

RESOLUTION NO. 080002

A.P.N.# 009-394-003-000

In the matter of the request of  
**FREEMAN MARVIN (CMB080002)**

**FINDINGS & DECISIONS**

for a Combined Development Permit pursuant to regulations established by local ordinance and state law, consisting of a Coastal Administrative Permit for the demolition of an existing 2,075 square foot single family dwelling, construction of a new 2,698 square foot, two story single family dwelling, 540 square foot attached garage, 48 square foot covered entry, 128 square foot second floor deck, and 76 square feet of planters; grading for the single family dwelling and driveway (10 cubic yards cut/10 cubic yards fill); a Coastal Development Permit for development within 750' of a known archaeological resource; and Design Approval. The property is located at 2691 16<sup>th</sup> Avenue Carmel (Assessors Parcel Number: 009-394-003-000) Carmel Area Land Use Plan. The project came on regularly for hearing before the Zoning Administrator on February 26, 2009.

Said Zoning Administrator, having considered the application and the evidence presented relating thereto,

**FINDINGS OF FACT**

1. **FINDING: CONSISTENCY** - The project, as described in Condition No. 1 and as conditioned, conforms to the policies, requirements, and standards of the Monterey County General Plan, the Carmel Land Use Plan, Coastal Implementation Plan (Part 4), and the Monterey County Zoning Ordinance (Title 20) which designates this area as appropriate for residential development.

- EVIDENCE:**
- (a) The text, policies, and regulations in the above referenced documents have been evaluated during the course of the review of applications. No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
  - (b) The property is located at 2691 16<sup>th</sup> Avenue, Carmel (Assessor's Parcel Number 009-394-003-000), Carmel Area Land Use Plan, Coastal Zone. The parcel is zoned Medium Density Residential, two units per acre, with a Design Control overlay ("MDR/2-D (CZ)") which allows the first single family dwelling per legal lot of record (Section 20.12.040.A) subject to a Coastal Administrative Permit in each case. Therefore, the property is suitable for the proposed development.
  - (c) The project planner conducted a site inspection on April 30, 2008 to verify that the project on the subject parcel conforms to the plans listed above.
  - (d) The materials and colors of the proposed residence are consistent with the materials and colors of other homes in the vicinity. Several other two-story homes exist within a two block radius of the proposed residence.
  - (e) The project site is located within 750 feet of a known archaeological resource; a Coastal Development Permit is included to allow development within this area (20.146.090.A.1 CIP). An Archaeological survey prepared for this project did not identify the potential for impacts to prehistoric resources. The archaeologist will be on site during demolition and grading activities to ensure that no resources are

present that could not previously be observed. Conditions recommended in the report have been included as conditions of approval for this project (Conditions #3 & 4) to ensure that if any archaeological resources are found on site they will be protected, therefore, the project is consistent with the applicable policies.

- (f) The project was referred to the Carmel Unincorporated/Highland Land use Advisory Committee (LUAC) for review. On June 16, 2008, the Carmel Unincorporated/Highlands LUAC unanimously recommended approval with the recommendation that the roof on the west side of the house be changed to a hip roof and that board and batt design shown at the front and sides of the dwelling be continued around the rear of the first story.
- (g) The applications, plans and related support materials submitted by the project applicant to the Monterey County RMA-Building Services Department for the proposed development, found in the Project File CMB080002.

**2. FINDING: SITE SUITABILITY** – The site is physically suitable for the use proposed.

- EVIDENCE:**
- (a) The project has been reviewed for site suitability by the following departments and agencies: RMA - Planning Department, Carmel Highlands Fire Protection District, Public Works, Environmental Health Division, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. No conditions were recommended or incorporated into the condition compliance reporting plan.
  - (b) Technical reports by outside archaeological and geological consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff concurs. The following reports have been prepared:
    - i. "Geotechnical Soil-Foundation & Geoseismic Report" (LIB080341) prepared by Grice Engineering and Geology Inc, Salinas, CA, February 11<sup>th</sup>, 2008.
    - ii. "Preliminary Archaeological Reconnaissance" (LIB080216) prepared by Archaeological Consulting, Salinas, CA, September 12, 2007.
  - (c) Staff conducted a site inspection on April 30, 2008 to verify that the site is suitable for this use.
  - (d) Materials in Project File CMB080002.

**3. FINDING CEQA (Exempt):** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- (a) California Environmental Quality Act (CEQA) Guidelines Section 15303(a), Class 3 categorically exempts construction of a new single family dwelling.
  - (b) No adverse environmental effects were identified during staff review of the development application during a site visit on April 30, 2008.
  - (c) There are no unusual circumstances related to the project or property
  - (d) The archaeological survey submitted for the project did not reveal any potentially significant resources at the site.
  - (e) The proposed project is consistent with the Local Coastal Plan governing development at the site (Finding 1) and the site is suitable for the proposed development (Finding 2).

**4. FINDING: NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions

of the County's zoning ordinance. No violations exist on the property. Zoning violation abatement costs, if any, have been paid.

**EVIDENCE:** (a) Staff reviewed Monterey County RMA - Planning Department and RMA-Building Services Department records and is not aware of any violations existing on subject property.

5. **FINDING: HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

**EVIDENCE:** (a) Preceding findings and supporting evidence.

6. **FINDING: PUBLIC ACCESS** - The project is in conformance with the public access and public recreation policies of the Coastal Act and Local Coastal Program, and does not interfere with any form of historic public use or trust rights. No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.70.050.B.4.c of the Monterey County Coastal Implementation Plan, can be demonstrated.

**EVIDENCE:** (a) The subject property is not described as an area where the Local Coastal Program requires access.  
(b) The subject property is not indicated as part of any designated trails or shoreline access as shown in Figure 3, of the Public Access Map and complies with Carmel Area Land Use Plan.  
(c) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.  
(d) Staff conducted a site visit on April 30, 2008.


7. **FINDING: APPEALABILITY** - The decision on this project is appealable to the Board of Supervisors and the California Coastal Commission.

**EVIDENCE:** (a) Board of Supervisors: Section 20.86.030 of the Monterey County Coastal Implementation Plan - Part 1.  
(b) Coastal Commission: Section 20.86.080.A.3 of the Monterey County Zoning Ordinance, because the project involves conditional approval for development within 750 feet of a known archaeological site.

**DECISION**

THEREFORE, it is the decision of said Zoning Administrator that said request for a Combined Development Permit be approved as shown on the attached sketch, subject to the following conditions:

PASSED AND ADOPTED THIS 26<sup>th</sup> day of February, 2009



MIKE NOVO  
ZONING ADMINISTRATOR

COPY OF THIS DECISION WAS MAILED TO APPLICANT ON MAR 20 2009

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD OF SUPERVISORS ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE MAR 30 2009

THIS APPLICATION IS ALSO APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE DECISION BY THE BOARD OF SUPERVISORS, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

UNLESS EXTENDED AS PROVIDED BY CHAPTER 19.03.035, TITLE 19 (SUBDIVISIONS), MONTEREY COUNTY CODE, THIS APPROVAL EXPIRES ON \*. EXTENSION REQUESTS MUST BE MADE IN WRITING 30 DAYS PRIOR TO THE AFOREMENTIONED EXPIRATION DATE.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90<sup>th</sup> day following the date on which this decision becomes final.

## NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning and Building Inspection Department office in Monterey.

2. This permit expires 2 years after the above date of granting thereof unless construction or use if started within this period.

**Monterey County Resource Management  
Agency Planning Department  
Condition Compliance Reporting Plan**

Project Name: **FREEMAN MARVIN**

File No: **CMB080002**

APNs: **009-394-003-000**

Approved by: **ZONING ADMINISTRATOR** Date: **February 26, 2009**

*\*Monitoring or Reporting refers to projects with an EIR or adopted Mitigated Negative Declaration per Section 21081.6 of the Public Resources Code.*

| <i>Permit<br/>Cond.<br/>Number</i> | <i>Mitig.<br/>Number</i> | <i>Conditions of Approval and/or Mitigation Measures and Responsible<br/>Land Use Department</i>   | <i>Compliance or Monitoring<br/>Actions<br/>to be performed. Where<br/>applicable, a certified<br/>professional is required for<br/>action to be accepted.</i> | <i>Responsible<br/>Party for<br/>Compliance</i> | <i>Timing</i>                            | <i>Verification<br/>of<br/>Compliance<br/>(name/date<br/>)</i> |
|------------------------------------|--------------------------|--|--|---|--|--|
| 1.                                 |                          | <p><b>PD001 - SPECIFIC USES ONLY</b><br/>           The Combined Development Permit (CMB080002) allows for the demolition of an existing 2,075 square foot single family dwelling, construction of a new 2,698 square foot, two story single family dwelling, 540 square foot attached garage, 48 square foot covered entry, 128 square foot second floor deck, and 76 square feet of planters; grading for the single family dwelling and driveway (10 cubic yards cut/10 cubic yards fill). The property is located at 2691 16<sup>th</sup> Avenue Carmel (Assessors Parcel Number: 009-394-003-000) Carmel Area Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the following terms and conditions. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of the RMA - Planning Department. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. <b>(RMA - Planning Department)</b></p> | Adhere to conditions and uses specified in the permit.   | Owner/<br>Applicant                             | Ongoing<br>unless<br>otherwise<br>stated |  |

| <i>Permit Cond. Number</i> | <i>Mitig. Number</i> | <i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>  | <i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>  | <i>Responsible Party for Compliance</i> | <i>Timing</i>   | <i>Verification of Compliance (name/date)</i> |
|----------------------------|----------------------|---|---|---|---|---|
| 2.                         |                      | <p><b>PD002 - NOTICE-PERMIT APPROVAL</b></p> <p>The applicant shall record a notice which states: "A permit Resolution <b>(080002)</b> was approved by the Zoning Administrator for Assessor's Parcel Number <b>009-394-003-000</b> on <b>February 26, 2009</b>. The permit was granted subject to <b>(7)</b> conditions of approval which run with the land. A copy of the permit is on file with the Monterey County RMA - Planning Department." Proof of recordation of this notice shall be furnished to the Director of the RMA - Planning Department prior to issuance of building permits or commencement of the use. <b>(RMA - Planning Department)</b></p>   | Proof of recordation of this notice shall be furnished to the RMA - Planning Department.  | Owner/<br>Applicant                     | Prior to the issuance of grading and building permits or commencement of use. |   |
| 3                          |                      | <p><b>CULTURAL RESOURCES – NON-STANDARD CONDITION</b></p> <p>A qualified Archaeologist shall be on site during any demolition and /or grading activities. The Archaeologist shall submit confirmation of his/her presence onsite during this work and indicate what was observed. This letter shall be submitted prior to pouring the concrete slab.</p>  | Letter from Archaeologist to be submitted to Monterey County RMA-Planning Department.   | Owner/<br>Applicant                     | Prior to pouring the concrete slab.   |   |
| 4.                         |                      | <p><b>PD003(A) – CULTURAL RESOURCES – NEGATIVE ARCHAEOLOGICAL REPORT</b></p> <p>If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. The Monterey County RMA - Planning Department and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery. <b>(RMA - Planning Department)</b></p> | Stop work within 50 meters (165 feet) of uncovered resource and contact the Monterey County RMA - Planning Department and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery. | Owner/<br>Applicant/<br>Archaeologist   | Ongoing   |   |
| 5.                         |                      | <p><b>PD004 - INDEMNIFICATION AGREEMENT</b></p> <p>The property owner agrees as a condition and in consideration of the</p>   | Submit signed and notarized Indemnification Agreement to  | Owner/<br>Applicant                     | Upon demand of  |   |

| Permit Cond. Number | Mitig. Number | Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department  | Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.   | Responsible Party for Compliance                                      | Timing  | Verification of Compliance (name/date) |
|---------------------|---------------|--|---|---|---|--|
|                     |               | <p>approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the county for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, filing of the final map, whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the county harmless. (RMA - Planning Department)</p> | <p>the Director of RMA – Planning Department for review and signature by the County.</p> <p>Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to the RMA – Planning Department.</p>  |   | <p>County Counsel or concurrent with the issuance of building permits, use of the property, filing of the final map, whichever occurs first and as applicable</p> |  |
| 6.                  |               | <p><b>PD011 – TREE AND ROOT PROTECTION</b><br/> Trees which are located close to the construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by a certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of the RMA – Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by a certified arborist. Should any additional trees not included in this permit be harmed, during</p>  | <p>Submit evidence of tree protection to the RMA - Planning Department for review and approval.</p> <p>Submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a</p> | <p>Owner/<br/>Applicant</p> <p>Owner/<br/>Applicant/<br/>Arborist</p> | <p>Prior to the issuance of grading and/or building permits</p> <p>During Construction</p>  |  |



| <i>Permit Cond. Number</i> | <i>Mitig. Number</i> | <i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>   | <i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>  | <i>Responsible Party for Compliance</i> | <i>Timing</i>  | <i>Verification of Compliance (name/date)</i> |
|----------------------------|----------------------|--|---|---|--|---|
|                            |                      | grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. <b>(RMA - Planning Department)</b>   | certified arborist.<br>Submit photos of the trees on the property to the RMA – Planning Department after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.  | Owner/<br>Applicant                     | Prior to final inspection                            |   |
| 7.                         |                      | <b>PD041 – HEIGHT VERIFICATION</b><br>The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of the RMA- Building Services Department for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. <b>(RMA – Planning Department and Building Services Department)</b> | 1) The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection<br><br>2) The applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of the RMA- Building Services Department for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit. | Owner/<br>Applicant                     | Prior to the issuance of grading or building permits |   |
|                            |                      |  |   | Owner/<br>Applicant/<br>Engineer        | Prior to the final inspection                        |   |

**FIRE DEPARTMENT NOTES**

**FIRE SPRINKLER SYSTEMS:** THE RESIDENCE IS TO BE FULLY PROTECTED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM. FIRE SPRINKLER SYSTEMS ARE REQUIRED BY THE FIRE DEPARTMENT, APPROVAL AND MAINTENANCE SHALL BE IN ACCORDANCE WITH APPLICABLE NATIONAL FIRE PROTECTION ASSOCIATION STANDARD 136 AND LOCAL ORDINANCES, AND/OR UNIFORM BUILDING CODE. THE DESIGN OF WHICH SHALL BE DETERMINED BY THE FIRE DEPARTMENT. (5 SETS OF PLANS FOR FIRE SPRINKLER SYSTEMS MUST BE SUBMITTED AND APPROVED PRIOR TO INSTALLATION. POST-FIRE INSPECTIONS MUST BE COMPLETED PRIOR TO RECEIVING A FINISHING INSPECTION FROM THE BUILDING INSPECTION DEPARTMENT.

