

In the matter of the application of  
**Joe and Victoria Rocha (PLN060489)**

**FINDINGS & DECISION**

for a Use Permit in accordance with Title 21 (Zoning) Chapter 21.74 (Use Permits) of the Monterey County Code, to allow a third residential unit, a 2,693 square foot one-story single family dwelling with attached 823 square foot three-car garage, septic disposal system, grading (approximately 1,600 cubic yards cut/400 cubic yards fill), and a tree removal permit to allow the removal of one 17 inch coast live oak. The property is located at 166 Dunbarton Road, Aromas, North County Area Plan, and came on regularly for hearing before the Zoning Administrator on March 8, 2007.

Said Zoning Administrator, having considered the application and the evidence presented relating thereto,

**FINDINGS OF FACT**

**1. FINDING: CONSISTENCY** – The project, as described in Condition No. 1 and as conditioned, conforms to the policies, requirements, and standards of the Monterey County General Plan, North County Area Plan, North County Area Plan Inventory and Analysis, and the Monterey County Zoning Ordinance (Title 21), which designates this area as appropriate for development.

**EVIDENCE:** (a) The text, policies, and regulations in the above referenced documents have been evaluated during the course of review of applications. No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

(b) The property is located at 166 Dunbarton Road, Aromas (Assessor's Parcel Number 141-011-008-000), North County Area Plan. The parcel is zoned Rural Density Residential, 5.1 acres per unit ("RDR/5.1"). The subject property complies with all the rules and regulations pertaining to zoning uses and any other applicable provisions of Title 21, and is therefore suitable for the proposed development.

(c) The project planner conducted a site inspection on August 7, 2006 to verify that the project on the subject parcel conforms to the plans listed above.

(d) A third residential unit is allowed in Rural Density Residential Zoning Districts, subject to securing a Use Permit. Section 21.16.050.A of the Monterey County Zoning Ordinance allows for "Additional residential units to a maximum of 4 on any lot, and not exceeding the zoning density of the property."

(e) The project was not referred to the North County Non-Coastal Land Use Advisory Committee (LUAC) for review. Based on the current review guidelines adopted by the Monterey County Board of Supervisors per Resolution No. 04-236, this application did not warrant referral to the LUAC because the project does not involve slope restrictions; ridge/line/viewshed development; environmental review, or variance.

(f) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Planning File No. PLN060489.

**2. FINDING: SITE SUITABILITY** – The site is physically suitable for the use proposed.

- EVIDENCE:** (a) The project has been reviewed for site suitability by the following departments and agencies: RMA - Planning Department, Aromas-Tri County Fire Protection District, Public Works, Environmental Health Division, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
- (b) Technical reports by outside arborist and geological consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff concurs. The following reports have been prepared:
- (i) An "Arborist report" (LIB060662) has been prepared for this parcel by Forest City Consulting, dated December 15, 2006.
  - (ii) A "Geological and Soils Engineering Feasibility Investigation and Percolation Testing" (LIB060663) report has been prepared for this parcel by Landset Engineers, Inc. dated June 2006.
- (c) According to the North County Area Plan, the site is located in an area designated as having a V or "high" landslide and erosion, susceptibility and within a V or "high" seismic hazard zone. The geotechnical report prepared for this parcel accounts for these high hazards. Condition No. 5 has been incorporated requiring that a geotechnical certification be submitted to the Director of the RMA - Planning Department for review and approval prior to final building inspection.
- (d) Staff conducted a site inspection on August 7, 2006 to verify that the site is suitable for this use.
- (e) Materials in Planning File No. PLN060489.

**3. FINDING: TREE REMOVAL (Minimum Required and Adverse Environmental Impacts) –** The project, as conditioned, is consistent with the regulations for Preservation of Oak and Other Protected Trees, Section 21.64.260.D of the Monterey County Zoning Ordinance (Title 21). As such, the proposed tree removal is the minimum required under the circumstances of the case and will not involve a risk of adverse environmental impacts. The project proposes the removal of one 17-inch coast live oak.

- EVIDENCE:** (a) The residence has been sited in the most appropriate location within the homeland boundary considering the following factors: (1) the need for the driveway to meet fire department code requirements of less than 15% slope for fire vehicles and provide for emergency vehicle truck turn-around requirements; and (2) the limited area for which development could occur on slopes less than 30% that is suitable for a septic system and disposal fields. One 17-inch diameter at breast height Coast Live Oak tree designated for removal which within the footprint of the proposed residence.
- (b) The "Arborist report" (LIB060662) prepared for this parcel by Forest City Consulting, dated December 15, 2006 states that tree removal is limited to one tree within the footprint of construction. The project was redesigned by moving the driveway encroachment west to avoid potential impacts to three trees east of the driveway. Efforts to save large oaks include the incorporation of an oak tree in the driveway turnaround and the use of a tree well south of the motor court area. The reports supports that tree removal will not involve a risk of adverse environmental impacts such as soil erosion, water quality, ecological impacts, noise pollution, air movement, and wildlife habitat. Tree removal will not have a negative impact on soil erosion. Compliance with Monterey County Erosion Control Measures will be required during construction activities and is incorporated as Condition No. 6.
- (c) The Monterey County Zoning Ordinance, Section 21.64.260.D.4 requires the replacement of protected tree species removed at a rate of 1:1 replacement ratio. Condition of

Approval No. 8 requires that the applicant submit photo documentation of the replanted oak tree prior to final inspection or occupancy.

- (d) The application, plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development, found in Project File PLN060489.
- (e) Staff conducted an on-site inspection on August 7, 2006 to verify that the proposed tree removal plan is consistent with the site conditions.

**4. FINDING: CEQA (Exempt):** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:** (a) California Environmental Quality Act (CEQA) Guidelines Section 15303 categorically exempts single-family dwellings.
- (b) California Environmental Quality Act (CEQA) Guidelines Section 15304 categorically exempts minor alteration to land.
- (c) No adverse environmental effects were identified during staff review of the development application during a site visit on August 7, 2006.
- (d) See preceding and following findings and supporting evidence.

**5. FINDING: NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property. Zoning violation abatement costs, if any, have been paid.

**EVIDENCE:** Staff reviewed Monterey County RMA - Planning Department and Building Services Department Monterey County records and is not aware of any violations existing on subject property.

**6. FINDING: HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:** (a) The project has been reviewed for site suitability by the following departments and agencies: RMA - Planning Department, Aromas-Tri County Fire Protection District, Public Works, Environmental Health Division, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
- (b) Preceding findings and supporting evidence.

