

A. P. N. 177-064-015-000,
177-064-016-000, & 177-064-010-000

In the matter of the application of
Standard Pacific Corporation (PLN070153)

FINDINGS AND DECISION

to allow a **Combined Development Permit** in accordance with Title 21 (Zoning) Chapter 21.76 (Combined Development Permits) of the Monterey County Code, consisting of: (1) an Administrative Permit and Design Approval to allow a 1,440 square foot Sales Office Trailer; (2) a Use Permit and Design Approval for a 12 square foot parking directional sign, a 12 square foot sales center location sign, and a 32 square foot sales center directional sign; and (3) a Use Permit for development within a Historic Resources, or "HR", zoning district. The property is located at 116 Spreckels Boulevard, Spreckels, and came on regularly for meeting before the Zoning Administrator on June 28, 2007.

Said Zoning Administrator, having considered the application and the evidence presented relating thereto,

FINDINGS OF FACT

1. **FINDING: CONSISTENCY** – The project, as described in Condition No. 1 and as conditioned, conforms to the policies, requirements, and standards of the Monterey County General Plan, Greater Salinas Area Plan, Greater Salinas Area Plan Inventory and Analysis, and the Monterey County Zoning Ordinance (Title 21), which designates this area as appropriate for development.

- EVIDENCE:**
- (a) The text, policies, and regulations in the above referenced documents have been evaluated during the course of review of applications. No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
 - (b) The project planner conducted a site inspection on May 22, 2007 to verify that the project on the subject parcel conforms to the plans listed above.
 - (c) On January 10th, 2007, Project File No. PLN060411 was approved. PLN060411 consisted of 73 Use Permits and Design Approvals for 73 single family dwellings in a Historic Resources Zoning District, a Lot Line Adjustment between Lots 13 and 14 of Block L, and a Variance to allow height determination from finished grade. The Home Sales Office Trailer, PLN070153, will be temporarily used for a sales office for the 73 homes approved under PLN060411.
 - (d) The office will operate Monday through Sunday (seven days a week) from 9:00 am to 6:00 pm. (See Condition No. 6 and Exhibit E)
 - (e) The project proposal provides six parking spaces plus one handicap parking space and, therefore, complies with the parking regulations of Chapter 21.58.
 - (f) The project was reviewed by the Historic Resources Review Board (HRRB). The HRRB recommended approval with the following conditions: 1. Application to be reviewed by the Spreckels LUAC; 2. Subject to use as a sales trailer by Standard Pacific for 6-8 months from today's approval; 3. Hardscape improvements proposed to be limited to ADA compatibility with limited landscaping; 4. No final occupancies and permits issued on site for new homes

(apart from four model homes on sites no. 2, 3, 4 and 5) until sales trailer is decommissioned, removed or reused as part of the construction process; 5. At the end of the decommission, the acknowledged sales office will be relocated in one of the model homes (sites no. 2, 3, 4 or 5) or their garages; 6. Approve the use permit for temporary parking, signs and flagpole by citing #10 under the Secretary of the Interior's Standards; 7. Change the Resolution to reference the Spreckels Design Guidelines. (6 ayes; 0 noes; 0 absent; 0 abstain.)

- (g) The project was referred to the Spreckels Neighborhood Design Review Committee (SNDRC) for review. The SNDRC recommended approval of the Home Sales Office Trailer with three recommended changes: 1. No new sales signs; 2. Move the Sales Office into a model home as soon as one house is completed; 3. Remove trailer when the Sales office is moved into a model home. (4 ayes; 0 noes; 0 absent; 0 abstain.)
- (h) Considering the concerns of the HRRB and the SNDRC, and considering the applicant's proposal, Condition No. 8 for the subject project requires that the applicant design and implement a roof that will allow the trailer to blend with the surrounding residences, thus reducing an adverse visual impact to the surrounding area.
- (i) The proposed duration of the office use is twenty-four months after the date of approval. In order to reduce the visual impact of the Sales Office Trailer, Condition No. 8 requires that a roof line is designed and employed to blend with the surrounding roof lines. The designed roof line shall incorporate the proposed porch to further blend with the surrounding residences.
- (j) The project proposes a 32 square feet sign on Assessor's Parcel Number 177-064-010-000 and 24 square feet of signage in the aggregate on Assessor's Parcel Numbers 177-064-015-000 and 177-064-016-000. The signs do not exceed the maximum allowed under the regulations in Section 21.60.030.C (Residential Zoning District Sign Regulations) and 21.60.070 (Design Control and Visual Sensitivity Zoning District Sign Regulations). Although the project plans show flags and banners, they are prohibited under Section 21.60.100.A. Condition No. 5 requires that the applicant submit a sign plan illustrating no use of prohibited flags and banners.
- (k) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File No. PLN070153.

2. **FINDING: SITE SUITABILITY** – The site is physically suitable for the use proposed.

EVIDENCE: (a) The project has been reviewed for site suitability by the following departments and agencies: RMA - Planning Department, Salinas Rural Fire Protection District, Public Works, Environmental Health Division, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.

(b) The property is located at 116 Spreckels Boulevard, Spreckels (Assessor's Parcel Numbers 177-064-015-000, 177-064-016-000, & 177-064-010-000), Greater Salinas Area Plan. The parcel is zoned High Density Residential, 5.1 acres per unit with Historic Resources and Design Control overlays ("HDR/5.1-HR-D"). The subject property complies with all the rules and regulations pertaining to

zoning uses and any other applicable provisions of Title 21, and is therefore suitable for the proposed development.

(c) Materials in Project File No. PLN070153.

3. **FINDING: CEQA (Exempt)** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

EVIDENCE: (a) California Environmental Quality Act (CEQA) Guidelines Section 15303 categorically exempts the construction of limited small structures.
(b) No adverse environmental effects were identified during staff review of the development application during a site visit on May 22, 2007.
(c) See preceding and following findings and supporting evidence.

4. **FINDING: NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property. Zoning violation abatement costs, if any, have been paid.

EVIDENCE: Staff reviewed Monterey County RMA - Planning Department and Building Services Department records and is not aware of any violations existing on subject property.

5. **FINDING: HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

EVIDENCE: Preceding findings and supporting evidence.

6. **FINDING: APPEALABILITY** - The decision on this project is appealable to the Planning Commission.

EVIDENCE: Section 21.80.040.B. Monterey County Zoning Ordinance (Title 21).

DECISION

It is the decision of the Zoning Administrator of the County of Monterey that said application for a Combined Development Permit be granted as shown on the attached sketch and subject to the attached conditions.

PASSED AND ADOPTED this 28th day of June, 2007.



JEFF MAIN, ZONING ADMINISTRATOR

COPY OF THIS DECISION MAILED TO APPLICANT ON JUL 17 2007

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY TO THE MONTEREY COUNTY PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE JUL 27 2007

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning and Building Inspection Department office in Salinas.

2. This permit expires 2 years after the above date of granting thereof unless construction or use is started within this period.

**Monterey County Resource Management Agency
Planning Department
Condition Compliance and/or Mitigation Monitoring
Reporting Plan**

Project Name: Standard Pacific Corporation
File No: PLN070153
APNs: 177-064-015-000 & 177-064-150-000
Approved by: Zoning Administrator

Date: June 14, 2007

**Monitoring or Reporting refers to projects with an EIR or adopted Mitigated Negative Declaration per Section 21081.6 of the Public Resources Code.*

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
1.		<p>PD001 - SPECIFIC USES ONLY This Combined Development Permit consists of: (1) an Administrative Permit and Design Approval to allow a 1,440 square foot Sales Office Trailer; (2) a Use Permit and Design Approval for a 12 square foot parking directional sign, a 12 square foot sales center location sign, and a 32 square foot sales center directional sign; and (3) a use permit for development within a Historic Resources, or "Hr", zoning district. The property is located at 116 Spreckels Boulevard, Spreckels (Assessor's Parcel Numbers 177-064-015-000, 177-064-016-000, & 177-064-010-000), Greater Salinas Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the following terms and conditions. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of the RMA - Planning Department. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification</p>	Adhere to conditions and uses specified in the permit.	Owner/ Applicant	Ongoing unless otherwise stated	

	<p>or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning Department)</p>				
2.	<p>PD002 - NOTICE-PERMIT APPROVAL The applicant shall record a notice which states: "A permit (Resolution No. 070153) was approved by the Zoning Administrator for Assessor's Parcel Numbers 177-064-015-000, 177-064-016-000, & 177-064-010-000 on June 28, 2007. The permit was granted subject to 10 conditions of approval which run with the land. A copy of the permit is on file with the Monterey County RMA - Planning Department." Proof of recordation of this notice shall be furnished to the Director of the RMA - Planning Department prior to issuance of building permits or commencement of the use. (RMA - Planning Department)</p>	<p>Proof of recordation of this notice shall be furnished to the RMA - Planning Department.</p>	<p>Owner/ Applicant</p>	<p>Prior to the issuance of grading and building permits or commencement of use.</p>	
3.	<p>PD003(A) – CULTURAL RESOURCES – NEGATIVE ARCHAEOLOGICAL REPORT If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted</p>	<p>Stop work within 50 meters (165 feet) of uncovered resource and contact the Monterey County RMA - Planning Department and a qualified archaeologist immediately if cultural, archaeological, historical</p>	<p>Owner/ Applicant/ Archaeologist</p>	<p>Ongoing</p>	

		immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. The Monterey County RMA - Planning Department and a qualified archaeologist (i.e., an archaeologist registered with the Society of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery. (RMA - Planning Department)	or paleontological resources are uncovered. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.			
4.		PD014(A) – LIGHTING – EXTERIOR LIGHTING PLAN All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The applicant shall submit 3 copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations, Title 24, Part 6. The exterior lighting plan shall be subject to approval by the Director of the RMA - Planning Department, prior to the issuance of building permits. (RMA – Planning Department)	Submit three copies of the lighting plans to the RMA - Planning Department for review and approval. Approved lighting plans shall be incorporated into final building plans.	Owner/ Applicant	Prior to the issuance of building permits.	
			The lighting shall be installed and maintained in accordance with the approved plan.	Owner/ Applicant	Prior to Occupancy/ Ongoing	
5.		PD026 - BANNERS, FLAGS, PENNANTS - NONSTANDARD LANGUAGE There shall be no flags (with the exception of the American flag on a 30 foot tall, or less, pole),	Submit evidence which demonstrates that there are no flags, banners, pennants, or other attention getting devices, other than approved	Owner/ Applicant	Prior to use/ Ongoing	