**FIRE ALARM SYSTEM:** IF AN AUTOMATIC FIRE ALARM SYSTEM IS INSTALLED IN THE RESIDENCE THEN THE SYSTEM SHALL BE AN APPROVED CENTRAL STATION. PROPERLY ADDRESS FIRE ALARM SYSTEMS OR RESIDENCE AUTOMATIC FIRE ALARM SYSTEMS AS DEFINED BY THE NATIONAL FIRE PROTECTION ASSOCIATION STANDARD 72-1998 (2010 EDITION). PLANS AND SPECIFICATIONS FOR THE FIRE ALARM SYSTEM MUST BE SUBMITTED AND APPROVED BY THE FIRE DEPARTMENT JURISDICTION PRIOR TO RECEIVING A FINISHING INSPECTION. ALL FIRE ALARM SYSTEM INSPECTIONS AND ACCEPTANCE TESTING SHALL BE IN ACCORDANCE WITH CHAPTER 1 OF 2019-10-01.

**FIRE ALARM SYSTEM:** SHALL BE TO THE FUTURE REPRODUCTION CIRCUIT. ANY DEVIATIONS REQUIRE APPROVAL FROM THE FIRE DEPARTMENT.

**ADDRESS NUMBERS TO BE POSTED:** ADDRESS NUMBERS SHALL BE POSTED PRIOR TO THE REQUEST FOR FINAL INSPECTION OR SHALL NOT BE GRANTED. ALL ADDRESS NUMBERS (PERMANENT OR TEMPORARY) SHALL BE CLEARLY VISIBLE FROM THE ROAD. WHOSE VISIBILITY CAN NOT BE PROVIDED, A POST OR SIGN BEARING THE ADDRESS NUMBERS SHALL BE SET ADJACENT TO THE DRIVEWAY OR ACCESS ROAD TO THE PROPERTY. ADDRESS NUMBERS SHALL BE PERMANENTLY PLACED ON THE EXTERIOR WALL OF THE BUILDING OR WRITTEN OUT IN WORDS. ADDRESS NUMBERS SHALL BE A MINIMUM NUMBER HEIGHT OF 3 INCHES, 3/4 INCH WIDE STRIKE, AND CONTRASTING WITH THE BACKGROUND COLOR OF THE SIGN.

**SEPARATE ADDRESS REQUIRED:** CAMELBACK UNIT, SENIOR CITIZENS UNIT, AND "GRANDY HOUSES" SHALL BE ISSUED ADDRESS SEPARATE FROM THE MAIN RESIDENCE. CONTACT THE MONTEREY COUNTY PUBLIC WORKS DEPARTMENT AT (831) 735-1000.

**ROOFING CLASS AS REQUIRED:** ROOF CONSTRUCTION SHALL BE CLASS "B" BUILDUP, AS DEFINED BY UNIFORM BUILDING CODE STANDARD 15-2. THE ROOFING SHALL APPLY TO ALL NEW CONSTRUCTION AND WHEN 50 PERCENT OR MORE OF AN EXISTING ROOF IS REPLACED WITH A ONE-PIECE ROOF.

**DRIVEWAY TURNOUT REQUIRED:** ALL DRIVEWAYS EXCEEDING 100 FEET IN LENGTH SHALL BE PROVIDED WITH TURNOUTS. TURNOUTS SHALL BE PROVIDED AT 100 FOOT INTERVALS, USE EQUALLY SPACED ALONG THE DRIVEWAY.

**ACCESS DRIVEWAYS:** ACCESS DRIVEWAYS SHALL BE ALL-PAVED DRIVEWAY SURFACE CAPABLE OF SUPPORTING FIRE APPARATUS OR TOW TRUCKS. ACCESS DRIVEWAYS SHALL BE AT LEAST 12 FEET WIDE UNRESTRICTED AND BEING BUT IN NO CASE LESS THAN 10 FEET VERTICAL CLEARANCE AND A MAXIMUM 1% GRADE. ON DRIVEWAYS AND ACCESS ROADS HAVING A GRADE OF 5% OR GREATER THE DRIVEWAY SURFACE SHALL BE ASPHALT OR CONCRETE. CONCRETE DRIVEWAYS ARE PROHIBITED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM. THE PROVISIONS OF THIS SECTION MAY BE MODIFIED, SUBJECT TO THE APPROVAL OF THE LOCAL JURISDICTION.

**DRIVEWAY TURNOUT REQUIRED:** DRIVEWAYS SHALL NOT BE LESS THAN 12 FEET WIDE UNRESTRICTED. ALL DRIVEWAYS EXCEEDING 100 FEET IN LENGTH BUT LESS THAN 200 FEET IN LENGTH, SHALL PROVIDE A TURNOUT NEAR THE MIDDLE OF THE DRIVEWAY, WHERE THE DRIVEWAY EXCEEDS 100 FEET, TURNOUTS SHALL BE PROVIDED AT 100 FOOT INTERVALS, USE EQUALLY SPACED ALONG THE DRIVEWAY.

**ACCESS DRIVEWAYS TURNING APPROXIMATIONS:** ALL DEAD-END ACCESS ROADS IN EXCESS OF 100 FEET IN LENGTH SHALL BE PROVIDED WITH APPROVED PROVISIONS FOR THE TURNING RADIUS OF THE FIRE APPARATUS. (SEE EXAMPLE 'B')

**ACCESS DRIVEWAYS TURNING APPROXIMATIONS:** ALL TURNS ON ACCESS DRIVEWAYS SHALL COMPLY WITH THE MINIMUM DIMENSIONS SHOWN ON EXAMPLE 'C' OF THIS SHEET.

**PRIVATE GATES:** ELECTRIC GATES SHALL BE PROVIDED WITH A KEYED SWITCH MEETING FIRE DEPARTMENT SPECIFICATIONS. MANUAL GATES SHALL BE PROVIDED WITH FIRE DEPARTMENT APPROVED MEETING FIRE DEPARTMENT SPECIFICATIONS. GATE ENTRANCES SHALL BE AT LEAST THE WIDTH OF THE TRAFFIC LANE, BUT IN NO CASE LESS THAN 12 FEET. UNRESTRICTED VERTICAL CLEARANCE SHALL NOT BE LESS THAN 10 FEET.