**7. FINDING: APPEALABILITY** - The decision on this project is appealable to the Monterey County Planning Commission.

**EVIDENCE:** Section 21.80.040.B Monterey County Zoning Ordinance (Title 21).

### **DECISION**

**THEREFORE**, it is the decision of the Zoning Administrator that said application for a Use Permit be granted as shown on the attached sketch, and subject to the attached conditions.

**PASSED AND ADOPTED** this 8th day of March, 2007.

  
JEFF MAIN, ZONING ADMINISTRATOR

COPY OF THIS DECISION WAS MAILED TO THE APPLICANT ON MAR 14 2007

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY TO THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE MAR 24 2007

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90<sup>th</sup> day following the date on which this decision becomes final.

#### NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning and Building Inspection Department office in Salinas.

2. This permit expires two years after the above date of granting thereof unless construction or use is started within this period.

**Monterey County Resource Management Agency Planning  
Department  
Condition Compliance and/or Mitigation Monitoring Reporting Plan**

**Project Name:** Joe A. and Victoria M. Rocha

**File No:** PLN060489

**APN:** 141-011-008-000

**Approved by:** Zoning Administrator

**Date:** March 8, 2007

*\*Monitoring or Reporting refers to projects with an EIR or adopted Mitigated Negative Declaration per Section 21081.6 of the Public Resources Code.*

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
1.		<p><b>PBD029 - SPECIFIC USES ONLY</b></p> <p>This Use Permit (PLN060489) allows a third residential unit, a 2,693 square foot one-story single family dwelling with attached 823 square foot three-car garage, septic disposal system, grading (approx. 1,600 cu. Yds. Cut/400 cu. Yds. Fill), and a Tree Removal Permit to allow the removal of one 17 inch coast live oak. The property is located at 166 Dunbarton Road, Aromas (Assessor's Parcel Number 141-011-008-000), southwest of the intersection of Highway 101 and San Juan Road, North County area. This permit was approved in accordance with County ordinances and land use regulations subject to the following terms and conditions. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of RMA - Planning Department. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities.  <b>[Resource Management Agency (RMA) - Planning Department]</b></p>	Adhere to conditions and uses specified in the permit.	Owner/ Applicant	Ongoing unless other- wise stated	

2.		<b>PBD025 - NOTICE-PERMIT APPROVAL</b> The applicant shall record a notice which states: "A permit ( <b>Resolution No. 060489</b> ) was approved by the Zoning Administrator for Assessor's Parcel Number 141-011-008-000 on March 8, 2007. The permit was granted subject to 26 conditions of approval, which run with the land. A copy of the permit is on file with the Monterey County RMA - Planning Department." Proof of recordation of this notice shall be furnished to the Director of RMA - Planning Department prior to issuance of building permits or commencement of the use. <b>(RMA - Planning Department)</b>	Proof of recordation of this notice shall be furnished to RMA - PD	Owner/ Applicant	Prior to Issuance of grading and building permits or start of use.	
3.		<b>PBD030 - STOP WORK - RESOURCES FOUND</b> If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. The Monterey County RMA - Planning Department and a qualified archaeologist (i.e., an archaeologist registered with the Society of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery. <b>(RMA - Planning Department)</b>	Stop work within 50 meters (165 feet) of uncovered resource and contact the Monterey County RMA - Planning Department and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.	Owner/ Applicant/ Archaeologist	Ongoing	
4.		<b>PD007 - GRADING-WINTER RESTRICTION</b> No land clearing or grading shall occur on the subject parcel between October 15 and April 15 unless authorized by the Director of RMA - Building Services Department. <b>(RMA - Planning Department and Building Services Department)</b>	Obtain authorization from the Director of RMA - Building Services Department to conduct land clearing or grading between October 15 and April 15.	Owner/ Applicant	Ongoing	

5.		<b>PD009 - GEOTECHNICAL CERTIFICATION</b> Prior to final inspection, the geotechnical consultant shall provide certification that all development has been constructed in accordance with the geotechnical report. (RMA – Planning Department and Building Services Department)	Submit certification by the geotechnical consultant to the RMA – Building Services Department showing project's compliance with the geotechnical report.	Owner/ Applicant/ Geotechnical Consultant	Prior to final inspection	
6.		<b>PD010 - EROSION CONTROL PLAN AND SCHEDULE</b> The approved development shall incorporate the recommendations of the Erosion Control Plan as reviewed by the Director of RMA – Planning and Director of Building Services. All cut and/or fill slopes exposed during the course of construction be covered, seeded, or otherwise treated to control erosion during the course of construction, subject to the approval of the Director of RMA - Planning and Director of RMA - Building Services. The improvement and grading plans shall include an implementation schedule of measures for the prevention and control of erosion, siltation and dust during and immediately following construction and until erosion control planting becomes established. This program shall be approved by the Director of RMA - Planning and Director of RMA - Building Services. (RMA - Planning Department and RMA - Building Services Department)	An Erosion Control Plan shall be submitted to the RMA - Planning Department and the RMA - Building Services Department prior to issuance of building and grading permits.	Owner/ Applicant	Prior to the issuance of grading and building permits	
			Comply with the recommendations of the Erosion Control Plan during the course of construction until project completion as approved by the Director of RMA - Planning and Director of RMA - Building Services.	Owner/ Applicant	Ongoing	

7.		<b>PD011 – TREE AND ROOT PROTECTION</b> Trees which are located close to the construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by a certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of the RMA – Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by a certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits.(RMA - Planning Department)	Submit evidence of tree protection to the RMA - Planning Department for review and approval.	Owner/ Applicant	Prior to the issuance of grading and/or building permits	
			Submit on-going evidence that tree protection measures are in place throughout grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.	Owner/ Applicant/ Arborist	During Construction	
			Submit photos of the trees on the property to the RMA – Planning Department after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.	Owner/ Applicant	Prior to final inspection	
8.		<b>PDSP01 – TREE REPLACEMENT (NON-STANDARD)</b> Pursuant to Section 21.64.260.D.4 of the Monterey County Zoning Ordinance, replacement of protected tree species shall be replaced at a rate of 1:1 ratio. The applicant shall replace the one coast live oak removed with one coast live oak. (RMA – Planning Department and Building Services Department)	Submit photo documentation of the replacement tree to the RMA – Building Services Department for review and approval.	Owner/ Applicant/	Prior to final inspection	
9.		<b>PDSP001- LANDSCAPE AND RESTORATION PLAN AND MAINTENANCE (SINGLE FAMILY DWELLING ONLY) (NON-STANDARD)</b> The site shall be landscaped. Areas disturbed during construction related activities shall be restored to a condition corresponding to the adjoining area. At least	Submit landscape plans and contractor's estimate to the RMA - Planning Department for review and approval.	Owner/ Applicant/ Licensed Landscape Contractor/ Licensed	At least three (3) weeks prior to final inspection or	



