

In the matter of the application of  
**Frank J. Hevrdejs (PLN060268)**

**FINDINGS & DECISION**

for a Coastal Administrative Permit in accordance with Chapter 20.76 (Coastal Administrative Permits) of Title 20, Monterey County Code (Zoning), and Design Approval to allow the construction of an 849 square foot senior citizen unit with a 324 square foot permeable terrace; a remodel of the existing single family dwelling to include a 94 square foot addition to existing terrace; the addition of a 5-foot, 6-inch stone and wood fence located on the northwest side of the property; and a Variance to exceed the 4,000 square foot allowable impervious surface (4,715 square feet proposed) and 5,000 square foot structural coverage (7,235 square feet proposed) requirements in the Pescadero watershed. Total combined coverage was reduced from 14,145 square feet to 11,950 square feet. The property is located at 3930 Ronda Road, Pebble Beach, Del Monte Forest Land Use Plan, Coastal Zone, and came on regularly for hearing before the Zoning Administrator on January 25, 2007.

Said Zoning Administrator, having considered the application and the evidence presented relating thereto,

**FINDINGS AND EVIDENCE**

1. **FINDING: CONSISTENCY** – The project, as described in Condition No. 1 and as conditioned, conforms to the policies, requirements, and standards of the Monterey County General Plan, Del Monte Forest Land Use Plan, and the Monterey County Zoning Ordinance (Title 20), which designates this area as appropriate for development. Specifically, the proposed senior citizen unit complies with all applicable requirements of §20.64.010.

- EVIDENCE:**
- (a) The text, policies, and regulations in the above referenced documents have been evaluated during the course of review of applications. Conflicts were found to exist as proposed development exceeds coverage and impervious surfaces with regard to the Pescadero Watershed Policy 20.14.7030, and are discussed in Findings #4, #5, #6, #7).
  - (b) The property is located at 3930 Ronda Road, Pebble Beach (Assessor's Parcel Number 008-222-001-000), Del Monte Forest Land Use Plan. The parcel is zoned Low Density Residential/1.5 units per acre in the Coastal Zone ("LDR/1.5 (CZ). Staff finds the proposed project meets the necessary development standards, except for structural and impervious surface coverage in the Pescadero Watershed and needs a variance.
  - (c) The project planner conducted a site inspection on May 7, 2006, to verify that the project on the subject parcel conforms to the plans listed above.
  - (d) The project complies with the regulations for a senior citizen unit in accordance with §20.64.010.C. Senior citizen units are excluded from density and are permitted throughout the Coastal Zone as provided for in the Low Density Residential Zoning District and Del Monte Forest Land Use Plan (CIP). A condition requires the applicant to record a deed restriction that this unit will be maintained in accordance with these standards (Condition # 3).
  - (e) The project was not referred to the Del Monte Forest Land Use Advisory Committee (LUAC) for review. Based on the current review guidelines adopted by the Monterey County Board of Supervisors per Resolution No. 04-236, an application that is

Categorically Exempt from CEQA (§Section 15303 (a)) does not require review from the Land Use Advisory.

- (f) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN060268.

2. **FINDING: SITE SUITABILITY** – The site is physically suitable for the use proposed.

- EVIDENCE:** (a) The project has been reviewed for site suitability by the following departments and agencies: RMA - Planning Department, Pebble Beach Community Services District, Public Works, Environmental Health Division, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
- (b) Research of mapped GIS information indicates that there are no physical or environmental constraints such as geologic or seismic hazard areas, environmentally sensitive habitats or similar areas that would indicate the site is not suitable for the use proposed. Therefore, no technical reports were required by outside biological, archaeological, and geological consultants. County staff concurs.
- (c) Staff conducted a site inspection on May 7, 2006 to verify that the site is suitable for this use.
- (d) Materials in Project File PLN060268.

3. **FINDING: CEQA (Exempt):** - The project is categorically exempt from environmental review.

- EVIDENCE:** (a) California Environmental Quality Act (CEQA) Guidelines Section 15303, Class 3, categorically exempts the construction of small accessory structures.
- (b) Based on information and materials provided, plus site visits, staff finds that this project has no issues relative to tree removal, archaeological, historic, or biological resources. Proposed development will be located within existing disturbed area.
- (c) No adverse environmental effects were identified during staff review of the development application during a site visit on May 7, 2006.
- (d) See preceding and following findings and supporting evidence.

4. **FINDING: PESCADERO WATERSHED POLICY:** The project is not consistent with Section 20.147.030.A.1 limiting structural coverage to 5,000 square feet, including main and accessory structures, nor is consistent with the limitation of additional impervious surface coverage up to 4,000 square feet. It exceeds the total limitation of 9,000 square feet for the Pescadero, Seal Rock Creek and Sawmill Gulch Watersheds and the smaller unnamed watersheds which drain into the Carmel Bay Area of Special Biological Significance.

- EVIDENCE:**(a) Although adding this senior citizen unit would increase structural coverage from 6,292 square feet to 7,235 square feet, impervious surface coverage is reduced from 7,853 square feet to 4,715 square feet by eliminating one of the driveway entrances to the property (§20.147.090.A.1 CIP). Staff worked with the applicant to obtain a net reduction of 2,195 square feet (11,950 square feet total). The result is a total combined coverage of 11,950 square feet, which is a net reduction of 2,195 square feet (15%). Three similar variances in the vicinity (PLN030568, PLN040120, and PLN040705) have been granted to allow more than the maximum structural or impervious coverage provided there was a net reduction in the total coverage. Properties receiving these variances are located in the same general area as the Hevrdejs parcel and have similar site conditions (average 15% overall reduction).

- (b) A cistern will also be installed to increase recharge to watershed, which meets the intended policies of the Pescadero Watershed. A condition has been added for engineering calculations for any pervious materials used to ensure they meet County standards and the intent of the Pescadero Watershed policy and verification of the installation (Condition # 4).
- (c) See Variance Findings #5, #6, #7.

5. **FINDING: VARIANCE (Special Circumstances):** Because of special circumstances applicable to the subject property, including the size, shape, topography, location of the lot, or the surrounding area, the strict application of Section 20.147.030.A.1.b of the Monterey County Coastal Implementation Plan is found to deprive the subject property of privileges enjoyed by other property owners in the vicinity under an identical zoning classification.

- EVIDENCE:**
- (a) The intent of the Pescadero watershed coverage limitations (Section 20.147.030.A.1.b of the Monterey County Coastal Implementation Plan, Part 5) is to limit the amount of stormwater runoff into Carmel Bay, thereby protecting an area of biological significance. Although, the proposed project exceeds the 5,000 square foot limit for structural coverage by 2,235 square feet and exceeds the allowable 4,000 square foot impervious surface coverage limit by 715 square feet, there is an overall net reduction of 2,195 square feet from the existing 14,145 square feet of combined coverage. In addition, the proposed project's impervious surface reduction eliminated one of the entrance driveways to better meet policy standards (§20.147.090.A.1CIP). Staff supports approval of the variance because existing conditions have been brought into conformance to the greatest extent feasible relative to the driveway entrance and design of the senior unit (a 324 square foot senior unit terrace will be completely permeable).
  - (b) Retaining stormwater on site helps meet the intent of Section 20.147.030.A.1.b of the certified Monterey County Coastal Implementation Plan, Part 5 regarding impervious coverage in the Pescadero watershed. A cistern will also be installed to increase recharge to watershed, which meets the intended policies of the Pescadero Watershed. A condition has been incorporated requiring onsite retention/percolation facilities for stormwater runoff. (Condition # 6)
  - (c) Materials and Documents in Project File PLN060268.

6. **FINDING: VARIANCE (Special Privileges):** The variance to exceed the allowable Pescadero watershed structural and impervious surface coverage shall not constitute a grant of privileges inconsistent with the limitations upon other property owners in the vicinity and zone in which such property is situated.

- EVIDENCE:**
- (a) There are at least 40 other instances where Variances have been granted to increase the Pescadero Watershed structural and/or impervious coverage limits for residential structures.
  - (b) Other property owners in the vicinity and under identical zoning classification have been afforded the same privilege sought by the property owner of this application. Within the general area of the subject parcel, several residential projects have been granted similar variances and include: 1) PLN030568 (Kent) approved a variance "to exceed the structure and impervious coverage limitation in the Pescadero Watershed," A net reduction of 8% 2) PLN040705 (Greenan) approved a variance "to exceed the 5,000 square foot structural and 4,000 square foot non-structural Pescadero Watershed impervious surface limit," A net reduction of 25%, and 3) PLN040120 (Winston) approved a variance "to exceed

structural coverage limits in the Pescadero Watershed," A net reduction of 21% Similar to these projects, the subject project proposes to exceed the structural coverage and impervious coverage limitations in the Pescadero Watershed with a net reduction of 15%. Average overall reduction of structural and impervious coverage limitations is 17%.

(c) Materials and documents in Project File No. PLN060268.

7. **FINDING: VARIANCE (Authorized Use):** The Variance shall not be granted for a use or activity which is not otherwise expressly authorized by the zone regulation governing the parcel of property.

**EVIDENCE:** (a) The project for a senior citizen unit is an allowed use under the Low Density Residential designation subject to recording a deed restriction as a condition of project approval (Condition # 3).

(b) Materials and documents in Project File No. PLN060268.

8. **FINDING: NO VIOLATIONS -** The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property. Zoning violation abatement costs, if any, have been paid.

**EVIDENCE:** (a) The existing circular motor court does not meet development standards 20.147.090.a.1. (CIP), however, it was installed in 1968 as part of the original house construction.

(b) Staff reviewed Monterey County RMA - Planning Department and Building Services Department Monterey County records and is not aware of any violations existing on subject property.

