

MIKE NOVO  
ZONING ADMINISTRATOR

COUNTY OF MONTEREY  
STATE OF CALIFORNIA

RESOLUTION NO. 080410

A. P. # 008-022-023-000

In the matter of the application of

**FINDINGS AND DECISION**

**ROBERT LOUIS STEVENSON SCHOOL (PLN080410)**

to allow a **Combined Development Permit** in accordance with Title 20 (Zoning) of the Monterey County Code, for a Coastal Administrative Permit for the construction of a 281 square foot bathroom facility and a 1,745 square foot deck with a renovation to an existing parking area for compliance with handicap parking requirements; 2) a Waiver to allow the removal of 7 hazardous and diseased Monterey Pines ranging in size between 7, 8, 12, 21, 25, and 35 inches in diameter measured at breast height (DBH) and one 6 & 11 inch double stemmed Coast Live Oak at DBH; and Design Approval. The property is located at 3152 Forest Lake Road, Pebble Beach, Del Monte Forest Land Use Plan before the Zoning Administrator on January 8, 2009.

Said Zoning Administrator, having considered the application and the evidence presented relating thereto,

**FINDINGS**

1. **FINDING: CONSISTENCY** – The project, as described in Condition No. 1 and as conditioned, conforms to the policies, requirements, and standards of the Monterey County General Plan, Del Monte Forest Land Use Plan, and the Monterey County Zoning Ordinance (Title 20), which designates this area as appropriate for development.

**EVIDENCE:** (a) The text, policies, and regulations in the above referenced documents have been evaluated during the course of review of applications.

(b) The property is located at 3152 Forest Lake Road, Pebble Beach, Del Monte Forest Land Use Plan. The parcel is zoned Institutional Commercial with Design Control in the Coastal Zone (“IC-D (CZ)”).

(c) Pursuant to Section 20.44.020, the subject parcel is located in a Design Control Zoning District. Colors and materials proposed will match the existing structure and blend into the surrounding area.

(d) The parcel contains an existing 3,082 square foot Chapel and an existing 155 square foot exterior bathroom.

(e) The proposal consists of a new 1,745 square foot deck and a 281 square foot dressing suite with restroom and the removal of one 6 and 11 inch double-stemmed coast live oak (See Finding #4). Entitlements include:

- The removal of four Coast Live Oak trees pursuant to Section 20.147.050.A);
- Coastal Administrative Permit for the construction of a 1,745 square foot deck and a 281 square foot dressing suite with restroom; and Design Approval.

(f) The proposed project meets the necessary site development standards for the Institutional Commercial zoning district. The project site is located within the Seal Rock Watershed; however, parcels with a commercial land use designation are not subject to the coverage

limitations under Section 20.147.030(b), CIP, Part 5. The project is consistent with the site development standards for IC Districts:

- Height Allowed height measured from the average natural grade for a main structure is 35 feet. The proposed Dressing Suite (DS) and decking attached to the existing Chapel will not exceed a height of 15 feet. The decking will extend from the west side of the chapel on a graduated slope and will not be more than 4 feet in height from grade. The proposed addition is architecturally consistent and compatible with the main structure.
  - Setbacks The existing structure is centrally located within the 2.8 acre parcel. Therefore, the project meets the criteria under the IC development standards.
  - Building Site Coverage The project, as proposed, will increase the site coverage of the existing chapel to 4.9%, consistent with the 40% maximum site coverage standards in the IC zoning district. The proposed dressing suite and decking will not exceed the allowable site coverage on the property.
- (g) Based on information and materials provided, plus Staff site visit conducted in September of 2008 to verify that the project on the subject parcel conforms to the plans listed above. The project has no issues relative to archaeological, historic and biological resources. Proposed development will be located in an existing disturbed area.
- (h) The project was not referred to the Del Monte Forest Land Use Advisory Committee for review. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors per Resolution No. 04-236, this application did not warrant referral to the LUAC because the project does not involve slope restrictions; the project does not involve ridgeline/viewshed development; and the project is exempt from CEQA. The Board of Supervisors has adopted new guidelines per Resolution 08-338 to which this application was not subject.
- (i) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN080410.

**2. FINDING: SITE SUITABILITY** – The site is physically suitable for the use proposed.

**EVIDENCE:** (a) The project has been reviewed for site suitability by the following departments and agencies: RMA - Planning Department, Pebble Beach Community Services District, Public Works, Environmental Health Division, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended by the Pebble Beach Community Services District have been incorporated.

