

In the matter of the application of
Quatro Oaks LP (PLN080078)

FINDINGS & DECISION

for an **Administrative Permit** in accordance with Title 21 (Zoning) Chapter 21.70 (Administrative Permits) of the Monterey County Code, to allow construction of a 989 square foot attached caretaker unit; and Design Approval to allow construction of a 13,044 square foot multi-level, two-story single family dwelling with a below grade 3,311 square foot attached nine car garage and living areas, 1,262 square foot loggio, 512 square foot breezeway, 1,031 square foot decks, 312 square foot detached wine shed, 100 square foot detached potting shed with 174 square foot covered porch. Also included is the relocation of 22 Coast live oak and 18 Monterey pine trees and the removal of 4 Monterey pines ranging in size from 9 to 17 inches in diameter. Grading is approximately 3,973 cubic yards of cut and 991 cubic yards of fill. The property is located at 8015 Quatro, Carmel, Tehama Subdivision, southerly of Highway 68, Greater Monterey Peninsula Area, and came on regularly for meeting before the Zoning Administrator on June 26, 2008.

Said Zoning Administrator, having considered the application and the evidence presented relating thereto,

FINDINGS OF FACT

1. **FINDING: CONSISTENCY** – The project, as described in Condition No. 1 and as conditioned, conforms to the policies, requirements, and standards of the Monterey County General Plan, Greater Monterey Peninsula Area Plan, Greater Peninsula Area Plan Inventory and Analysis, and the Monterey County Zoning Ordinance (Title 21), which designates this area as appropriate for residential development.

- EVIDENCE:** (a) The text, policies, and regulations in the above referenced documents have been evaluated during the course of review of applications. No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
- (b) The property is located at 8015 Quatro, Carmel (Assessor's Parcel Number 259-092-025-000), Tehama, Greater Monterey Peninsula Area. The parcel is zoned "RDR/10-UR-D" or Rural Density Residential, 10 acres per unit, with Urban Reserve and Design Control overlays. The subject property complies with all rules and regulations pertaining to zoning uses and any other applicable provision of Title 21, and is therefore suitable for the proposed development.
- (c) The project for a single-family dwelling with attached garage and caretaker unit are uses allowed in the RDR zoning designation in accordance with Section 21.16.040(A) and (C) and is consistent with the development standards of Section 21.64.030 Monterey County Zoning Ordinance (Title 21).
- (d) The proposed project is consistent with the approval of the Canada Woods North Subdivision (Board of Supervisors Resolution No. 96-518).
- (e) Regulations of the Design Control or "D" zoning district require design review of structures to assure the protection of the public viewshed, neighborhood character, and the visual integrity of certain developments without imposing undue restrictions on private property. The project design, materials, and color treatments chosen for the caretaker unit and residence and improvements blend with the natural landscape and are

keeping with materials and treatment approved for other residence and structures in the subdivision.

- (f) The project planner conducted a site inspection on January 7, 2008 to verify that the project on the subject parcel conforms to the plans listed above.
- (g) The project was not referred to the Greater Monterey Peninsula Land Use Advisory Committee (LUAC) for review. Based on the current review guidelines adopted by the Monterey County Board of Supervisors per Resolution No. 04-236, this application did not warrant referral to the LUAC because no Initial Study was required. The project did not involve slope restrictions, ridgeline/viewshed development restrictions, a Lot Line Adjustment with conflicts, or a Variance. The proposed residence is not in a "VS" district or visible from any public road or common public viewing area.
- (h) The application, project plans, and related support materials submitted by the project applicant to the Monterey County Resource Management Agency - Planning Department for the proposed development found in Project File PLN080078.

2. FINDING: SITE SUITABILITY – The site is physically suitable for the use proposed.

- EVIDENCE:**
- (a) The project has been reviewed for site suitability by the following departments and agencies: RMA - Planning Department, Salinas Rural Fire Protection District, Public Works, Environmental Health Division, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
 - (b) Technical reports by outside arborist and geotechnical consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff concurs. The following reports have been prepared:
 - 1. An "Amended Tree Assessment/Forest Management, was prepared for this parcel by Frank Ono, Forester, dated 6/6/08" (Library No. LIB080310) which supports that there are no physical or environmental constraints that would indicate the site is not suitable for the use proposed. Recommendations for tree relocation, removal, tree protection, monitoring for the survival of the relocated and remaining trees is provided.
 - 2. A "Geotechnical Investigation Lot 86, Phase 1, Tehama Monterey County CA" was prepared by O'Brien & Gere Engineers, Inc, dated November 2007 (Library No. LIB080248) and concludes that the site is suitable for the proposed residential construction and provides recommendations.
 - (c) Staff conducted a site inspection on January 7, 2008 to verify that the site is suitable for this use.
 - (d) Materials in Project File PLN080078

3. FINDING: TREE REMOVAL (Minimum Required and Adverse Environmental Impacts) – The project, as conditioned, is consistent with the applicable goals and policies of the Greater Monterey Peninsula Area Plan and with the Regulations for Preservation of Oak and Other Protected Trees, Section 21.64.260(D) of the Monterey County Zoning Ordinance (Title 21).

- EVIDENCE:**
- (a) The proposed tree removal is the minimum required under the circumstances of the case. The structures proposed are within the 1.39 acre building envelope established by the final map. The project proposes to relocate 22 Coast live oak trees ranging from 6" to 14" in diameter and 18 Monterey pines, ranging from 9" to 42" in diameter instead of removing the trees. Four Monterey pines 9", 14", 15" and 17" in diameter will be removed which are not protected trees. No landmark oaks are proposed to be removed. The structures and driveway have been located to minimize protected and landmark oak tree removal and development on slopes, while minimizing the visual impact and maintaining the natural aesthetic qualities of the site and area. The forester conducted several on-site meetings with the owner to assess and to identify ways to minimize

removal and to determine relocation sites. No alternative building site was assessed for development of the project as it was concluded that development at alternative sites would involve the removal of more trees in a healthier condition or development on steeper slopes. Locations for replacement trees are proposed on the plans for Tehama lot 86, sheet L.3.01 (Existing Tree and Relocation Plan) and L3.02 (Planting Plan).

- (b) The removal will not involve a risk of adverse environmental impacts to soil erosion; water quality, ecological impacts; noise pollution; air movement, wildlife habitat or associated ecosystems. The Canada Woods North Final Environmental Impact Report (EIR96-002) analyzed the environmental implications of the tree removal and appropriate mitigation measures were incorporated as conditions of approval of that project. Approval of that project by the Board of Supervisors (Resolution No. 96-091), included a Use Permit for the removal of 66 protected oaks and 64 Monterey pine trees to allow road and driveway development and the removal of 30 protected trees for building sites. The EIR Mitigation Measures and Use Permit conditions of approval require a site specific Forest Management Plan and the implementation of best management practices for tree relocation and monitoring to enhance maximum rate of survival of relocated trees and protection of trees potentially impacted by construction. Measures for tree protection during construction have been incorporated as conditions of this approval; these include methods and timing for tree relocation, pruning, planting irrigation, tree protection zones, trunk protection, and hand digging. After five years monitoring and an assessment of the health of the relocated and remaining trees, any protected trees that do not survive based on the success criteria shall be replaced on a 3:1 ratio consistent with the following mitigation measures from the approved Combined Development Permit:

- Mitigation Measure 12-1 (Condition No. 118) incorporated as Condition No. 15;
- Mitigation Measure 12-6 (Condition No. 122) limits fencing to the building envelope is incorporated as Condition No. 15;
- Mitigation Measure 15-1 (Condition No. 125) grading, filling, and site and subdivision construction activity within the dripline of oak trees;
- Mitigation Measure 15-2 (Condition No. 126) restricts the siting of home sites to minimize removal of oak trees and requires tree protection consistent with the forest management plan, implemented as Condition No. 15.

A tree assessment is required to be submitted and approved by the RMA- Planning Director addressing the health of the trees after five years and recommending further actions and/or replacement trees for trees that do not survive based on the success criteria.

- (c) The Monterey County Zoning Ordinance, Section 21.64.260.D.4 requires replacement at a rate of 1:1 for protected tree species removed. However, approval of the Canada Woods North Subdivision (File No. 965120PC) requires implementation of Mitigation Measure No. 118 requiring the replacement of non-landmark oak trees at a 3:1 ratio. This mitigation also requires that replacement and remaining trees shall be monitored for a minimum period of five years after replanting. A success ratio threshold of no less than 80% is anticipated with the implementation of the replanting success criteria. In addition, any protected trees and any tree damaged by grading or construction shall be replaced on a 3:1 ratio with a size replacement tree to be recommended by the Forester considering the size, canopy and habitat value, or other value of the tree to be removed. This has been incorporated into the project as Condition No. 15.
- (e) The application, plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development, found in Project File PLN080078.
- (f) Staff conducted an on-site inspection on January 7, 2008 to verify that the proposed tree removal plan is consistent with the site conditions.

4. FINDING: CARETAKER UNIT –

- a) The establishment of the caretaker unit will not under the circumstances of the particular application, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood or to the general welfare of the County; and
- b) The proposed caretaker unit complies with all the applicable requirements for caretaker units, as provided at Chapter 21.64.030(C) of the Monterey County Zoning Ordinance (Title 21).
- c) The subject property upon which the caretaker unit is to be built is in compliance with all rules and regulations pertaining to zoning uses, subdivisions, and any other applicable provisions of the Monterey County Zoning Ordinance (Title 21) and that all zoning violations and abatement costs, if any, have been paid.
- d) Adequate sewage disposal and water supply facilities exist or are readily available, as approved by the Director of Environmental Health.