		three (3) weeks prior to occupancy, three (3) copies of a landscaping plan shall be submitted to the Director of the RMA - Planning Department. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County RMA - Planning Department. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (RMA – Planning Department)		Landscape Architect	occupancy	
			All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.	Owner/ Applicant	Ongoing	
			The lighting shall be installed and maintained in accordance with the approved plan.	Owner/ Applicant	Ongoing	
11.		<b>PD016 – NOTICE OF REPORT</b> Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states: "An Arborist report has been prepared for this parcel by Forest City Consulting , dated December 15, 2006 and is on record in the Monterey County RMA - Planning Department , Library No. LIB060662. All development shall be in accordance with this report." (RMA – Planning Department)	Proof of recordation of this notice shall be furnished to the RMA - Planning Department.	Owner/ Applicant	Prior to the issuance of grading and building permits.	
12.		<b>PD016 – NOTICE OF REPORT</b> Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states: "A Geological and Soils Engineering Feasibility Investigation and Percolation Testing report has been prepared for this parcel by Landset Engineers, Inc. dated June 2006 and is on record in the Monterey County RMA - Planning Department , Library No. LIB060663. All development shall be in accordance with	Proof of recordation of this notice shall be furnished to the RMA - Planning Department.	Owner/ Applicant	Prior to the issuance of grading and building permits.	

		this report." (RMA – Planning Department)				
13.		<b>PD035 - UTILITIES - UNDERGROUND</b> All new utility and distribution lines shall be placed underground. (RMA - Planning Department; Public Works)	Install and maintain utility and distribution lines underground.	Owner/ Applicant	Ongoing	
14.		<b>PD038 - WATER TANK APPROVAL</b> The water tank shall be painted an earth tone color to blend into the area and landscaped (including land sculpturing and fencing, where appropriate), subject to the approval of the Director of the RMA - Planning Department, prior to the issuance of building permits. (RMA – Planning Department)	Submit proposed color of water tank and landscaping plans to the RMA - Planning Department for review and approval.	Owner/ Applicant	Prior to the issuance of grading or building permits	
			Provide evidence to the Director of the RMA - Planning Department that the water tank has been painted and the landscaping has been installed according to the plans approved by the RMA - Planning Department.	Owner/ Applicant	Prior to the final inspection or occupancy.	
			All landscaped areas and fences shall be continuously maintained; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.	Owner/ Applicant	Ongoing	
15.		<b>PD041 – HEIGHT VERIFICATION</b> The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of the RMA- Building Services Department for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (RMA – Planning Department and Building Services Department)	1) The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection	Owner/ Applicant	Prior to the issuance of grading or building permits	
			2) The applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of the RMA- Building Services Department for review and approval, that the height of the structure(s) from the	Owner/ Applicant/ Engineer	Prior to the final inspection	

			benchmark is consistent with what was approved on the building permit.			
16.		<b>FIRE007 - DRIVEWAYS</b> Driveways shall not be less than 12 feet wide unobstructed, with an unobstructed vertical clearance of not less than 15 feet. The grade for all driveways shall not exceed 15 percent. Where the grade exceeds 8 percent, a minimum structural roadway surface of 0.17 feet of asphaltic concrete on 0.34 feet of aggregate base shall be required. The driveway surface shall be capable of supporting the imposed load of fire apparatus (22 tons), and be accessible by conventional-drive vehicles, including sedans. For driveways with turns 90 degrees and less, the minimum horizontal inside radius of curvature shall be 25 feet. For driveways with turns greater than 90 degrees, the minimum horizontal inside radius curvature shall be 28 feet. For all driveway turns, an additional surface of 4 feet shall be added. All driveways exceeding 150 feet in length, but less than 800 feet in length, shall provide a turnout near the midpoint of the driveway. Where the driveway exceeds 800 feet, turnouts shall be provided at no greater than 400-foot intervals. Turnouts shall be a minimum of 12 feet wide and 30 feet long with a minimum of 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall long with a minimum 25-foot taper at both ends. Turnarounds shall be	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection.	

		required on driveways in excess of 150 feet of surface length and shall be located within 50 feet of the primary building. The minimum turning radius for a turnaround shall be 40 feet from the center line of the driveway. If a hammerhead/T is used, the top of the "T" shall be a minimum of 60 feet in length. <b>(Aromas Tri-County Fire Protection District)</b>			
17.		<b>FIRE011 - ADDRESSES FOR BUILDINGS</b> All buildings shall be issued an address in accordance with Monterey County Ordinance No. 1241. Each occupancy, except accessory buildings, shall have its own permanently posted address. When multiple occupancies exist within a single building, each individual occupancy shall be separately identified by its own address. Letters, numbers and symbols for addresses shall be a minimum of 4-inch height, 1/2-inch stroke, contrasting with the background color of the sign, and shall be Arabic. The sign and numbers shall be reflective and made of a noncombustible material. Address signs shall be placed at each driveway entrance and at each driveway split. Address signs shall be and visible from both directions of travel along the road. In all cases, the address shall be posted at the beginning of construction and shall be maintained thereafter. Address signs along one-way roads shall be visible from both directions of travel. Where multiple addresses are required at a single driveway, they shall be mounted on a single sign. Where a roadway provides access solely to a single commercial occupancy, the address sign shall be placed at the nearest road intersection providing access to that site. Permanent address numbers shall be posted prior to requesting final clearance. <b>(Aromas Tri-County Fire Protection District)</b>	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.