**BARBERS:** ALL NEW AND RECONSTRUCTED BARBERS SHALL BE AT LEAST THE WIDTH OF THE EXISTING BARBER AND BEING BUT IN NO CASE LESS THAN 12 FEET WIDE. BARBERS WITH AN ACCESS EXCEEDING 10 FEET IN LENGTH SHALL NOT BE LESS THAN THE WIDTH OF TWO LANES WITH BARRIERS. ALL BARBERS SHALL BE DESIGNED FOR 100 MPH WIND LOADS AND SPECIFICATIONS FOR HEAVY TRUCKS AND HAVE OVERHEADS.

**SETBACK FOR STRUCTURE DEFENSIBLE SPACE:** ALL PARCELS 1 ACRE AND LARGER SHALL PROVIDE A MINIMUM 30 FOOT SETBACK FOR BUILDINGS AND ACCESSORY BUILDINGS FROM ALL PROPERTY LINES AND/OR THE CENTER OF THE ROAD. FOR PARCELS LESS THAN 1 ACRE, OR WHEN A 30 FOOT MINIMUM SETBACK CANNOT BE MAINTAINED, ALTERNATE FUEL LOADINGS STANDARDS MAY BE IMPOSED BY THE LOCAL FIRE JURISDICTION TO PROVIDE THE SAME PRACTICAL EFFECT.

**TOPOGRAPHIC MAP**

of Lot 15, Block B, Marston Tract, Monterey County, California.

Prepared for --  
**MARVIN FREEMAN**

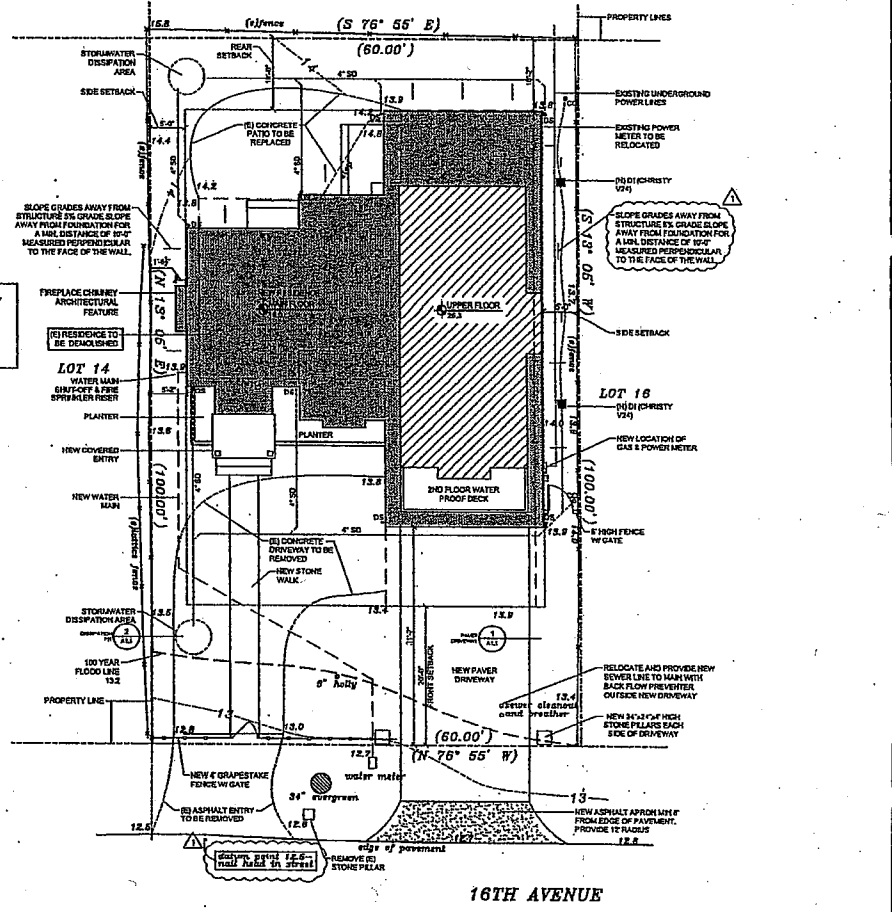
Jon D. Roggenyer Licensed Land Surveyor  
Central California  
Scale: 1" = 5'  
P.O. 5827 July, 2007

**REVISIONS:**  
August 27, 2007: Change elevations to match 1928 datum.

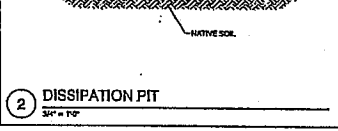
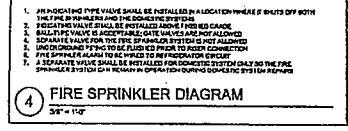
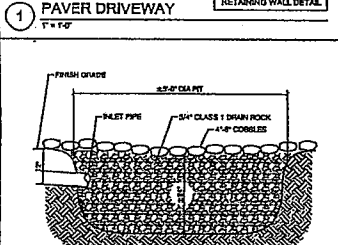
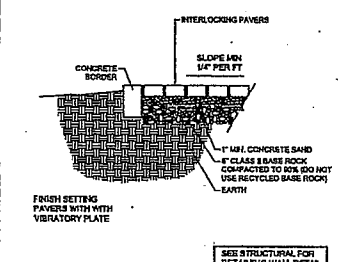
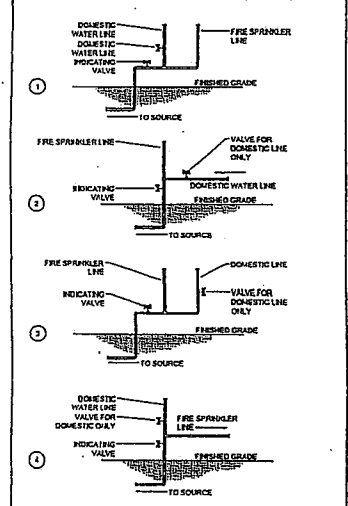
**NOTES:**

- Elevation datum based on NAD 1928 datum.
- Points found on and are so indicated.
- Recent data is shown in parentheses ( )
- Check for direction of tree growth in field where pertinent to location of improvements.
- Distances and elevations are expressed in feet and decimals thereof.