9. **FINDING: PUBLIC ACCESS:** The project is in conformance with the public access and public recreation policies of the Coastal Act and Local Coastal Program, and does not interfere with any form of historic public use or trust rights. No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.70.050.B.4.c of the Monterey County Coastal Implementation Plan, can be demonstrated.

**EVIDENCE:** (a) The subject property is not described as an area where the Local Coastal Program requires access.

(b) The subject property is not indicated as part of any designated trails or shoreline access as shown in Figure 15, the Recreational Facilities Map, and Figure 16, the Shoreline Access Map, of the Del Monte Forest Area Land Use Plan.

(c) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.

(d) Staff site visit May 7, 2006.

10. **FINDING: HEALTH AND SAFETY -** The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

**EVIDENCE:** (a) Preceding findings and supporting evidence.

11. **FINDING: APPEALABILITY -** The decision on this project is appealable to the Board of Supervisors and the California Coastal Commission.

- EVIDENCE:** (a) Section 20.86.030 of the Monterey County Coastal Implementation Plan - Part 1 (Board of Supervisors).
- (b) Section 20.86.080 of the Monterey County Coastal Implementation Plan - Part 1 (Coastal Commission). In addition the site is located between the sea (Pacific Ocean) and the first public road paralleling the sea (Highway One).

**DECISION**

**THEREFORE**, it is the decision of said Zoning Administrator that said application for a Coastal Administrative Permit and Variance be granted as shown on the attached sketch, subject to the attached conditions.

**PASSED AND ADOPTED** this 25<sup>th</sup> day of **January, 2007**.

  
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JEFF MAIN ZONING ADMINISTRATOR

COPY OF THIS DECISION MAILED TO APPLICANT ON FEB 13 2007

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK OF THE BOARD OF SUPERVISORS ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE FEB 23 2007

THIS APPLICATION IS ALSO APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE DECISION BY THE BOARD OF SUPERVISORS, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA

**NOTES**

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.  
  
Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.  
  
Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning and Building Inspection Department office in Salinas.
2. This permit expires two years after the above date of granting thereof unless construction or use is started within this period.

**Monterey County Resource Management Agency  
Planning Department  
Condition Compliance and/or Mitigation Monitoring  
Reporting Plan**

**Project Name:** HEVRDEJS, FRANK J

**File No:** PLN040705

**APNs:** 008-222-001-000

**Approved by:** ZONING ADMINISTRATOR

**Date:** JANUARY 25, 2006

*\*Monitoring or Reporting refers to projects with an EIR or adopted Mitigated Negative Declaration per Section 21081.6 of the Public Resources Code.*

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
1.		<p><b>PBD029 - SPECIFIC USES ONLY</b>            This Coastal Administrative Permit and Design Approval (PLN060268) allows the construction of an 849 square foot senior citizen unit with a 324 square foot permeable terrace; a remodel of the existing single family dwelling to include a 94 square foot addition to existing terrace; the addition of a 5 foot 6 inch stone and wood fence located on the northwest side of the property; and a Variance to exceed the 4,000 square foot allowable impervious surface (4,715 square feet proposed) and 5,000 square foot structural coverage (7,235 square feet proposed) requirements in the Pescadero watershed. Total combined coverage was reduced from 14,145 square feet to 11,950 square feet. The property is located at 3930 Ronda Road, Pebble Beach (Assessor's Parcel Number 008-222-001-000), Del Monte Forest Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the following terms and conditions. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of RMA - Planning Department. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. [Resource Management Agency (RMA) - Planning Department]</p>	Adhere to conditions and uses specified in the permit.	Owner/ Applicant	Ongoing unless other-wise stated	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
2.		<p><b>PBD025 - NOTICE-PERMIT APPROVAL</b>  The applicant shall record a notice which states: "A permit (<b>Resolution No. 060268</b>) was approved by the Planning Commission for Assessor's Parcel Number 008-222-001-000 on January 25, 2007. The permit was granted subject to 11 conditions of approval, which run with the land. A copy of the permit is on file with the Monterey County RMA - Planning Department." Proof of recordation of this notice shall be furnished to the Director of RMA - Planning Department prior to issuance of building permits or commencement of the use.  <b>(RMA - Planning Department)</b></p>	<p>Proof of recordation of this notice shall be furnished to RMA - PD</p>	Owner/ Applicant	Prior to Issuance of grading and building permits or start of use.	
3.		<p><b>PD020(B) – DEED RESTRICTION – SENIOR CITIZEN UNIT (COASTAL)</b>  The applicant shall record a deed restriction stating the regulations applicable to a Senior Citizen Unit as follows:</p> <ul style="list-style-type: none"> <li>• An attached senior citizen unit shall not exceed 700 square feet. A detached senior citizen unit shall not exceed 850 square feet.</li> <li>• The senior citizen unit shall not be occupied by more than 2 persons, 1 of whom shall be sixty years of age or handicapped.</li> <li>• Not more than 1 senior citizen unit shall be permitted on any lot or parcel.</li> <li>• The senior citizen unit shall conform with all of the zoning and development standards of the zoning district which governs the lot.</li> <li>• The senior citizen unit shall be designed in such a manner as to be visually consistent and compatible with the main residence on site and other residences in the area.</li> <li>• One (1) usable and accessible parking space shall be provided in addition to the parking required for other uses on-site.</li> <li>• Senior citizen units shall not be permitted on lots of less than two acres if located in an area not served by public sewer systems. In North County, senior citizen units shall not be permitted on lots of less than five acres if located in an area not served by public sewer systems.</li> </ul>	<p>Submit signed and notarized Deed Restriction to the Director of RMA – Planning Department for review and signature by the County.</p> <p>Proof of recordation of the Deed Restriction shall be submitted to the RMA – Planning Department.</p>	Owner/ Applicant	Prior to the issuance of grading or building permits	

		<ul style="list-style-type: none"> <li>• Senior citizen units are not permitted on any lot less than 10 acres where a guesthouse or caretaker unit already exists. Such units may be converted to a senior unit, subject to a Coastal Administrative Permit.</li> <li>• Subsequent subdivisions which divide a main residence from the senior citizen unit shall not be permitted except where lots created meet the minimum lot size and density requirements of the existing zoning. (RMA – Planning Department)</li> </ul>			
4.		<p><b>SP001- NON STANDARD - PERVIOUS MATERIALS</b></p> <p>All pervious pavers shall conform to County standards of 40 percent or greater open pass-through area. Impervious surfaces shall not exceed the 4,715 square feet allowed, as indicated on the approved project plans. The 2,938 square foot driveway will be replaced with permeable gravel, the 324 square foot senior unit terrace will be completely permeable, and 200 square feet of permeable of new planters will be added to motor court. The total combined coverage (structural and impervious surface) shall not exceed 11,950 square feet (RMA - Planning Department )</p>	Engineering calculations shall be provided and approved by the Director of Planning and Building Inspection. The location and amount of allowable impervious surface coverage shall be included on the Site and Grading Plans.	Owner/ Applicant	Prior to issuance of building or grading permits.
5.		<p><b>PD014(A) – LIGHTING – EXTERIOR LIGHTING PLAN</b></p> <p>All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The applicant shall submit 3 copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations, Title 24, Part 6. The exterior lighting plan shall be subject to approval by the Director of</p>	Submit three copies of the lighting plans to the RMA - Planning Department for review and approval. Approved lighting plans shall be incorporated into final building plans.	Owner/ Applicant	Prior to the issuance of building permits.



		the RMA - Planning Department, prior to the issuance of building permits. <b>(RMA – Planning Department)</b>				
			The lighting shall be installed and maintained in accordance with the approved plan.	Owner/ Applicant	Ongoing	
6.		<b>NONSTANDARD - DRAINAGE PLAN - RETENTION</b> The applicant shall provide the Water Resources Agency a drainage plan prepared by a registered civil engineer or architect addressing on-site and off-site impacts. The plan shall include retention/percolation facilities to mitigate the impact of impervious surface stormwater runoff <u>to include directly addressing the driveway run-off.</u> Drainage improvements shall be constructed in accordance with plans approved by the Water Resources Agency. <b>(Water Resources Agency)</b>	Submit 3 copies of the engineered drainage plan to the Water Resources Agency for review and approval.	Owner/ Applicant/ engineer	Prior to issuance of grading or building permits	
7.		<b>WR8 - COMPLETION CERTIFICATION</b> The applicant shall provide the Water Resources Agency certification from a registered civil engineer or licensed contractor that stormwater detention/retention facilities have been constructed in accordance with approved plans. <b>(Water Resources Agency)</b>	Submit a letter to the Water Resources Agency, prepared by a registered civil engineer or licensed contractor, certifying compliance with approved drainage plan.	Owner/ Applicant/ Engineer/ Contractor	Prior to final inspection	
8.		<b>WR40 - WATER CONSERVATION MEASURES</b> The applicant shall comply with Ordinance No. 3932, or as subsequently amended, of the Monterey County Water Resources Agency pertaining to mandatory water conservation	Compliance to be verified by building inspector at final inspection.	Owner/ Applicant	Prior to final building inspection/occupancy	

		<p>regulations. The regulations for new construction require, but are not limited to:</p> <p>a. All toilets shall be ultra-low flush toilets with a maximum tank size or flush capacity of 1.6 gallons, all shower heads shall have a maximum flow capacity of 2.5 gallons per minute, and all hot water faucets that have more than ten feet of pipe between the faucet and the hot water heater serving such faucet shall be equipped with a hot water recirculating system.</p> <p>b. Landscape plans shall apply xeriscape principles, including such techniques and materials as native or low water use plants and low precipitation sprinkler heads, bubblers, drip irrigation systems and timing devices. <b>(Water Resources Agency)</b></p>			
9.		<p><b>WR43 - WATER AVAILABILITY CERTIFICATION</b>  The applicant shall obtain from the Monterey County Water Resources Agency, proof of water availability on the property, in the form of an approved Monterey Peninsula Water Management District Water Release Form.  <b>(Water Resources Agency)</b></p>	Submit the Water Release Form to the Water Resources Agency for review and approval.	Owner/ Applicant	Prior to issuance of any building permits
10.		<p><b>FIRE011 - ADDRESSES FOR BUILDINGS</b>  All buildings shall be issued an address in accordance with Monterey County Ordinance No. 1241. Each occupancy, except accessory buildings, shall have its own permanently posted address. When multiple occupancies exist within a single building, each individual occupancy shall be separately identified by its own address. Letters, numbers and symbols for addresses shall be a minimum of 4-inch height, 1/2-inch stroke, contrasting with the background color of the sign, and shall be Arabic. The sign and numbers shall be reflective and made of a noncombustible</p>	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.