			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	
18.		<b>FIRE014 - EMERGENCY WATER STANDARDS - FIRE PROTECTION WATER SUPPLY - (SINGLE PARCEL)</b> For development of structures totaling less than 3,000 square feet on a single parcel, the minimum fire protection water supply shall be 4,900 gallons. For development of structures totaling 3,000 square feet or more on a single parcel, the minimum fire protection water supply shall be 9,800 gallons. For development of structures totaling more than 10,000 square feet on a single parcel, the reviewing authority may require additional fire protection water supply. Other water supply alternatives, including ISO Rural Class 8 mobile water systems, may be permitted by the fire authority to provide for the same practical effect. The quantity of water required by this condition shall be in addition to the domestic demand and shall be permanently and immediately available. (Aromas Tri-County Fire Protection District)	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	
19.		<b>FIRE015 - FIRE HYDRANTS/FIRE VALVES</b> A fire hydrant or fire valve is required. The hydrant or fire valve shall be 18 inches above grade, 8 feet from flammable vegetation, no closer than 4 feet nor further than 12 feet from a roadway, and in a location where fire apparatus using it will not block the roadway. The hydrant serving any building shall be not less than 50 feet and not more than 1000 feet by road from the building it is to serve. Minimum hydrant standards shall include a brass head and valve with at least one 2 1/2 inch National Hose outlet supplied by a minimum 4 inch main and riser. More restrictive hydrant requirements may be applied by the Reviewing Authority. Each hydrant/valve shall be identified with a reflectorized blue marker, with	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	

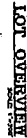
		minimum dimensions of 3 inches, located on the driveway address sign, non-combustible post or fire hydrant riser. If used, the post shall be within 3 feet of the hydrant/valve, with the blue marker not less than 3 feet or greater than 5 feet above the ground, visible from the driveway. On paved roads or driveways, reflectorized blue markers shall be permitted to be installed in accordance with the State Fire Marshal's Guidelines for Fire Hydrant Markings Along State Highways and Freeways, May 1988. (Aromas Tri-County Fire Protection District)				
20.		<b>FIRE020 - DEFENSIBLE SPACE REQUIREMENTS (HAZARDOUS CONDITIONS)</b> Remove combustible vegetation from within a minimum of 100 feet of structures. Limb trees 6 feet up from ground. Remove limbs within 10 feet of chimneys. Additional fire protection or firebreaks approved by the Reviewing Authority may be required to provide reasonable fire safety. Environmentally sensitive areas may require alternative fire protection, to be determined by Reviewing Authority and the Director of Planning and Building Inspection. (Aromas Tri-County Fire Protection District)	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	
21.		<b>FIRE025 - SMOKE ALARMS – (SINGLE FAMILY DWELLING)</b> Where a household fire warning system or combination fire/burglar alarm system is installed in lieu of single-station smoke alarms required by the Uniform Building Code the alarm panel shall be required to be placarded as permanent building equipment. (Aromas Tri-County Fire Protection District)	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	
			Applicant shall schedule fire alarm system acceptance test.	Applicant or owner	Prior to final building inspection	

22.		<b>FIRE027 - ROOF CONSTRUCTION - (VERY HIGH HAZARD SEVERITY ZONE)</b> All new structures, and all existing structures receiving new roofing over 50 percent or more of the existing roof surface within a one-year period, shall require a minimum of ICBO Class A roof construction. <b>(Aromas Tri-County Fire Protection District)</b>	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	
23.		<b>EH14 - ENGINEERED SEPTIC SYSTEM</b> Submit an engineered wastewater disposal system design to the Director of Environmental Health for review and approval meeting the regulations found in Chapter 15.20 of the Monterey County Code, and Prohibitions of the Basin Plan, RWQCB. <b>(Environmental Health)</b>	Division of Environmental Health must approve plans. Applicant shall obtain a permit to install the septic system.	CA Licensed Engineer /Owner/ Applicant	Prior to issuance of grading or building permits	
24.		<b>WR3 - DRAINAGE PLAN - RETENTION</b> The applicant shall provide the Water Resources Agency a drainage plan prepared by a registered civil engineer or architect addressing on-site and off-site impacts. The plan shall include retention/percolation facilities to mitigate the impact of impervious surface stormwater runoff. Drainage improvements shall be constructed in accordance with plans approved by the Water Resources Agency. <b>(Water Resources Agency)</b>	Submit 3 copies of the engineered drainage plan to the Water Resources Agency for review and approval.	Owner/ Applicant/ engineer	Prior to issuance of grading or building permits	
25.		<b>WR008 - COMPLETION CERTIFICATION</b> The applicant shall provide the Water Resources Agency certification from a registered civil engineer or licensed contractor that stormwater detention/retention facilities have been constructed in accordance with approved plans. <b>(Water Resources Agency)</b>	Submit a letter to the Water Resources Agency, prepared by a registered civil engineer or licensed contractor, certifying compliance with approved drainage plan.	Owner/ Applicant/ Engineer/ Contractor	Prior to final inspection	
26.		<b>WR40 - WATER CONSERVATION MEASURES</b> The applicant shall comply with Ordinance No. 3932, or as subsequently amended, of the Monterey County Water Resources Agency pertaining to mandatory water conservation regulations. The regulations for new construction require, but are not limited to:	Compliance to be verified by building inspector at final inspection.	Owner/ Applicant	Prior to final building inspection/ occupancy	

		<p>a. All toilets shall be ultra-low flush toilets with a maximum tank size or flush capacity of 1.6 gallons, all shower heads shall have a maximum flow capacity of 2.5 gallons per minute, and all hot water faucets that have more than ten feet of pipe between the faucet and the hot water heater serving such faucet shall be equipped with a hot water recirculating system.</p> <p>b. Landscape plans shall apply xeriscape principles, including such techniques and materials as native or low water use plants and low precipitation sprinkler heads, bubblers, drip irrigation systems and timing devices.</p> <p><b>(Water Resources Agency)</b></p>				
--	--	--	--	--	--	--