ALL GRADING AND DRAINAGE SHALL COMPLY WITH ALL RECOMMENDATIONS STATED IN THE SOILS REPORT BY GRICE ENGINEERING, FILE NO. 6112-08.01, AND ADDENDUM NO.1



**ACCEPTABLE FIRE SPRINKLER / DOMESTIC HOOR-UPS**



**DRAINAGE NOTES:**

- SLOPES ALL GRADES AWAY FROM FOUNDATION FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF WALL. (NO 2). IF BUILDING DOES NOT ALLOW FOR 10 FEET OF SLOPE, PROVIDE A MINIMUM 1% GRADE SLOPE TO THE EXISTING EXTERIOR STRUCTURE. (SEE SLOPES ON IMPROVED SURFACES WITHIN 10 FEET OF THE FOUNDATION WITH A MINIMUM 5% SLOPE AWAY FROM THE BUILDING).
- ALL PIPES SHALL BE 18 INCH OR 24 INCH TYPE.
- ALL FOOTINGS SHALL HAVE 4 INCH DRAINAGE.
- ALL SURFACE DRAIN PIPES SHALL BE 1/2 INCH DRAIN PIPES.
- CONSTRUCTION SHALL INSTALL CLEANOUTS AT BAYS AND BODIES WHERE APPLICABLE.
- POLYETHYLENE CHLORIDE PIPES SHALL CONFORM WITH ASTM D 3034, 3035 OR AS EQUIVALENT.

**WINTER GRADING NOTES (OCT 15 THROUGH APR 15):**

- DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE EROSION SHALL BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE DRIVEWAY OR ON THE DOWNHILL PROPERTIES.
- RUNOFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY SPERM, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
- DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS. (MONTEREY COUNTY GRADATION/EROSION CONTROL, ORD. 2002 - 15-10-01)

**EROSION CONTROL NOTES/MEASURES:**

- ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION.
- SEEDS OR SPRINGS ENCOURAGED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH APPROVED METHODS ESTABLISHED BY THE SOIL ENGINEER.
- STABILIZE ALL GRADED AREAS WITH VEGETATION, CRUSHED STONE, BIRAP, OR OTHER ORGANIC COVER AS SOON AS GRADING IS COMPLETED OR IF WORK IS INTERRUPTED FOR 14 WORKING DAYS OR MORE. USE MULCH TO STABILIZE AREAS TEMPORARILY WHERE FINAL GRADING MUST BE DELAYED.
- STOPOVER, BORROW AREAS AND SPOR. AREAS SHALL BE STABILIZED TO PREVENT EROSION AND SEDIMENTATION.
- APPLY SOIL, FERTILIZER AND STRAW MULCH, THEN TRACK OR PUSH IN THE MULCH WITH AN APPROVED MECHANICAL DEVICE OR BY HAND.
- ALL DISTURBED SURFACES MUST BE PROTECTED FROM EROSION BETWEEN OCTOBER 15 AND APRIL 15. EROSION CONTROL MEASURES MUST BE IN PLACE AND CONTINUOUSLY MAINTAINED.
- DISTURBED SURFACE VEGETATION DURING CONSTRUCTION SHALL BE KEPT TO A MINIMUM.
- DISTURBED AREAS SHOULD BE SEED, FERTILIZED, AND MULCHED TO PREVENT EROSION DURING WINTER MONTHS. INSTALL STRAW BALE STABILIZATION BARRIERS AS SHOWN ON PLAN.

PROJECT NAME:  
**Frigman Residence**  
2801 16TH AVE.  
CARMEL, CA 93923  
APH: 009-384-003

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831.938.3328 Fax: 831.943.9728  
jmoore@mooredesign.com

DATE: 12/1/2008

| NO. | DATE | DESCRIPTION        |
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Drawings are not to be scaled. In the event of any discrepancy between drawings and specifications, the drawings shall prevail over the specifications.

SHEET TITLE:  
**SITE PLAN & FIRE DEPT. NOTES**

SHEET NUMBER:  
**A1.1**

**UNDERFLOOR VENT CALCS**

UNDERFLOOR AREA REQUIRING VENTILATION = 1,507 SF  
 1,507 SF / 150 = 10.05 SF OF VENTILATION REQ'D

VENTILATING METHOD: 65" x 14" SCREENED VEIL  
 = .65 SF PER VEIL OR 79.20 SQ. Ft.

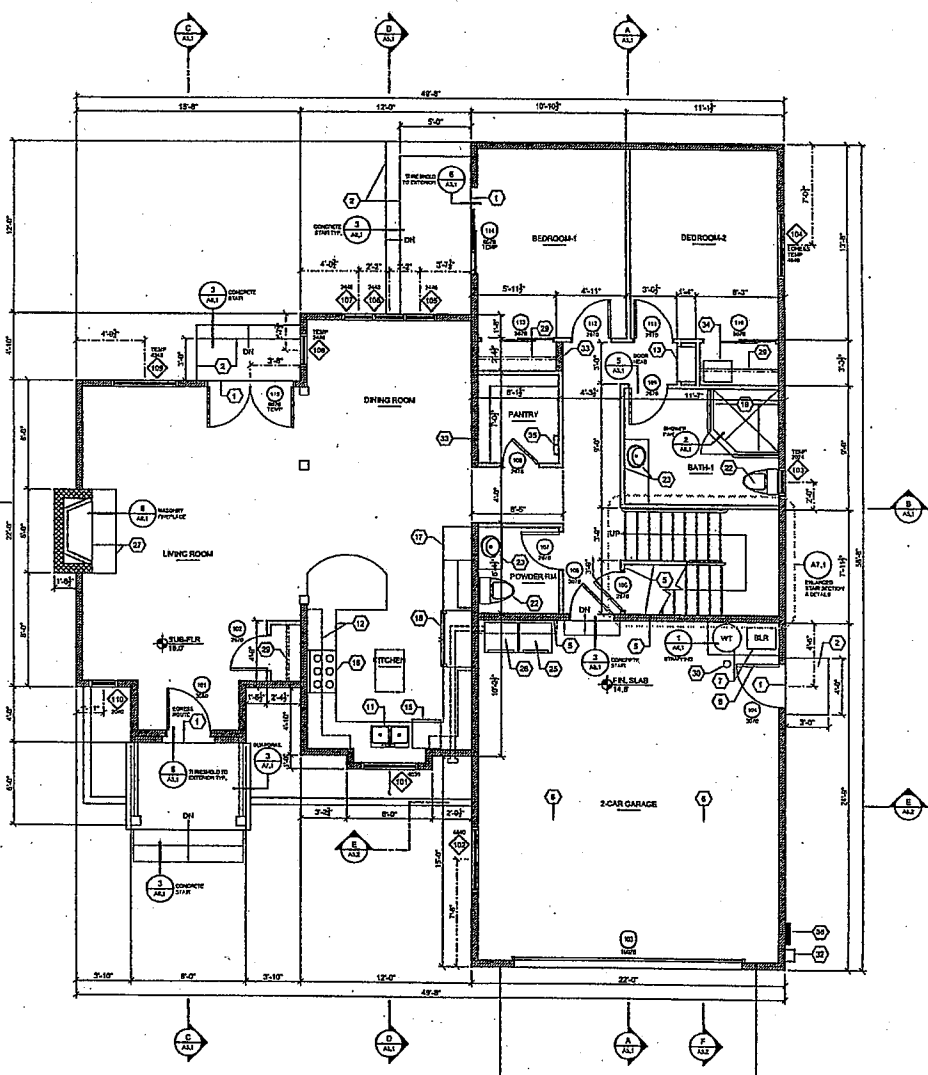
10.05 SF REQ'D / 0.65 SF = 15.31 VENTS REQ'D

