FEATURES DEVICES, MATERIALS, AND COMPONENTS INSTALLED IN THE BUILDING, AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY. SUCH FEATURES INCLUDE HEATING, COOLING, WATER HEATING AND LIGHTING SYSTEMS, AS WELL AS INSULATION, WEATHERSTRIPPING, WINDOW SHADDS, AND THERMAL MASS MATERIALS. THE INSTRUCTIONS SHALL BE CONSISTENT WITH SPECIFICATIONS SET FORTH BY THE EXECUTIVE DIRECTOR.
- THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. RE-USE, REPRODUCTION, OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE DESIGNER. WITHOUT PREJUDICE, VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE FRUITA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

NOTES

FIRE SPRINKLER SYSTEM IS REQUIRED UNDER SEPARATE PERMIT. SEPARATE REVIEW AND APPROVAL BY THE FIRE DEPT. IS REQUIRED.

ROOFING IS TO BE ARCHITECTURAL COMPOSITION ROOF SHINGLE CLASS "A" TYPICAL.

SOILS ENGINEER IS TO INSPECT & APPROVE P.C. EXCAVATIONS PRIOR TO FOOTING INSPECTION.

STRUCTURAL GENERAL NOTES:
THE FOLLOWING SPECIFICATIONS SHALL CONFORM TO THE 1991 UNIFORM BUILDING CODE AND ANY OTHER CITY ORDINANCES WHICH ARE IN FORCE AT THE TIME OF THIS PROJECT.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS, PRIOR TO STARTING ANY FIELD WORK.

ANY DEVIATION CALLED BY THE FIELD CONDITIONS, OR ANY CONDITIONS DIFFERENT FROM THOSE INDICATED ON PLANS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION. ANY DISCREPANCY NOT REPORTED TO THE ENGINEER WILL ABOLVBE THE ENGINEER FROM ANY LIABILITY.

TYPICAL DETAILS SHALL APPLY WHERE NO SPECIFIC DETAILS OR SECTIONS ARE PROVIDED.

DIMENSIONS SHOWN ON PLANS OR DETAILS TAKE PRECEDENCE OVER SOILS SHOWN.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SATISFACTORY COMPLETION OF ALL WORK IN ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS.

GAS LINES SHALL BE SIZED AND PROVIDED TO THE COUNTY PRIOR TO INSTALLATION PER MONTEREY COUNTY REQUIREMENTS.

SEPTIC SYSTEMS REQUIRES A SEPERATE REVIEW AND PERMIT.

THE SOILS ENGINEER SHALL INSPECT THE BUILDING PAD AND EXCAVATIONS AND PROVIDE WRITTEN APPROVAL TO THE BUILDING INSPECTOR PRIOR TO REQUESTING A FOUNDATION INSPECTION AND POURING ANY FOOTINGS.

consultants

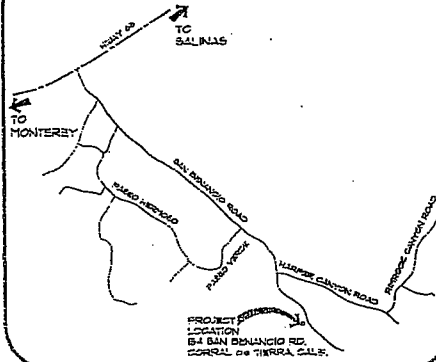
CIVIL ENGINEER
Whitson Engineers
9699 Blue Larkspur Lane, Suite 105
Monterey, California 93940
(831) 649-5225

STRUCTURAL ENGINEER
Henderson Structural Design
16465 Carlson Drive
Morgan Hill, California 95037
(408) 779-7379

TITLE 24 DOCUMENTATION
Yarmilla Kennett & Associates
15231 Perry Lane
Morgan Hill, California 95037
408-779-5402

SOILS ENGINEER
Earth Systems Consultants
400 Park Center Drive, Suite 7
Hollister, California 95023
(831) 687-2133
Report # HO-07703-01
Dated: Nov. 28, 2001

vicinity map



drawing index

T1 Title Sheet

CIVIL

C1 Site Plan

ARCHITECTURAL

A2 Main Level Floor Plan
A3 Upper Level Floor Plan
A4 Exterior Elevations
A5 Exterior Elevations
A6 Roof Plan
A7 Framing Sections