		<p>material. Address signs shall be placed at each driveway entrance and at each driveway split. Address signs shall be and visible from both directions of travel along the road. In all cases, the address shall be posted at the beginning of construction and shall be maintained thereafter. Address signs along one-way roads shall be visible from both directions of travel. Where multiple addresses are required at a single driveway, they shall be mounted on a single sign. Where a roadway provides access solely to a single commercial occupancy, the address sign shall be placed at the nearest road intersection providing access to that site. Permanent address numbers shall be posted prior to requesting final clearance. <b>Pebble Beach Community Services District.</b></p>				
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	
11.		<p><b>FIRE021 - FIRE PROTECTION EQUIPMENT &amp; SYSTEMS - FIRE SPRINKLER SYSTEM (STANDARD)</b>  The building(s) and attached garage(s) shall be fully protected with automatic fire sprinkler system(s). Installation shall be in accordance with the applicable NFPA standard. A minimum of four (4) sets of plans for fire sprinkler systems must be submitted by a California licensed C-16 contractor and approved prior to installation. This requirement is not intended to delay issuance of a building permit. A rough sprinkler inspection must be scheduled by the installing contractor and completed prior to requesting a framing inspection. <b>Pebble Beach Community Services District</b></p>	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	

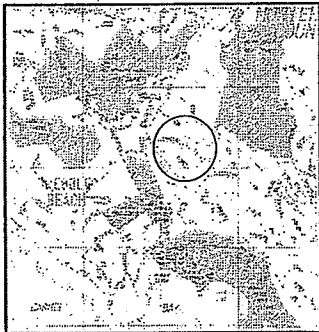
			Applicant shall schedule fire dept. rough sprinkler inspection	Applicant or owner	Prior to framing inspection	
			Applicant shall schedule fire dept. final sprinkler inspection	Applicant or owner	Prior to final building inspection	

END OF CONDITIONS

EXHIBIT "E"

# HEVERDEJS RESIDENCE

3930 RONDA ROAD  
PEBBLE BEACH, CALIFORNIA



VICINITY MAP

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- These documents have been approved for construction by the planning and building departments and the project architect. Any deviations from the work described herein must be submitted in writing to the Architect and submitted to the appropriate agencies for approval.
- All work shall conform to the CBC and to all city and/or county planning and building department regulations.
- Prior to submitting bids, contractors shall verify all dimensions and conditions at the project site and notify the Architect of any discrepancies between these documents and the actual site conditions.
- See specific sheets for additional notes.
- The installation (Form CF-48) and insulation certificates are required to be posted at the job site during the construction phase of the project.
- No person may tap into any hydrant for any purpose other than fire suppression or emergency and without first obtaining written approval from the water purveyor supplying water to the hydrant and from the Monterey County Health Department.
- All hose bibs used in connection with construction activities shall be equipped with an automatic shutoff nozzle.
- No potable water shall be used for compaction or dirt control purposes in construction activities where there is a reasonable available source of reclaimed or other acceptable water approved by the Monterey County Health Department and appropriate for such use.
- One window or exterior door in each sleeping room shall provide a minimum operable area of 5.7 sq. ft. with a minimum clear width of 20", a minimum clear height of 24" and a maximum sill height of 44".
- Exterior lath wall assemblies shall include two layers of Grade D paper when applied over wood base sheathing.
- Smoke detectors shall be installed in every room at the top of every stairwell, and in all hallways leading to bedrooms. Refer to drawings for additional location requirements.
- All dimensions are to face of framing unless noted otherwise. See framing plan for layout.
- All finish floor elevations reference finished surface.
- Slope all exterior, paved/finish surfaces away from building a minimum of 1/8" per foot. Slope all finished grades away from building a minimum of 1/4" per foot for least 5 feet.
- All openings around gas vents, ducts, pipes, chimneys, and hangers at the ceiling shall be fire blocked with noncombustible materials.
- Portland cement plaster shall be applied with three coat application.
- Hot water faucets with more than ten feet of pipe between the faucet and the hot water source shall have a recirculation system per Monterey County requirements.
- Provide a non-removable backflow prevention device at all hose bibs per CPC.
- Water closets shall not use more than 1.6 gallons per flush per state health and safety code, Section 17421.5(B).
- All showers and tub/shower combos shall be equipped with individual control valves of the pressure balance or the thermostatic mixing valve type.
- All showers shall be finished with a smooth, hard, nonabsorbent surface to a height of not less than 10 inches above drain inlet. When gypsum board backing is used as a base for tile or wall panels at showers, water resistant gypsum backing shall be used.

GENERAL NOTES

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- Establishment of a tree preservation zone (tpz). Chain link or orange netting (using 1/2" x 1/2" slats) in the ground, no less than 40 inches in height, shall be installed at the original line perimeter of the future canopy of the tree. The installation will be done prior to any construction activities on site. Once in place, fencing will not be removed without the consent of the consulting arborist.
- Prior to storage of construction equipment, materials, tools, debris or excess soil will be allowed within the tpz. Solvents or liquids of any type should be disposed of properly, never within the protected area.
- Soil compaction shall be minimized within the tpz. Soil surface within the tpz shall be mulched with a 6" layer of mulch. Tree chips from site tree removal are acceptable.
- Natural grade around tpz shall be maintained, no additional fill or excavation will be permitted within areas of tree root development. If trees roots are unearthed during the construction process the consulting arborist will be notified immediately. Exposed roots will be covered with insulated tarping until a determination is made by the on site arborist.
- Any areas of proposed trenching will be evaluated with the consulting arborist and the contractor prior to construction. All trenching in the tpz on the site will be approved by the arborist. Trenching with a tree's drip line will be performed by hand. Tree roots encountered will be avoided or properly pruned under guidance of the consulting arborist.

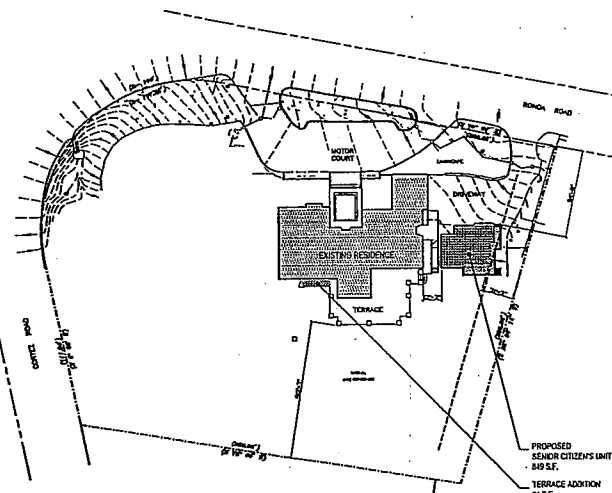
TREE PROTECTION NOTES

4

- The alarm flow switch shall be wired to the kitchen refrigerator circuit. Any deviations require approval from the fire department.
- Address numbers shall be posted before construction begins. permanent address numbers shall be posted prior to request of a final inspection, all address numbers (permanent or temporary) shall be posted on the property so as to be clearly visible from the road, where visibility cannot be provided, a post or sign bearing the address numbers shall be set adjacent to the driveway or access road to the property, address numbers posted shall be "torque" (12, 25, etc.) not "roman" (I, IV, V, etc.) or written out in words (thirteen, seventy six, etc.) address numbers posted shall be a minimum number height of 3 inches, 3/4" wide stroke, and contrasting with the background colors of the sign, note: if numbers are not posted, building inspectors will not grant a final inspection.
- clear vegetation: all flammable vegetation or other combustible growth shall at all times be maintained at a clear distance of not less than 100 feet on each side from the structure or buildings. this shall not apply to single specimens of trees, ornamental shrubbery or similar plants used as ground covers, provided that they do not form a means of rapidly transmitting fire from the native growth to any structure, additional fire protection or firebreak may be required when, because of extra hazardous conditions, a firebreak of only 30 feet around such structure is not sufficient to provide reasonable fire safety, environmentally sensitive areas may require alternative fire protection, to be determined by the fire chief and director of planning and building.
- privacy gates shall be provided with a keypad switch meeting fire department specifications, gate entries shall be at least the width of the traffic lane, but in no case less than 12 feet high, unobstructed vertical clearances shall be not less than 19 feet.