		banners, pennants, or other attention getting devices, other than approved signs, on the property. (RMA – Planning Department)	signs, on the property.			
6.		PD029 - HOURS OF OPERATION Hours of operation shall be <u>9:00am</u> to <u>6:00pm</u> , <u>Monday</u> through <u>Sunday</u> . (RMA – Planning Department)	Demonstrate compliance with the hours of operation to the Director of RMA – Planning Department.	Owner/ Applicant	Prior to use/ Ongoing	
7.		PD032 - PERMIT TIME/YEAR & DATE The permit shall be granted for a time period of 12 months, to expire 12 months after approval by the Zoning Administrator on June 14, 2007. The applicant shall demonstrate the need to operate the sales office trailer beyond 12 months, subject to the approval of the appropriate authority, prior the expiration date of June 14, 2008. (RMA – Planning Department)	None	Owner/ Applicant	As stated in the conditions of approval	
8.		PDSP (1) - ROOFLINES - NONSTANDARD A roofline shall be designed to blend with the rooflines of surrounding residences and incorporated into the Homes Sales Office Trailer and the surrounding porch. The owner/applicant shall come before the Zoning Administrator on or before August 9, 2007 with a roof line/structure appropriate for a Historic Resources (“HR”) Zoning District and the Town of Spreckels to be approved by the Zoning Administrator. The roofline/structure shall be reviewed by the Historic Resources Review Board prior to review by Zoning Administrator. The roofline shall be finalized by the RMA - Building Services Department within 60 days of the Zoning Administrator approval of the roofline. If the applicant fails to comply, the applicant shall cease operation and remove the sales home trailer within	Submit two copies of a roofline designed to blend with the surrounding residences to be incorporated with the Home Sales Office Trailer and porch.	Owner/Ap- plicant	At least three weeks prior to Zoning Administrator hearing on August 9, 2007	
			Present proposed roofline/structure to the Spreckels Neighborhood Design Review Committee	Owner/Ap- plicant	July 18, 2007	
			Present proposed roofline/structure to the Historic Resources Review	Owner/Ap- plicant	August 2, 2007	

		30 days of noncompliance. (RMA – Planning Department)	Board			
			Present proposed roofline/structure before the Zoning Administrator	Owner/Applicant	August 9, 2007	
			Incorporate approved roofline into building permit plans for the Home Sales Trailer and, if applicable, the porch.	Owner/Applicant	Within 60 days of approval by the Zoning Administrator	
9.		PDSP (2) - TRAILER COLOR The home sales office trailer shall be painted prior to the Zoning Administrator hearing on August 9, 2007 using a color scheme for the homes approved by Resolution No. 07001. (RMA – Planning Department)	Submit evidence showing that the home sales office trailer is painted using a color scheme for homes approved by Resolution No. 07001.	Owner/Applicant	Prior to Zoning Administrator hearing on August 9, 2007	
10.		PW0007 – PARKING STD The parking shall meet the standards of the Zoning Ordinance and be approved by the Director of Public Works and the Director of Planning and Building Inspection. (Public Works)	Applicant's engineer or architect shall prepare a parking plan for review and approval.	Owner/Applicant/Engineer	Prior to Building / Grading Permits Issuance	

Spreckels Subdivision - Sales Trailer

Spreckels, California

Bellinger
Foster
Steinmetz
Landscape Architects

411 Pacific Street, Suite 201
Monterey, CA 97902
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SHEET INDEX:

SHEET No:	CONTENTS:
L-1.0	COVER SHEET
L-2.0	SITE PLAN
L-3.1 - L-3.2	CONSTRUCTION PLANS
L-4.1	GRADING PLAN
L-5.1 - L-5.4	CONSTRUCTION DETAILS
L-6.1	IRRIGATION PLAN
L-7.1	PLANTING PLAN
L-8.1 - L-8.2	IRRIGATION & PLANTING DETAILS

GENERAL NOTES:

DESIGN INTENT These Drawings and accompanying technical specifications represent the general design intent to be implemented on the site. Contractor shall be responsible for contacting the Engineer for any additional clarification or details necessary to accommodate site conditions.

CONTRACTOR COORDINATION Contractor shall coordinate and otherwise integrate his work with that of others in an efficient, craftmanlike and timely manner so as to provide the Owner with a well-constructed, neatly maintainable project. Each contractor shall notify others at least two working days in advance of commencing, completing or expiring work to be detailed by others.

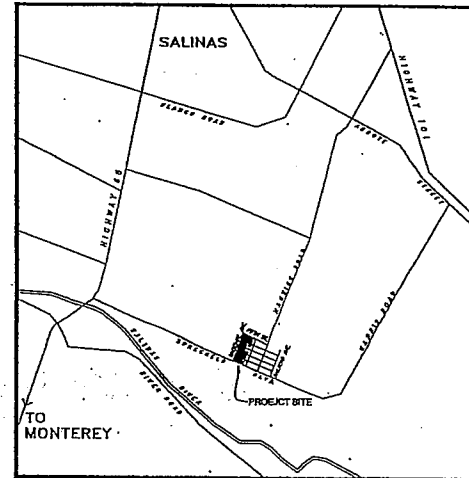
CONTRACTOR'S JOB SITE CONDITIONS Contractor agrees that he shall assume sole and complete responsibility for site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the Contractor shall defend, indemnify and hold the Owner and the Architect harmless from any and all liability, real or alleged in connection with the performance of work on this project, excepting liability arising from the sole negligence of the Owner or the Architect.

COMPOSITE BASE SHEET The proposed improvements shown on these Drawings are superimposed on a base sheet. This base sheet is compiled from a boundary and a partial topographic survey, other architectural and/or engineering documents and other data as made available by the Surveyor. To the Architect who shall not be held liable for change, inaccuracy, omissions or other errors on these documents. The composite base sheet is provided only as an aid, and the Contractor shall be responsible for reviewing these documents and incorporating/integrating all construction as required to accommodate same.

UTILITIES A reasonable effort has been made to locate and delineate all known underground utilities. The Contractor is cautioned that only excavation will reveal the types, sizes, sizes, location and depths of such underground utilities. However, the Architect can assume no responsibility for the completeness or accuracy of delineation of such underground utilities, nor for the existence of other buried objects or utilities which are not shown on these Drawings. The Contractor is hereby notified that prior to commencing construction, he is responsible for contacting the utility companies involved and requesting a visual verification of the locations of their underground facilities. The utility companies are members of the underground service alert (U.S.A.) one-call program. Notification shall be 48 hours in advance of performing excavation work by calling the toll-free number 800-842-2444. Excavation is defined as being 6 or more inches in depth below the existing surface.

ABBREVIATIONS:

K AND	ED EXISTING	LF LINEAL FEET	PO POUGH
AD ADORATE	EG EXISTING GRADE	LOW LIMIT OF WORK	RF RADIIUS POINT
AC ASPHALT CONCRETE	EJ EXPANSION JOINT	M METER	SCH SCHEDULE
ANCH ANCHOR	EP EDGE OF PAVING	MM MILLIMETER	SRI SRI
SC BOTTOM OF CURB	EL ELEVATION	MAX MAXIMUM	SPCS SPECIFICATIONS
BOC BACK OF CURB	EQ EQUAL	MB MACHINE BOLT	SS SANDWICH COVER
EXP EXPOSED	EXP EXPOSED	MFC MANUFACTURER	STA STATION
BOV BACK OF WALL	FFE FINISHED FLOOR ELEVATION	MN MANHOLE	TBR TO BE REMOVED
BYV BASE OF WALL (EQUAL TO FO ON FB)	FG FRESH GRADE (DO NOT IMFIELD FINISH)	MIL METAL	TC TOP OF CURB
CB CATCH BASIN	FLO FLANGED	NP NEW	TFD TOP OF FOOTING
CL CENTERLINE	FL FLOW LINE	NOM NOMINAL	THK THICK
CLJ CLEFT	FOR FACE OF BUILDING	MIC MET IN CONTRACT	TJ TOOL JOINT
CML CONCRETE MASONRY UNIT	FOC FACE OF CURB	OC ON CENTER	TOE THREADED ONE END
CONC CONCRETE	FS FINISHED SURFACE (PAVING OR DGC)	PA PLANT AREA	TP TOP OF PAVING
CONT CONTINUOUS	FTG FOOTING	POB POINT OF BEGINNING	TS TOP OF STEP
CSOD CEMENT STABILIZED DECOMPOSED GRANITE	QALV GALVANIZED	POC POINT OF CONNECTION	TYP TYPICAL
CD CLEAVOIT	OB GRADE BREAK	POT POINT OF TANGENCY	TRANS TRANSFORMER
C CONDUIT	HD HOT DIPPED	PNT POINT	TW TOP OF WALL
CD CONDUIT ONLY	NOR HEADER	PT PRESSURE TREATED	UNR UNLESS OTHERWISE NOTED
DL DOUBLE	HP HIGH POINT	R RADIUS	VF VERIFY IN FIELD
DO DECOMPOSED GRANITE	INVERT ELEVATION	REDWD REDWOOD	WF WEATHERED PLANE JOINT
S DIAMETER	IRIG IRRIGATION	REBAR REINFORCEMENT BAR	WVN WELDED WIRE MESH
DOUG FIR DOUGLASS FIR	JTS JOINTS	REQD REQUIRED	W WITH
DRWG DRAWING	LA LANDSCAPE ARCHITECT	RII RAIN IRRIGATION	



VICINITY MAP:
N.T.S.