15 VENTS PROVIDED

- UNDERFLOOR VENTING SHALL BE IN ACCORDANCE WITH C.C.C. 1203.1.1 WHERE APPLICABLE AND WHERE APPLICABLE. UNDERFLOOR VENTING SHALL BE LOCATED TO CLIMATE AIR AND GROUND WATER CONDITIONS ARE NOT CONSIDERED EXCESSIVE. THE SURFACES SHALL BE COVERED WITH REMOVABLE LAMINATES AND MAY ALLOW THE RECOVERED NET AREA OF VENT OPENINGS TO BE REDUCED BY 10%. PROVIDED UNDERFLOOR VENTING SURFACE AREA IS COVERED WITH AN APPROVED VENT MATERIAL 1/8" OF VENT OPENING FOR EACH 100 SF OF UNDERFLOOR AREA.
- LOCATE OPENINGS AS CLOSE TO CORNERS AS PRACTICAL AND EQUALLY DISTRIBUTED ALONG OPPOSITE WALLS TO PROVIDE CROSS VENTILATION. LOCATE VENTS UNDER WINDOWS AND DOORS, WHERE POSSIBLE, SO AS NOT TO REDUCE SHADE WALLS. C.C.C. 1203.1.3
- OPENINGS SHALL BE COVERED WITH COMPRESSION-RESISTANT WIRE MESH WITH MESH OPENINGS OF 1/4" IN DIMENSIONS.

**GENERAL BUILDING NOTES**

1. ALL DIMENSIONS ARE TO THE FACE OF STUDS OR COLUMNS UNLESS OTHERWISE NOTED. CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND NOTIFY THE DESIGNER OF ANY DISCREPANCIES BEFORE PROCEEDING.
  2. ALL PROJECTS WITH WATERPROOF DECKS WILL REQUIRE WATER TIGHTNESS. OWNER SHALL BE RESPONSIBLE TO SEAL, CLEAN, OR OTHERWISE MAINTAIN OR REPLACE SEALANT AS RECOMMENDED BY MANUFACTURER OF WATERPROOFING SURFACE.
- FIRE PROTECTION NOTES:**
1. PROVIDE FIRE PROTECTING AT 17' INTERVALS IN THE WALL BOTH HORIZONTALLY AND VERTICALLY PER (IBC 711.2.1 - CBC 711.2.1).
  2. THE OPENINGS AROUND GAS VENT, QUOTE, PIPES, CHIMNEYS, AND FIREPLACES AT THE CEILING AND FLOOR LEVELS SHALL BE FIRE STOPPED WITH NONCOMBUSTIBLE MATERIALS (CBC 711.2.3).
  3. FIRE STOPPING IS REQUIRED AT THE OPENING BETWEEN THE ATTIC SPACE AND THE CHIMNEY CHASE FOR THE FACTORY-BUILT CHIMNEYS (CBC 711.2.3).
  4. SMOKE DETECTORS SHALL BE INSTALLED PER CBC 907.2.10.1.2. EACH NEW OR EXISTING BEDROOM SHALL BE SERVED BY A SMOKE DETECTOR. IN NEW CONSTRUCTION EACH SMOKE DETECTOR SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS WITH HOUSE WIRING AS THE PRIMARY POWER SOURCE WITH BATTERY BACKUP (IN REMODELS EACH SMOKE DETECTOR MAY BE POWERED BY BATTERY ONLY). SMOKE DETECTORS SHALL SOUND AN ALARM IN ALL SLEEPING AREAS OF THE DWELLING UNIT IN WHICH THEY ARE LOCATED.
  5. IF A FIRE ALARM SYSTEM IS INTEGRATED INTO A SECURITY SYSTEM, THE FIRE ALARM SYSTEM DRAWINGS MUST BE SUBMITTED TO THE LOCAL FIRE JURISDICTION FOR APPROVAL PRIOR TO INSTALLATION.
- BATHING & BATHROOM NOTES:**
1. CONTRACTOR IS TO VERIFY THAT THE PROJECT WHEN COMPLETED SHALL COMPLY WITH THE WATER PERMIT ISSUED BY THE GOVERNING JURISDICTION.
  2. ACCESSIBLE UNDER FLOOR AREA SHALL BE PROVIDED WITH AN 18" x 24" 180° ACCESS WITHIN 2' OF ALL PLUMBING CLEANOUTS (CBC 1009.1 & CPC 1009.10).
  3. SHOWER HEADS SHALL NOT EXCEED 2.5 GALLONS PER MINUTE @ 40 P.S.I. FAUCETS SHALL NOT EXCEED 2.0 GALLONS PER MINUTE.
  4. WATER PRESSURE IN THE BUILDING SHALL BE LIMITED TO 80 P.S.I. OR LESS.
  5. PROVIDE PRESSURE ABSORBING DEVICES, EITHER AN AIR CHAMBER OR APPROVED MECHANICAL DEVICES THAT WILL ABSORB HIGH PRESSURE PULSES FROM THE QUICK CLOSING OF QUICK-CLOSING VALVES (CBC 402.10).
  6. ALL SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, SHALL HAVE A MINIMUM INTERIOR FLOOR AREA OF 1.024 SQ. Ft. AND ALSO CAPABLE OF GOING PASSING BY SHOWER STALLS (CBC 411.1).
  7. PROVIDE 20" WIDTH CLEAR IN THE 10.5' x 6' COMPARTMENT AND 2' CLEAR IN FRONT OF THE BOWL TO THE WALL (CPC 407.9).
  8. PROVIDE REMOVABLE BACKFLOW PREVENTION DEVICES ON ALL EXTERIOR ROSE BIRS, SHOWER AND TUB-SHOWER CONNECTIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE AND INSTALLED BY A 3/8" STUD WALL.
  9. ALL NEW CONSTRUCTION SHALL HAVE A SECOND WATER TIGHT PAN OF 1/8" FROM THE FLOOR TO THE HOT WATER HEATER SERVING THE FEATURE SHALL BE EQUIPPED WITH A HOT WATER RECIRCULATING SYSTEM.
  11. PLUMBING LINES USED AS CONDENSATE DRAINAGE SHALL BE:
1. VENTING FOR ISLAND FEATURES SHALL BE DESIGNED PER CPC 809.9.
  2. PROVIDE MIN. 18" REMOVABLE ACCESS PANEL OR UTILITY SPACE WITHOUT OBSTRUCTION SO AS TO HAVE CONCEALED SUMP-OUT CONNECTIONS ACCESSIBLE FOR INSPECTION AND REPAIR (CPC 409.2).
  3. THE CIRCULATION MAIN SHALL BE LOCATED ABOVE THE CROWN LINE OF THE TRAP.
  4. THE PUMP AND CIRCULATION PIPING SHALL BE SELF DRAINING TO MINIMIZE WATER RETENTION IN ACCORDANCE WITH STANDARD PRACTICES (CBC 414.1).
  5. SUCTION FITTINGS ON THE WHIRLPOOL BATHS SHALL COMPLY WITH THE LISTED STANDARDS (CPC 414.1).
- MECHANICAL NOTES:**
1. FURNACE OR WATER HEATERS LOCATED IN THE CRAWL SPACE OR ATTIC SHALL HAVE A MIN 30" x 30" ACCESS OPENING LOCATED WITHIN 2' OF THE EQUIPMENT AND A MIN 24" WIDE CONTINUOUS SOLID WALKWAY FROM ACCESS TO UNIT (CAC 904.11, 913A, B & 913C).
  2. MINIMUM 30" ODP UNOBSTRUCTED LEVEL WORKING SPACE IN FRONT OF FURNACE (CAC 904.11, 913A & 913C).
  3. FURNACE LOCATED IN THE GARAGE: ALL AIR OUTLETS THAT PENETRATE THE GARAGE EXTERIOR THROUGH FIRE SEPARATION WALL SHALL BE CONSTRUCTED OF 20 GAUGE STEEL WITH TWO OPENINGS IN THE GARAGE.
  4. WATER HEATERS OR COOLING UNITS LOCATED IN THE ATTIC SHALL HAVE A SECOND WATER TIGHT PAN INSTALLED BENEATH THE UNIT PER CBC 910.7.
  5. APPLIANCES WHICH GENERATE A SLOW SPARC OR FLAME (SUCH AS WATER HEATER AND FURNACE) SHALL BE LOCATED A MINIMUM OF 18 INCHES ABOVE GARAGE FLOOR.