FIRE PROTECTION NOTES

5



SITE PLAN

3

OCCUPANCY: R1		
SCOPE OF WORK: 1) Existing Residence Main Floor, Remodel- Kitchen, Baths and Bedroom. Lower Floor, Remodel- Office, Bedroom 1, Guest Suite. 2) New Addition Of a Senior Citizens Unit		
OWNER: Mr. Frank Heverdejs 3930 Ronda Road Pebble Beach, California 95555		
A.P.N. 006-223-001-000 ZONING: LDR1/S (C2)		
LOT AREA: 1.6 Acres (64,220 Sq. Ft.)		
Floor Areas	Existing	Proposed
Main Floor	4,207 Sq. Ft.	4,020 Sq. Ft.
Garage	504 Sq. Ft.	705 Sq. Ft.
Terraces	1,456 Sq. Ft.	1,500 Sq. Ft.
	6,242 Sq. Ft.	6,300 Sq. Ft.
Lower Floor	2,670 Sq. Ft.	2,670 Sq. Ft.
Senior Citizens Unit		844 Sq. Ft.
Lot Coverage	6,242 @ 64,220 = 9%	7,141 @ 64,220 = 10%
Floor Area Ratio	7,152 @ 64,220 = 10%	7,141 @ 64,220 = 10%
Impervious Surfaces	Existing	Proposed
Driveway	2,450 Sq. Ft.	-
Entry Court Yard	620 Sq. Ft.	630 Sq. Ft.
Patio Court	4,200 Sq. Ft.	4,020 Sq. Ft.
	7,270 Sq. Ft.	4,650 Sq. Ft.
Total	7,270 Sq. Ft.	4,710 Sq. Ft.
Net Reduction		2,560 Sq. Ft.
TREE REMOVAL:	None	None
GRADING:	None	None
Water Company:	CAL-AM	Pebble Beach Watermaster
Sanitary System:		

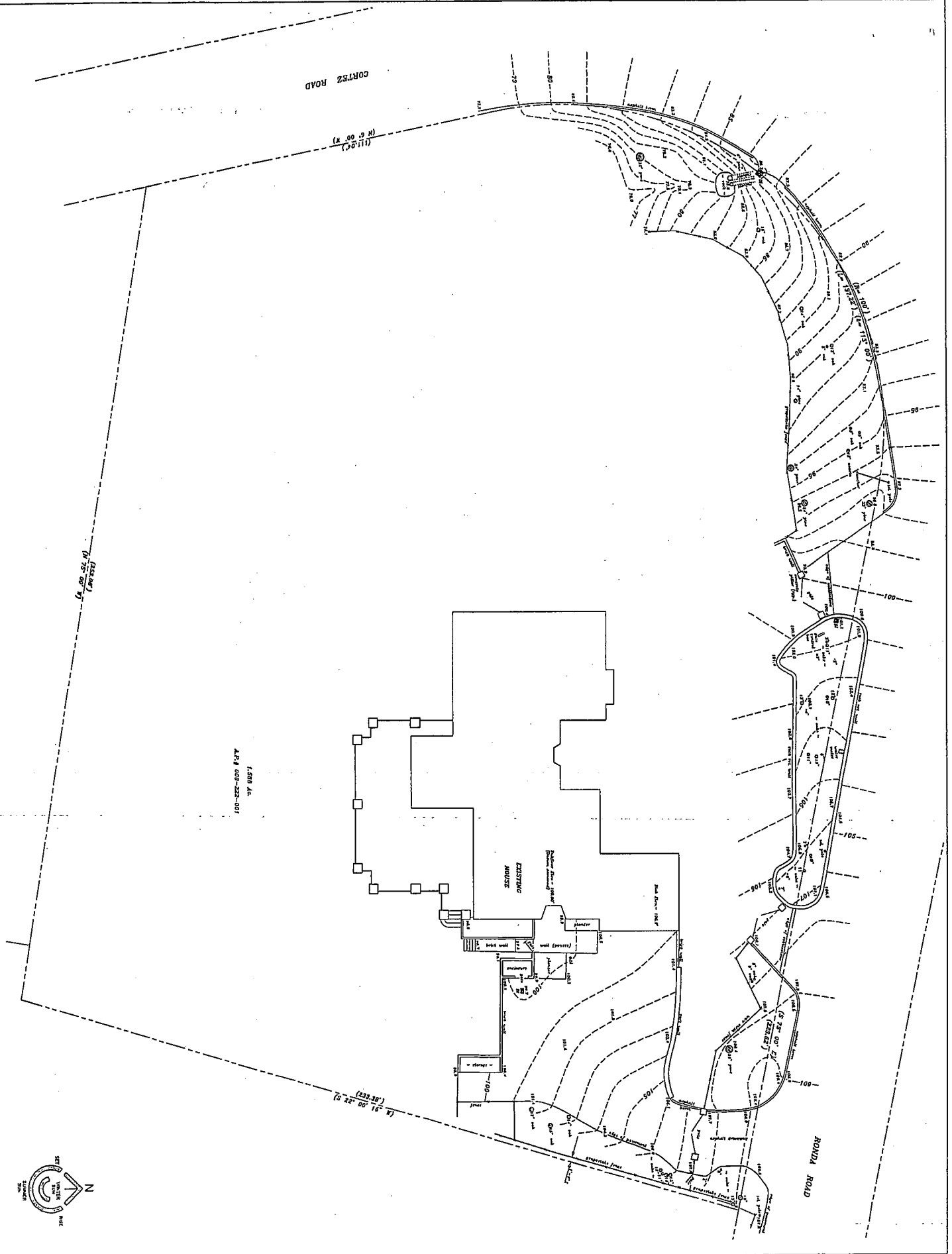
PROJECT INFORMATION	
SHEET G-11	TITLE PAGE-SITE PLAN-NOTES
SHEET A-10	EXISTING SITE PLAN
SHEET A-12	PLOT PLAN-ENHANCED CONTROL NOTES
SHEET A-21	RESIDENCE MAIN FLOOR PLAN
SHEET A-22	RESIDENCE LOWER FLOOR PLAN
SHEET A-23	RESIDENCE ROOF PLAN
SHEET A-24	SENIOR CITIZENS FLOOR AND ROOF PLAN
SHEET A-31	RESIDENCE EXTERIOR ELEVATIONS
SHEET A-32	RESIDENCE EXTERIOR ELEVATIONS
SHEET A-33	SENIOR CITIZENS EXTERIOR ELEVATIONS
SHEET A-41	SENIOR CITIZENS BUILDING SECTIONS-DETAILS
SHEET A-61	DOOR AND WINDOW SCHEDULE
SHEET E-11	MAIN RESIDENCE ELECTRICAL UPPER FLOOR
SHEET E-12	MAIN RESIDENCE ELECTRICAL LOWER FLOOR
SHEET E-13	SENIOR CITIZENS ELECTRICAL PLAN
SHEET A-21	EXISTING MAIN FLOOR PLAN
SHEET A-22	EXISTING ROOF PLAN
SHEET A-23	EXISTING EXTERIOR ELEVATIONS
SHEET A-24	EXISTING EXTERIOR ELEVATIONS

SHEET INDEX	
Job Number	2006-01
Date	07-20-06
Drawn By	
Revised	
Sheet Number	G-1.1
of	Sheets
Cover Sheet	

Jon Sather Etlandson Architect-C11925  
The MENT: Iron Hill Corner of Delana and Fish, Carmel By The Sea  
1615 Avenue of the Palms, Pebble Beach, CA 95555, 831.927.1100  
Phone: (831) 927-1100 Fax: (831) 927-1101 Email: jon@jonetlandson.com

HEVRDEJS RESIDENCE  
3930 Ronda Road  
Pebble Beach, California

EXISTING SITE PLAN



30E \* 1" = 1'