Revisions:

Spreckels
Sales Trailer
Spreckels, California

Standard Pacific Home
900 E. Hamilton Ave., Suite 200
Campbell, CA 95008
PH (408) 628-6700
FX (408) 628-6912

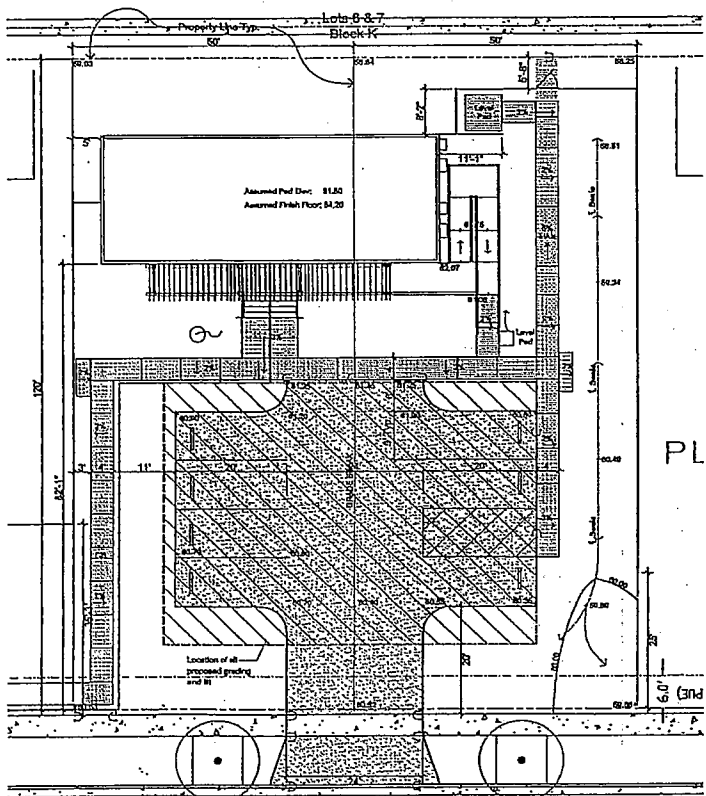
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Checked: MB
Project No.: 07/212
File Name: 01.051_Cover
Date: Apr 23, 2007

Issued For:
Planning Submittal
100% Construction Documents

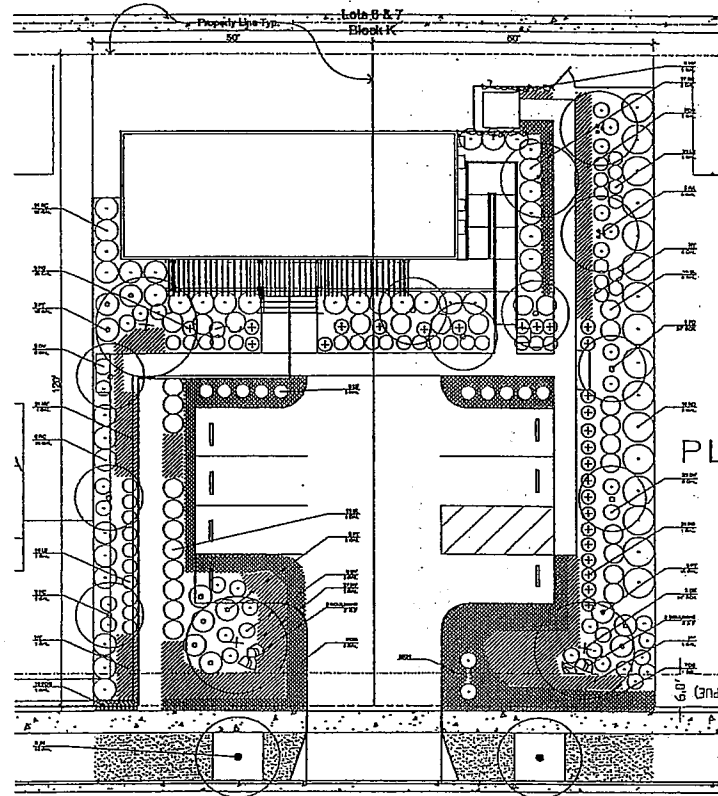
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Sheet

Sheet No.
L-1.0

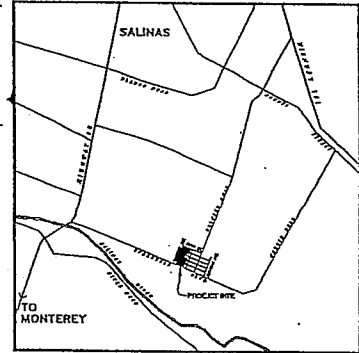
SPRECKELS - APPLICATION FOR USE PERMIT / ADMINISTRATIVE PERMIT / DESIGN APPROVAL 4/23/07



SPRECKELS BOULEVARD



SPRECKELS BOULEVARD



VICINITY MAP:
N.T.S.

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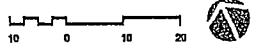


Consultants:

Revisions:

PROJECT DATA TABLE

LOT SIZE 12,000 sf
 LOT COVERAGE 63.43 sf
 LOT COVERAGE 53%
 GRADING - CUT 16 CY
 GRADING - FILL 15 CY
 Entire property is within 500 year flood plain



SYMBOL	POTANICAL NAME	COMMON NAME	SIZE	QUANTITY
Trees				
FA	Fraxinus s. 'Raywood'	Raywood Ash	65 Gal.	3
DE	Okoua s. 'Swain Hill multi-branck'	Fruticosa Olive	36" box	3
PC	Prunella c. 'Kramer Vasevink'	Purple Leaf Plum	24" box	7
Shrubs				
RD	Rhamnus c. 'Eve Chase'	Coffeeberry	5 Gal.	28
RD	Rosemary s. 'Tuscan Blue'	Upright Rosemary	5 Gal.	16
PT	Phormium l. 'Wood Queen'	New Zealand Flax	15 Gal.	6
DV	Dietes vegeta	Fortnight Lily	5 Gal.	36
Perennials / Groundcovers				
TY	Hemerocallis evergreen 'Yellow'	Yellow Daylily	5 Gal.	270
LS	Lavandula s. 'Dido Queen'	Spanish Lavender	5 Gal.	48
PG	Penstemon s. 'Apple Blossom'	Beard Tongue	5 Gal.	27
SL	Bolus leucantha	Madison Bush Sage	5 Gal.	36
Grasses				
FOG	Festuca ovina 'Glaucol'	Blue Fescue	5 Gal.	270
	Lawn (Sod)	Sod spec.		
Vines				
RV	Ardenbergia violacea 'Happy Wanderer'	KCH	5 Gal.	2
Street Trees				
WN	Juglans nigra	Black Walnut	65 Gal.	2

**Spreckels
Sales Trailer**
Spreckels, California

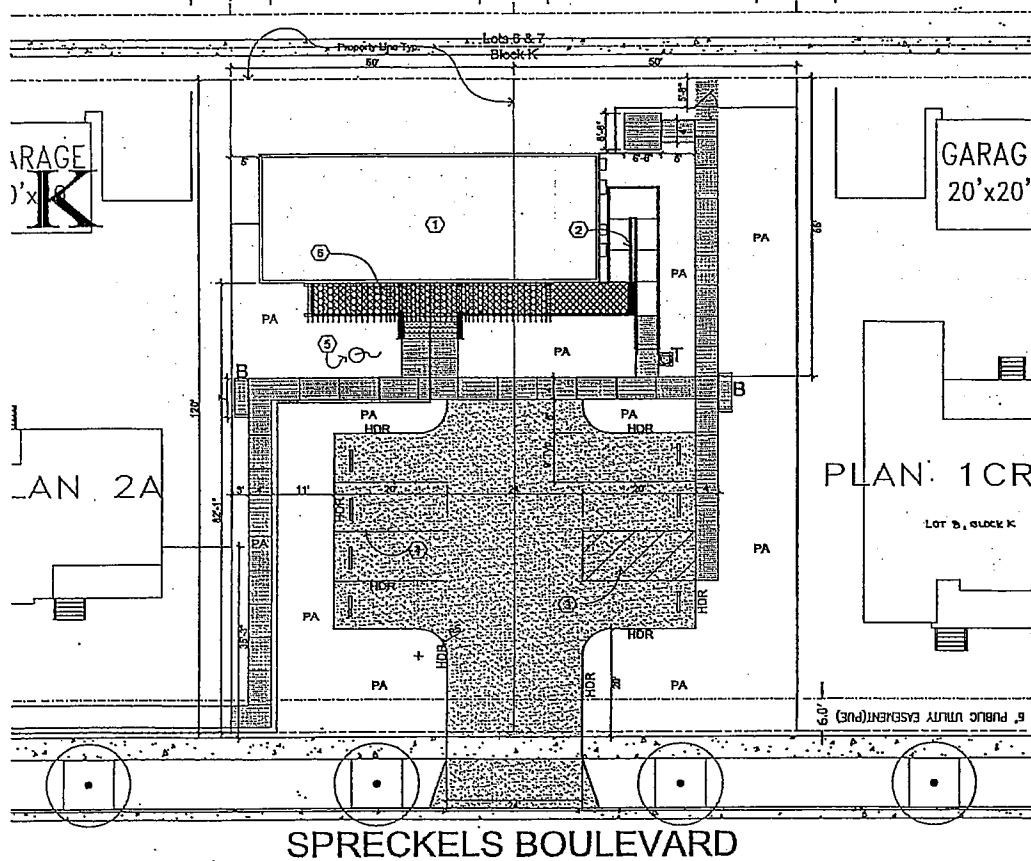
Standard Pacific Homes
 900 E. Hamilton Ave., Suite 200
 Campbell, CA 95008
 ph (408) 626-6000
 fx (408) 626-6912

Drawn: SAJ
 Checked: SJS
 Project No: 07312
 File Name: 06054_Cover
 Date: Apr 23, 2007

Issued for:
 Planning Submittal
 100% Construction Documents

Site Plan

Sheet No.
L-2.0



SCALE: 1/8" = 1'-0"

Construction Legend

- Asphalt paving: See 1
- Tied Joist: See 2
- Expansion Joint: See 2
- 4" Concrete paving: Natural color, broom finish: See 2
- Thickened Edge: See 2
- Wood Deck: See 3
- Steps: See 3
- Wood Railing: See 3
- Wood Headerboard: See 3
- Precast Concrete Wheel Stop: See 3
- Trip Fanoor: See 3
- 6" Radwood Fanoor: See 3
- Planting Area: See planting plan
- Trash Recycling: See 4
- Bench Box Specs

Construction Notes

- 1 Sales Trailer 24' X 60'
- 2 Ramp
- 3 ADA Striping see 2
- 4 Parking Striping see 2
- 5 Flagpole see 2
- 6 Trails see 2

PROJECT DATA TABLE

LOT SIZE	12,000 sq ft
LOT COVERAGE	8183 sq ft
LOT COVERAGE %	68%
GRADING - CUT	16% cut
GRADING - FILL	15% fill
IMPERVIOUS COVERAGE	31%
NOTE: THERE ARE NO TREES TO BE REMOVED	

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Revisions:

Spreckels Sales Trailer
Spreckels, California

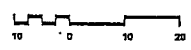
Standard Pacific Homes
800 E. Hamilton Ave., Suite 200
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fx (408) 825-8012