(b) Technical reports by outside archaeological and arborist consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. Although the project is located within a high archaeological area, the results from the report were negative. However, a condition has been incorporated to require all work to be stopped, if during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (Condition #3). County staff concurs. The following reports have been prepared:

- "Preliminary Archaeological Reconnaissance" (LIB08021) prepared by Archaeological Consulting, Salinas CA, February 27, 1992.

- "Forest Management Plan addendum prepared by Staub Forestry Environmental Consulting (LIB080007) and supplemental update (LIB080623), dated March 30, 2007 & September 17, 2008.

- (c) Staff conducted a site visit in September of 2008 to verify that the site is suitable for this use.
- (d) Materials in Project File PLN080410.

**3. FINDING: CEQA (Exempt):** - The project is categorically exempt from environmental review.

- EVIDENCE:**
- (a) The project is exempt from CEQA review based on Class 1 Section 15301 (e) (2) of the California Environmental Quality Act, which allow additions to existing structures not exceeding 10,000 square feet. All public services are available to the subject property, which would allow the Stevenson School properties to be developed to their maximum intensification under the current Land Use Designation.
  - (b) Based on information and materials provided, plus site visits, this project has no issues relative to archaeological, historic, or biological resources. Proposed development will be located near existing disturbed area.
  - (c) The amended Forest Management Plan determined that the Monterey pines identified in the amended FMP clearly represent a physical hazard to the public and the Chapel due to the declining condition of the diseased trees. Therefore, the DMF LUP Section 20.147.050 provides for public safety, the protection of structures from hazardous trees, as well as the health of the forest resources through management of diseased trees under the recommendations of a licensed professional Forester.
  - (d) No adverse environmental effects were identified during staff review of the development application during a site visit in September of 2008.
  - (e) See findings 1, 2, 4, and supporting evidence.

**4. FINDING: TREE REMOVAL** - The subject project minimizes tree removal in accordance with the applicable goals and policies of the Del Monte Forest Land Use Plan and Coastal Implementation Plan (Part 5).

- EVIDENCE:**
- (a) The project includes a Waiver Permit for the removal of one Coast Live double stemmed Oak tree and six Monterey Pines ranging in size between 7 and 35 inches in diameter as allowed under Section 20.147.050 2.a. of the DMF LUP.
  - (b) When reviewing requests for tree removal, environmental considerations shall include review of forest plant associations, native soil cover, aesthetic values, as well as maintenance of the overall health of the stand (Policy #31 & 32 of the Del Monte Forest LUP and 20.147.050. D.1 & 2).
  - (c) Forest Management Plan addendum prepared by Staub Forestry and Environmental Consulting, dated September 2008, contained in Project File PLN080410.
  - (d) Section 20.147.050.D.7 of the Monterey County Coastal Implementation Plan, Part 5, states that a Notice of Report will be recorded indicating that a Forest Management Plan was prepared for the site. A standard condition of approval has been incorporated into the projects conditions of approval (Condition #4).
  - (e) Based on the information submitted in the amended Forest Management Plan (FMP), the removal of the trees, stated in the report and visual observation by staff with regard to

hazardous conditions will not involve a risk of adverse environmental impacts as provided under the DMF LUP and the current FMP.

5. **FINDING: NO VIOLATIONS** - The subject property complies with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property. Zoning violation abatement costs, if any, have been paid.

**EVIDENCE:** Staff reviewed Monterey County RMA - Planning Department and Building Services Department records and is not aware of any violations existing on subject property.

6. **FINDING: PUBLIC ACCESS:** The project is in conformance with the public access and public recreation policies of the Coastal Act and Local Coastal Program, and does not interfere with any form of historic public use or trust rights. No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.70.050.B.4.c of the Monterey County Coastal Implementation Plan; can be demonstrated.

**EVIDENCE:** (a) The subject property is not described as an area where the Local Coastal Program requires access.

(b) The subject property is not indicated as part of any designated trails or shoreline access as shown in Figure 15, the Recreational Facilities Map, and Figure 16, the Shoreline Access Map, of the Del Monte Forest Area Land Use Plan.

(c) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.

(d) Staff site visit in September of 2008.