1

306 Number	2006-61	Date	07-25-06
307 Number		Date	
308 Number		Date	
309 Number		Date	
310 Number		Date	

Sheet Number  
**A-1.1**

### HEVRDEJS RESIDENCE

3930 Rounda Road  
Pebble Beach, California



**Jon Sather Erlandson Architect - C11925**

"The MEWS" North East Corner of Dolores and Fifth, Carmel By The Sea

MAIL: Jon Sather Erlandson, Architect Post Office Box 22970 Carmel, CA 93927

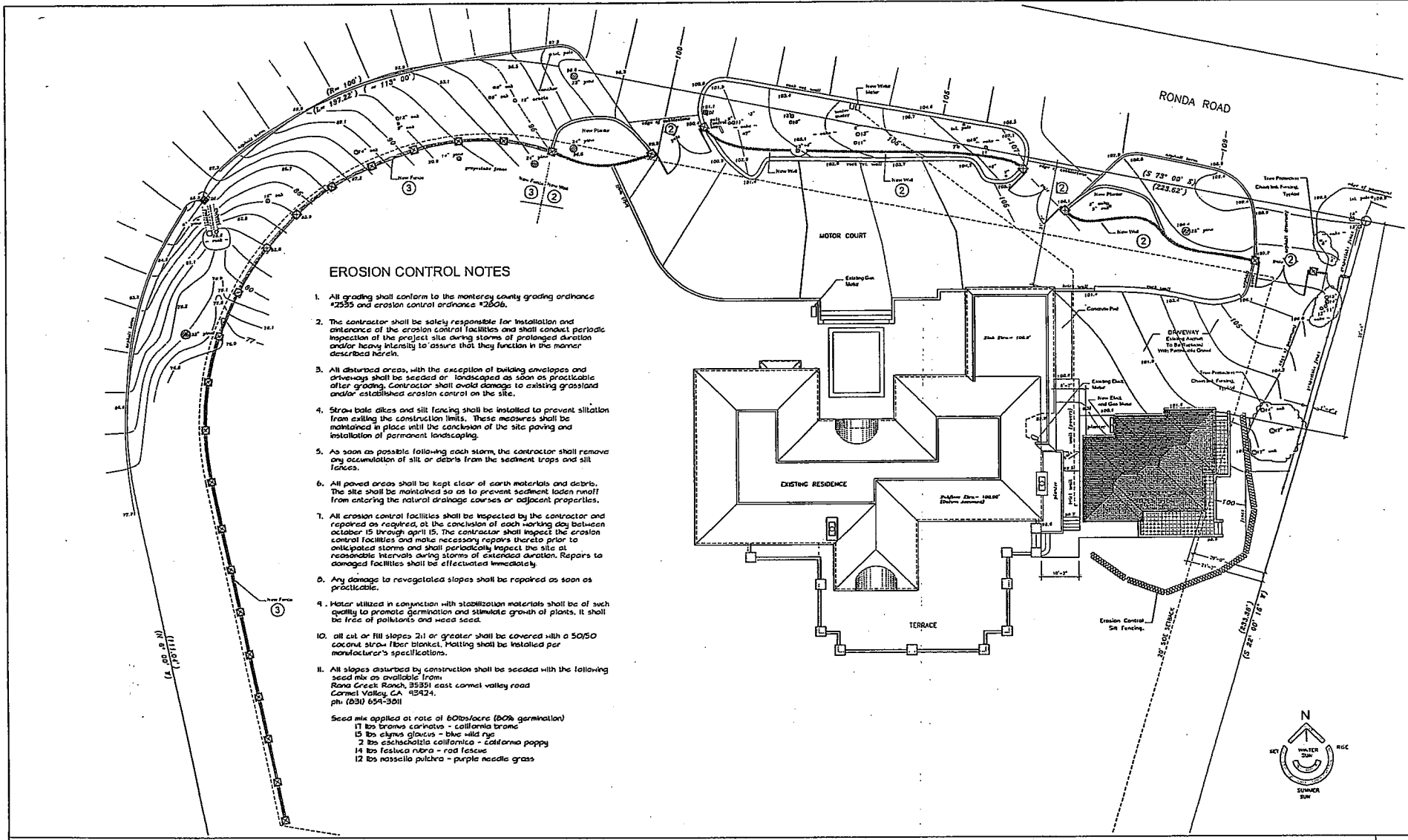
DATE	REVISION

DATE	REVISION

**Jon Sather Erlandson** Architect - C11925  
 The HEVRDEJS' North East Corner of Dobson and Elm, Carmel By The Sea  
 I.M.C. - JAMES EARL EDWARDS, ARCHITECT, P.O. BOX 223210, CARMEL, CALIFORNIA 95027

**HEVRDEJS RESIDENCE**  
 3358 Ronda Road  
 Pacific Beach, California

Job Number: 2005-01  
 Date: 02-28-06  
 Sheet Number: **A-1.2**  
 DWG  
 REV  
 PLT PLAN

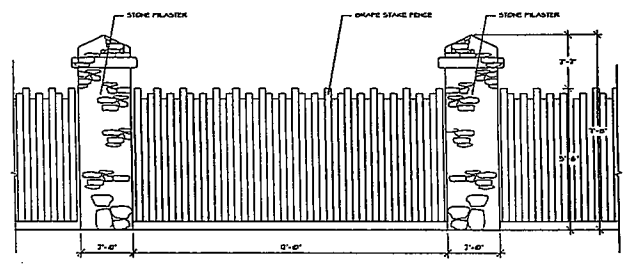


**EROSION CONTROL NOTES**

- All grading shall conform to the Monterey county grading ordinance #2550 and erosion control ordinance #2806.
- The contractor shall be solely responsible for installation and maintenance of the erosion control facilities and shall conduct periodic inspection of the project site during storms of prolonged duration and/or heavy intensity to assure that they function in the manner described herein.
- All disturbed areas, with the exception of building envelopes and driveways shall be seeded or landscaped as soon as practicable after grading. Contractor shall avoid damage to existing grassland and/or established erosion control on the site.
- Silt-out bales dikes and silt fencing shall be installed to prevent siltation from exiting the construction limits. These measures shall be maintained in place until the conclusion of the site paving and installation of permanent landscaping.
- As soon as possible following each storm, the contractor shall remove any accumulation of silt or debris from the sediment traps and silt fences.
- All paved areas shall be kept clear of earth materials and debris. The site shall be maintained so as to prevent sediment laden runoff from entering the natural drainage courses or adjacent properties.
- All erosion control facilities shall be inspected by the contractor and repaired as required at the conclusion of each working day between October 15 through April 15. The contractor shall inspect the erosion control facilities and make necessary repairs thereto prior to anticipated storms and shall periodically inspect the site at reasonable intervals during storms of extended duration. Repairs to damaged facilities shall be effectuated immediately.
- Any damage to revegetated slopes shall be repaired as soon as practicable.
- Water utilized in conjunction with stabilization materials shall be of such quality to promote germination and stimulate growth of plants, it shall be free of pollutants and weed seeds.
- All cut or fill slopes 2:1 or greater shall be covered with a 50/50 cocomet straw fiber blanket. Matting shall be installed per manufacturer's specifications.
- All slopes disturbed by construction shall be seeded with the following seed mix as available from Rana Creek Ranch, 35351 east camel valley road Carmel Valley, CA 95424. ph: (831) 654-3511
  - Seed mix applied at rate of 600lbs/acre (80% germination)
    - 17 lbs bromus carinatus - california bromus
    - 15 lbs elymus glaucus - blue wild rye
    - 2 lbs eschscholzia californica - california poppy
    - 14 lbs festuca rubra - red fescue
    - 12 lbs rissella pulchra - purple needle grass

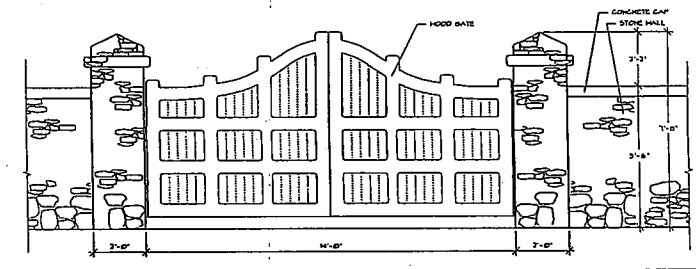
**PLOT PLAN**

3/32" = 1'-0" 1



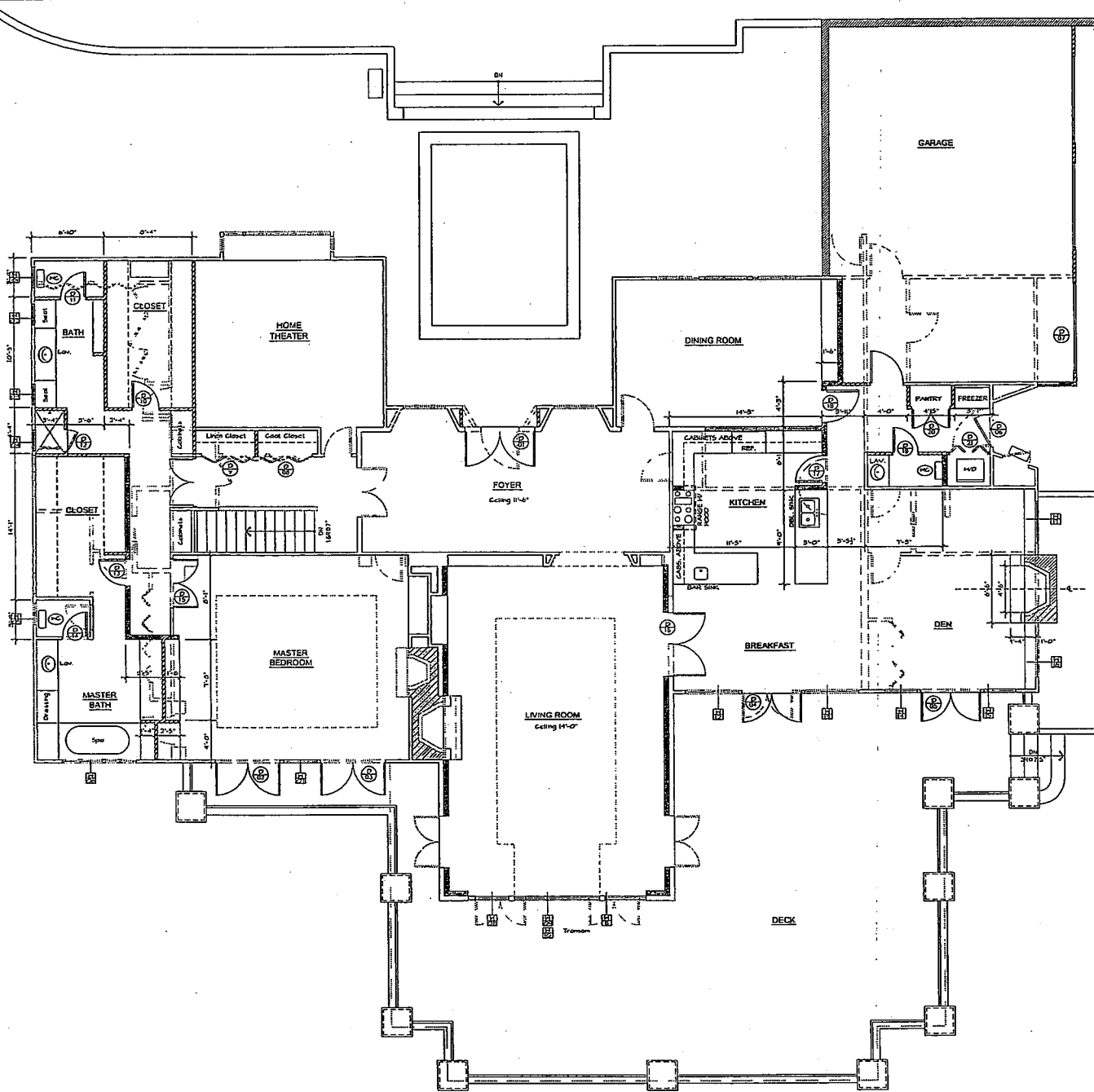
**GRAPE STAKE FENCE DETAIL**





1/2" = 1'-0" 3

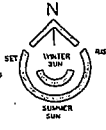


**STONE WALL DETAIL**

1/2" = 1'-0" 2



-  INDICATES EXISTING FRAMING
-  INDICATES HALL TO BE REMOVED
-  INDICATES NEW FRAMING
-  INDICATES MASONRY BLOCK



PROPOSED MAIN FLOOR PLAN

1/4" = 1'-0"