- EVIDENCE:**
- (a) The project as described in the application and accompanying materials was reviewed by the Planning Department, Salinas Rural Fire Protection District, Public Works Department, Environmental Health Division, and the Water Resources Agency. The respective departments have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood or the county in general.
 - (b) The project for a caretaker unit is a use allowed subject to securing an Administrative Permit in accordance with Section 21.64.030(C).
 - (c) The project complies with the regulations for the Design Control Zoning District in accordance with Chapter 21.44 and is consistent with the development standards of Section 21.16.060 of the Monterey County Zoning Ordinance (Title 21). Design Approval has been incorporated into the project and the Design Approval Request Form is attached as Exhibit G. See Finding No. 7, No Violations.
 - (d) Letter justifying caretaker unit request, dated March 13, 2008 can be found in Project File PLN080078.
 - (e) Staff conducted a site inspection on January 7, 2008 to verify that the project would not present adverse impacts to the general welfare of persons residing or working in the neighborhood or to the general welfare of the County.
 - (f) The application, plans, and related support materials were reviewed by the Environmental Health Department during Inter-Departmental Review (IDR) dated April 7, 2008 and adequate sewage disposal and water supply facilities exist or are readily available.
 - (g) See Finding No. 7, Health and Safety
 - (h) Materials in Planning File No. PLN080078.

5. FINDING: CEQA - The project, as conditioned and mitigated, will not have significant environmental impacts.

- EVIDENCE:**
- (a) The development is contained in an area analyzed by the Final EIR for the Canada Woods North Final Environmental Impact Report (96-002), certified December 17, 1996, by Board of Supervisors Resolution No. 96-518 as an area for disturbance (pre-determined building site).
 - (b) Addendum to the Final EIR for the Canada Woods North Final Environmental Impact Report (EIR No. 96-002) prepared by staff pursuant to CEQA, Article 14 Section 15164 for the Quatro Oaks LLP Administrative Permit and Design Approval, Planning File No. PLN080078.
 - (c) The project, as conditioned is consistent with the conclusions and mitigations contained in the certified Final EIR for the Canada Woods North Final Environmental Impact

Report (EIR No. 96-002, SCH96061076), certified December 17, 1996, by Board of Supervisors Resolution No. 96-518 and Combined Development Permit (965120PC).

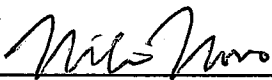
- (d) An "Amended Tree Assessment/Forest Management Plan", by Frank Ono, Forester, dated 6/5/08 (Library No. LIB080310).
- (e) There are no changes in the project description, changes in circumstances, or significant new information that would result in new significant environmental effects or a substantial increase in the severity of environmental impacts not already analyzed in the Canada Woods North EIR.

6. **FINDING: APPEALABILITY** - The decision on this project is appealable to the Planning Commission
EVIDENCE: Section 21.80.40 .B Monterey County Zoning Ordinance (Title 21).

DECISION

THEREFORE, it is the decision of said Zoning Administrator that the Addendum to EIR No. 94-005 prepared pursuant to Article 11, Section 15164 be adopted, and said application for an Administrative Permit be granted as shown on the attached sketch, and subject to the attached conditions.

PASSED AND ADOPTED this 26th day of June, 2008.



MIKE NOVO, ZONING ADMINISTRATOR

COPY OF THIS DECISION WAS MAILED TO THE APPLICANT ON JUN 27 2008

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY TO THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE JUL 07 2008

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County RMA - Planning Department and RMA - Building Services Department offices in Salinas.

2. This permit expires two years after the above date of granting thereof unless construction or use is started within this period.

EXHIBIT D

**Monterey County Resource Management Agency
Planning Department
Condition Compliance and/or Mitigation Monitoring
Reporting Plan**

Project Name: QUATTRO OAKS LP**File No: PLN080078****APNs: 259-092-025-0000****Approved by: Zoning Administrator Date: June 26, 2008**

**Monitoring or Reporting refers to projects with an EIR or adopted Mitigated Negative Declaration per Section 21081.6 of the Public Resources Code.*

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
1.		PD001 - SPECIFIC USES ONLY This Administrative Permit and Design Approval (PLN080078) allows the construction of a 989 square foot attached Caretaker Unit; and Design Approval to allow the construction of a 13,781 square foot two-story single family dwelling with a below grade 3,311 square foot attached nine-car garage and living basement areas, a 1,262 square foot loggia, a 512 square foot breezeway, a 1,031 square foot decks, a 312 square foot detached wine shed, a 100 square foot detached potting shed with 174 square foot covered porch; The project also includes the relocation of 22 Coast Live Oak and 18 Monterey Pine trees and the removal of 4 Monterey pines ranging in size from 9 to 17 inches in diameter. Grading is approximately 3,973 cubic yards of cut and 991 cubic yards of fill. The property is located at 8015 Quatro, Carmel (Assessor's Parcel Number 259-092-025-000), Tehama Subdivision, Southerly of Highway 68; Greater Monterey Peninsula Area. This permit was approved in accordance with County ordinances and land use regulations subject to the following terms and conditions. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of the RMA - Planning Department. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County	Adhere to conditions and uses specified in the permit.	Owner/ Applicant	Ongoing unless otherwise stated	

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		regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning Department)				
2.		PD002 - NOTICE-PERMIT APPROVAL The applicant shall record a notice which states: "A permit (Resolution 080078) was approved by the Zoning Administrator for Assessor's Parcel Number 259-092-025-000 on June 26, 2008 The permit was granted subject to 28 conditions of approval which run with the land. A copy of the permit is on file with the Monterey County RMA - Planning Department." Proof of recordation of this notice shall be furnished to the Director of the RMA - Planning Department prior to issuance of building permits or commencement of the use. (RMA - Planning Department)	Proof of recordation of this notice shall be furnished to the RMA - Planning Department.	Owner/ Applicant	Prior to the issuance of any grading and building permits or commencement of use.	
3.		PD003(A) – CULTURAL RESOURCES – NEGATIVE ARCHAEOLOGICAL REPORT If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. The Monterey County RMA - Planning Department and a qualified archaeologist (i.e., an archaeologist registered with the Society of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the	Stop work within 50 meters (165 feet) of uncovered resource and contact the Monterey County RMA - Planning Department and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.	Owner/ Applicant/ Archaeologist	Ongoing	

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		resources and to develop proper mitigation measures required for the discovery. (RMA - Planning Department)				
4.		<p>PD004 - INDEMNIFICATION AGREEMENT</p> <p>The property owner agrees as a condition and in consideration of the approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the county for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, filing of the final map, whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the county harmless. (RMA - Planning Department)</p>	<p>Submit signed and notarized Indemnification Agreement to the Director of RMA – Planning Department for review and signature by the County.</p> <p>Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to the RMA – Planning Department.</p>	Owner/ Applicant	Upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, filing of the final map, whichever occurs first and as applicable	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
5.		PD006 - MITIGATION MONITORING PROGRAM The applicant shall enter into an agreement with the County to implement a Mitigation Monitoring and/or Reporting Plan in accordance with Section 21081.6 of the California Public Resources Code and Section 15097 of Title 14, Chapter 3 of the California Code of Regulations. Compliance with the fee schedule adopted by the Board of Supervisors for mitigation monitoring shall be required and payment made to the County of Monterey at the time the property owner submits the signed mitigation monitoring agreement. (RMA - Planning Department)	Enter into agreement with the County to implement a Mitigation Monitoring Program.	Owner/ Applicant	Within 60 days after project approval or prior to the issuance of grading and building permits, which- ever occurs first.	
6.		PD007 - GRADING-WINTER RESTRICTION No land clearing or grading shall occur on the subject parcel between October 15 and April 15 unless authorized by the Director of RMA - Building Services Department. (RMA - Planning Department and Building Services Department)	Obtain authorization from the Director of RMA - Building Services Department to conduct land clearing or grading between October 15 and April 15.	Owner/ Applicant	Ongoing	
7.		PD008 - GEOLOGIC CERTIFICATION Prior to final inspection, the geologic consultant shall provide certification that all development has been constructed in accordance with the geologic report. (RMA - Planning Department)	Submit certification by the geotechnical consultant to the RMA - Planning Department showing project's compliance with the geotechnical report.	Owner/ Applicant/ Geotech- nical Consultant	Prior to final inspect- ion	
8.		PD010 - EROSION CONTROL PLAN AND SCHEDULE The approved development shall incorporate the recommendations of the Erosion Control Plan as reviewed by the Director of RMA - Planning and Director of Building Services. All cut and/or fill slopes exposed during the course of construction be covered, seeded, or otherwise treated to control erosion during the course of construction, subject to the approval of the Director of	An Erosion Control Plan shall be submitted to the RMA - Planning Department and the RMA - Building Services Department prior to issuance of building and grading permits.	Owner/ Applicant	Prior to the issuance of grading and building permits	

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		RMA - Planning and Director of RMA - Building Services. The improvement and grading plans shall include an implementation schedule of measures for the prevention and control of erosion, siltation and dust during and immediately following construction and until erosion control planting becomes established. This program shall be approved by the Director of RMA - Planning and Director of RMA - Building Services. (RMA - Planning Department and RMA - Building Services Department)	Comply with the recommendations of the Erosion Control Plan during the course of construction until project completion as approved by the Director of RMA - Planning and Director of RMA - Building Services.	Owner/ Applicant	Prior to the issuance of grading and building permits	
9.		PD011 – TREE AND ROOT PROTECTION Trees which are located close to the construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by a certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of the RMA – Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by a certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (RMA - Planning Department)	Submit evidence of tree protection to the RMA - Planning Department for review and approval. Submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.	Owner/ Applicant	Prior to the issuance of grading and/or building permits	
10.		PD012(F) - LANDSCAPE PLAN AND MAINTENANCE (SINGLE FAMILY DWELLING ONLY) The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of the RMA - Planning Department. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape	Submit landscape plans and contractor's estimate to the RMA - Planning Department for review and approval.	Owner/ Applicant/ Licensed Landscape Contractor/ Licensed Landscape Architect	Prior to issuance of Building Permits	

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		plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County RMA - Planning Department. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (RMA – Planning Department)	Landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County RMA - Planning Department		Prior to Occupancy	
11.		PD014(A) – LIGHTING – EXTERIOR LIGHTING PLAN All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The applicant shall submit 3 copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations, Title 24, Part 6. The exterior lighting plan shall be subject to approval by the Director of the RMA - Planning Department, prior to the issuance of building permits. (RMA – Planning Department)	Submit three copies of the lighting plans to the RMA - Planning Department for review and approval. Approved lighting plans shall be incorporated into final building plans The lighting shall be installed and maintained in accordance with the approved plan.	Owner/ Applicant	Prior to Occupancy/ Ongoing	
12.		PD016 – NOTICE OF REPORT Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states: 1. “A Geotechnical Investigation Lot 86, Phase 1, Tehama Monterey County CA” was prepared by O’Brien & Gere Engineers, Inc, dated November 2007, and is on record in the Monterey County RMA - Planning Department Library No.	Proof of recordation of this notice shall be furnished to the RMA - Planning Department.	Owner/ Applicant	Prior to the issuance of grading and building permits.	