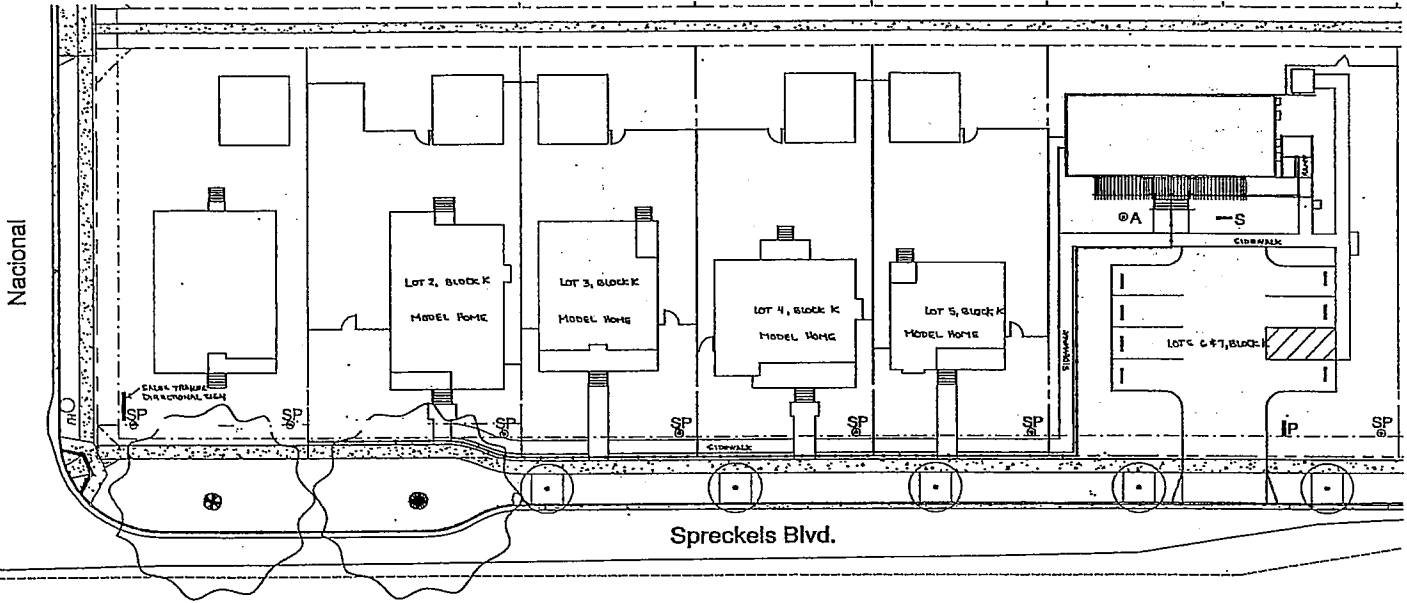
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Checked:	143
Project No.:	07-011
File Name:	DL064_Constr
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Construction Plan

Sheet No. **L-3.1**





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Landscape Architecture
422 Pacific Street, Suite 301
Menlo Park, CA 94025
PH 650.344.3323
FAX 650.344.3323
www.bfsla.com



Consultant:

Revisions:

Construction Legend

- 8' Sales Center Directional Sign: See (L-3.2)
- S 4' Sales Center Location Sign: See (L-3.3)
- P 4' Parking Directional Sign: See (L-3.7)
- SP 24' Standard Pacific Homes Flagpole: See (L-3.7)
- A Flagpole w/ American Flag: (consult height)
- Trap Fence: See (L-3.7)

**Spreckels
Sales Trailer**
Spreckels, California

Standard Pacific Homes
500 E. Hamilton Ave., Suite 200
Campbell, CA 95008
ph (408) 826-6920
fx (408) 825-6912

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Checked: MB
Proj. # No.: 07.013
File Name: 09.054_Mark

Date: April 23, 2007

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**Model
Access/
Signage**
Sheet No.

L-3.2

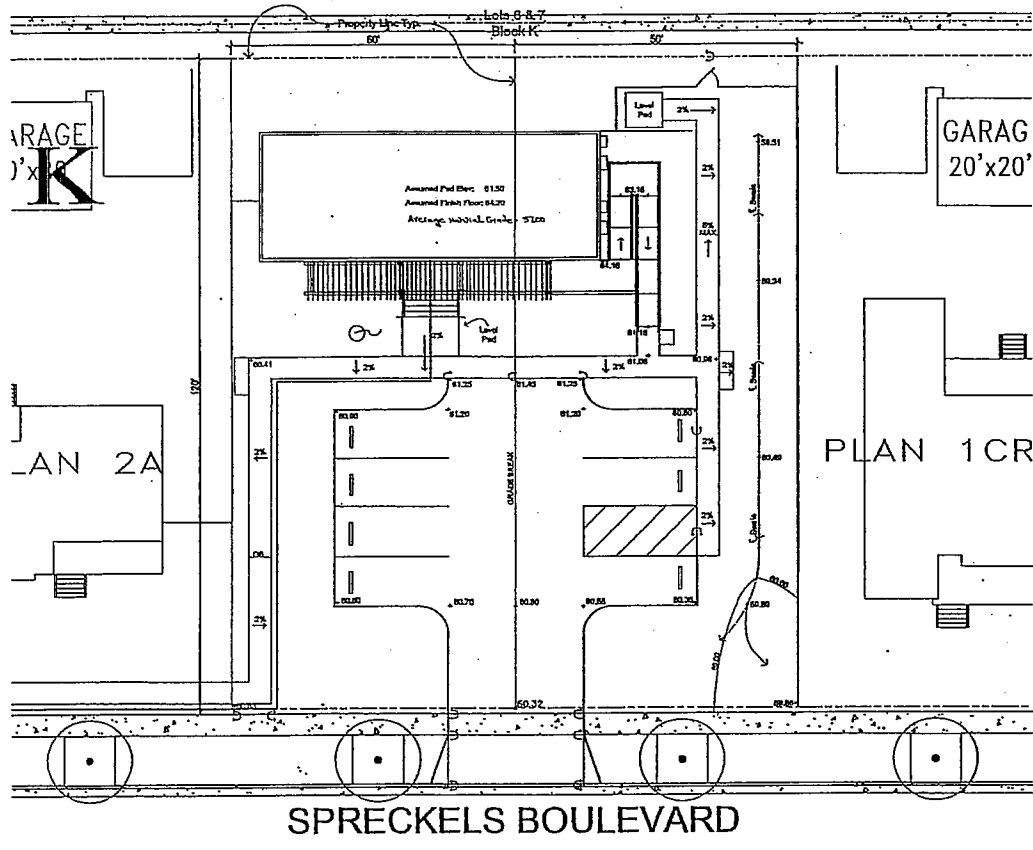


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LEGEND

- ± 214.05 Existing Elevation
- FB 0.00 Road Elevation
- FS Finish Surface (Paving or DG)
- FD Finish Grade
- TW Top of Wall
- TC Top of Deck
- HP High Point
- VIP Vary in 1% Max
- CM Check of Slope/Down
- Flash
- CS Catch Basins
- CSA Catch Basins
- D Downspout, See Specs.
- CSO Storm Outfall, See Specs.
- AJ Arterial Joints, See Specs.
- S.S. S.S. S.S. S.S.
- SB Substructure
- MAD

GENERAL NOTES

1. Walkways slopes shall not exceed 5% in the direction of travel and 2% perpendicular to the direction of travel.
2. See Submittal CH-5 plans for sidewalk and street improvement grades.

Revision	By	Date

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Sales Trailer
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Standard Pacific Homes
800 E. Hardison Ave., Suite 200
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Drawn by:	BM
Checked by:	LB
Project No.:	07.212
File Name:	04.024.Dwg

Date:

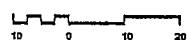
Apr 23, 2007

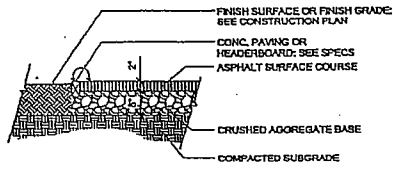
Revision:
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Grading
Plan

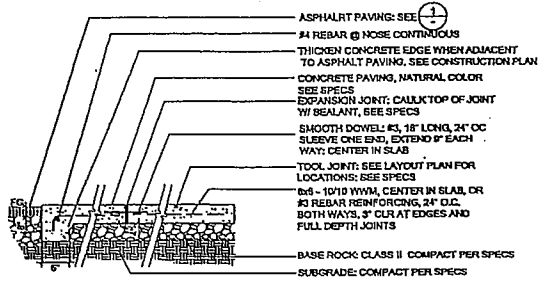
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L-4.1