1

DATE	REVISION

Jon Sather Erlandson Architect - C11925  
 "The MEWS" 10th East Corner of Dobson and Fifth, Carmel By The Sea  
 MAIL: Jon Sather Erlandson, Architect, Post Office Box 22319, Carmel, CA 95021

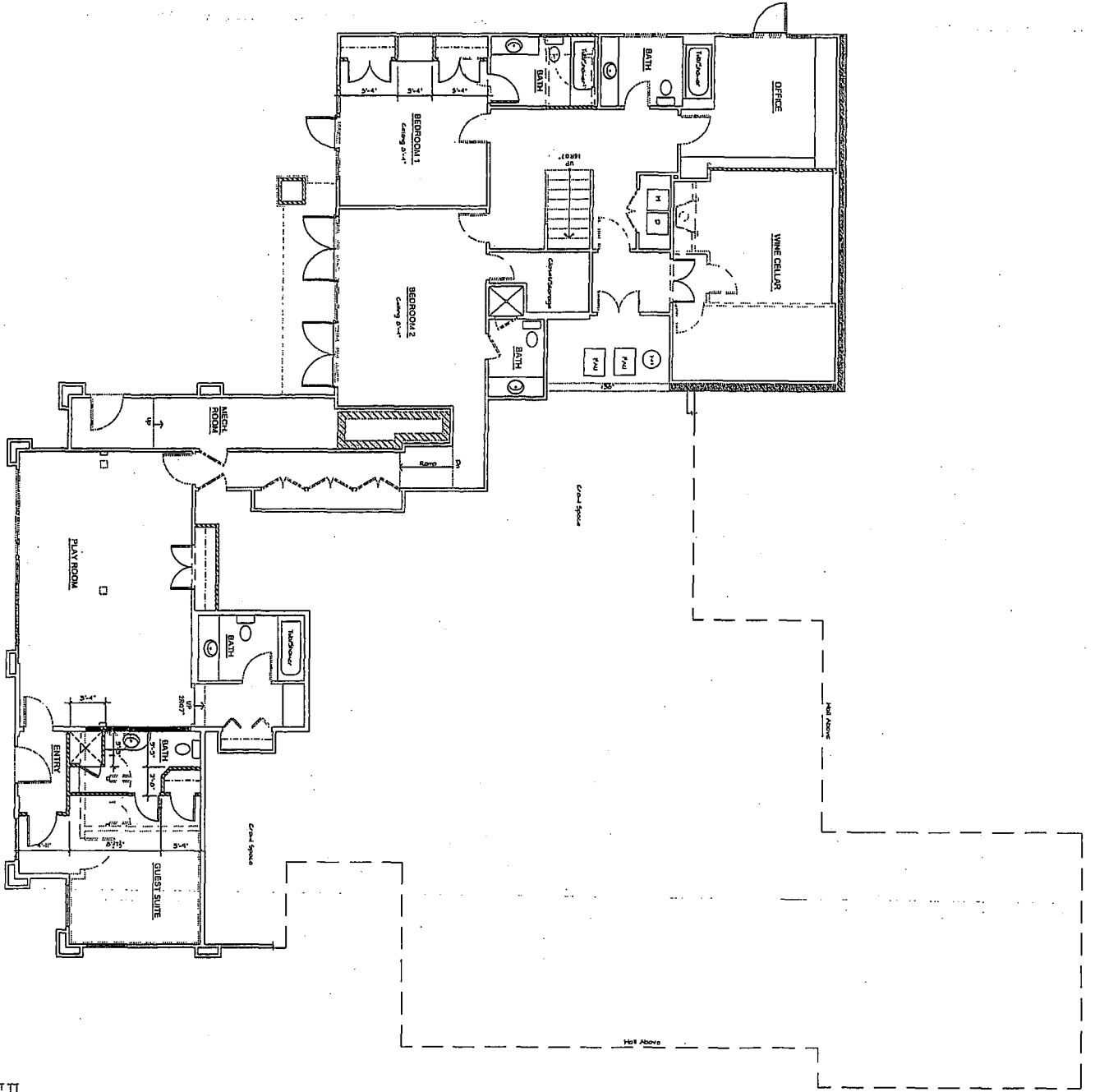


**HEVRDEJS RESIDENCE**  
 3330 Pondera Road  
 Pebble Beach, California

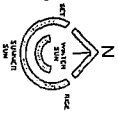
Job Number 2006-01	Drawn 
Date 03-20-06	Revised 
Sheet Number <b>A-2.1</b>	



PROPOSED LOWER FLOOR PLAN



- INDICATES EXISTING FRAMING
- INDICATES WALL TO BE REMOVED
- INDICATES NEW FRAMING
- INDICATES MASONRY BLOCK



1/4" = 1'-0"

1

HEVRDEJS RESIDENCE

3930 Ronda Road  
Pebble Beach, California



Jon Sather Erlandson Architect - C11925

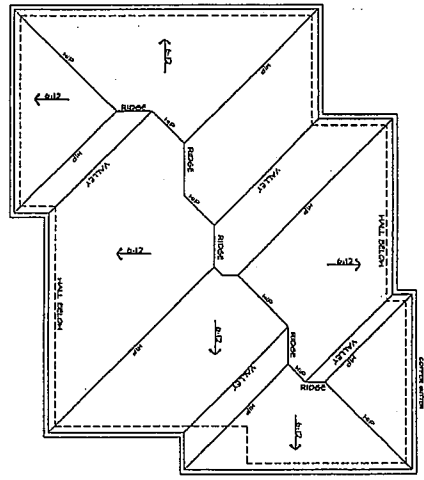
"The MEYERS" North East Corner of Dolores and Fifth, Carmel By The Sea

MAIL: Jon Sather Erlandson, Architect, Post Office Box 225110, Carmel, California 93922

DATE	REVISION

Scale: 1/4" = 1'-0"  
**A-2.2**  
 Job Number: 2004-01  
 Date: 03-13-04  
 Drawn by: [Blank]  
 Checked by: [Blank]

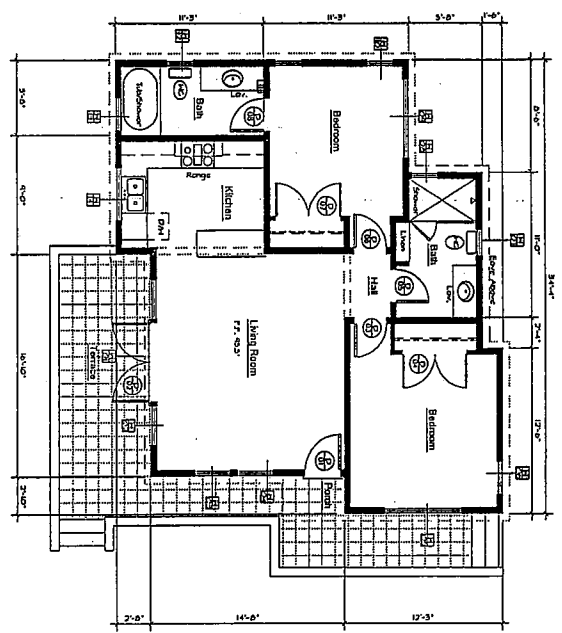




SENIOR CITIZENS UNIT ROOF PLAN

1/4" = 1'-0"

2



SENIOR CITIZENS UNIT FLOOR PLAN

1/4" = 1'-0"

1



1/4" = 1'-0"

3

DATE	REVISION



**Jon Sather Erlandson Architect - C11925**  
 "The MEWS" North East Corner of Dolores and Fifth, Camdel By The Sea

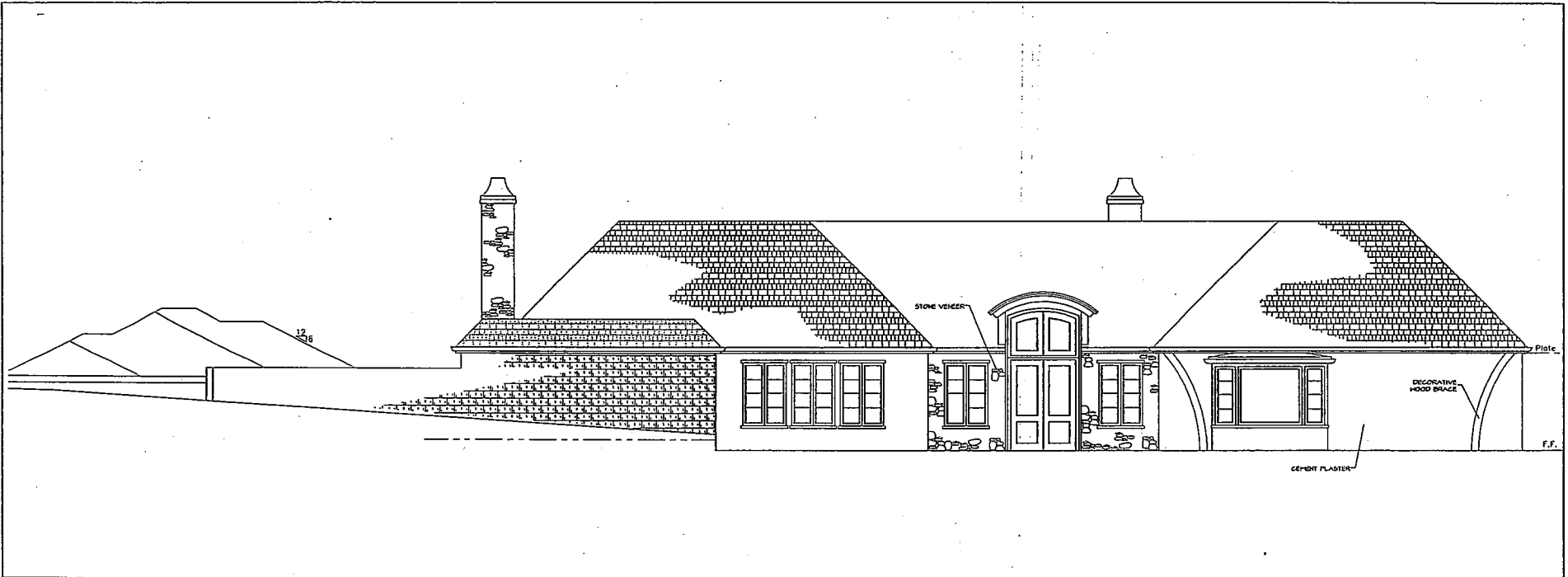
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**HEVRDEJS RESIDENCE**  
 3930 Ronda Road  
 Pebble Beach, California