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		<p>LIB080248.</p> <p>2. An "Amended Tree Assessment/Forest Management Plan", by Frank Ono, Forester, dated 6/5/08, and is on record in the Monterey County RMA - Planning Department, Library No. LIB080310."</p> <p>All development shall be in accordance with these reports." (RMA – Planning Department)</p>				
13.		<p>PD018 A – DEED RESTRICTION – CARETAKER UNIT (INLAND)</p> <p>The applicant shall record a deed restriction stating the regulations applicable to a caretaker unit as follows:</p> <ul style="list-style-type: none"> • Only one caretaker unit per lot shall be allowed. • The caretaker shall be employed principally on the lot for purposes of care and protection of persons, plants, animals, equipment, or other facilities on-site or on contiguous lots under same ownership. • The minimum lot size for establishment of a caretaker unit in areas not served by sewers shall be two acres. • Caretaker units shall not be subject to density requirements of the zoning district in which the lot is located. • The maximum floor area for a caretaker unit is 1,000 square feet on lots of 10 acres or less and 1,200 square feet on lots greater than ten acres. • A minimum of one covered off-street parking space shall be provided for the caretaker unit. • The caretaker unit shall not be separately rented, let or leased from the main residence whether compensation be direct or indirect. • Subsequent subdivisions which divide a main residence from a caretaker unit shall not be permitted except where lots created meet minimum lot size and density requirements of the existing zoning. • Caretaker units are not permitted on any lot less than ten acres where a senior citizen unit exists. Senior citizen units may be converted to a caretaker unit, subject to an Administrative Permit. <p>(RMA – Planning Department)</p>	Submit signed and notarized document to the Director of RMA – Planning Department for review and signature by the County.	Owner/ Applicant	Prior to the issuance of grading or building permits	

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14.		<p>PD041 – HEIGHT VERIFICATION</p> <p>The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of the RMA- Building Services Department for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (RMA – Planning Department and Building Services Department)</p>	<p>1) The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection</p> <p>2) The applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of the RMA- Building Services Department for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.</p>	Owner/ Applicant	<p>Prior to the issuance of grading or building permits</p> <p>Prior to final inspection</p>	
15.		<p>PDSP001- TREE RELOCATION AND REPLACEMENT (NON-STANDARD)</p> <p>All grading, construction, oak and pine tree pruning, relocation, removal, (including all trees to be protected near areas of construction or any grading, cutting or filling) replacement, monitoring and assessment shall be in accordance with the “ Amended Tree Assessment/Forest Management Plan, by Frank Ono, Forester, dated 6/5/08; including recommendations for:</p> <ul style="list-style-type: none"> a) Techniques for Transplanting Large Trees b) Tree removal c) Tree Planting and Irrigation d) Tree Pruning, Retention and Monitoring, e) Project Assessment f) Recommendations for Replant Success Criteria <p>Tree Transplanting, Protection and Preservation, and Maintenance and Management Measures</p> <p>A tree relocation plan is part of the plans sheets L3.01 and L3.02, and L33.03 dated 3/12/08. The Forester and tree removal contractor shall include the time of year for</p>	<p>Prior to grading or construction or removing any trees the tree relocation:</p> <p>1. The contractor shall meet with the forester to identify relocation techniques are consistent with the recommendations in the forester’s report.</p> <p>2. A preconstruction meeting shall be held to train all construction managers, heavy equipment operators, and tree cutters that will work on site, in relocation, tree protection during construction activities according the “Amended Tree Assessment/Forest Management Plan”, by Frank Ono, Forester, dated 6/5/08, conducted by a certified arborist or qualified forester.</p>	Owner/ Applicant/ Arborist	<p>Prior to the issuance of grading or building permits</p> <p>Prior to any grading or construction activities</p>	

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		relocation, where the relocated trees shall be stored or nurseried, and maintained until replanted. Successful relocation and impacts to trees in areas disturbed by construction or grading shall be monitored for a minimum five years from the date the trees are replanted and at that time a qualified forester or arborist shall submit a report for review by the RMA – Planning Director to determine if additional monitoring time or actions are necessary to address or assess the success of replanting. All trees that die or are determined by the Forester not “successful” including those damaged from grading or construction shall be replaced on a 3:1 ratio with a size replacement tree to be recommended by the Forester considering the size, canopy and habitat value, or other value of the tree to be removed. MM # 12-1, 12-2, 125 and 126) (RMA – Planning Department)	3. Submit a relocation plan including details for maintenance of the relocated trees during construction to the RMA-Planning Director for review and approval. 4. The five-year monitoring period shall commence upon building permit final. After 5 years monitoring, submit a tree assessment report to the RMA-Planning Department for review and approval concerning the health of the trees and include recommendations for further actions and/or replacement trees for trees that do not survive based on the success criteria.	Owner/ Applicant/ Arborist	Prior to issuance of a occupancy or final permit	
16.		PDSP002- FENCING (NON-STANDARD) Fencing shall be limited to within designated building envelopes. CC&R’s shall prohibit fencing of parcel boundaries consistent with the habitat management plan prepared for project. (MM # 12-6) (RMA – Planning Department and Building Services Department)		Owner/ Applicant/ Arborist	Ongoing	
17.		FIRE007 - DRIVEWAYS Driveways shall not be less than 12 feet wide unobstructed, with an unobstructed vertical clearance of not less than 15 feet. The grade for all driveways shall not exceed 15 percent. Where the grade exceeds 8 percent, a minimum structural roadway surface of 0.17 feet of asphaltic concrete on 0.34 feet of aggregate base shall be required. The driveway surface shall be capable of supporting the imposed load of fire apparatus (22 tons), and be accessible by conventional-drive vehicles, including sedans. For driveways with turns 90 degrees and less, the minimum horizontal inside radius of	Applicant shall incorporate specification into design and enumerate as “Fire Dept. Notes” on plans. Applicant shall schedule fire dept. clearance inspection	Applicant or owner Applicant or owner	Prior to issuance of grading and/or building permit Prior to final building inspection	

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		curvature shall be 25 feet. For driveways with turns greater than 90 degrees, the minimum horizontal inside radius curvature shall be 28 feet. For all driveway turns, an additional surface of 4 feet shall be added. All driveways exceeding 150 feet in length, but less than 800 feet in length, shall provide a turnout near the midpoint of the driveway. Where the driveway exceeds 800 feet, turnouts shall be provided at no greater than 400-foot intervals. Turnouts shall be a minimum of 12 feet wide and 30 feet long with a minimum of 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall long with a minimum 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall be located within 50 feet of the primary building. The minimum turning radius for a turnaround shall be 40 feet from the center line of the driveway. If a hammerhead/T is used, the top of the "T" shall be a minimum of 60 feet in length. (Carmel Valley Fire Protection District)				
18.		FIRE008 - GATES All gates providing access from a road to a driveway shall be located at least 30 feet from the roadway and shall open to allow a vehicle to stop without obstructing traffic on the road. Gate entrances shall be at least the width of the traffic lane but in no case less than 12 feet wide. Where a one-way road with a single traffic lane provides access to a gated entrance, a 40-foot turning radius shall be used. Where gates are to be locked, the installation of a key box or other acceptable means for immediate access by emergency equipment may be required. (Salinas Rural Fire District)	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	
19.		FIRE011 - ADDRESSES FOR BUILDINGS All buildings shall be issued an address in accordance with Monterey County Ordinance No. 1241. Each occupancy, except accessory buildings, shall have its own permanently posted address. When multiple	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		occupancies exist within a single building, each individual occupancy shall be separately identified by its own address. Letters, numbers and symbols for addresses shall be a minimum of 4-inch height, 1/2-inch stroke, contrasting with the background color of the sign, and shall be Arabic. The sign and numbers shall be reflective and made of a noncombustible material. Address signs shall be placed at each driveway entrance and at each driveway split. Address signs shall be and visible from both directions of travel along the road. In all cases, the address shall be posted at the beginning of construction and shall be maintained thereafter. Address signs along one-way roads shall be visible from both directions of travel. Where multiple addresses are required at a single driveway, they shall be mounted on a single sign. Where a roadway provides access solely to a single commercial occupancy, the address sign shall be placed at the nearest road intersection providing access to that site. Permanent address numbers shall be posted prior to requesting final clearance. (Salinas Rural Fire District)				
20.		FIRE016 - SETBACKS All parcels 1 acre and larger shall provide a minimum 30-foot setback for new buildings and accessory buildings from all property lines and/or the center of the road. For parcels less than 1 acre, alternate fuel modification standards or other requirements may be imposed by the local fire jurisdiction to provide the same practical effect. (Salinas Rural Fire District)	Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	