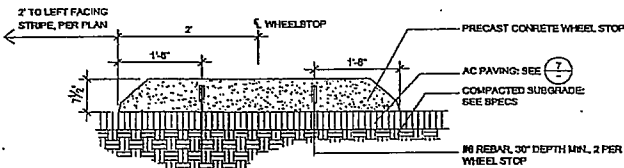




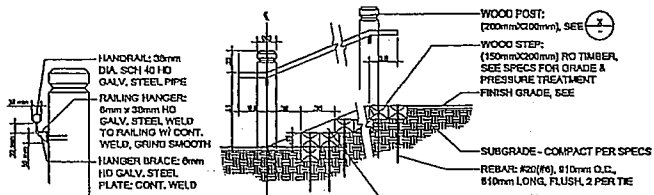
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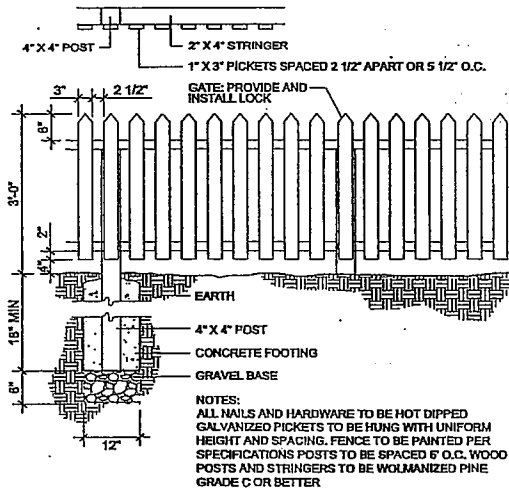
2 Concrete Paving
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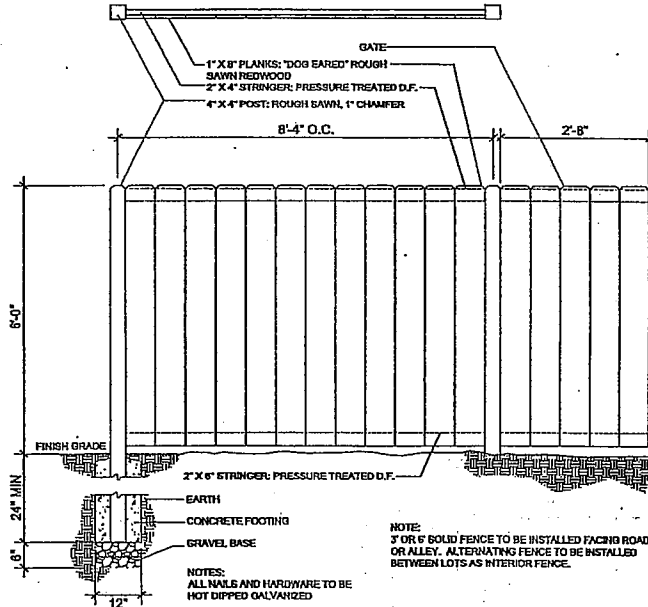
3 Concrete Wheel Stop
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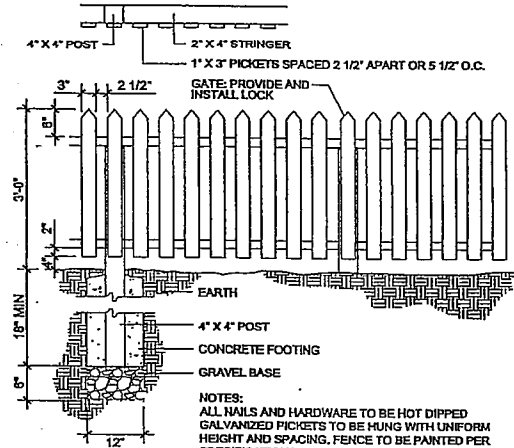
4 Steps and Railing
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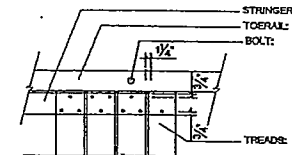
5 Tripart Fence
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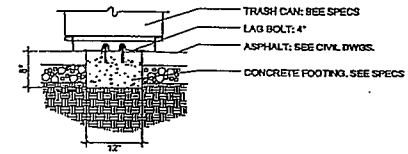
6 6' Redwood Fence
NTS



7 3' Picket Fence
NTS



8 Wood Deck
NTS



9 Trash Receptacle Footing
NTS

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Landscapes Architecture

432 Pacific Street, Suite 201
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Consultants

Revision:	

Spreckels
Sales Trailer

Spreckels, California

Standard Pacific Homes
900 E. Hemlock Ave., Suite 200
Orange, CA 92668
ph (409) 828-8800
fx (108) 828-8812

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Checked:	LAD
Project Mgr:	STW/SJ
File Name:	05.051_06-04
Date:	April 23, 2007

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Construction
Details

Sheet No.

L-5.1

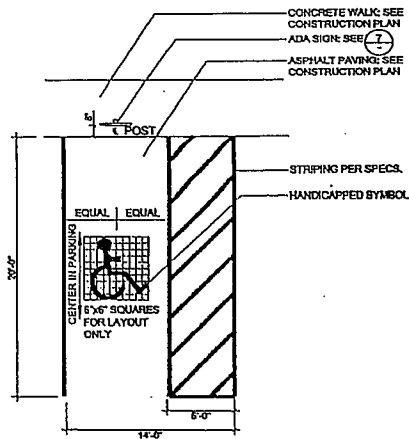
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Landscape Architects

433 Pacific Street, Suite 201
Redwood City, CA 94063
Tel: (650) 441-1330
Fax: (650) 373-8403
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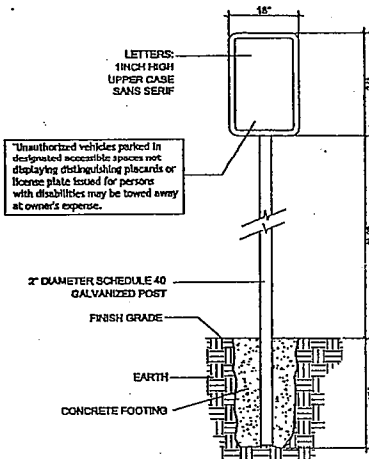


Consultant

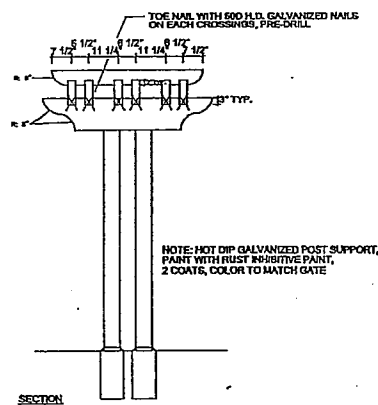
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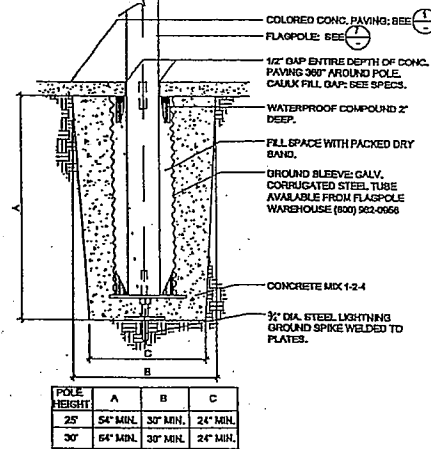
2 ADA Striping
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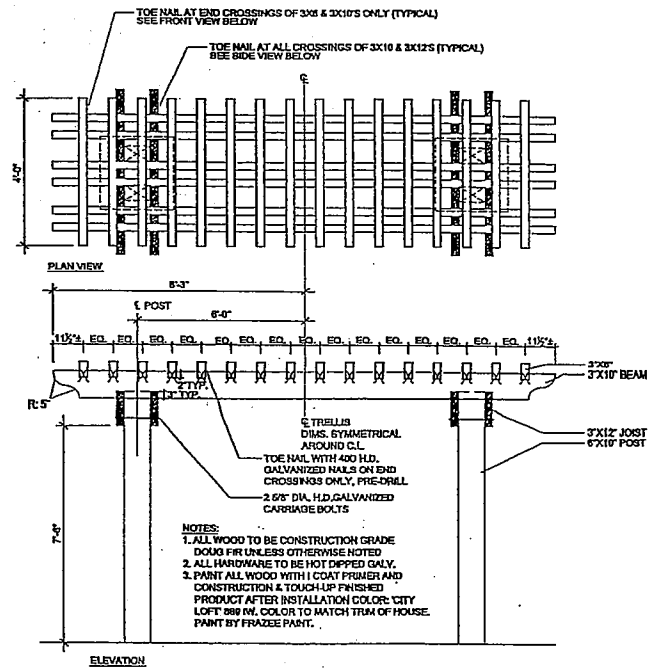
3 ADA Striping
NTS



SEE CHART BELOW FOR FOOTING DIMENSIONS.



4 Flagpole Footing
NTS



5 Trellis
NTS

Revisions:

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Sales Trailer
Spreckels, California

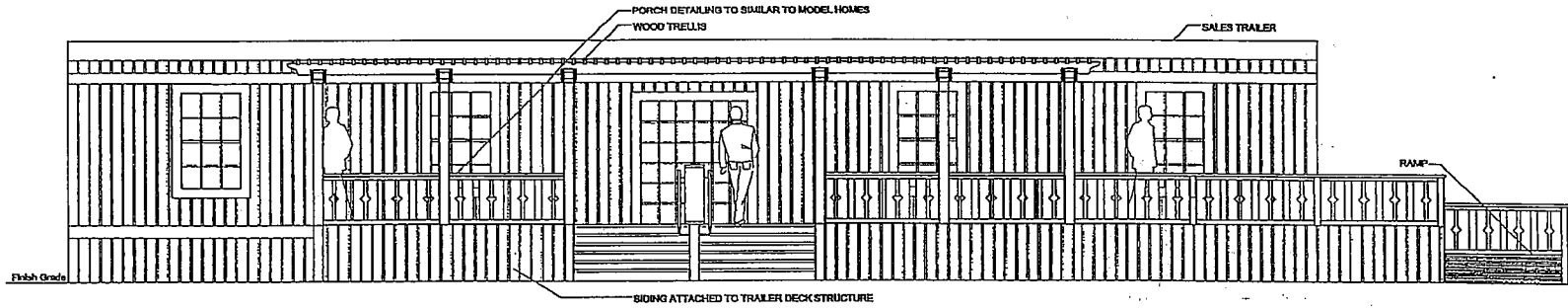
Standard Pacific Homes
600 E. Herndon Ave., Suite 200
Campbell, CA 95008
ph (408) 828-6500
fx (408) 828-6512

Drawn: BK
Checked: JB
Plotted Nts: BT/STJ
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Date: Apr 23, 2007

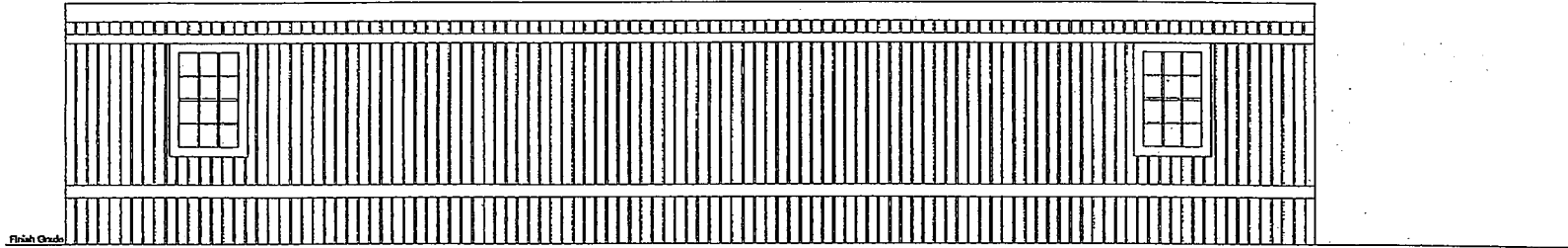
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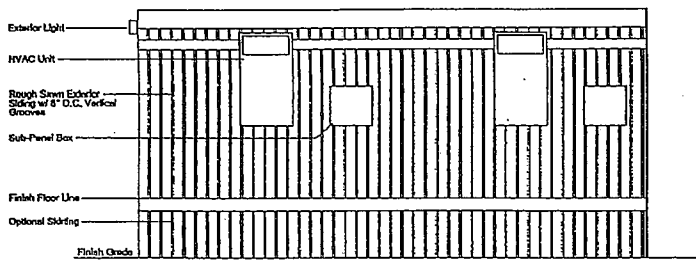
Sheet No.
L-5.2