STRUCTURAL

S1 Foundation Plan
S2 Framing Details
S3 Upper Level Floor Framing Plan
S4 Upper Level Ceiling Framing Plan
S5 Roof Framing Plan

ELECTRICAL

EM1 Main Level Electrical / Mechanical Plan
EM2 Upper Level Electrical / Mechanical Plan

TITLE 24

T24 Energy Compliance

owner data

Mr. and Mrs. Franklin D. White, Jr.
154 San Benancio Road
Corral de Tierra, California 93908
(408) 406-2039

lot data

APN: 416-212-015

LOT SIZE: 283.63 Acres

LOT: Lot 15
154 San Benancio Road
Corral de Tierra, California

BUILDING: 2,321 sq. ft. Existing House
4,401 sq. ft. Total Living Area
568 sq. ft. Garage

Corral de Tierra, California

WHITE RESIDENCE

154 San Benancio Road



800 SANTA TERESA BLVD. SUITE
SAN JOSE, CALIFORNIA 95128
PHONE: (408) 253-4242
FAX: (408) 253-4242
WWW.STOTLERDESIGN.COM

STOTLER DESIGN GROUP IS AN EQUAL OPPORTUNITY FIRM. WE DO NOT DISCRIMINATE ON THE BASIS OF RACE, GENDER, RELIGION, NATIONAL ORIGIN, ANCESTRY, AGE, SEXUAL ORIENTATION, OR DISABILITY. IF YOU ARE AN INDIVIDUAL WITH A DISABILITY AND YOU ARE HAVING DIFFICULTY ACCESSING OUR WEBSITE, PLEASE CONTACT US AT (408) 253-4242. WE WILL MAKE REASONABLE ACCOMMODATIONS TO ASSIST YOU IN ACCESSING OUR WEBSITE.

ISSUED: 10/11/03
CHECKED: [initials]
DESIGNED: [initials]
DRAWN: [initials]

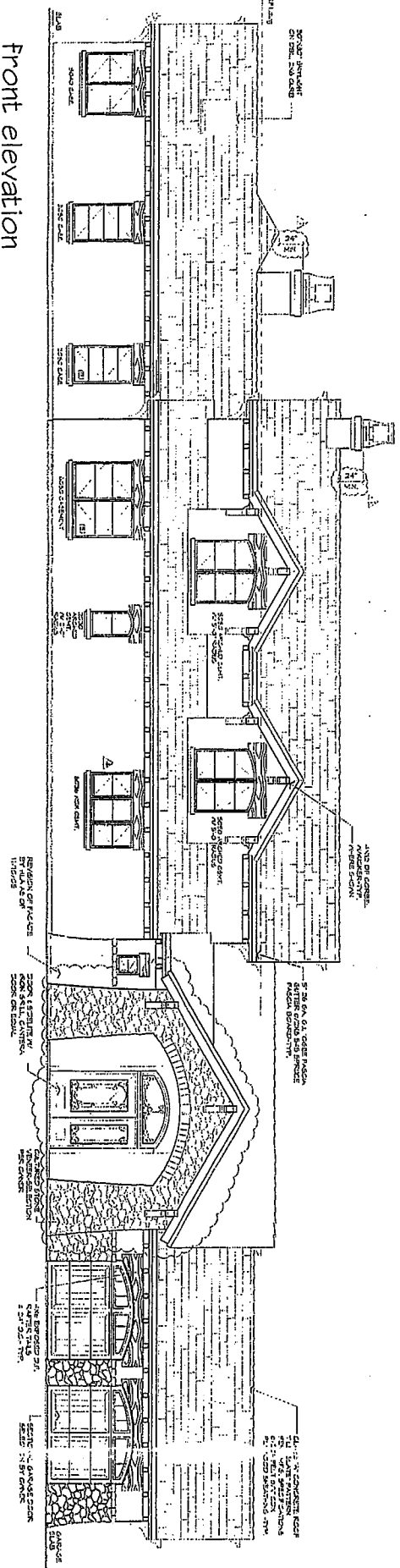
DATE: 10/11/03

DRAWING TITLE: Title Sheet
JOB NAME: White Residence
JOB ADDRESS: 154 San B
CORRAL DE TIERRA, CALIF.