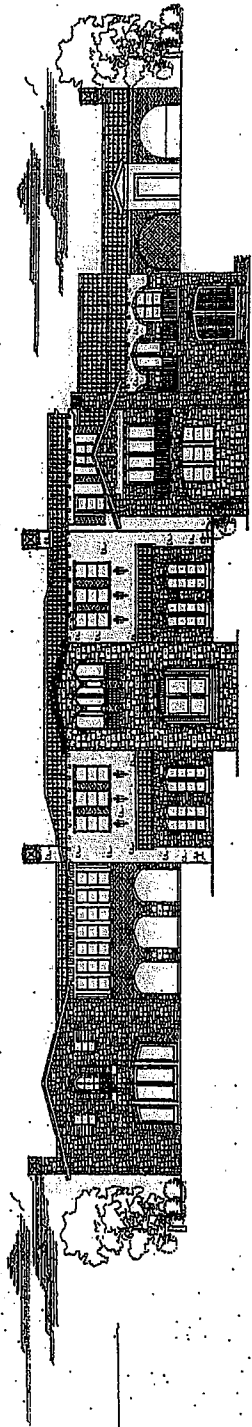
Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
21.		FIRE020 - DEFENSIBLE SPACE REQUIREMENTS (HAZARDOUS CONDITIONS) Remove combustible vegetation from within a minimum of 100 feet of structures. Limb trees 6 feet up from ground. Remove limbs within 10 feet of chimneys. Additional fire protection or firebreaks approved by the Reviewing Authority may be required to provide reasonable fire safety. Environmentally sensitive areas may require alternative fire protection, to be determined by Reviewing Authority and the Director of Planning and Building Inspection. (Salinas Rural Fire District)	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit	
22.		FIRE021 – (NONSTANDARD) FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM (STANDARD) See FIRE030 for additional conditions All buildings shall be fully protected with automatic fire sprinkler system(s). Installation shall be in accordance with the applicable NFPA standard. A minimum of four (4) sets of plans for fire sprinkler systems must be submitted by a California licensed C-16 contractor and approved prior to installation. This requirement is not intended to delay issuance of a building permit. A rough sprinkler inspection must be scheduled by the installing contractor and completed prior to requesting a framing inspection. (Salinas Rural Fire District)	Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	
23.		FIRE024 – (NONSTANDARD) FIRE ALARM SYSTEM - (SINGLE FAMILY DWELLING) All buildings shall be fully protected with an approved household fire warning system as defined by NFPA Standard 72. Plans and specifications for the household fire warning system shall be submitted by a California licensed C-10 contractor and approved prior to installation. Household fire warning systems installed in lieu of single-station smoke alarms required by the Uniform Building Code shall be required to be placarded as permanent building equipment. All buildings and structures shall be fully protected with an approved and	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit	

Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
		listed central station automatic fire alarm system as defined by NFPA Standard 72. The fire alarm system shall be addressable by point/device. A minimum of three (3) sets of plans and specifications for the fire alarm system shall be submitted by a California licensed c-10 contractor and approved prior to requesting a rough sprinkler or framing inspection. A fully automatic alarm system installed in lieu of single-station smoke alarms required by the uniform building code shall be required to be placarded as permanent building equipment. The fire alarm system shall supervise the fire sprinkler system and local fire alarm bell(s) shall be installed and maintained. (Salinas Rural Fire District)	Applicant shall schedule fire alarm system acceptance test.	Applicant or owner	Prior to final building inspection	
			Applicant shall schedule fire alarm system acceptance test.	Applicant or owner	Prior to final building inspection	
24.		FIRE026 - ROOF CONSTRUCTION (STANDARD) All new structures, and all existing structures receiving new roofing over 50 percent or more of the existing roof surface within a one-year period, shall require a minimum of ICBO Class B roof construction. (Salinas Rural Fire District)	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit	
25.		FIRE030 - OTHER NON-STANDARD CONDITIONS - MANUAL DRY STANDPIPE SYSTEM, CLASS I - A fire department connection (FDC) and dry standpipes with fire valves are required. The locations are to be determined by the fire district. Prior to installation, a minimum of four sets of plans shall be prepared and submitted by the installing contractor or by a registered engineer. The plans shall be submitted in a timely manner so they can be approved by the fire district prior to installation. Inspections, hydrostatic pressure testing, acceptance testing and maintenance shall be conducted in accordance with NFPA Standards 15, 24, and other applicable standards. (Salinas Rural Fire District)	Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
26.		WR43 - WATER AVAILABILITY CERTIFICATION The applicant shall obtain from the Monterey County Water Resources Agency, proof of water availability on the property, in the form of an approved Monterey Peninsula Water Management District Water Release Form. (Water Resources Agency)	Submit the Water Release Form to the Water Resources Agency for review and approval.	Applicant or owner	Prior to final building inspection	
27.		WR40 - WATER CONSERVATION MEASURES The applicant shall comply with Ordinance No. 3932, or as subsequently amended, of the Monterey County Water Resources Agency pertaining to mandatory water conservation regulations. The regulations for new construction require, but are not limited to: a. All toilets shall be ultra-low flush toilets with a maximum tank size or flush capacity of 1.6 gallons, all shower heads shall have a maximum flow capacity of 2.5 gallons per minute, and all hot water faucets that have more than ten feet of pipe between the faucet and the hot water heater serving such faucet shall be equipped with a hot water recirculating system. b. Landscape plans shall apply xeriscape principles, including such techniques and materials as native or low water use plants and low precipitation sprinkler heads, bubblers, drip irrigation systems and timing devices. (Water Resources Agency)	Compliance to be verified by building inspector at final inspection.	Owner/ Applicant	Prior to final building inspection/ Occupancy	
28.		DRAINAGE PLAN (NON-STANDARD WORDING) The applicant shall provide the Water Resources Agency a drainage plan prepared by a registered civil engineer or architect addressing on-site and off-site impacts. Stormwater runoff from impervious surfaces shall be directed to the existing stormwater drainage system for the Canada Woods Subdivision. Drainage improvements shall be constructed in accordance with plans approved by the Water Resources Agency. (Water Resources Agency)	Submit 3 copies of the drainage plan to the Water Resources Agency for review and approval	Owner/ Applicant	Prior to issuance of any building or grading permits	