7. **FINDING: HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

**EVIDENCE:** See Findings 1, 2, 3 and 4, and supporting evidence.

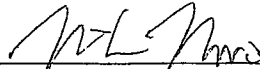
8. **FINDING: APPEALABILITY** - The decision on this project is appealable to the Board of Supervisors.

**EVIDENCE:** Section 20.86.040 of the Monterey County Zoning Ordinance (Title 20)

### DECISION

It is the decision of the Zoning Administrator of the County of Monterey that said application for a Combined Development Permit be granted as shown on the attached sketch and subject to the attached conditions.

**PASSED AND ADOPTED** this 8th day of January 2009.



MIKE NOVO, ZONING ADMINISTRATOR

COPY OF THIS DECISION MAILED TO APPLICANT ON JAN 16 2009

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK OF THE BOARD OF SUPERVISORS ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE JAN 26 2009

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE BOARD OF SUPERVISORS. IT IS NOT APPEALABLE TO THE COASTAL COMMISSION

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90<sup>th</sup> day following the date on which this decision becomes final.

\*NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning and Building Inspection Department office in Monterey.

2. This permit expires 2 years after the above date of granting thereof unless construction or use is started within this period.

**Monterey County Resource Management Agency Planning  
Department  
Condition Compliance and/or Mitigation Monitoring Reporting  
Plan**

**Project Name:** Robert Louis Stevenson School

**File No:** PLN080410

**APNs:** 008-022-023-000

**Approved by:** Zoning Administrator **Date:** January 8, 2009

*\*Monitoring or Reporting refers to projects with an EIR or adopted Mitigated Negative Declaration per Section 21081.6 of the Public Resources Code.*

Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
1.		<p><b>PD001 - SPECIFIC USES ONLY</b>            This Coastal Administrative Permit (PLN080410) allows the construction of a 281 square foot bathroom facility and a 1,745 square foot deck to allow outdoor weddings, with a renovation to an existing parking area for compliance with handicap parking requirements; 2) A Waiver to allow the removal of 6 hazardous and diseased Monterey Pines ranging in size between 7 and 35 inches in diameter measured at breast height (DBH) and one 6 &amp; 11 inch double stemmed Coast Live Oak at DBH; and Design Approval. The property is located at 3152 Forest Lake Road, Pebble Beach, Del Monte Forest Lands User Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the following terms and conditions. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of the RMA - Planning Department. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the</p>	Adhere to conditions and uses specified in the permit.	Owner/ Applicant	Ongoing unless other-wise stated	

		County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning Department)			
2.		<p><b>PD002 - NOTICE-PERMIT APPROVAL</b></p> <p>The applicant shall record a notice which states: "An Administrative Permit (Resolution 080410) was approved by the Zoning Administrator for Assessor's Parcel Number 008-022-023-000 on January 8, 2009. The Administrative Permit was granted subject to 15 conditions of approval which run with the land. A copy of the Development Permit is on file with the Monterey County RMA - Planning Department."</p> <p>Proof of recordation of this notice shall be furnished to the Director of the RMA - Planning Department prior to issuance of building permits or commencement of the use. (RMA - Planning Department)</p>	Proof of recordation of this notice shall be furnished to the RMA - Planning Department.	Owner/ Applicant	Prior to the issuance of grading and building permits or commencement of use.
3.		<p><b>PD003(A) – CULTURAL RESOURCES – NEGATIVE ARCHAEOLOGICAL REPORT</b></p> <p>If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. The Monterey County RMA - Planning Department and a qualified archaeologist (i.e., an archaeologist registered with the Society of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery. (RMA - Planning Department)</p>	Stop work within 50 meters (165 feet) of uncovered resource and contact the Monterey County RMA - Planning Department and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.	Owner/ Applicant/ Archaeologist	Ongoing