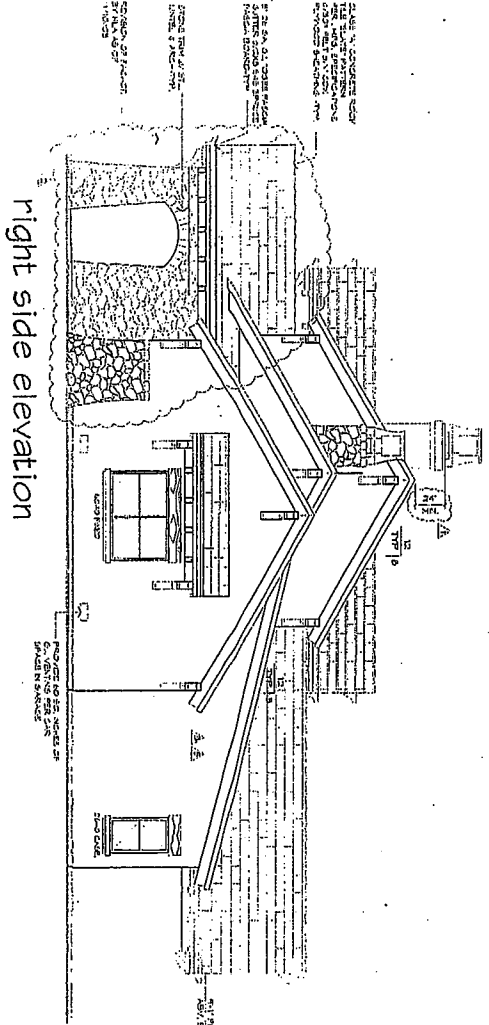
DATE: OCT. 11, 2003
SCALE: N/A
PROJECT NUMBER: 0336
JOB NO.: 0336
SHEET: T1