END OF CONDITIONS





1	11/22/96	ALC	RELEASED TO CLIENT
NO.	DATE	BY	REVISION

SCALE: AS SHOWN	
DATE: NOV. 2006	
JOB NO. 412	
SHEET 1	
OF 1 SHEETS	

**SITE PLAN  
ROCHA PROPERTY  
A.P.N. 141-011-008  
MONTEREY COUNTY, CALIFORNIA**

**LANDSET**  
ENGINEERS, INC.

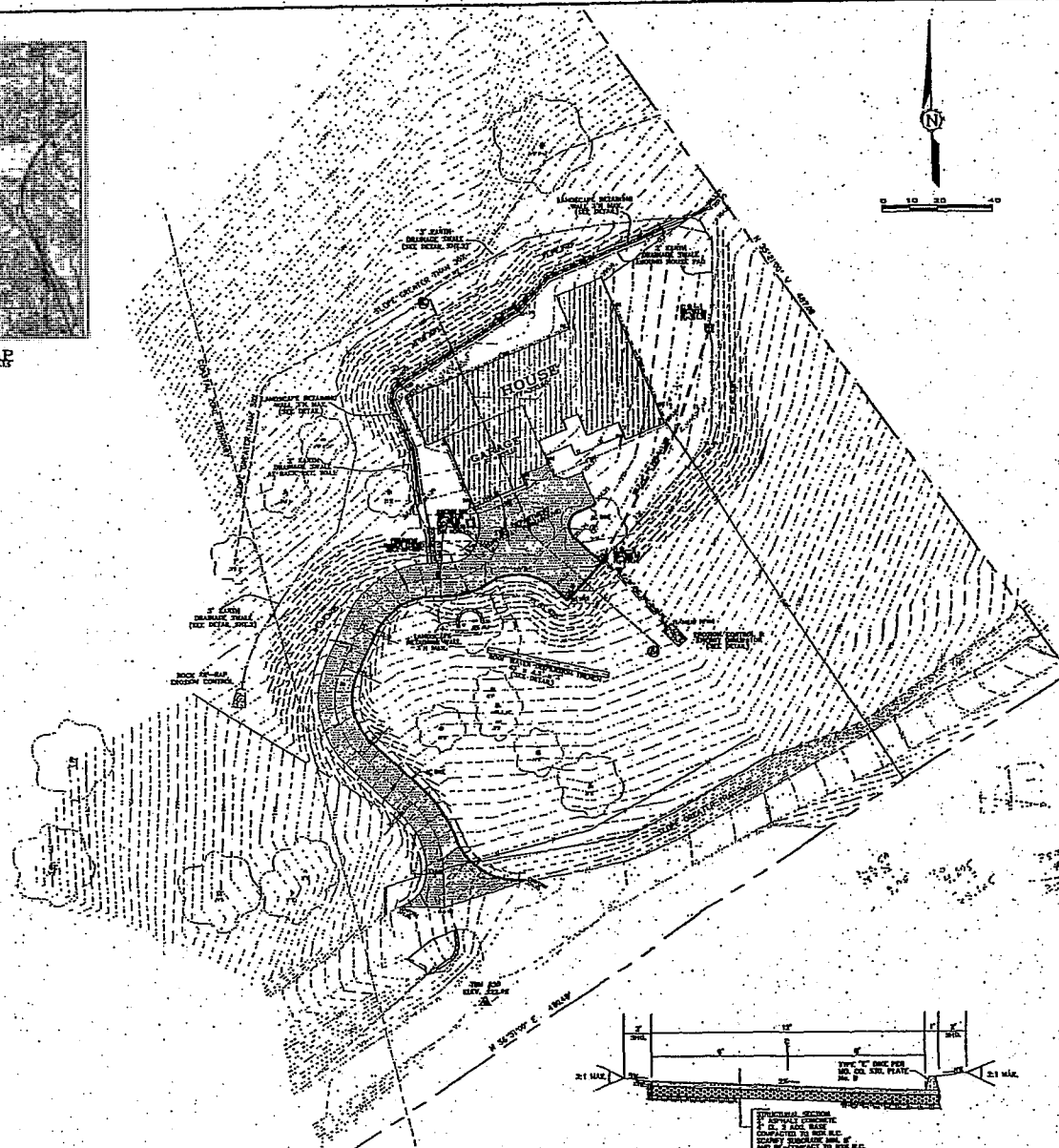
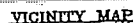
2308 CRAZY HORSE CANYON ROAD, SALINAS, CALIFORNIA  
(831) 443-1979 LANGETIMAGL.COM FAX (831) 443-1981

APPROVED BY:

CHARLES E. POTTER

R.C.E. No. 28703





**TYPICAL DRIVEWAY SECTION:**

[illegible][illegible]

ALL NEWLY EXPOSED (DISTURBED) AREAS SHALL BE SEEDED AT A MINIMUM OF 35 LBS. FOR ACRE AND COVERED WITH A STRAW MULCH AT A RATE OF 1000 LBS. FOR 10,000 SQ. FT. (PROPORTION IS NECESSARY TO DETERMINE SITE SPECIFIC AMOUNTS). THE GRASS SEED SHALL BE PROMPTLY IRRIGATED. MOISTURE GROWTH IS ESTABLISHED AND MAINTAINED TO PROTECT THE SITE FROM FUTURE EROSION. REVEGETATION SHALL CONSIST OF THE FOLLOWING EROSION CONTROL MIX CONTAINED:

WIND	PURE (PERCENTAGE)
WILDFLOWER MIX	3.98X
ZORRO-DRAWN FESCUE	4.84X
CREEPING RED FESCUE	13.78X
PK CRIMSON CLOVER	14.88X
PK HYKON ROSE CLOVER	28.88X
BLANDO BROUDBRASS	31.45X
MERT MATTER	0.81X
OTHER CROP	0.08X
WEEK SEED	0.07X NO NOXIOUS WEED

PROPERTY LINE  
EXISTING BLACK CONTINUE ELEVATION OF INTERVALS  
EXISTING BLACK CONTINUE ELEVATION OF INTERVALS  
NEW BLACK CONTINUE ELEVATION OF INTERVALS  
NEW BLACK CONTINUE ELEVATION OF INTERVALS  
SLURVED BENCH MARK  
SLURVED BENCH MARK ELEVATION ON CROSS  
TOP OF DRAIN, TOP OF WALL, FLOOR FLOOR, FLOOR LINE  
NEW BLACK CORRECT PROPERTY LINE  
FLOW DIRECTION  
POOF DOWNPOUTS / RAIN WATER LEADER  
EXISTING ASPHALT DRIVEWAY SURFACE  
NEW ASPHALT DRIVEWAY PAVEMENT  
EXISTING BAK TANK  
EXISTING BAK TANK AS SHOWN AND  
DIMENSIONS SHOWN