4.	<p><b>PD016 – NOTICE OF REPORT</b>  Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states: "Forest Management Plan addendum prepared by Staub Forestry Environmental Consulting (LIB080622) and supplemental update (LIB080623), dated March 30, 2007 &amp; September 17, 2008. and is on record in the Monterey County RMA - Planning Department, under file number: PLN080410. All development shall be in accordance with this report." (RMA – Planning Department)</p>	<p>Proof of recordation of this notice shall be furnished to the RMA - Planning Department.</p>	<p>Owner/ Applicant</p>	<p>Prior to the issuance of grading and building permits.</p>	
5.	<p><b>SPPD0001 – TREE REPLACEMENT</b>  The tree planting plan shall be in sufficient detail to identify the location, species, and size of the plantings. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the trees as required by the Forest Management Plan. Before final of the Building Permit. Either tree planting shall be installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County RMA - Planning Department. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.</p>	<p>Either landscaping shall be installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County RMA - Planning Department.</p>	<p>Owner/ Applicant/ Licensed Landscape Contractor/ Licensed Landscape Architect</p>	<p>Prior to Occupancy</p>	
6.	<p><b>PD011 – TREE AND ROOT PROTECTION</b>  Trees which are located close to the construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by a certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of the RMA – Director of Planning. If there is any potential for damage, all work must stop in the area and a report with mitigation measures, shall be submitted by a certified arborist. Should any additional trees not</p>	<p>Submit evidence of tree protection to the RMA - Planning Department for review and approval.</p>	<p>Owner/ Applicant</p>	<p>Prior to the issuance of grading and/or building permits</p>	
		<p>Submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.</p>	<p>Owner/ Applicant/ Arborist</p>	<p>During Construction</p>	



		included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (RMA - Planning Department)	Submit photos of the trees on the property to the RMA – Planning Department after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.	Owner/ Applicant	Prior to final inspection	
7.		<b>PD016 – NOTICE OF REPORT</b> Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states: "A(n) Archeological report has been prepared for this parcel by Archeological Consulting, dated February 27, 1992 and is on record in the Monterey County RMA - Planning Department , Library No. 080621. All development shall be in accordance with this report." (RMA – Planning Department)	Proof of recordation of this notice shall be furnished to the RMA - Planning Department.	Owner/ Applicant	Prior to the issuance of grading and building permits.	
8.		<b>PD014(A) – LIGHTING – EXTERIOR LIGHTING PLAN</b> All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The applicant shall submit 3 copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations, Title 24, Part 6. The exterior lighting plan shall be subject to approval by the Director of the RMA - Planning Department, prior to the issuance of building permits. (RMA – Planning Department)	Submit three copies of the lighting plans to the RMA - Planning Department for review and approval. Approved lighting plans shall be incorporated into final building plans.	Owner/ Applicant	Prior to the issuance of building permits.	
			The lighting shall be installed and maintained in accordance with the approved plan.	Owner/ Applicant	Ongoing	
9.		<b>PW0007 – PARKING STD</b> The parking shall meet the standards of the Zoning Ordinance and be approved by the Director of Public Works and the Director of Planning. (Public Works)	Applicant's engineer or architect shall prepare a parking plan for review and approval.	Owner/ Applicant/ Engineer	Prior to Building/ Grading Permits Issuance	
10.		<b>SPD002 - SPECIFIC REQUIREMENTS FOR NOISE COMPLIANCE</b> The Project shall comply with the Noise Element of the Monterey County General Plan and Chapter 10.60 (Noise Control) of the Monterey County Code. In addition the project shall comply with the following specific requirement:	Comply with the Noise Element of the Monterey County General Plan and Chapter 10.60 (Noise Control) of the Monterey County Code. In addition, the project shall comply with the specific requirement laid out on this condition.	Owner/ Applicant	Continuou s	

		1. Events such as concerts, orchestras, weddings, or similar events with the potential for noise impacts shall not be allowed after 10 p.m. unless otherwise approved by the Directors of Environmental Health and the Planning and Building Inspection Department. (RMA – Planning Department)				
11.		<p><b>WR40 - WATER CONSERVATION MEASURES</b></p> <p>The applicant shall comply with Ordinance No. 3932, or as subsequently amended, of the Monterey County Water Resources Agency pertaining to mandatory water conservation regulations. The regulations for new construction require, but are not limited to:</p> <p>a. All toilets shall be ultra-low flush toilets with a maximum tank size or flush capacity of 1.6 gallons, all shower heads shall have a maximum flow capacity of 2.5 gallons per minute, and all hot water faucets that have more than ten feet of pipe between the faucet and the hot water heater serving such faucet shall be equipped with a hot water recirculation system.</p> <p>b. Landscape plans shall apply xeriscape principles, including such techniques and materials as native or low water use plants and low precipitation sprinkler heads, bubblers, drip irrigation systems and timing devices. (Water Resources Agency)</p>	Compliance to be verified by building inspector at final inspection.	Owner/ Applicant	Prior to final building inspection/occupancy	
12.		<p><b>WR43 - WATER AVAILABILITY CERTIFICATION</b></p> <p>The applicant shall obtain from the Monterey County Water Resources Agency, proof of water availability on the property, in the form of an approved Monterey Peninsula Water Management District Water Release Form. (Water Resources Agency)</p>	Submit the Water Release Form to the Water Resources Agency for review and approval.	Owner/ Applicant	Prior to issuance of any building permits	
13.		<p><b>FIRE019 - DEFENSIBLE SPACE REQUIREMENTS - (STANDARD)</b></p> <p>Remove combustible vegetation from within a minimum of 30 feet of structures. Limb trees 6 feet up from ground. Remove limbs within 10 feet of chimneys. Additional and/or alternate fire protection</p>	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	