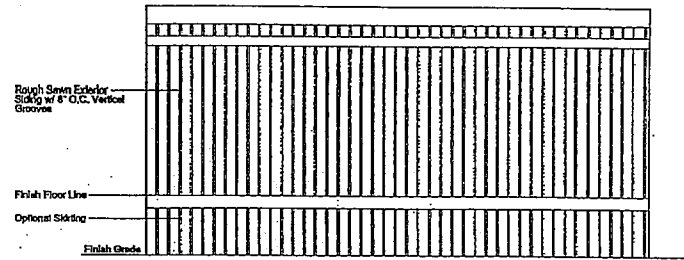
① Sales Trailer South Elevation
3/8" = 1'-0"



① Sales Trailer North Elevation
3/8" = 1'-0"



① Sales Trailer East Elevation
3/8" = 1'-0"



① Sales Trailer West Elevation
3/8" = 1'-0"

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Landscape Architects
423 Pacific Street, Suite 201
Menlo Park, CA 94025
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FX 650.324.3803
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Consultants:

Revisions:

No.	Description

Spreckels Sales Trailer
Spreckels, California

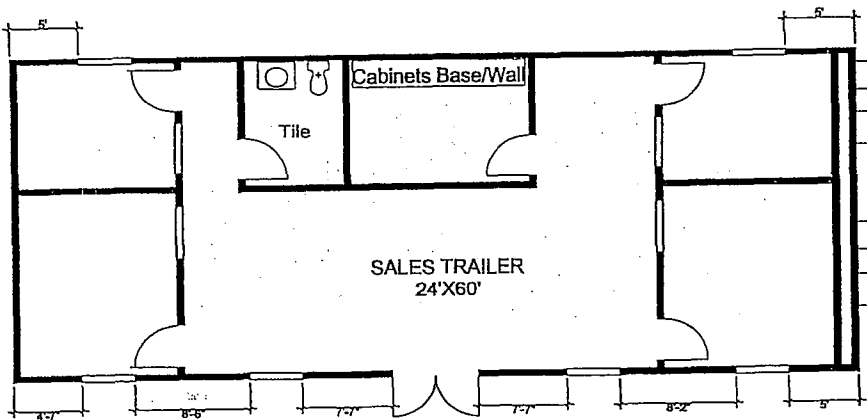
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590 E. Hamilton Ave., Suite 200
Campbell, CA 95008
PH (408) 626-6900
FX (408) 626-6912

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Checked: JLS
Printed At: 02/21/07
File Name: 061621_Constr
Date: Apr 23, 2007

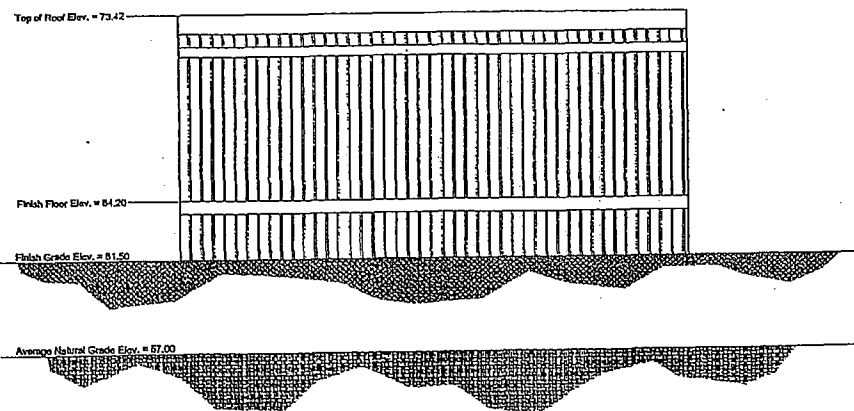
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Printing Subtotal
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Construction Details

Sheet No.
L-5.3



1 Sales Trailer Floor Plan
1/4" = 1'-0"



2 Sales Trailer Elevations
1/4" = 1'-0"



3 8' Sales Center Directional Sign
1/4" = 1'-0"



4 4' Sales Center Location Sign
1/4" = 1'-0"



5 4' Parking Directional Sign
1/4" = 1'-0"

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Consultant

Revision:	

Spreckels
Sales Trailer
Spreckels, California

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ph (408) 826-6200
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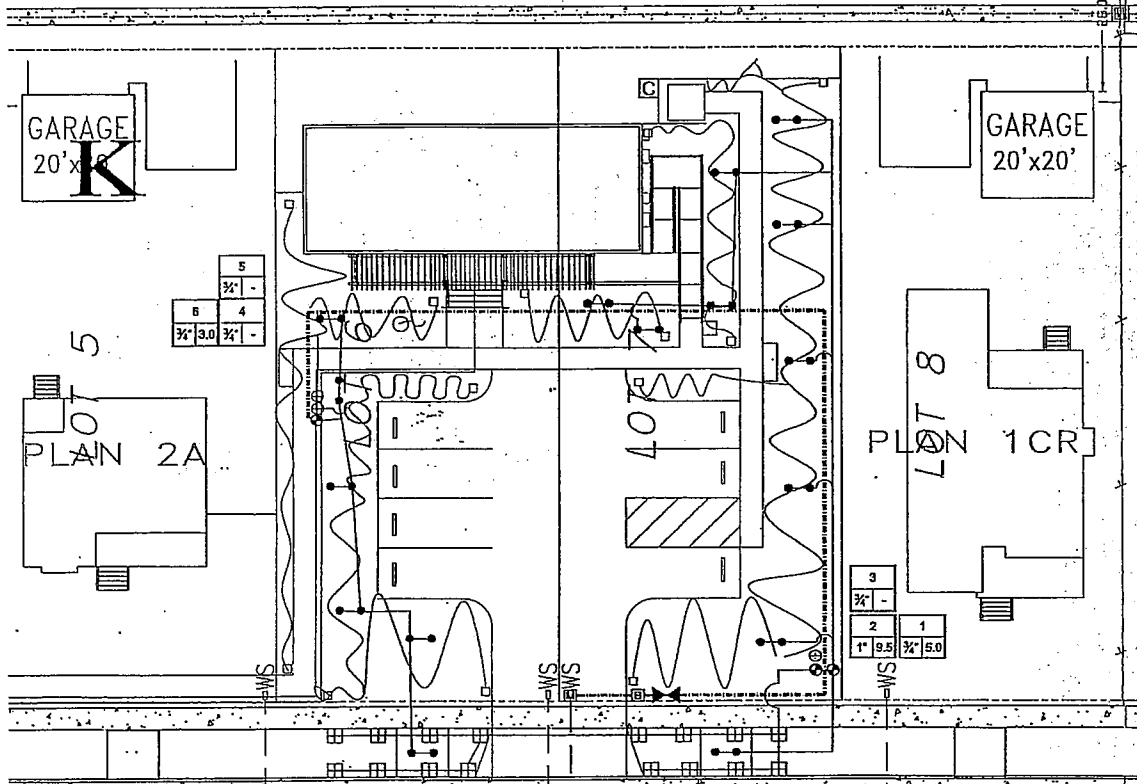
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Date: April 23, 2007

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Construction
Details

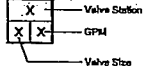
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L-5.4



LEGEND

SYMBOL	MANUFACTURER	DESCRIPTION	PSI	GPM	RAD
[Symbol]	Hunter	PROS-06-10	30	25-1.06	10'
[Symbol]	Hunter	PCB-25 Bubbler	30	.25	
[Symbol]	Rainbird	Flush Port			
[Symbol]		3/4" Poly Pipe w/ Aquatim PCP Emitters per Emitter Schedule			
[Symbol]		1" Main Line: Schl. 40 18" Depth			
[Symbol]		Lateral Line: Class 200 12" Depth. See chart for sizes.			
[Symbol]	Hunter	POV-1000 Remote Control Valve: Install minimum one foot above finish grade in RCV zone. Size as shown on plan.			
[Symbol]	Hunter	PACZ-875 Control Zone Valve: With Filter			
[Symbol]	King Brothers	Full Port PVC Ball Valve: Line Size			
[Symbol]	Hunter	XG-600, Wall Mount			
[Symbol]	Wilsons	Model 420 Pressure Vacuum Breaker			
UON		Unless Otherwise Noted			
POC		Point of Connection			



NOTE: Emitters shall be placed along poly pipe per the following schedule. See planting plan for plant sizes and locations. Locate emitters to allow for one additional port to each plant for future needs. All emitters shall be placed on the uphill side of plants on slopes.