DATE: 11/11/2011

SITE LOCATION

1	11/22/04	AMS	RELEASED TO CUBA
NO.	DATE	BY	REVISION

SHEET 1  
OF 2 SHEETS

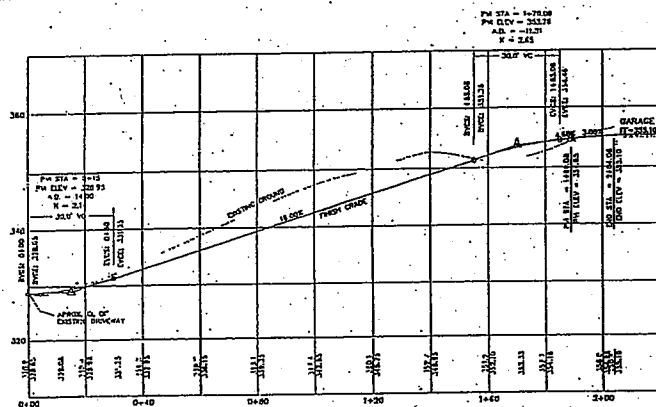


APPROVED BY: *[Signature]* 11/27/62  
CHARLES E. POTTER R.C.E. No. 26703

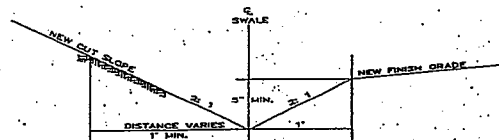
**LANDSET**  
**ENGINEERS, INC.**

AGE AND EROSION CONTROL PLAN  
BOCHA PROPERTY  
A.P.N. 141-011-008

CH  
SCALE: 1"=20'  
DATE: NOV, 2006  
JOB NO. 412  
SHEET 1  
OF 2 SHEET

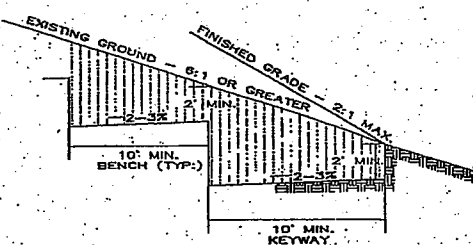


**DRIVEWAY PROFILE**

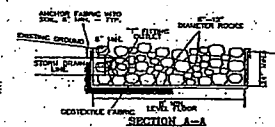


1. SWALE LENGTH/DEPTH RATIO SHALL BE NOT LESS THAN 10.  
2. SWALE SHALL BE REINFORCED WITH A HYDRAULIC EROSION AND PROPOSED SPACED BARS, GROWTH IS STABILIZED.  
3. IF SWALE IS THE RESPONSIBILITY OF THE OWNER TO MAINTAIN, THE SWALE IS TO BE MAINTAINED FROM EXCESSIVE GROWTH AND/OR SILTATION.

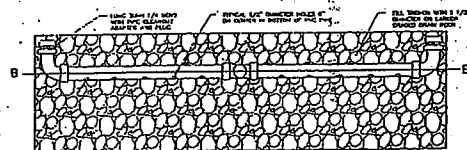
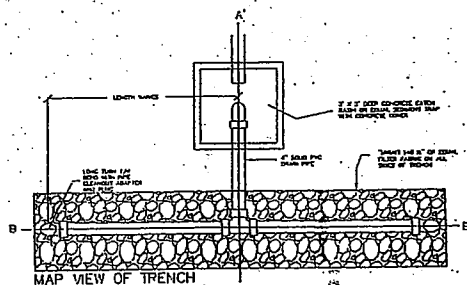
**EARTH DRAINAGE SWALE**



**KEYWAY & BENCH DETAIL**



**EROSION CONTROL AND ENERGY DISSIPATOR**

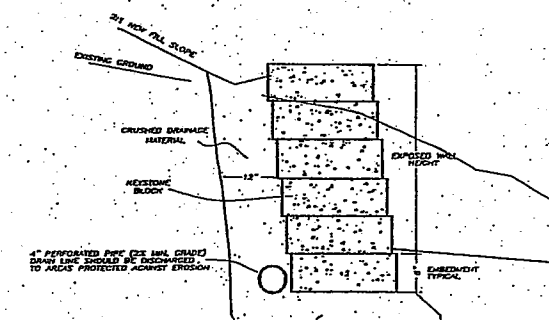


**TRENCH CROSS SECTION B-B**

**ROOF WATER DISPERSION TRENCH**

**NOTES:**

1. TRENCH SHALL BE 10' MIN. DEEP AND 10' MIN. WIDE. IT SHALL BE REINFORCED WITH A HYDRAULIC EROSION AND PROPOSED SPACED BARS, GROWTH IS STABILIZED.
2. IF TRENCH IS THE RESPONSIBILITY OF THE OWNER TO MAINTAIN, THE TRENCH IS TO BE MAINTAINED FROM EXCESSIVE GROWTH AND/OR SILTATION.
3. TRENCH SHALL BE 10' MIN. DEEP AND 10' MIN. WIDE. IT SHALL BE REINFORCED WITH A HYDRAULIC EROSION AND PROPOSED SPACED BARS, GROWTH IS STABILIZED.



**KEystone RETAINING WALL**

DESIGNED BY: ROCHA  
141-011-008  
NATIONWIDE, CA 95008

SITE LOCATION:  
THE DRAINAGE ROAD  
MADISONVILLE, CA 95008

NO.	DATE	BY	REVISION
1	11/22/00	AMT	RELEASED TO CLIENT

SHEET 2  
OF 2 SHEETS



APPROVED BY:  
LANDSET ENGINEERS, INC.  
CIVIL ENGINEER  
SCALE: 1/4" = 1'-0"