T1

Front elevation

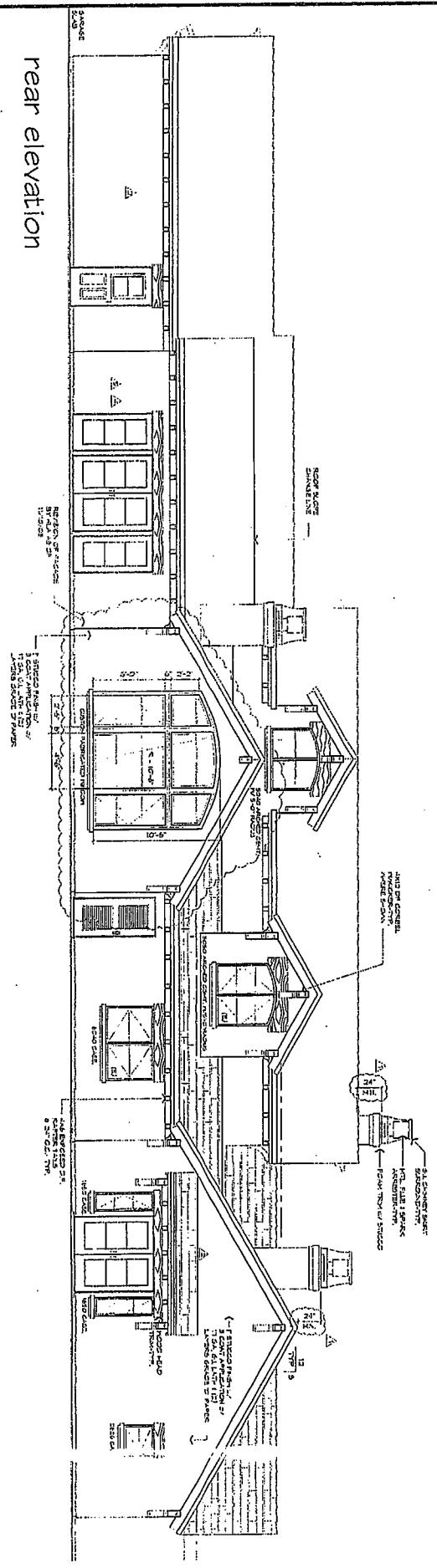


right side elevation

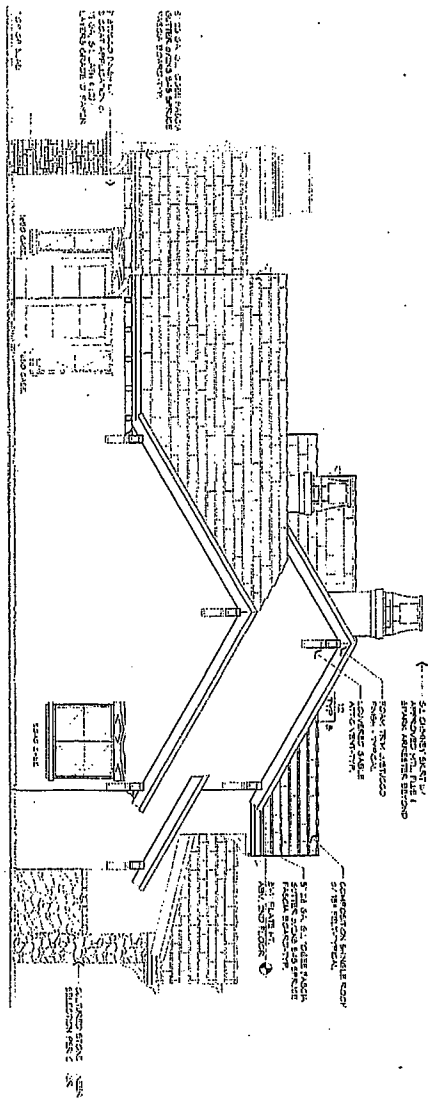


<p>A4</p>	<p>DATE: 03/28/2005 DRAWN BY: J. L. ... CHECKED BY: ... PROJECT: ...</p>	<p>PROJECT TITLE: Exterior Elevations JOB TITLE: White Residence JOB ADDRESS: 154 San Benancio Road Corral de Tierra, California</p>	<p>REVISIONS</p> <table border="1"> <tr><td>1</td><td>PLAN CHECK 10/20/02</td></tr> <tr><td>2</td><td>REVISED COVERED REV. DM</td></tr> <tr><td>3</td><td>REVISED COVERED REV. DM</td></tr> <tr><td>4</td><td>MAJOR REVISIONS REVISION D.M.</td></tr> <tr><td>5</td><td>REVISED COVERED REVISION D.M.</td></tr> </table>	1	PLAN CHECK 10/20/02	2	REVISED COVERED REV. DM	3	REVISED COVERED REV. DM	4	MAJOR REVISIONS REVISION D.M.	5	REVISED COVERED REVISION D.M.	<p>DATE: 03/28/2005 DRAWN BY: J. L. ... CHECKED BY: ... PROJECT: ...</p>	
	1	PLAN CHECK 10/20/02													
2	REVISED COVERED REV. DM														
3	REVISED COVERED REV. DM														
4	MAJOR REVISIONS REVISION D.M.														
5	REVISED COVERED REVISION D.M.														