End of Conditions

EXHIBIT



TEHAMA

8015 QUATRO • CARMEL, CA 93922
LOT 86



ABBREVIATIONS

SYMBOL	ABBREVIATION	DESCRIPTION
1	ADJ	ADJUTANT GENERAL
2	ADM	ADMINISTRATIVE
3	AG	AGRICULTURE
4	AL	ALLEGED
5	ALY	ALY
6	AM	AMERICAN
7	AN	ANALYST
8	AP	APPLICANT
9	AR	ARMED
10	AS	ASSISTANT
11	AT	ATTORNEY
12	AV	AVIATION
13	AW	AWARD
14	AX	AXIS
15	AY	AY
16	BA	BANK
17	BB	BANK
18	BC	BANK
19	BD	BANK
20	BE	BANK
21	BF	BANK
22	BG	BANK
23	BH	BANK
24	BI	BANK
25	BJ	BANK
26	BK	BANK
27	BL	BANK
28	BM	BANK
29	BN	BANK
30	BO	BANK
31	BP	BANK
32	BQ	BANK
33	BR	BANK
34	BS	BANK
35	BT	BANK
36	BV	BANK
37	BW	BANK
38	BX	BANK
39	BY	BANK
40	BZ	BANK
41	CA	CADRE
42	CB	CADRE
43	CC	CADRE
44	CD	CADRE
45	CE	CADRE
46	CF	CADRE
47	CG	CADRE
48	CH	CHIEF
49	CI	CHIEF
50	CJ	CHIEF
51	CK	CHIEF
52	CL	CHIEF
53	CM	CHIEF
54	CN	CHIEF
55	CO	CHIEF
56	CP	CHIEF
57	CQ	CHIEF
58	CR	CHIEF
59	CS	CHIEF
60	CT	CHIEF
61	CU	CHIEF
62	CV	CHIEF
63	CW	CHIEF
64	CX	CHIEF
65	CY	CHIEF
66	CZ	CHIEF
67	DA	DA
68	DB	DA
69	DC	DA
70	DD	DA
71	DE	DA
72	DF	DA
73	DG	DA
74	DH	DA
75	DI	DA
76	DJ	DA
77	DK	DA
78	DL	DA
79	DM	DA
80	DN	DA
81	DO	DA
82	DP	DA
83	DQ	DA
84	DR	DA
85	DS	DA
86	DT	DA
87	DU	DA
88	DV	DA
89	DW	DA
90	DX	DA
91	DY	DA
92	DZ	DA
93	EA	EA
94	EB	EA
95	EC	EA
96	ED	EA
97	EE	EA
98	EF	EA
99	EG	EA
100	EH	EA
101	EI	EA
102	EJ	EA
103	EK	EA
104	EL	EA
105	EM	EA
106	EN	EA
107	EO	EA
108	EP	EA
109	EQ	EA
110	ER	EA
111	ES	EA
112	ET	EA
113	EU	EA
114	EV	EA
115	EW	EA
116	EX	EA
117	EY	EA
118	EZ	EA
119	FA	FA
120	FB	FA
121	FC	FA
122	FD	FA
123	FE	FA
124	FF	FA
125	FG	FA
126	FH	FA
127	FI	FA
128	FJ	FA
129	FK	FA
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131	FM	FA
132	FN	FA
133	FO	FA
134	FP	FA
135	FQ	FA
136	FR	FA
137	FS	FA
138	FT	FA
139	FU	FA
140	FV	FA
141	FW	FA
142	FX	FA
143	FY	FA
144	FZ	FA
145	GA	GA
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147	GC	GA
148	GD	GA
149	GE	GA
150	GF	GA
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152	GH	GA
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155	GK	GA
156	GL	GA
157	GM	GA
158	GN	GA
159	GO	GA
160	GP	GA
161	GQ	GA
162	GR	GA
163	GS	GA
164	GT	GA
165	GU	GA
166	GV	GA
167	GW	GA
168	GX	GA
169	GY	GA
170	GZ	GA
171	HA	HA
172	HB	HA
173	HC	HA
174	HD	HA
175	HE	HA
176	HF	HA
177	HG	HA
178	HH	HA
179	HI	HA
180	HJ	HA
181	HK	HA
182	HL	HA
183	HM	HA
184	HN	HA
185	HO	HA
186	HP	HA
187	HQ	HA
188	HR	HA
189	HS	HA
190	HT	HA
191	HU	HA
192	HV	HA
193	HW	HA
194	HX	HA
195	HY	HA
196	HZ	HA
197	IA	IA
198	IB	IA
199	IC	IA
200	ID	IA
201	IE	IA
202	IF	IA
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206	IK	IA
207	IL	IA
208	IM	IA
209	IN	IA
210	IO	IA
211	IP	IA
212	IQ	IA
213	IR	IA
214	IS	IA
215	IT	IA
216	IU	IA
217	IV	IA
218	IW	IA
219	IX	IA
220	IY	IA
221	IZ	IA
222	JA	JA
223	JB	JA
224	JC	JA
225	JD	JA
226	JE	JA
227	JF	JA
228	JG	JA
229	JH	JA
230	JI	JA
231	JJ	JA
232	JK	JA
233	JL	JA
234	JM	JA
235	JN	JA
236	JO	JA
237	JP	JA
238	jq	JA
239	JQ	JA
240	JR	JA
241	JS	JA
242	JT	JA
243	JU	JA
244	JV	JA
245	JW	JA
246	JX	JA
247	JY	JA
248	JZ	JA
249	KA	KA
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251	KC	KA
252	KD	KA
253	KE	KA
254	KF	KA
255	KG	KA
256	KH	KA
257	KI	KA
258	KJ	KA
259	KL	KA
260	KM	KA
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262	KO	KA
263	KP	KA
264	KQ	KA
265	KR	KA
266	KS	KA
267	KT	KA
268	KU	KA
269	KV	KA
270	KW	KA
271	KX	KA
272	KY	KA
273	KZ	KA
274	LA	LA
275	LB	LA
276	LC	LA
277	LD	LA
278	LE	LA
279	LF	LA
280	LG	LA
281	LH	LA
282	LI	LA
283	LJ	LA
284	LK	LA
285	LM	LA
286	LN	LA
287	LO	LA
288	LP	LA
289	LQ	LA
290	LR	LA
291	LS	LA
292	LT	LA
293	LU	LA
294	LV	LA
295	LW	LA
296	LX	LA
297	LY	LA
298	LZ	LA
299	MA	MA
300	MB	MA
301	MC	MA
302	MD	MA
303	ME	MA
304	MF	MA
305	MG	MA
306	MH	MA
307	MI	MA
308	MJ	MA
309	MK	MA
310	ML	MA
311	MM	MA
312	MN	MA
313	MO	MA
314	MP	MA
315	MQ	MA
316	MR	MA
317	MS	MA
318	MT	MA
319	MU	MA
320	MV	MA
321	MW	MA
322	MX	MA
323	MY	MA
324	MZ	MA
325	NA	NA
326	NB	NA
327	NC	NA
328	ND	NA
329	NE	NA
330	NF	NA
331	NG	NA
332	NH	NA
333	NI	NA
334	NJ	NA
335	NK	NA
336	NL	NA
337	NM	NA
338	NN	NA
339	NO	NA
340	NP	NA
341	NQ	NA
342	NR	NA
343	NS	NA
344	NT	NA
345	NU	NA
346	NV	NA
347	NW	NA
348	NX	NA
349	NY	NA
350	NZ	NA
351	OA	OA
352	OB	OA
353	OC	OA
354	OD	OA
355	OE	OA
356	OF	OA
357	OG	OA
358	OH	OA
359	OI	OA
360	OJ	OA
361	OK	OA
362	OL	OA
363	OM	OA
364	ON	OA
365	OO	OA
366	OP	OA
367	OQ	OA
368	OR	OA
369	OS	OA
370	OT	OA
371	OU	OA
372	OV	OA
373	OW	OA
374	OX	OA
375	OY	OA
376	OZ	OA
377	PA	PA
378	PB	PA
379	PC	PA
380	PD	PA
381	PE	PA
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384	PH	PA
385	PI	PA
386	PJ	PA
387	PK	PA
388	PL	PA
389	PM	PA
390	PN	PA
391	PO	PA
392	PP	PA
393	PQ	PA
394	PR	PA
395	PS	PA
396	PT	PA
397	PU	PA
398	PV	PA
399	PW	PA
400	PX	PA
401	PY	PA
402	PZ	PA
403	QA	QA
404	QB	QA
405	QC	QA
406	QD	QA
407	QE	QA
408	QF	QA
409	QG	QA
410	QH	QA
411	QI	QA
412	QJ	QA
413	QK	QA
414	QL	QA
415	QM	QA
416	QN	QA
417	QO	QA
418	QP	QA
419	QQ	QA
420	QR	QA
421	QS	QA
422	QT	QA
423	QU	QA
424	QV	QA
425	QW	QA
426	QX	QA
427	QY	QA
428	QZ	QA
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430	RB	RA
431	RC	RA
432	RD	RA
433	RE	RA
434	RF	RA
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446	RR	RA
447	RS	RA
448	RT	RA
449	RU	RA
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451	RW	RA
452	RX	RA
453	RY	RA
454	RZ	RA
455	SA	SA
456	SB	SA
457	SC	SA
458	SD	SA
459	SE	SA
460	SF	SA
461	SG	SA
462	SH	SA
463	SI	SA
464	SJ	SA
465	SK	SA
466	SL	SA
467	SM	SA
468	SN	SA
469	SO	SA
470	SP	SA
471	SQ	SA
472	SR	SA
473	SS	SA
474	ST	SA
475	SU	SA
476	SV	SA
477	SW	SA
478	SX	SA
479	SY	SA
480	SZ	SA
481	TA	TA
482	TB	TA
483	TC	TA
484	TD	TA
485	TE	TA
486	TF	TA
487	TG	TA
488	TH	TA
489	TI	TA
490	TJ	TA
491	TK	TA
492	TL	TA
493	TM	TA
494	TN	TA
495	TO	TA
496	TP	TA
497	TQ	TA
498	TR	TA
499	TS	TA
500	TT	TA
501	TU	TA
502	TV	TA
503	TB	

A detailed plat map of Lot 86, showing a dense grid of lots, a winding road, and a river. The map is oriented with North at the top. The text "LOT 86" is prominently displayed in the center. The map is surrounded by a border with the text "AUB" at the top and "OB SP" at the bottom.

LOT 86

REFERENCE SITE PLAN

GRAPHIC SCALE
1 inch = 100 feet

OPEN SPACE

LOT 86

ARCHITECTURAL SITE PLANS 143

GRAPHIC SCALE

REFER TO LANDSCAPE AND CIVIL PLANS FOR
ADDITIONAL INFORMATION.

[illegible]

FBI DEPARTMENT NOTES

1. [Illegible text]

2. [Illegible text]

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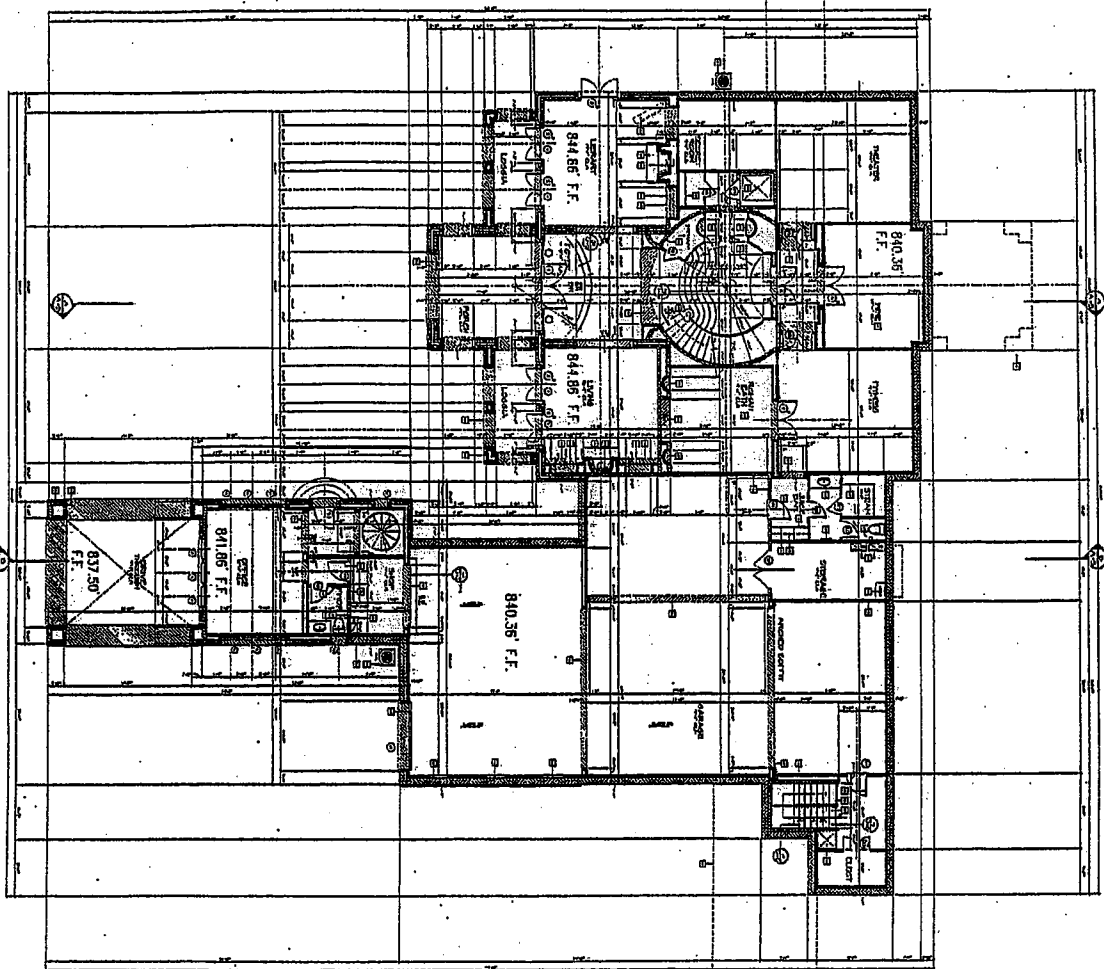
LOT 86
TEHAMA
8015 Quatro
Carmel, CA 93922