**LANDSET ENGINEERS, INC.**  
2115 GARY ROAD, SUITE 200, SAN JOSE, CA 95128  
(415) 441-1178  
WWW.LANDSET.COM

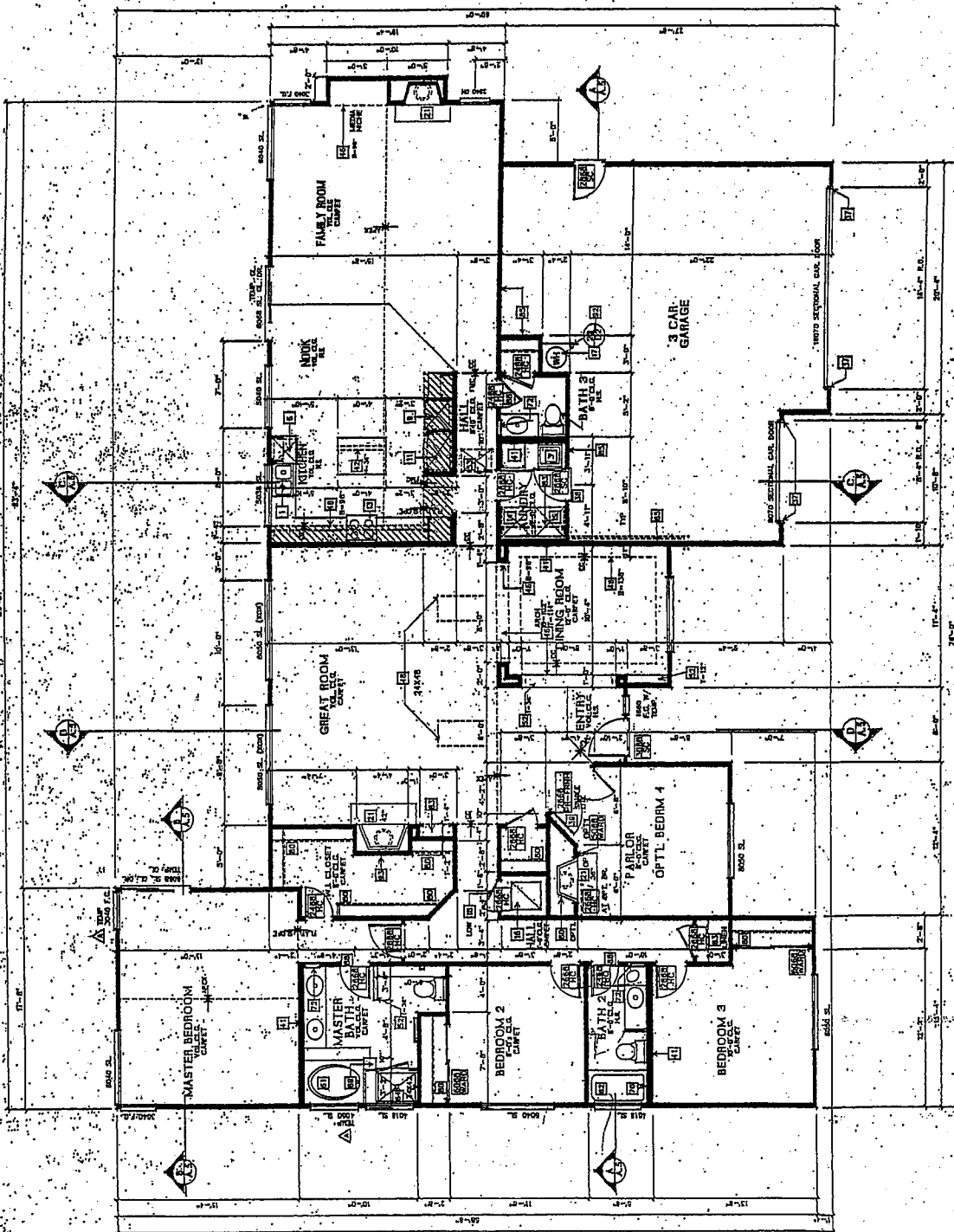
**GRADING, DRAINAGE AND EROSION CONTROL PLAN**  
ROCHA PROPERTY  
A.P.N. 141-011-008  
MONTEREY COUNTY, CALIFORNIA

# GENERAL NOTES FLOOR PLAN

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. ALL WALLS ARE 1/2" THICK UNLESS NOTED OTHERWISE.
3. ALL DOORS ARE 3'0" WIDE UNLESS NOTED OTHERWISE.
4. ALL WINDOWS ARE 6'0" WIDE UNLESS NOTED OTHERWISE.
5. ALL FLOORS ARE 4" THICK CONCRETE ON GRADE OR 1 1/2" THICK GYP. BOARD ON JOISTS UNLESS NOTED OTHERWISE.
6. ALL ROOFS ARE 12:12 PITCH UNLESS NOTED OTHERWISE.
7. ALL CEILING ARE 8'0" HIGH UNLESS NOTED OTHERWISE.
8. ALL STAIRS ARE 10'0" WIDE UNLESS NOTED OTHERWISE.
9. ALL HALLS ARE 4'0" WIDE UNLESS NOTED OTHERWISE.
10. ALL CLOSETS ARE 4'0" WIDE UNLESS NOTED OTHERWISE.
11. ALL BATHS ARE 5'0" WIDE UNLESS NOTED OTHERWISE.
12. ALL KITCHENS ARE 10'0" WIDE UNLESS NOTED OTHERWISE.
13. ALL LIVING AREAS ARE 12'0" WIDE UNLESS NOTED OTHERWISE.
14. ALL BEDROOMS ARE 12'0" WIDE UNLESS NOTED OTHERWISE.
15. ALL GARAGES ARE 12'0" WIDE UNLESS NOTED OTHERWISE.
16. ALL PORCHES ARE 10'0" WIDE UNLESS NOTED OTHERWISE.
17. ALL PATIOS ARE 10'0" WIDE UNLESS NOTED OTHERWISE.
18. ALL DECKS ARE 10'0" WIDE UNLESS NOTED OTHERWISE.
19. ALL FENCES ARE 6'0" HIGH UNLESS NOTED OTHERWISE.
20. ALL LIGHTS ARE 1'0" DIA. UNLESS NOTED OTHERWISE.
21. ALL SINKS ARE 1'0" DIA. UNLESS NOTED OTHERWISE.
22. ALL STOVES ARE 3'0" WIDE UNLESS NOTED OTHERWISE.
23. ALL REFRIG. ARE 3'0" WIDE UNLESS NOTED OTHERWISE.
24. ALL DISHWASHERS ARE 2'0" WIDE UNLESS NOTED OTHERWISE.
25. ALL FREEZERS ARE 3'0" WIDE UNLESS NOTED OTHERWISE.
26. ALL FREEZERS ARE 3'0" WIDE UNLESS NOTED OTHERWISE.
27. ALL FREEZERS ARE 3'0" WIDE UNLESS NOTED OTHERWISE.
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## FLOOR PLAN KEY NOTES

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**BUILDING SQUARE FOOTAGE**  
 FLOOR AREA 3117 SQ. FT.  
 GARAGE AREA 720 SQ. FT.

REFER TO ELEVATION FLOOR PLAN ATTACHED ON SHEETS A-100 & A-101 FOR VARIATIONS

## FLOOR PLAN



[illegible]



# GENERAL FRAMING NOTES

1. ROOF FRAMING SHALL BE IN ACCORDANCE WITH THE FOLLOWING NOTES AND THE ROOF FRAMING PLAN.
2. THE CONTINUOUS AND INTERMITTENT ROOF SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ROOF FRAMING PLAN AND THE ROOF FRAMING NOTES.
3. ALL ROOF FRAMING SHALL BE IN ACCORDANCE WITH THE ROOF FRAMING PLAN AND THE ROOF FRAMING NOTES.
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10. ALL ROOF FRAMING SHALL BE IN ACCORDANCE WITH THE ROOF FRAMING PLAN AND THE ROOF FRAMING NOTES.