MAIN FLOOR CONSTRUCTION PLAN  
 1/4" = 1'-0"

**SHEET NOTES**

1. THIS FLOOR CONSTRUCTION PLAN IS TO BE USED AS A COMPONENT OF THE PROJECT. THE CONTRACTOR SHALL VERIFY THAT ALL DIMENSIONS AND CONDITIONS ARE AS SHOWN ON THIS PLAN.
  2. ALL PROJECTS WITH WATERPROOF DECKS WILL REQUIRE WATER TIGHTNESS. OWNER SHALL BE RESPONSIBLE TO SEAL, CLEAN, OR OTHERWISE MAINTAIN OR REPLACE SEALANT AS RECOMMENDED BY MANUFACTURER OF WATERPROOFING SURFACE.
  3. LANDING AT DOORS TO BE 1/4" WIDE AT EACH DOOR. 1/4" WIDE AT EACH DOOR. 1/4" WIDE AT EACH DOOR. 1/4" WIDE AT EACH DOOR.
  4. PROVIDE 20" WIDE ACCESS PANELS AT EACH DOOR TO BE 1/4" WIDE AT EACH DOOR. 1/4" WIDE AT EACH DOOR. 1/4" WIDE AT EACH DOOR.
  5. FIRE SEPARATION WALLS SHALL BE 2" MIN. OVER FRAMING AT WALLS AND CEILING. ON CHIMNEY DECKS SPACES BETWEEN FIREWALLS SHALL BE 2" MIN. OVER FRAMING AT CHIMNEY DECK.
  6. FIRE SEPARATION WALLS SHALL BE 2" MIN. OVER FRAMING AT WALLS AND CEILING. ON CHIMNEY DECKS SPACES BETWEEN FIREWALLS SHALL BE 2" MIN. OVER FRAMING AT CHIMNEY DECK.
  7. CONCRETE SLAB IS CONCRETE WITH REINFORCING BARS.
  8. SLAB ON GROUND SHALL BE CONCRETE WITH REINFORCING BARS.
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  49. SLAB ON GROUND SHALL BE CONCRETE WITH REINFORCING BARS.
  50. SLAB ON GROUND SHALL BE CONCRETE WITH REINFORCING BARS.
- WALL LEGEND**
- NEW 2x6 WALLS
  - NEW 2x4 WALLS

PROJECT NAME:  
**Frogman Residence**

2891 16TH AVE.  
 CARROLL, CA 93923

APN: 009-034-003

**MOORE DESIGN L.L.C.**

554 ARDEN ST.  
 MONTPELIER, CA 92054  
 951.642.8772 FAX 951.642.8779  
 jmoore@mooredesign.com

PRINT DATE: 1/11/2008

| REVISION | DATE | DESCRIPTION |
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SHEET TITLE:  
**MAIN FLOOR CONSTRUCTION PLAN**