EMITTER SCHEDULE

Emitter Type	Plant Spacing
1 gpl.	(2) 1 gph
5 gpl.	(2) 2 gph
15 gpl.	(2) 2 gph

LATERAL LINE SIZING CHART (SPRAY HEADS)

CLASS 200 PVC LATERAL U.O.N.	U.O.N.
1-6 Heads 3/4"	1-10 Bubbler 3/4"
7-10 Heads 1"	11-22 Bubbler 1"
11-16 Heads 1 1/2"	23-32 Bubbler 1 1/2"
18-20 Heads 1 1/2"	53-70 Bubbler 1 1/2"
21-27 Heads 2"	71-110 Bubbler 2"

LATERAL LINE SIZING CHART (BUBBLERS HEADS)

CLASS 200 PVC LATERAL U.O.N.	U.O.N.
1-6 Heads 3/4"	1-10 Bubbler 3/4"
7-10 Heads 1"	11-22 Bubbler 1"
11-16 Heads 1 1/2"	23-32 Bubbler 1 1/2"
18-20 Heads 1 1/2"	53-70 Bubbler 1 1/2"
21-27 Heads 2"	71-110 Bubbler 2"

GENERAL NOTES

- 1. GUARANTEE:**
Contractor shall guarantee irrigation system for one year from date of acceptance.
- 2. VERIFICATION:**
System design is based on 80 P.S.I. and 19 G.P.M. available at discharge outlet of meter or other point of connection. Contractor shall verify same and notify Architect if such data adversely affects the operation of the system. Such notice shall be made in writing and prior to commencing any irrigation work.
- 3. UTILITIES:**
Contractor shall verify location of all on-site utilities. Restoration of damaged utilities shall be made at the Contractor's expense to the satisfaction of the owner.
- 4. SCHEMATIC:**
System features are shown schematically for graphic clarity. Install all piping and valves in common trenches where feasible and inside planting areas adjacent to walkways and trade medians whenever possible.
- 5. SPECIFICATIONS:**
See Irrigation specifications for additional information.
- 6. CODES:**
Irrigation system shall be installed in accordance with all local codes and manufacturer's specifications. Notify Architect by telephone and in writing of any conflicts prior to installation.
- 7. QUICK COUPLING VALVES:**
Install on double swing joint. Locate 12" away from edge of walk, curb, and headboards within planting areas. Provide one swing, hose end.
- 8. CHECK VALVES:**
Install check valves in back on low side of spray system, as required to minimize the drainage. Contractor shall allow in bid price an amount sufficient to provide and install an additional 10 check valves to accommodate any necessary field changes.
- 9. BUBBLERS:**
Contractor shall adequately slope Schl. 40 pipe for all wiring and irrigation lines installed under paving areas. Install (with ends clearly marked above grade) at the necessary depth prior to the construction of driveway and walk pavements. Sloping to extend 12" from edge of paving into lawn or planting areas. No piping shall be allowed under paving unless, no angle or 90 degree bends shall be allowed under paving.

- 10. HEAD ALLOWANCE:**
Contractor shall allow in bid price an amount sufficient to provide and install an additional 6 sprinkler heads of each type specified on plan to accommodate field changes. These heads shall be located as directed by the Architect. Contractor shall deliver to the owner any unused additional heads at the end of the maintenance period.
- 11. FIELD VERIFICATION:**
Contractor to field verify dimensions of all planting areas to resolve irrigation. Contractor to determine nozzle position (12" head, 1/4" head, Adjustable Arc nozzle, etc.) based on field conditions. Adjust all nozzles in field for optimal coverage and to prevent overspray onto walks, paved areas, building, etc.
- 12. CONTROLLER:**
Install controller as shown on the Drawings. All above-grade conduit, either 24v. or 110v., shall be rigid steel securely fastened to structure and to controller.
- 13. POP-UP HEIGHT:**
Use 6" pop-up in the turf areas; 12" pop-up in the remaining planting areas, unless otherwise noted. All shrub beds 6" wide and less shall have 6" pop-ups.

Bellinger Foster Steinmetz
Landscape Architects

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Contractor:

Revisions:

Spreckels Sales Trailer
Spreckels, California

Standard Pacific Homes
850 E. Hampton Ave., Suite 200
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fx (408) 625-6912

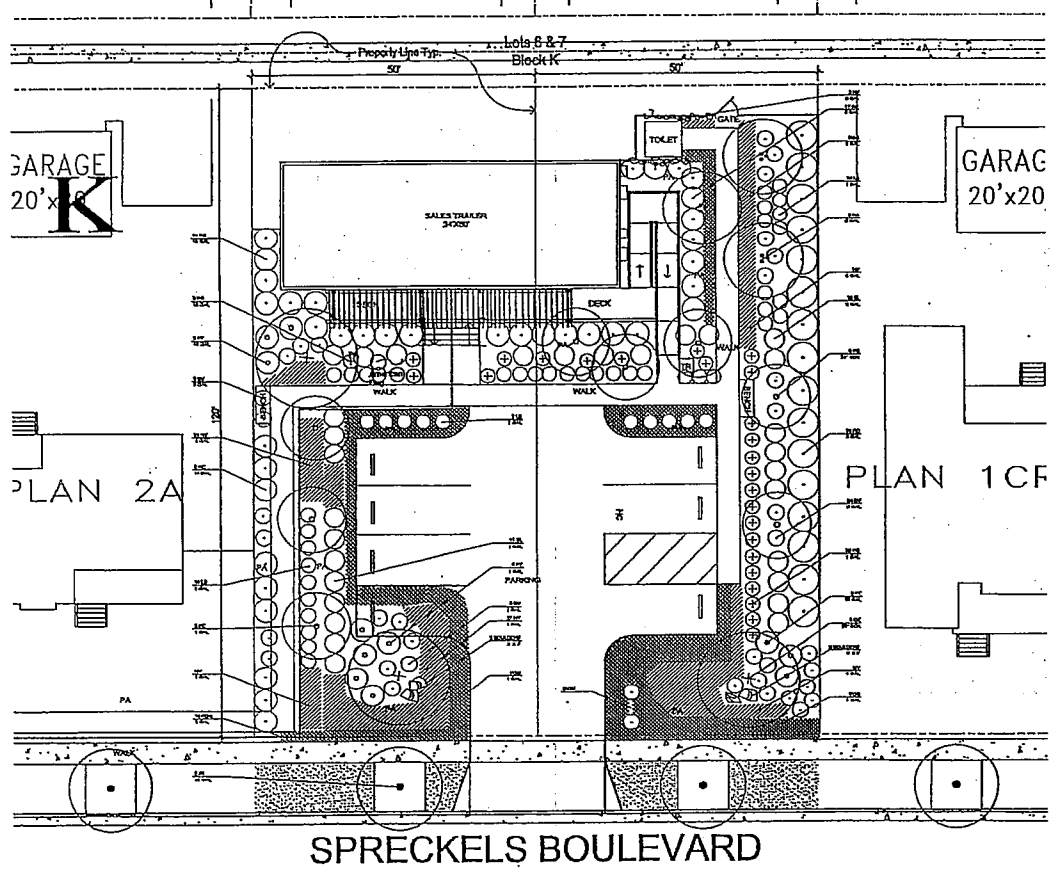
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Project No: 07-012
File Name: 06.06.14.dwg
Date: April 21, 2007

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Irrigation Plan

Sheet No. **L-6.1**





LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
Trees			
FA	Fraxinus s. 'Raywood'	Raywood Ash	16 Gal.
OE	Olea s. 'Swan Hill' multi-trunk	Fruticosa Olive	30" box
PC	Prunus c. 'Grande Vaseolus'	Purple Leaf Plum	24" box
Shrubs			
RC	Rhamnus c. 'Eve Case'	Coroberry	5 Gal.
RO	Rosa s. 'Rosera Blue'	Lyght Rosemary	5 Gal.
PT	Photinia L. 'Moist Queen'	New Zealand Flax	15 Gal.
DV	Dicentra vegata	Fortnight Lily	5 Gal.
Perennials / Groundcovers			
TY	Thymus s. 'Emergreen Yellow'	Yellow Dyer's	1 Gal.
LS	Lavandula s. 'Otto Quast'	Spanish Lavender	1 Gal.
PG	Paratanacetum s. 'Apple Blossom'	Beard Tongue	1 Gal.
SL	Salvia leucantha	Mexican Bush Sage	1 Gal.
Grasses			
FOG	Festuca ovina 'Glasco'	Blue Fescue	1 Gal.
LO	Lawn (Sod)	Sod spool	
Vines			
HV	Hardenbergia violacea 'Happy Wanderer'	NGN	5 Gal.
Street Trees			
LN	Liquidambar styraciflua	Black Walnut	15 Gal.

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Consultant:

Revisions:

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Spreckels, California

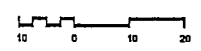
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800 E. Hamilton Ave., Suite 200
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Drawn: MFL
Checked: MFL
Printed: 07/21/07
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**Planting
Plan**

Sheet No.
L-7.1





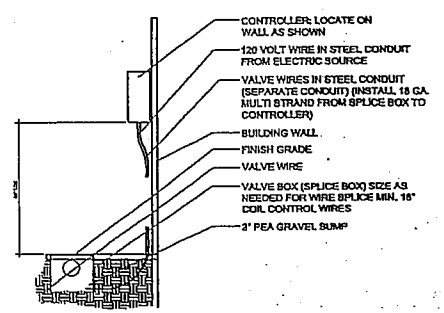
Conc/Plastic

Revisions:

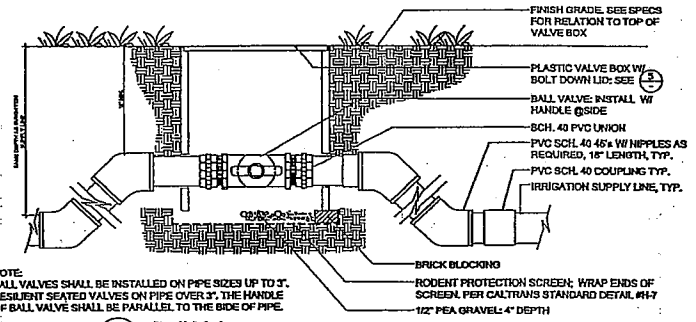
Standard Pacific Homes
 900 E. Hamilton Ave., Suite 200
 Campbell, CA 95008
 ph (408) 826-8000
 fx (408) 828-8012

Drawn: DAI
 Checked: JAS
 Project No.: 07-013
 File Name: Paved/Out
 Date: April 23, 2007

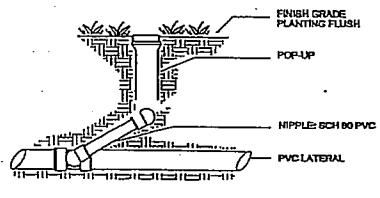
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1 Controller Wall Mount Exterior
 NTS