ITEM	DESCRIPTION	QUANTITY	UNIT
1	2x4 JOISTS	100	LF
2	2x6 JOISTS	50	LF
3	2x8 JOISTS	20	LF
4	2x10 JOISTS	10	LF
5	2x12 JOISTS	5	LF
6	2x14 JOISTS	2	LF
7	2x16 JOISTS	1	LF
8	2x18 JOISTS	1	LF
9	2x20 JOISTS	1	LF
10	2x22 JOISTS	1	LF

ITEM	DESCRIPTION	QUANTITY	UNIT
1	2x4 JOISTS	100	LF
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3	2x8 JOISTS	20	LF
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10	2x22 JOISTS	1	LF

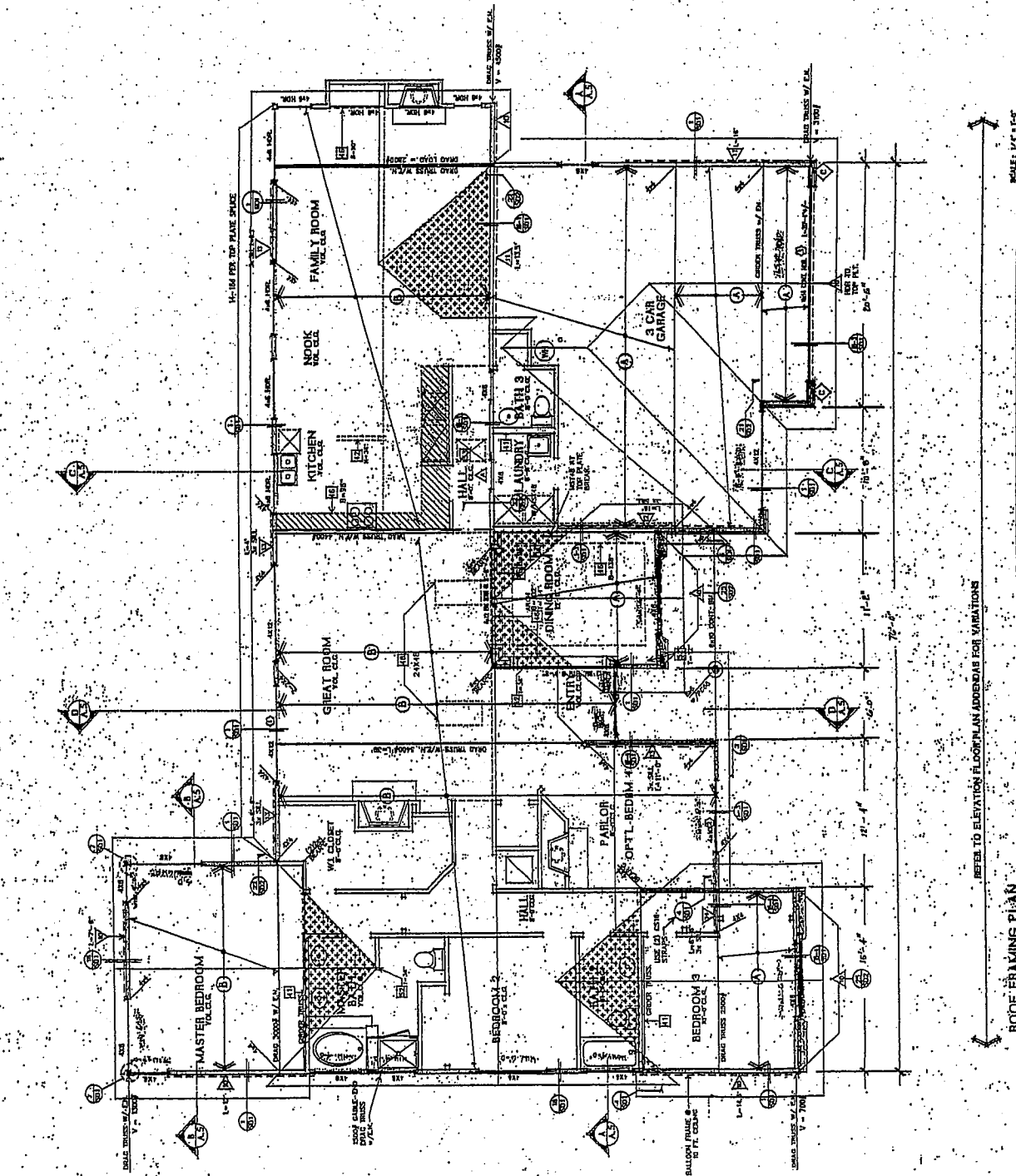
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10	2x22 JOISTS	1	LF

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10	2x22 JOISTS	1	LF

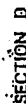
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9	2x20 JOISTS	1	LF
10	2x22 JOISTS	1	LF



REFER TO ELEVATION FLOOR PLAN ADDENDAS FOR VARIATIONS

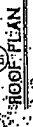
ROOF FRAMING PLAN

[illegible]





**ROOF:KEY NOTES**



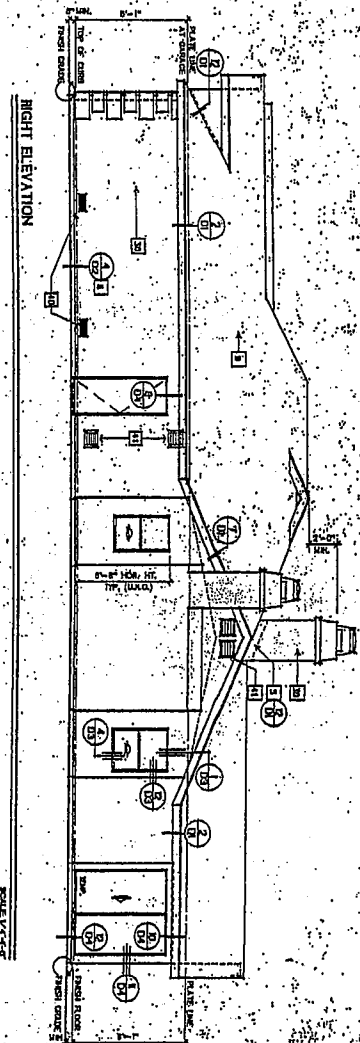
FLOOR PLAN ADDENDUM "B"

ELEVATION KEY NOTES

[illegible]



$16.875 + 4.875 = 21.75$  Maximum height of structure from average natural grade

[illegible]

DATE	04-17-00
TIME	2006
FILE NO.	000-A02
CLASS BY	MRG
CLASS BY	DCA
WCT NO.	A7C



# NORTH COUNTY

SAN BENITO COUNTY



APPLICANT: ROCHA

APN: 141-011-008-000

FILE # PLN060489



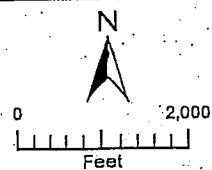
300' Limit



2500' Limit



City Limits



PLANNER: MANUGUERRA