ARCHITECTURAL SITE PLAN

BUILDING DEPARTMENT SUBMITTAL

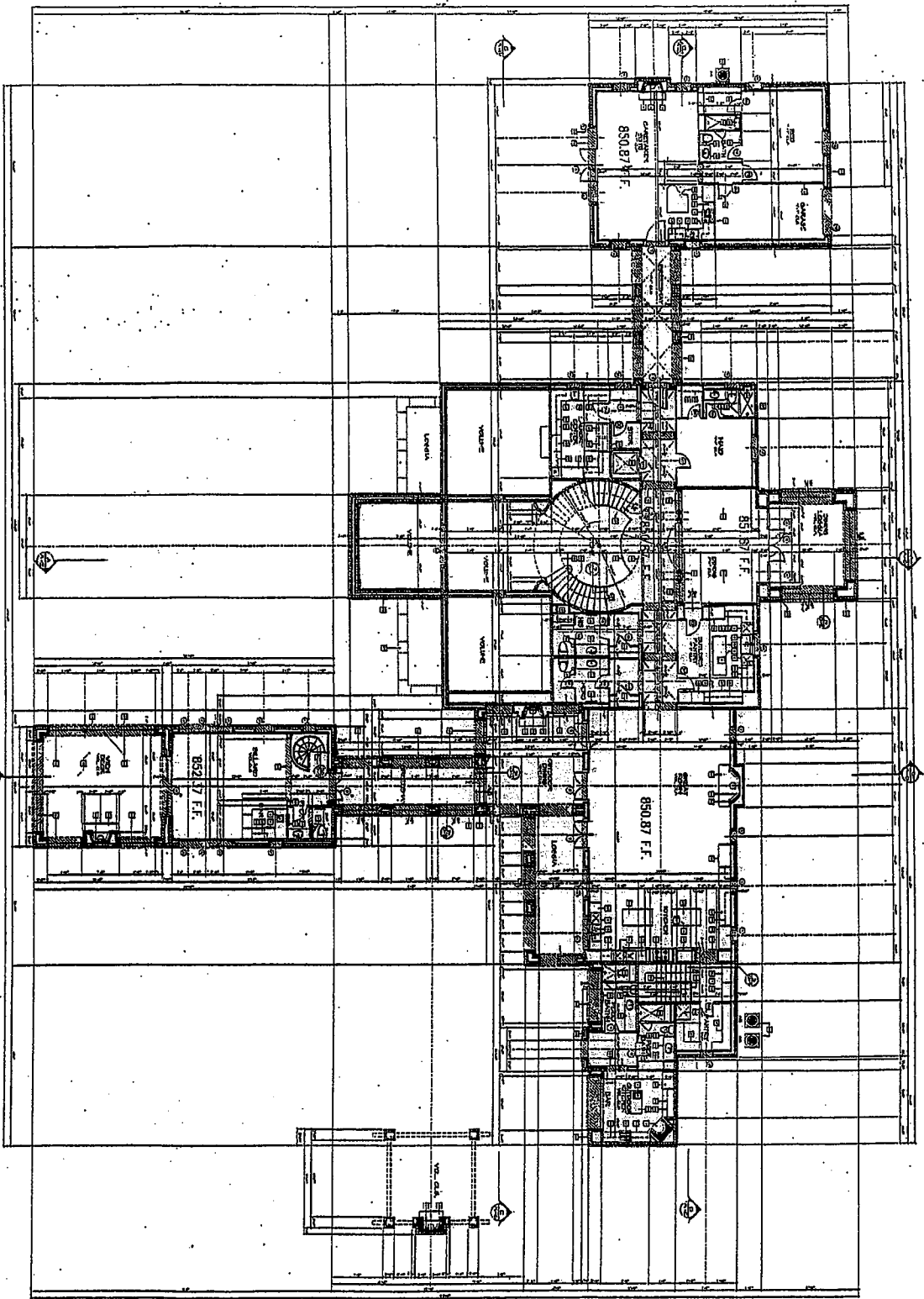
SP-1

312/08



BASMENT FLOOR PLAN

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	01/12/08
2	REVISIONS	
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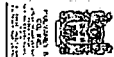


FIRST FLOOR PLAN

NO.	DESCRIPTION	REMARKS
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LOT 86
TEHAMA
8015 Quatro
Carmel, CA 93922



0715

BUILDING SECTIONS A & B

BUILDING DEPARTMENT SUBM.

[illegible]