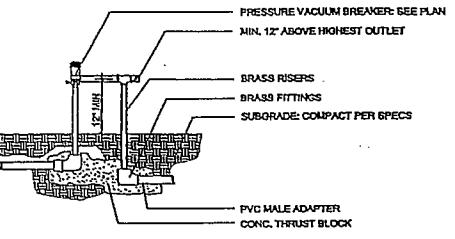


4 Ball Valve
 NTS

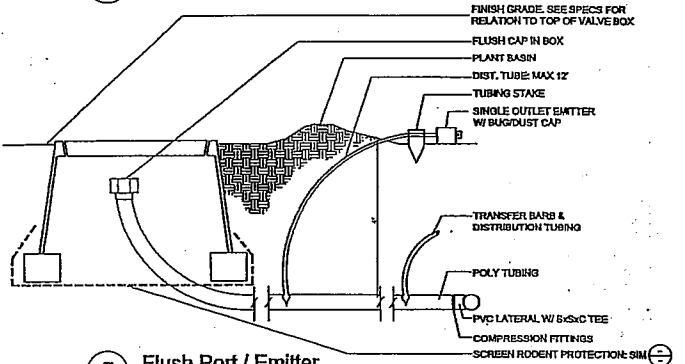


NOTE: ASSEMBLE ENTIRE UNIT AS 3-6WING JOINT, USE MARLEX STREET ELLS

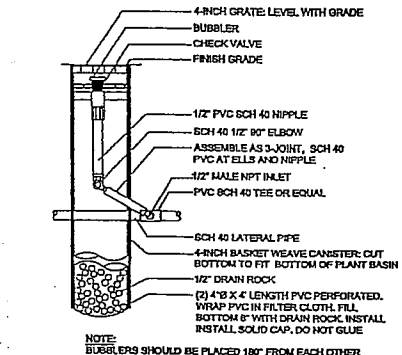
7 Ball Valve
 NTS



2 Backflow Preventer
 NTS

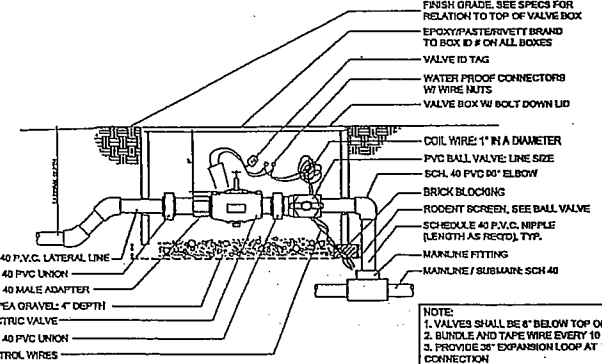


5 Flush Port / Emitter
 NTS



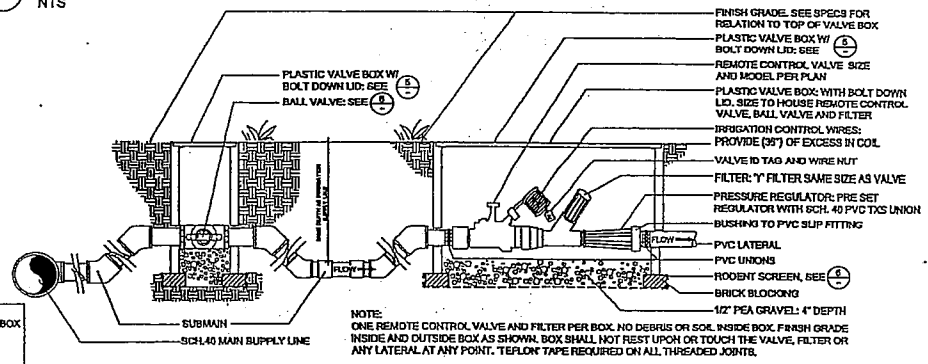
NOTE: BUBBLERS SHOULD BE PLACED 180° FROM EACH OTHER

8 Bubbler
 NTS



NOTE:
 1. VALVES SHALL BE 6" BELOW TOP OF VALVE BOX
 2. BUNDLE AND TAP WIRE EVERY 10 FEET
 3. PROVIDE 36" EXPANSION LOOP AT WIRE CONNECTION
 4. PROVIDE UNIONS ON EACH SIDE OF VALVE

3 Remote Control Valve
 NTS



NOTE:
 ONE REMOTE CONTROL VALVE AND FILTER PER BOX. NO DEBRIS OR SOIL INSIDE BOX. FINISH GRADE INSIDE AND OUTSIDE BOX AS SHOWN. BOX SHALL NOT REST UPON OR TOUCH THE VALVE, FILTER OR ANY LATERAL AT ANY POINT. TEFLOX TAPE REQUIRED ON ALL THREADED JOINTS.

6 Drip Valve
 NTS

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Menlo Park, CA 94025
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FX 650.374.1813
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Consultants:

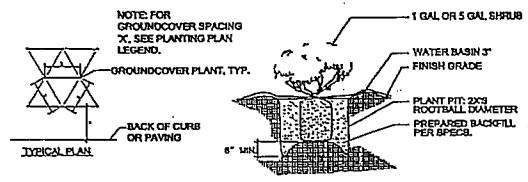
Revision:	

Spreckels
Sales Trailer
Spreckels, California
Standard Pacific Homes
900 E. Hamilton Ave., Suite 200
Campbell, CA 95008
ph (408) 626-6900
fx (408) 626-6912

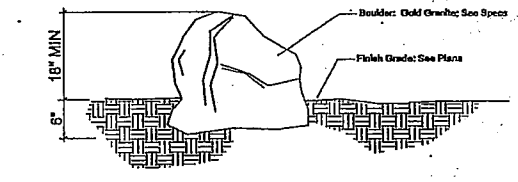
Drawn: BSL
Checked: LFB
Project No: 072113
File Name: Phd04-04
Date: April 23, 2007

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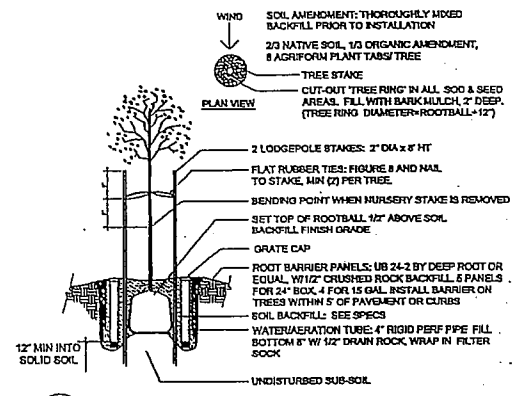
Planting &
Irrigation
Details
Sheet No.
L-8.2



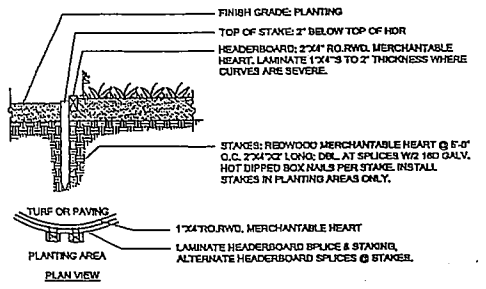
1 Groundcover/Shrub Planting
NTS



4 Boulder
NTS

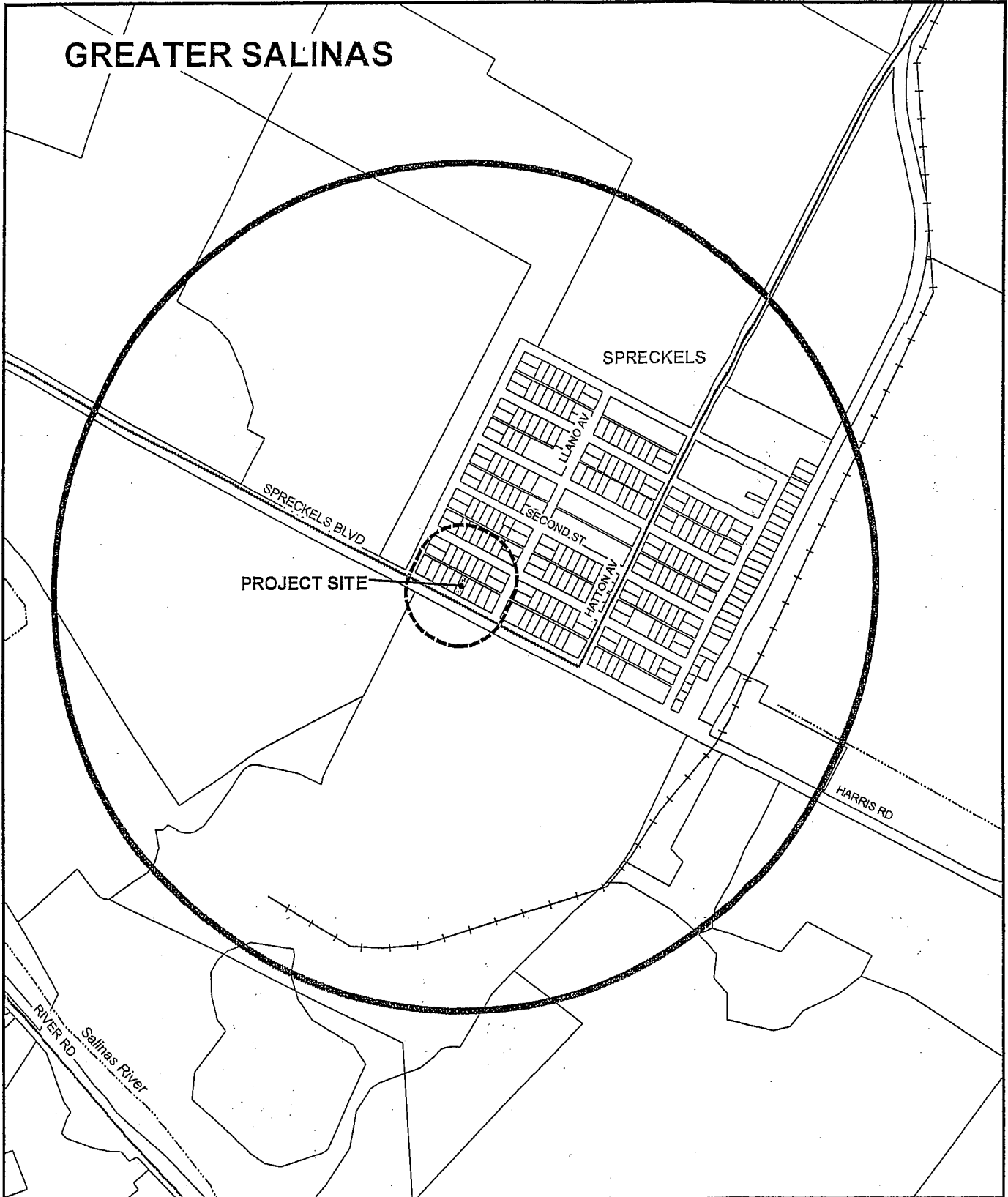


2 Tree Staking
NTS



3 Headerboard
NTS




GREATER SALINAS

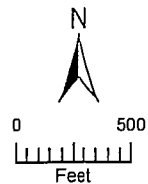


APPLICANT: STANDARD PACIFIC CORP

APN: 177-064-015-000

FILE # PLN070153

 300' Limit  2500' Limit  City Limits



PLANNER: SAVAGE