**A-2.4**

Job Number 2006-01	Drawn
Date 07-20-06	Revised
Sheet Number	

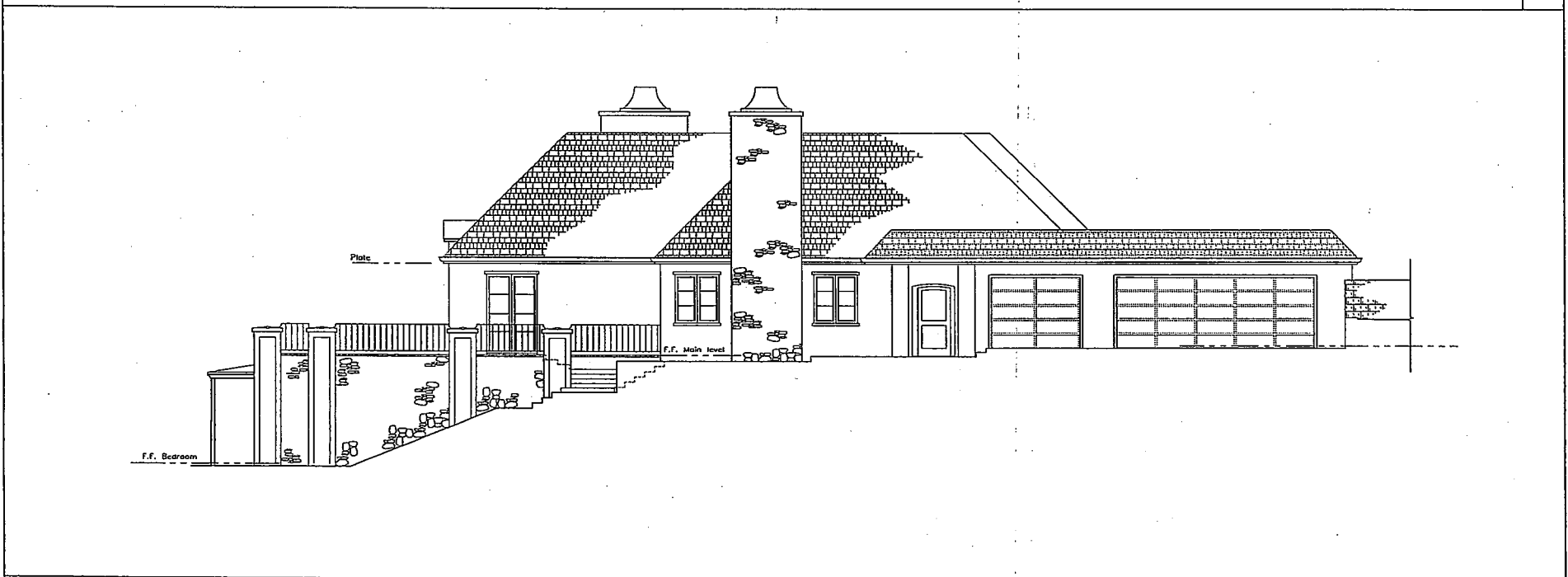
Senior Citizens Unit



NORTH ELEVATION

1/4" = 1'-0"

N



EAST ELEVATION

1/4" = 1'-0"

E

DATE	REVISION

Jon Sather Erlandson Architect - C11925  
 "The MEYER" North East Corner of Coburns and Fifth, Carmel By The Sea  
 JME: Jon Sather Erlandson, Architect Permit No. Ex 22470, Carmel, California 95027



**HEVRDEJS RESIDENCE**  
 3370 Ronda Road  
 Pebble Beach, California

Job Number  
 2006-01

Date  
 07-20-06

Sheet Number  
**A-3.1**

Exterior Elevations

DATE	REVISION

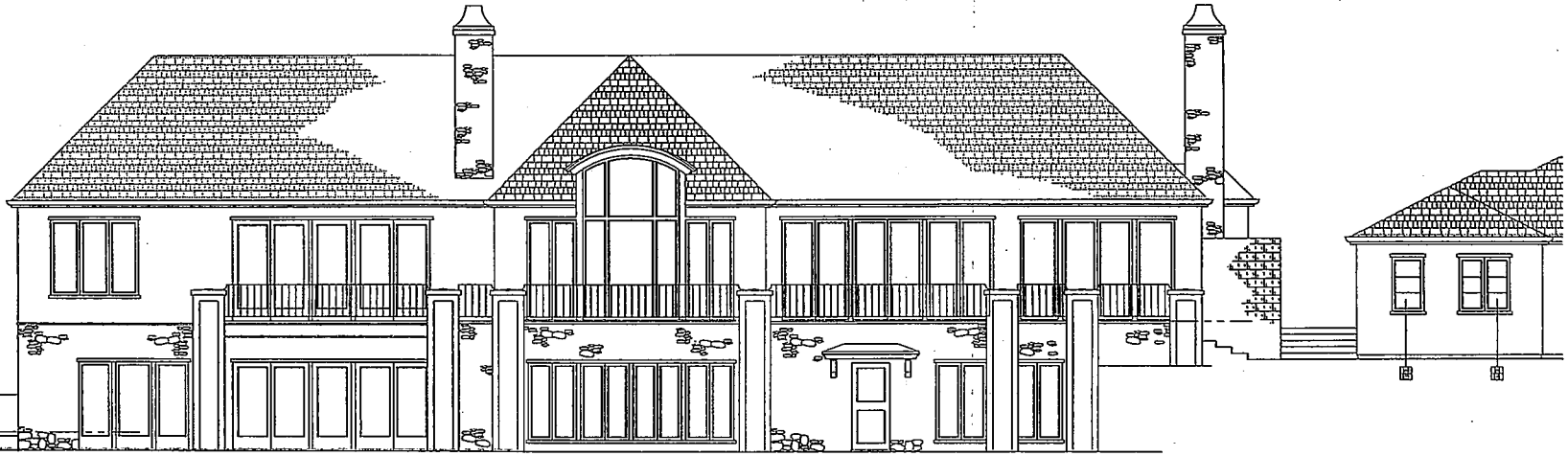
Jon Sather Erlandson Architect - C11925  
 "The HEVRDEJS' North East Corner of Dobbes and Fifth, Carmel By The Sea"  
 1/11: Jon Sather Erlandson, Architect Post Office Box 225120 Carmel, California 95027



**HEVRDEJS RESIDENCE**

3929 Avenida de la Playa  
 Pacific Beach, California

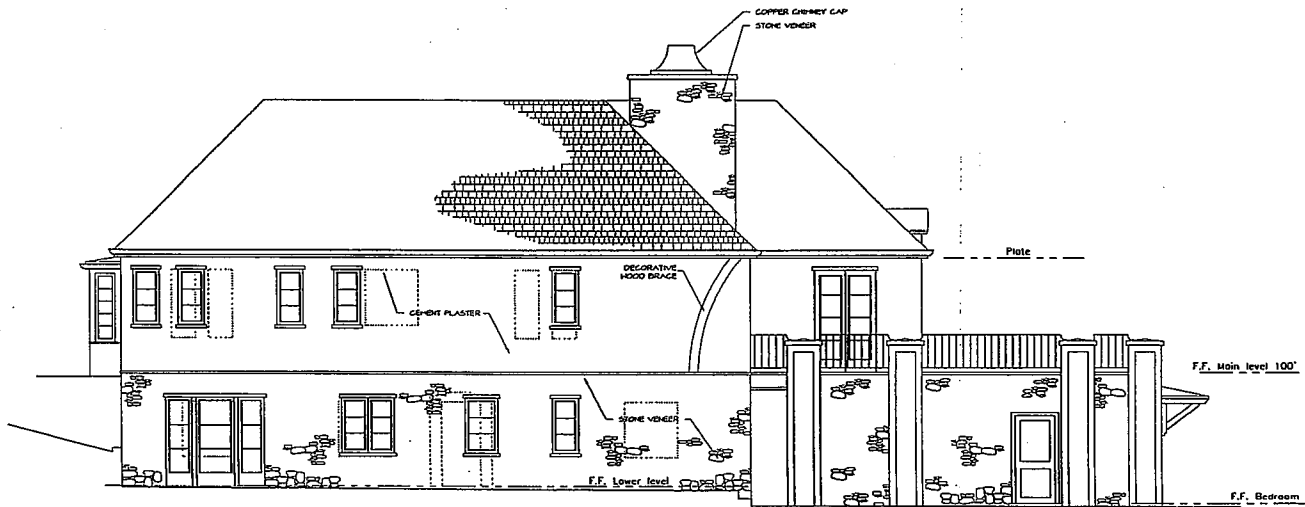
Job Number 2006-01	Drawn
Date 07-20-06	Revised
Sheet Number <b>A-3.2</b>	of
Exterior Elevations	