rear elevation

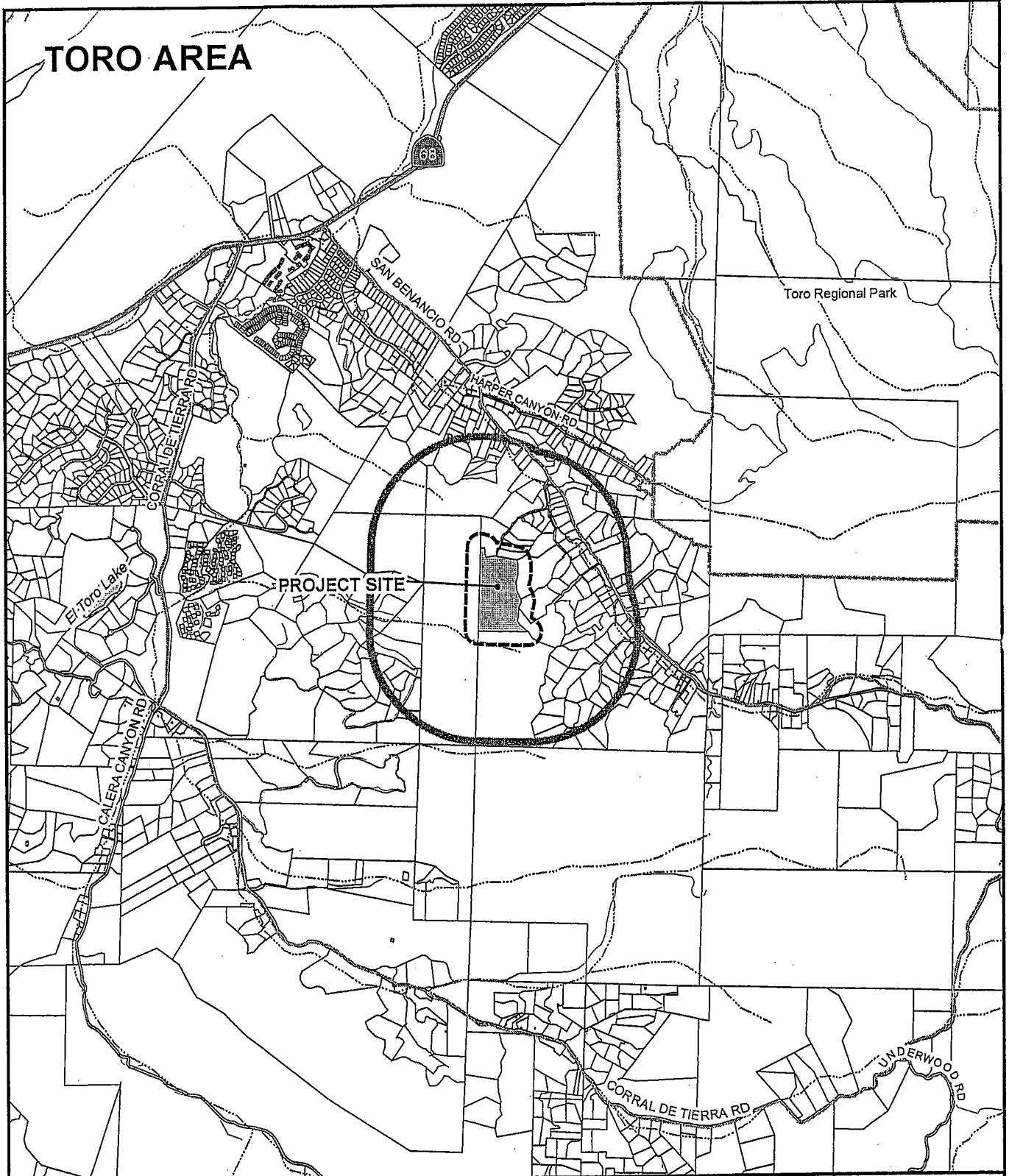


left side elevation



<p>AS</p>	DATE: 11.21.2008 DRAWN BY: [unintelligible] CHECKED BY: [unintelligible]	<p>Stotler design group</p>
	PROJECT: 154 SAN BENANCIO ROAD CLIENT: CORRAL DE TIERRA, CALIFORNIA	
	DRAWING TITLE: Exterior Elevations SHEET TITLE: White Residence	
	PROJECT ADDRESS: 154 San Benancio Road Corral de Tierra, California	
	SCALE: AS SHOWN NOTES: SEE SPECIFICATIONS FOR MATERIALS AND FINISHES.	


TORO AREA




APPLICANT: WHITE

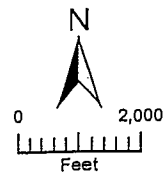
APN: 416-212-015-000

FILE # PLN060123

 300' Limit

 2500' Limit

 City Limits



PLANNER: MANUGUERRA