		or firebreaks approved by the fire authority may be required to provide reasonable fire safety. Environmentally sensitive areas may require alternative fire protection, to be determined by Reviewing Authority and the Director of Planning and Building Inspection. <b>Pebble Beach Community Services District</b>	Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	
14.		<b>FIRE029 - ROOF CONSTRUCTION - (CYPRESS FPD &amp; PEBBLE BEACH CSD)</b> All new structures, and all existing structures receiving new roofing over 25 percent or more of the existing roof surface within a one-year period, shall require a minimum of ICBO Class A roof construction. <b>Pebble Beach Community Services District</b>	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	
15.		<b>SPFIRE030 - SMOKE DETECTORS</b> Smoke detectors are required to be installed in the new dressing suite. <b>Pebble Beach Community Services District.</b>	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	

END OF CONDITIONS

# RLS CHURCH IN THE FOREST

## TERRACE/ MINOR ADDITION

### ENTITLEMENTS PACKAGE

RLS Church  
in the Forest  
Minor  
Addition  
3152 Forest Lake Rd.  
Pebble Beach, California

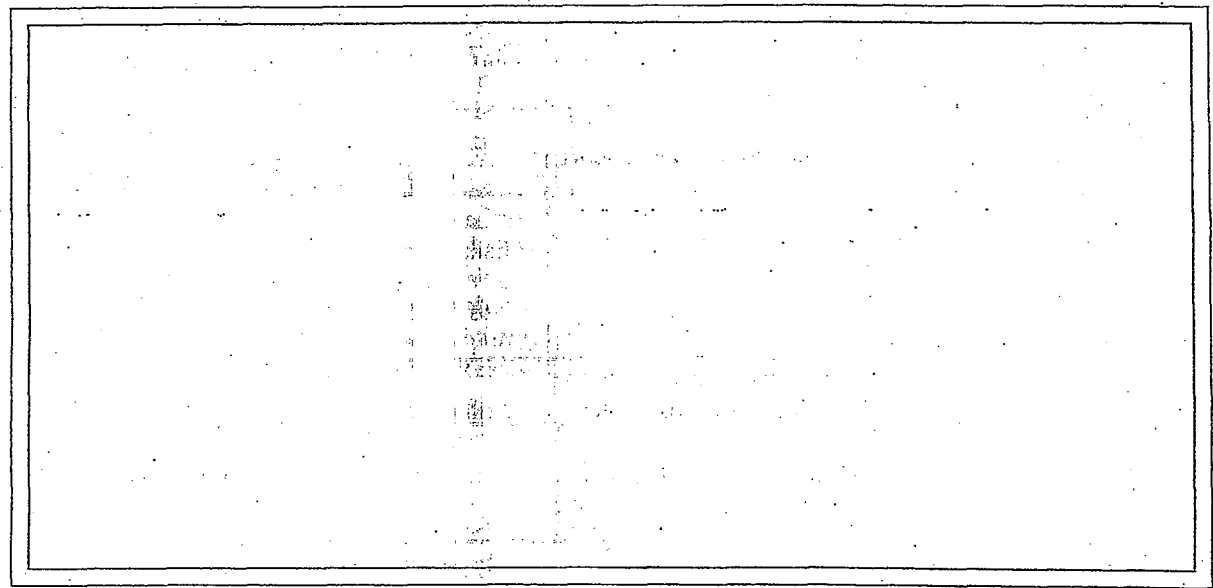


EXHIBIT E

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#### PROJECT DIRECTORY

<b>OWNER</b> STEVENSON SCHOOL 3152 Forest Lake Road Pebble Beach, California 93953 Carmel, California 93921 (831) 825-5305	<b>CITY ENGINEER</b> WHITSON ENGINEERS 2000 Gordon Road, Suite 230 Marina, California 93940 (831) 649-5225
<b>ARCHITECT</b> HORNBERGER + WORSTELL, INC. 170 Maiden Lane, 5th Fl. San Francisco, California 94108 (415) 391-1050	<b>FORESTER</b> STANB FORESTRY & ENVIRONMENTAL CONSULTING 6010 Highway 9, Suite 6 Felton Felton, California 95018 (831) 335-1432