SOUTH ELEVATION

1/4" = 1'-0"

S

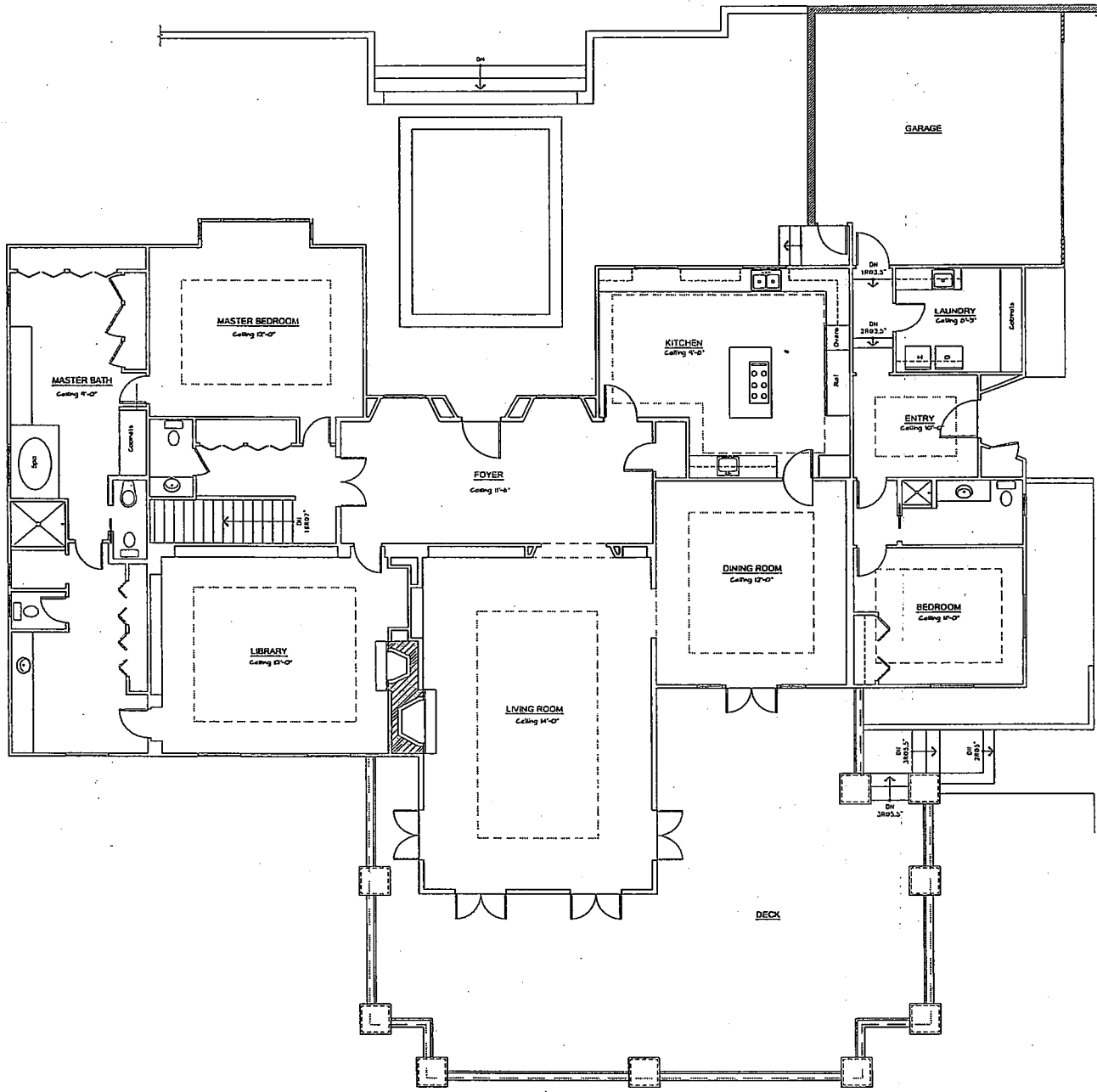


WEST ELEVATION

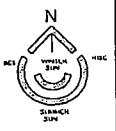
1/4" = 1'-0"

W





INDICATES EXISTING FRAMING
   
 INDICATES NEW FRAMING
   
 INDICATES MASONRY BLOCK



EXISTING MAIN FLOOR PLAN

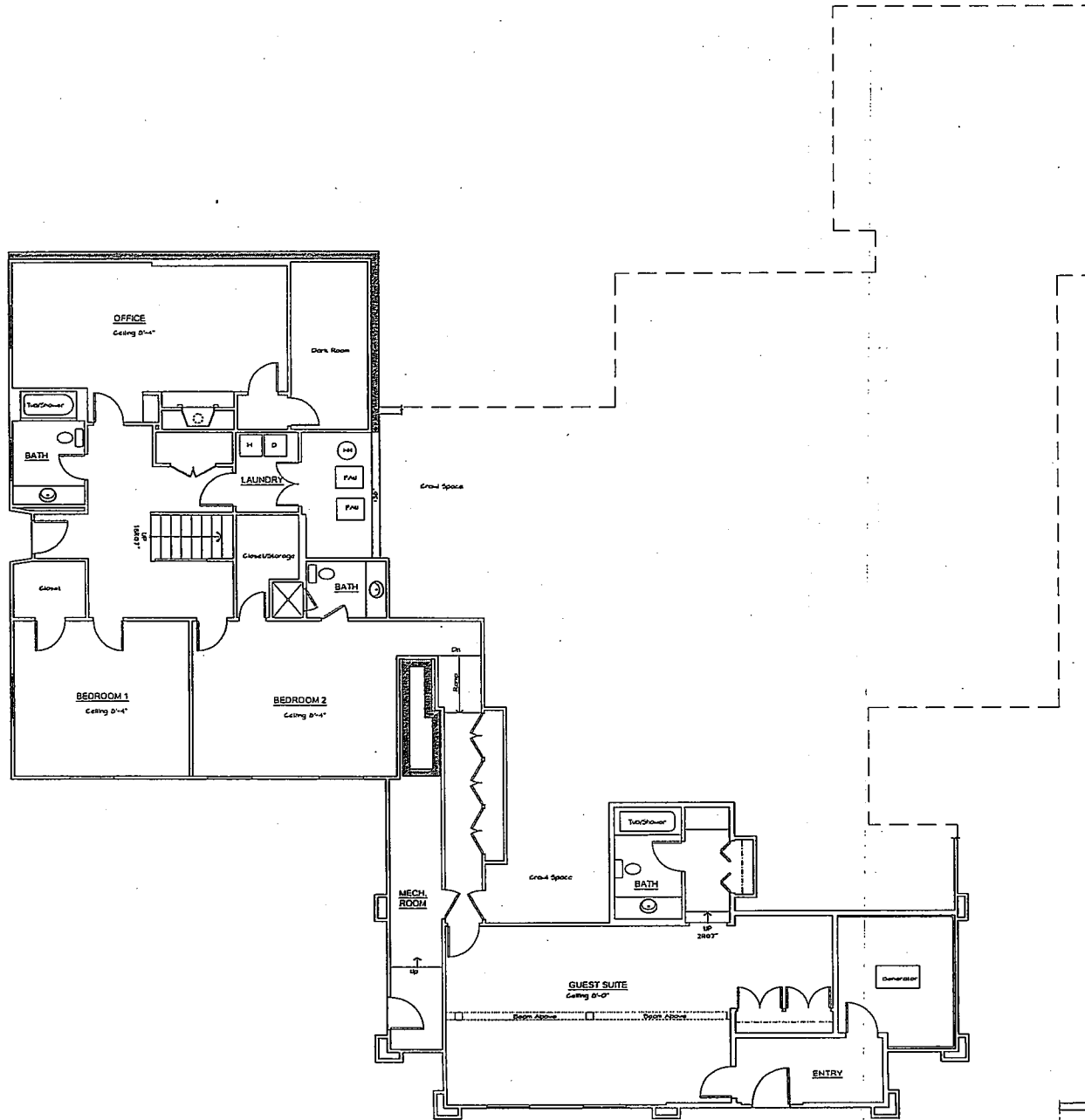
1/4" = 1'-0" 1

DATE	REVISION

**Jon Sather Eriandson** Architect - C11925  
 "The NEW" North East Corner of Dolores and Fill, Camel/B/ The Sea  
 3000 San Bruno Avenue, San Bruno, CA 94066  
 Phone (415) 825-6133 Email js@jonathansather.com

**HEVRDEJS RESIDENCE**  
 3000 Renda Road  
 Pacific Beach, California

Job Number: 2006-01 Drawn By:  
 Date: 02-29-06 Revisions:  
 Sheet Number: Ae-2.1 of 2  
 Existing Main Floor Plan



BATCH	REVISION

**Jon Sather Erlandson** Architect - C11925  
 "The NEW'S" North East Corner of Diablos and Pin, Carmel By The Sea  
 M.A.C.: Jon Sather Erlandson, Architect Post Office Box 97340 Carmel, California 95077  
 Phone: (831) 255-5883 Fax: (831) 255-5131 Email: js@jonerandson.com

**HEVRDEJS RESIDENCE**  
 3300 Renda Road  
 Pacific Beach, California

Job Number 2008-01	Drawn By
Date 02-29-08	Revised
Sheet Number <b>Ae-2.2</b>	of <b>Sheet</b>

Existing Lower Floor Plan

EXISTING LOWER FLOOR PLAN

1/4" = 1'-0"










# DEL MONTE FOREST

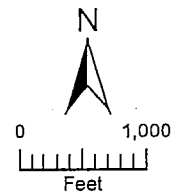


APPLICANT: HEVRDEJS

APN: 008-222-001-000

FILE # PLN060268

 300' Limit  2500' Limit  City Limits



PLANNER: MAIN