A-5

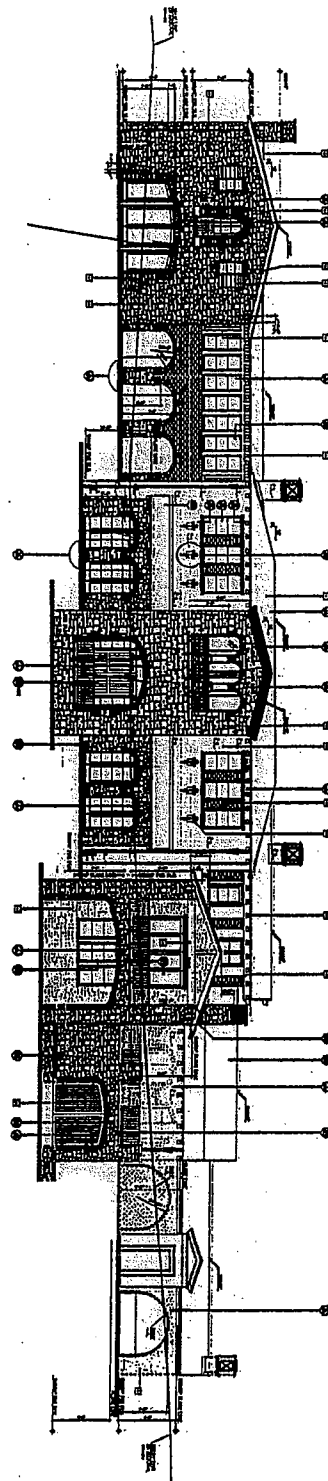


Page 10 of 10



LOT 86
TEHAMA
8015 Quattro
Carmel, CA 93922





FRONT ELEVATION

RIGHT ELEVATION

LAUNDRY CENTER & LOGGIA ELEVATION

**EXTERIOR ELEVATIONS
FRONT & RIGHT***

BUILDING DEPARTMENT SUBMITTAL

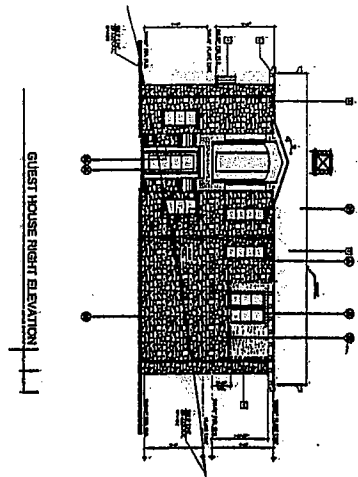


LOT 86
TEHAMA
8015 Quatro
Carmel, CA 93922

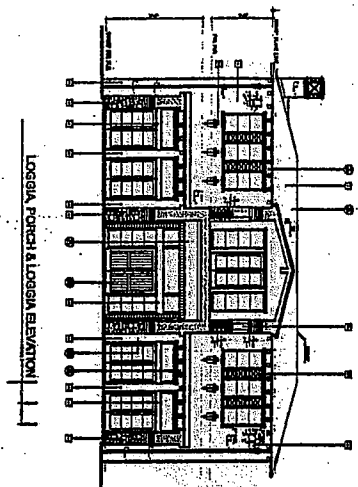


A-7

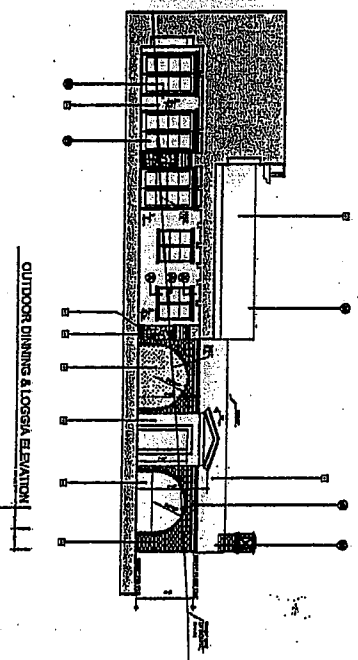
DEC 04, 2009



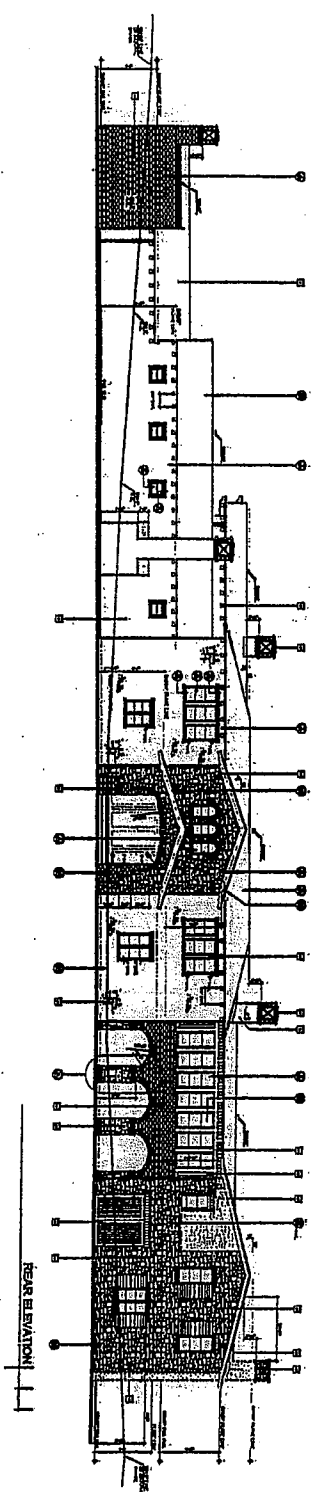
GUEST HOUSE RIGHT ELEVATION



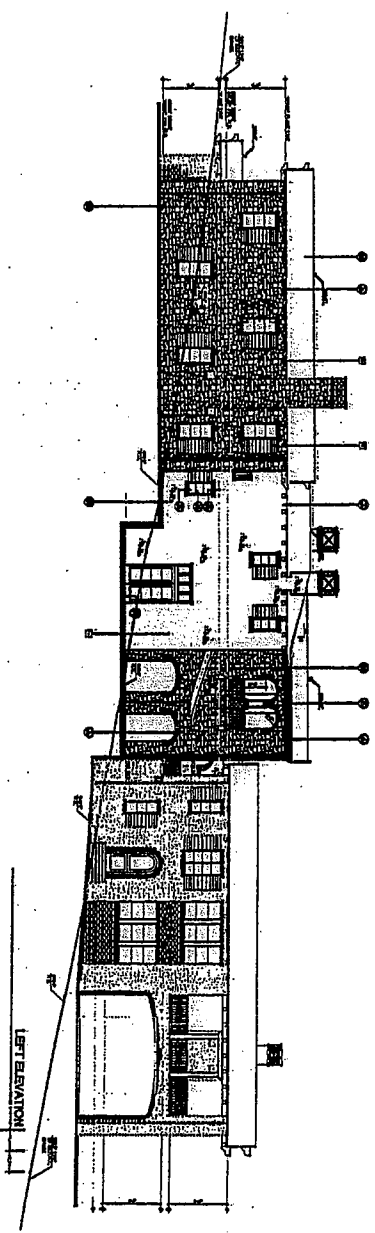
LOGGIA, PORCH & LOGGIA ELEVATION



OUTDOOR DINING & LOGGIA ELEVATION



REAR ELEVATION

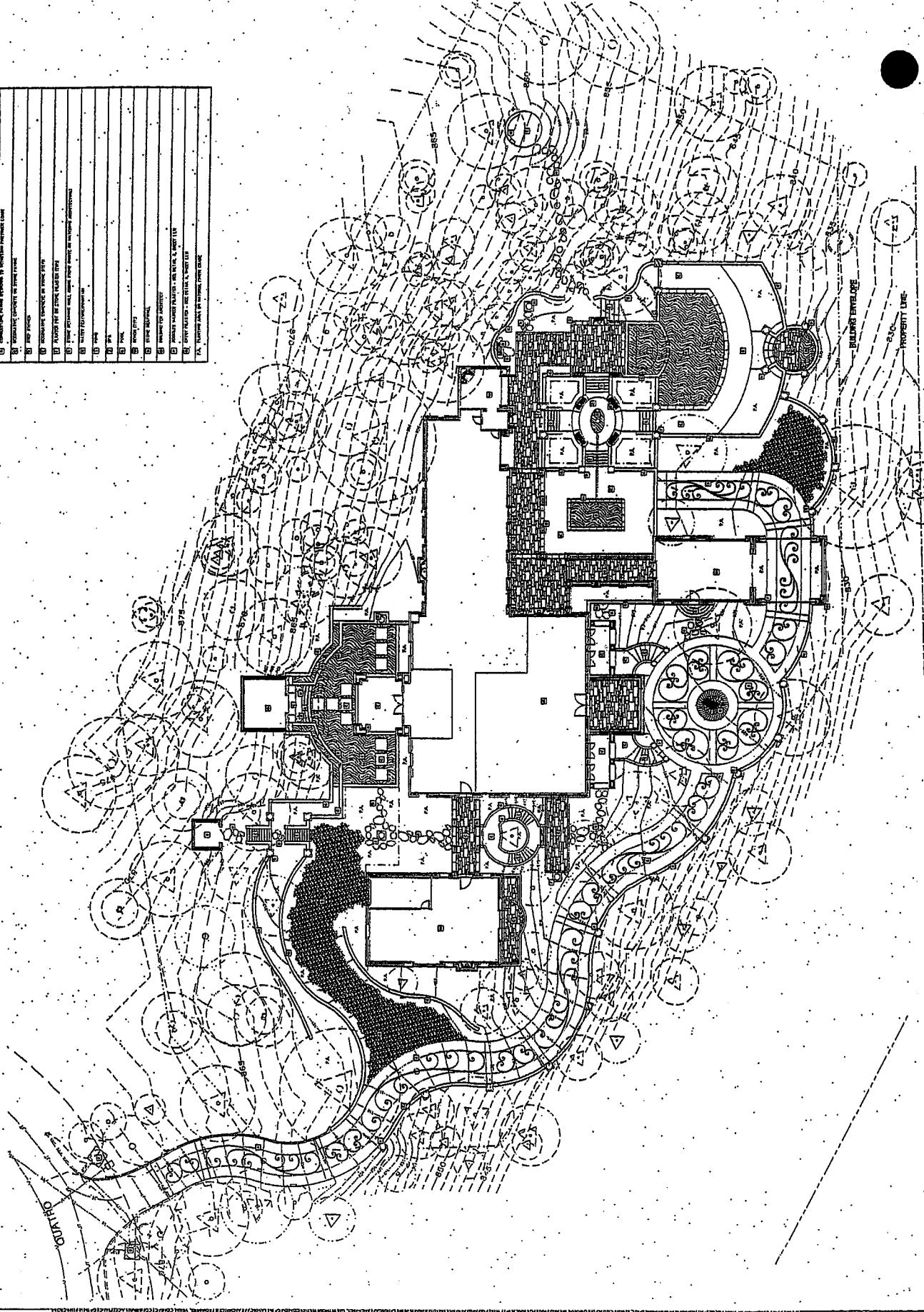


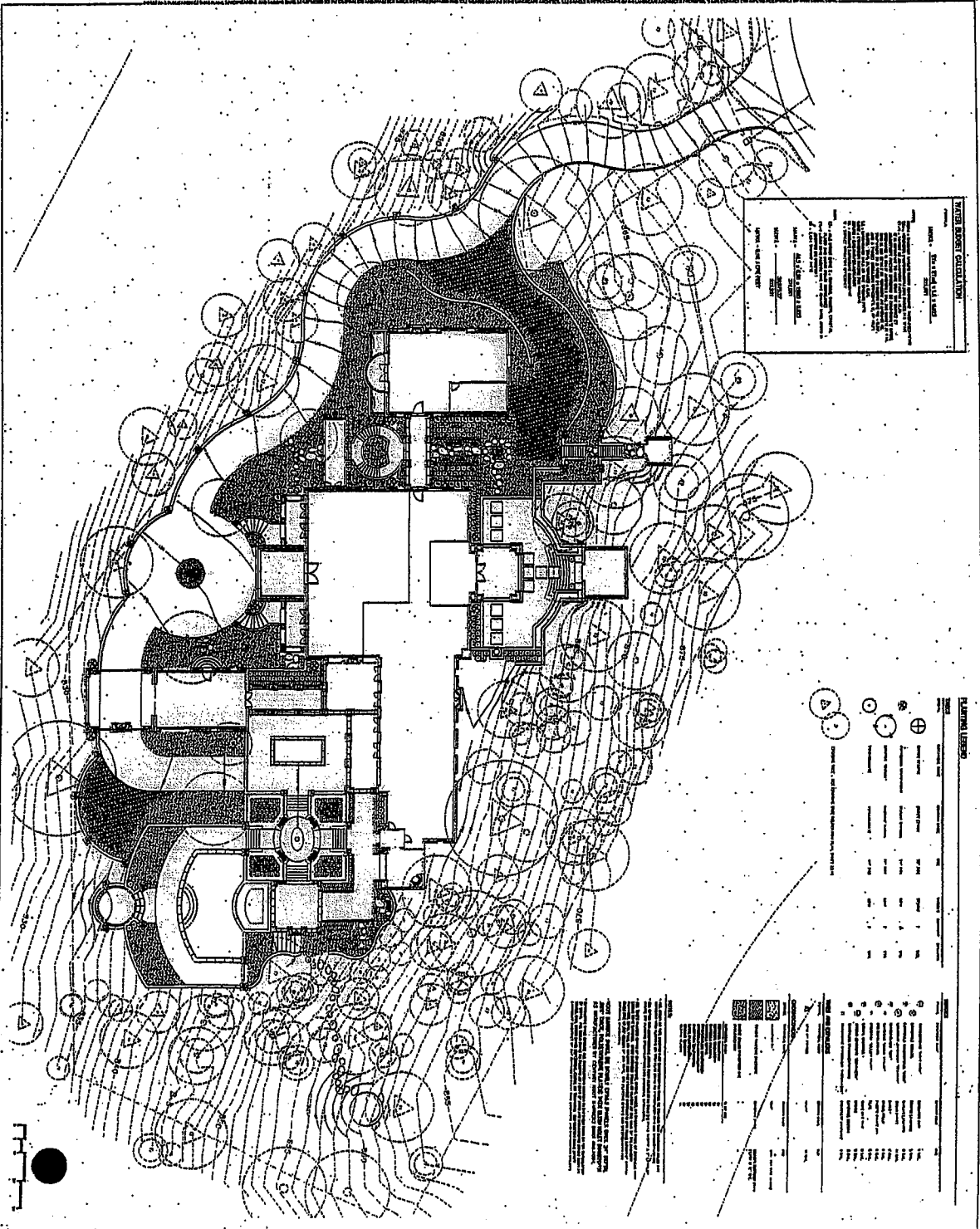
LEFT ELEVATION

<p>NOTES:</p> <p>1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 CALIFORNIA BUILDING CODE (CBC) AND THE 2015 CALIFORNIA MECHANICAL CODE (CMC).</p> <p>2. ALL MATERIALS SHALL BE OF QUALITY AND SHALL BE SUBMITTED FOR APPROVAL PRIOR TO INSTALLATION.</p> <p>3. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.</p> <p>4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC) AND THE CALIFORNIA MECHANICAL CODE (CMC).</p> <p>5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA ELECTRICAL CODE (CEC) AND THE CALIFORNIA PLUMBING CODE (CPC).</p> <p>6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA FIRE CODE (CFC) AND THE CALIFORNIA SAFETY CODE (CSC).</p> <p>7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA ENVIRONMENTAL CODE (CEC) AND THE CALIFORNIA WASTE CODE (CWC).</p> <p>8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA LAND USE CODE (CLUC) AND THE CALIFORNIA ZONING CODE (CZC).</p> <p>9. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA HISTORIC PRESERVATION CODE (CHPC) AND THE CALIFORNIA MONUMENTS CODE (CMC).</p> <p>10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA CULTURAL HERITAGE CODE (CHC) AND THE CALIFORNIA ANTIQUITIES CODE (CAC).</p>	<p>ARCHITECT:</p> <p>DATE:</p> <p>SCALE:</p> <p>PROJECT:</p> <p>CLIENT:</p> <p>LOCATION:</p> <p>DESCRIPTION:</p> <p>REVISIONS:</p>
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LEGEND

1	EXISTING SITE
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100	PROPOSED SITE





PLANTING LEGEND

Symbol	Plant Name	Quantity
⊕	Platanus	10
⊙	Quercus	15
⊗	Pinus	20
⊘	Juniperus	12
⊚	Thuja	8
⊛	Yucca	5
⊜	Agave	3
⊝	Monarda	2
⊞	Salvia	1
⊠	Lavender	1
⊡	Rose	1
⊢	Hydrangea	1
⊣	Camellia	1
⊤	Philadelphus	1
⊥	Spirea	1
⊦	Abelia	1
⊧	Euonymus	1
⊨	Hamamelis	1
⊩	Cornus	1
⊪	Syringa	1
⊫	Prunella	1
⊬	Veronica	1
⊭	Impatiens	1
⊮	Antirrhinum	1
⊯	Delphinium	1
⊰	Hydrangea	1
⊱	Camellia	1
⊲	Philadelphus	1
⊳	Spirea	1
⊴	Abelia	1
⊵	Euonymus	1
⊶	Hamamelis	1
⊷	Cornus	1
⊸	Syringa	1
⊹	Prunella	1
⊺	Veronica	1
⊻	Impatiens	1
⊼	Antirrhinum	1
⊽	Delphinium	1
⊾	Hydrangea	1
⊿	Camellia	1

PLANTING LEGEND

Symbol	Plant Name	Quantity
⊕	Platanus	10
⊙	Quercus	15
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⊠	Lavender	1
⊡	Rose	1
⊢	Hydrangea	1
⊣	Camellia	1
⊤	Philadelphus	1
⊥	Spirea	1
⊦	Abelia	1
⊧	Euonymus	1
⊨	Hamamelis	1
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⊪	Syringa	1
⊫	Prunella	1
⊬	Veronica	1
⊭	Impatiens	1
⊮	Antirrhinum	1
⊯	Delphinium	1
⊰	Hydrangea	1
⊱	Camellia	1
⊲	Philadelphus	1
⊳	Spirea	1
⊴	Abelia	1
⊵	Euonymus	1
⊶	Hamamelis	1
⊷	Cornus	1
⊸	Syringa	1
⊹	Prunella	1
⊺	Veronica	1
⊻	Impatiens	1
⊼	Antirrhinum	1
⊽	Delphinium	1
⊾	Hydrangea	1
⊿	Camellia	1