SHEET NUMBER:  
**A2.1**

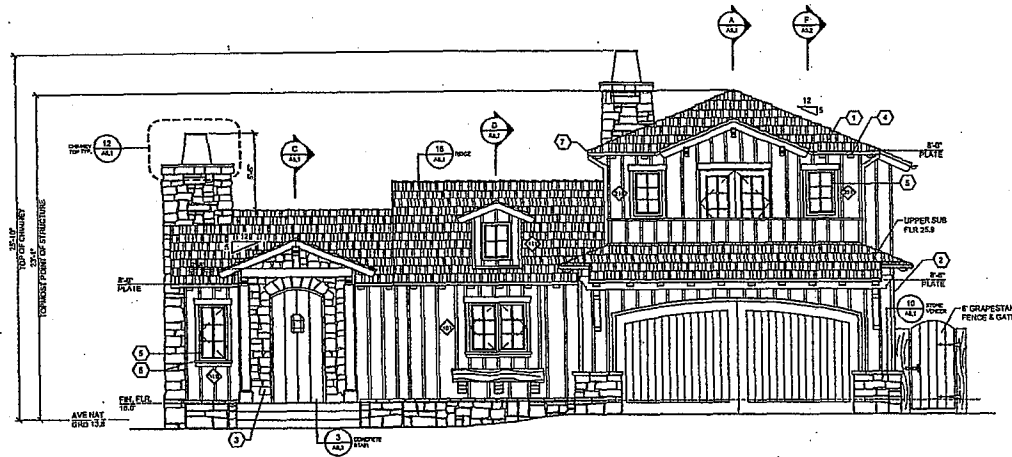


**SHEET NOTES**

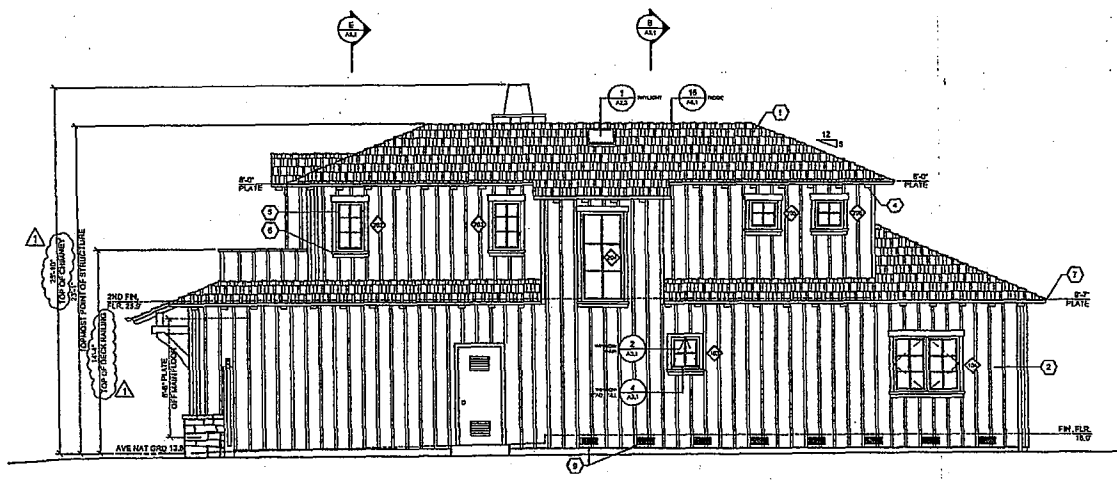
1. ROOF - FIRE TREATED HEAVY SHAKE Laid STAGGERED OVER 2 LAYERS 20# FELT. ROOFING MUST MEET CLASS "A" FIRE RATING
2. WALLS - PAINTED BOARD & BATTEN OVER WATER RESISTANT BARRIER PER DGC 1404.7
3. STONE ACCENTS - CARREL STONE (SEE ELEVATIONS FOR LOCATIONS)
4. EAVE DETAIL - STAINED 4" CEDAR RAFTER TAILS WITH 3" RADIUS END DETAILS.
5. WINDOWS - WOOD CLAD DOUBLE PANE.
6. WINDOW DETAIL - PAINTED SILL MOLDING.
7. GUTTERS - COPPER HALF-ROUND GUTTERS WITH 3" ROUNO DOWNSPOUTS.
8. SKYLIGHT - DARK ANHOODZED FLAT.
9. FOUNDATION VENT - 6"x6" SCREENED

PROJECT NAME:  
**Freeman  
 Residence**  
 2691 16TH AVE.  
 CARMEL, CA 93923  
 APN: 009-394-003

*J.M.M.*  
**John M. Moore  
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 L.L.C.**  
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 MONTEREY, CA 93940  
 831.642.922 FAX 831.642.9120  
 john@mooredesignllc.com



**SOUTH ELEVATION**  
 1/4" = 1'-0"



**EAST ELEVATION**  
 1/4" = 1'-0"

PRINT DATE: 12/11/2008

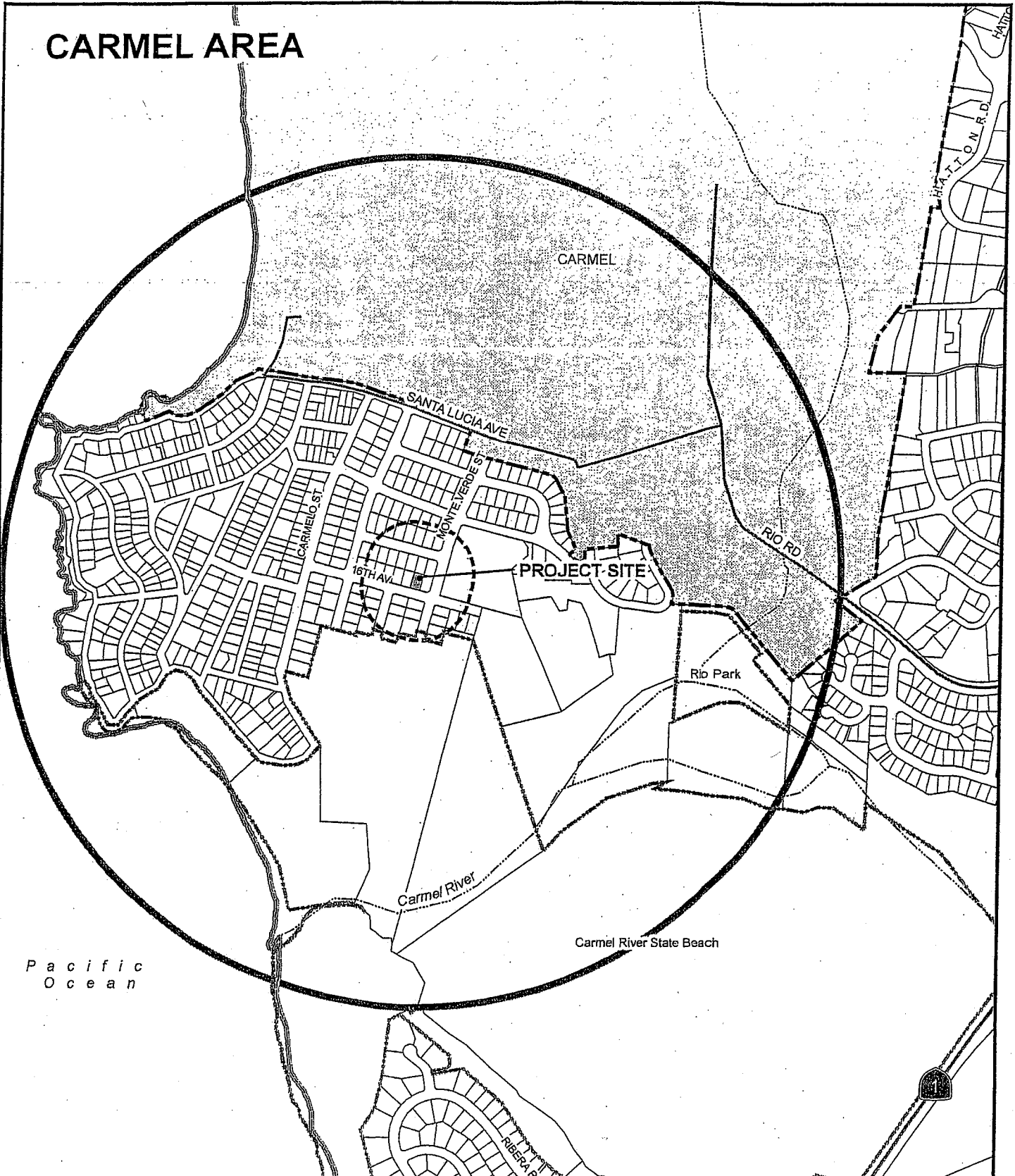
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SHEET TITLE:  
**SOUTH & EAST  
 ELEVATIONS**  
 SHEET NUMBER:  
**A4.1**






# CARMEL AREA

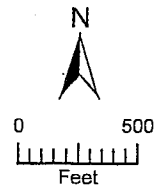


APPLICANT: FREEMAN

APN: 009-394-003-000

FILE # CMB080002

 300' Limit  2500' Limit  City Limits



PLANNER: LISTER