<b>STRUCTURAL ENGINEER</b> HOLMES & CULLEY 130 Sutter Street Suite 400 San Francisco, California 94104 (415) 693-1600	<b>LANDSCAPE ARCHITECTURE</b> D&C 500 Third Street, Suite 215 San Francisco, California 95107 (415) 495-5070
<b>ELECTRICAL &amp; PLUMBING ENGINEERS</b> CB ENGINEERS 449 10th St. San Francisco, California 94103 (415) 437-7330	<b>RICHARDSON DESIGN GROUP</b> CB ENGINEERS 449 10th St. San Francisco, California 94103 (415) 437-7330

#### PROJECT DATA

**PLANNING CODE**  
- MONTEREY COUNTY ZONING COASTAL  
IMPLEMENTATION PLAN - TITLE 20

**BUILDING CODE**  
- 2007 EDITION, CALIFORNIA BUILDING CODE  
CBC 2007 EDITION  
CBC 2007 EDITION  
CBC (ENERGY) 2007 EDITION

**OCCUPANCY CLASSIFICATION**  
- A-100

**END-USE CATEGORY**  
- AREA CATEGORY - SEE SHEET E12.2

**TYPE OF CONSTRUCTION**  
- TYPE: NEW, W/O DEMOLITION  
FOR MINOR ADDITION  
AND/OR RELOC. ONLY TO CITY

**STORIES**  
- EXISTING - ONE  
- ADDITION - ONE

#### DRAWING LIST

**PROJECT ADDRESS**  
- 3152 FOREST LAKE ROAD  
PEBBLE BEACH, CA 93953  
(831) 825-5305

**PARCEL NUMBER**  
- 009-021-013-000

**PARCEL SIZE**  
- 3.81 ACRES  
122,194.55/43,030 sq. ft.

**SEE SHEET ALSO CAMPUS PLAN FOR  
LOT LINE DESCRIPTIONS**

**PROJECT AREAS**  
- SEE SHEETS A1.01

**PROJECT DESCRIPTION**  
- THIS PROJECT CONSISTS OF A NEW  
WOOD PULP MILL OF (1) CHIMNEY  
BUNKER, (2) (3) ACCESSORY  
BATHROOM BUILDING AND NEW  
ACCESSORY BUILDING SHEET  
ACCESSIBLE BATHROOM ADDITION AS  
SHOWN ON THE PLANS.

**ARCHITECTURAL DRAWINGS:**

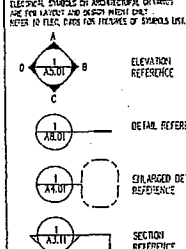
- A0.01 INDEX/ COVER SHEET
- A1.00 APPROPRIATIONS/ADVISORY/NOTES VENTURE PLAN
- A1.01 SITE PLAN/ ACCESSIBLE PARKING
- F1.10 SURVEY/ TREE WORK/ LANDSCAPE WORK
- A1.02 FLOOR PLAN
- A1.03 SECTIONS/ ELEVATIONS
- A1.04 EXTENSION ELEVATIONS

INDEX /  
COVER SHEET

A0.00

**ARCHITECTURAL SYMBOLS**

ELECTRICAL SYMBOLS OR ARCHITECTURAL SYMBOLS ARE FOR HATCHING AND SCREEN PATTERN ONLY. REFER TO TYPED NOTES FOR DETAILS OF SYMBOLS LIST.