THESE PLANTS ARE TO BE PLANTED IN THE AREAS SHOWN ON THIS PLAN. THE PLANTING SHOULD BE DONE IN ACCORDANCE WITH THE PLANTING SPECIFICATIONS AND THE PLANTING SCHEDULE. THE PLANTING SHOULD BE DONE IN ACCORDANCE WITH THE PLANTING SPECIFICATIONS AND THE PLANTING SCHEDULE.

REVISIONS

NO.	DATE	DESCRIPTION
1	10/10/11	ISSUED FOR PERMIT
2	11/10/11	REVISED PLANTING SPECIFICATIONS
3	12/10/11	REVISED PLANTING SCHEDULE
4	01/10/12	REVISED PLANTING SPECIFICATIONS
5	02/10/12	REVISED PLANTING SCHEDULE
6	03/10/12	REVISED PLANTING SPECIFICATIONS
7	04/10/12	REVISED PLANTING SCHEDULE
8	05/10/12	REVISED PLANTING SPECIFICATIONS
9	06/10/12	REVISED PLANTING SCHEDULE
10	07/10/12	REVISED PLANTING SPECIFICATIONS
11	08/10/12	REVISED PLANTING SCHEDULE
12	09/10/12	REVISED PLANTING SPECIFICATIONS
13	10/10/12	REVISED PLANTING SCHEDULE
14	11/10/12	REVISED PLANTING SPECIFICATIONS
15	12/10/12	REVISED PLANTING SCHEDULE
16	01/10/13	REVISED PLANTING SPECIFICATIONS
17	02/10/13	REVISED PLANTING SCHEDULE
18	03/10/13	REVISED PLANTING SPECIFICATIONS
19	04/10/13	REVISED PLANTING SCHEDULE
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21	06/10/13	REVISED PLANTING SCHEDULE
22	07/10/13	REVISED PLANTING SPECIFICATIONS
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27	12/10/13	REVISED PLANTING SCHEDULE
28	01/10/14	REVISED PLANTING SPECIFICATIONS
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30	03/10/14	REVISED PLANTING SPECIFICATIONS
31	04/10/14	REVISED PLANTING SCHEDULE
32	05/10/14	REVISED PLANTING SPECIFICATIONS
33	06/10/14	REVISED PLANTING SCHEDULE
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39	12/10/14	REVISED PLANTING SCHEDULE
40	01/10/15	REVISED PLANTING SPECIFICATIONS
41	02/10/15	REVISED PLANTING SCHEDULE
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43	04/10/15	REVISED PLANTING SCHEDULE
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45	06/10/15	REVISED PLANTING SCHEDULE
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47	08/10/15	REVISED PLANTING SCHEDULE
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51	12/10/15	REVISED PLANTING SCHEDULE
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53	02/10/16	REVISED PLANTING SCHEDULE
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55	04/10/16	REVISED PLANTING SCHEDULE
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63	12/10/16	REVISED PLANTING SCHEDULE
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69	06/10/17	REVISED PLANTING SCHEDULE
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74	11/10/17	REVISED PLANTING SPECIFICATIONS
75	12/10/17	REVISED PLANTING SCHEDULE
76	01/10/18	REVISED PLANTING SPECIFICATIONS
77	02/10/18	REVISED PLANTING SCHEDULE
78	03/10/18	REVISED PLANTING SPECIFICATIONS
79	04/10/18	REVISED PLANTING SCHEDULE
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81	06/10/18	REVISED PLANTING SCHEDULE
82	07/10/18	REVISED PLANTING SPECIFICATIONS
83	08/10/18	REVISED PLANTING SCHEDULE
84	09/10/18	REVISED PLANTING SPECIFICATIONS
85	10/10/18	REVISED PLANTING SCHEDULE
86	11/10/18	REVISED PLANTING SPECIFICATIONS
87	12/10/18	REVISED PLANTING SCHEDULE
88	01/10/19	REVISED PLANTING SPECIFICATIONS
89	02/10/19	REVISED PLANTING SCHEDULE
90	03/10/19	REVISED PLANTING SPECIFICATIONS
91	04/10/19	REVISED PLANTING SCHEDULE
92	05/10/19	REVISED PLANTING SPECIFICATIONS
93	06/10/19	REVISED PLANTING SCHEDULE
94	07/10/19	REVISED PLANTING SPECIFICATIONS
95	08/10/19	REVISED PLANTING SCHEDULE
96	09/10/19	REVISED PLANTING SPECIFICATIONS
97	10/10/19	REVISED PLANTING SCHEDULE
98	11/10/19	REVISED PLANTING SPECIFICATIONS
99	12/10/19	REVISED PLANTING SCHEDULE
100	01/10/20	REVISED PLANTING SPECIFICATIONS