LEVEL 2  
F.F.L. - XX

COLUMN OR GRID LINE

ROOM NAME AND NUMBER

GUEST ROOM/APART. DESIGNATOR

DOOR NUMBER (SEE DOOR SCHEDULE)

WINDOW NUMBER (SEE WINDOW SCHEDULE)

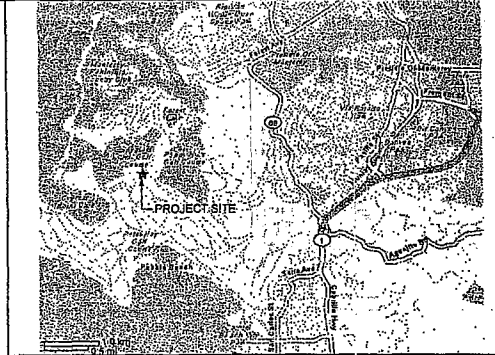
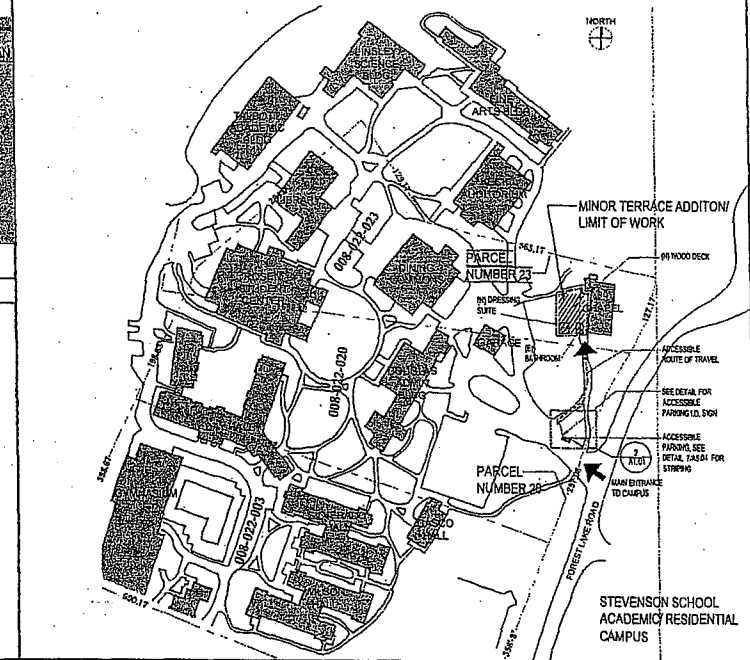
PARTITION TYPE

ASSEMBLY TYPE

REVISION SYMBOL

**ABBREVIATIONS**

AGG.	Aggregate	F.E.	Fire Extinguisher	PLYM.	PLYWOOD	PL	Plaster
ANG.	Angle	F.F.C.	Fire Extinguisher Cabinet	PRE.	PRESENT	PR.	Present
AP.	Aperture	F.H.	Fire Hose Cabinet	P.A.	PARTITION	P.B.	Paint
ASPH.	Asphalt	F.H.S.	Fire Hose Cabinet	P.D.	PAPER	P.T.O.	Paper Towel Dispenser
ASPH.C.	Asphalt Concrete	F.H.S.	Fire Hose Cabinet	P.T.D.	PAPER TOWEL DISPENSER	P.W.	Paper Towel Wipe
ASPH.P.	Asphalt Paving	F.H.S.	Fire Hose Cabinet	P.W.	PAPER TOWEL WIPER	P.Y.	Paper Towel Yarn

**VICINITY MAP****CAMPUS PLAN**

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**RLS Church in the Forest**  
Minor Addition  
3152 Forest Lake Rd.  
Pebble Beach, California

**NOTES****DEMOLITION NOTES**

- SEE SHEET A-11 FOR DEMOLITION SCOPE

- CONTRACTOR AND SUBCONTRACTORS SHALL NOT AND CANNOT CHANGE THESE PORTIONS OF THE BUILDING AND SITE, ALTERED BY THIS WORK, BEFORE SUBMITTING PROPOSALS, SO AS TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND DIFFICULTIES THAT WILL AFFECT EXECUTION OF THE WORK.
- PROVIDE TEMPORARY BARRICADES, PEDESTRIAN ACCESS WAYS, A PROTECTION AS REQUIRED, IN COORDINATION WITH OWNER, FIRE DEPARTMENT, AND LOCAL CODES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF EXISTING UTILITIES TO REMAIN AND SHALL REPAIR ANY DAMAGES PRIOR TO COMPLETION OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SHOPPING, PRISING, SHAVING AND OTHER TEMPORARY SUPPORT NECESSARY FOR THE PROPOSED ALTERATIONS TO THE EXISTING STRUCTURES. COORDINATE WITH THE ARCHITECTURAL DRAWINGS.
- ALL UTILITIES UNLESS OTHERWISE INDICATED BY THE ARCHITECT SHALL BE DEEMED TO BE UNLIT AND UNTESTED. ALL UTILITIES SHALL REMAIN UNLESS OTHERWISE NOTED.
- OWNER SHALL HOLD HAZARDOUS AND TOXIC SUBSTANCES AT ALL TIMES AND SHALL BE RESPONSIBLE FOR REMEDIATION OF HAZARDOUS MATERIALS AND SUBSTANCES AS DETERMINED.
- REMOVE AND DISPOSE OF ANY CONSTRUCTION NOT INDICATED TO REMAIN AND NOT ON DESIGN WITH OR REMOVED FOR COMPLETION OF NEW CONSTRUCTION.
- QUESTIONS THROUGHOUT THESE CONTRACT DOCUMENTS ARE TAKEN FROM ORIGINAL DRAWINGS AND ARE TO FIELD VERIFIED.
- COORDINATE DEMOLITION WITH THE NEW CONSTRUCTION DRAWINGS FOR DEMOLITION, SHIELDING, PROTECTION AND RESTORATION OF EXISTING UTILITIES. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND THE EXTENT OF DEMOLITION PRIOR TO DEMOLITION COMMENCEMENT.
- COORDINATE DEMOLITION WITH ARCHITECTURAL, STRUCTURAL, AND ELECTRICAL DRAWINGS.
- IN AREAS OF DEMOLITION, REMOVE ALL DRYWALL PARTITIONS, FLOOR FINISHES, FURRETT WALLS, DOORS AND DOOR FRAMES, CEILING AND CEILING COMPONENTS IN THEIR ENTIRETY, UNLESS OTHERWISE NOTED.
- REMOVE EXISTING INTERIOR FINISHES ONLY WHERE INDICATED OTHERWISE. COORDINATE WITH ARCHITECT REGARDING ALL FINISHES CONTRACTOR PROPOSES FOR REMOVAL PRIOR TO REMOVAL.

**GENERAL NOTES**

- THE DRAWINGS, TOGETHER WITH THE SPECIFICATIONS ARE PART OF THE CONTRACT DOCUMENTS GOVERNING THE INTENT OF THE CONSTRUCTION, ALTERATION AND DEMOLITION TO COMPLETE THE WORK. TOGETHER THE DRAWINGS AND SPECIFICATIONS ARE INTENDED AS YOUR GUIDANCE AND REQUER THE CONTRACTOR TO COMBINE THEIR INSTRUCTIONS AND REASONABLE JUDGEMENT.
- ALL WORK SHALL COMPLY WITH THE STANDARDS ESTABLISHED BY LOCAL CODES. THE CONTRACTOR SHALL SECURE ALL LICENSES, PERMITS, AND OTHER CERTIFICATES REQUIRED BY THE GOVERNING REGULATORY AGENCIES HAVING JURISDICTION OVER THIS PROJECT.
- THE ARCHITECT HAS NOT VISITED ALL EXISTING CONDITIONS OR DIMENSIONS. THESE DRAWINGS HAVE BEEN PREPARED FROM COMMERCIAL AND OTHERWISE ACCEPTED PROFESSIONAL PRACTICES FOR THEIR USE IN SHOWING EXISTING CONDITIONS, BUT THE ARCHITECT MAKES NO WARRANTY, EITHER EXPRESSED OR IMPLIED, FOR THE ACCURACY OF COMPLETENESS SHOWN HEREIN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, ORDINANCES, APPROVALS, LICENSES, AND REGULATIONS FROM ALL APPLICABLE AGENCIES. CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES. CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES. CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES.
- CONTRACTOR ACCESS TO THE PROJECT AND DELIVERY PORTER SHALL COMPLY WITH LOCAL REGULATORY CODES, SUBORDINATE RULES AND OWNER'S RESTRICTIONS.
- ALL SITE UTILITIES SHALL BE FIELD VERIFIED BY THE CONTRACTOR IN ACCORDANCE WITH THE APPLICABLE CODES AND THE DESIGNER'S PERFORMANCE CRITERIA OF THE CONTRACT DOCUMENTS. CONTRACTOR SHALL FIELD VERIFY ALL UTILITIES RELATED TO WORK IN WORK.
- THE REGULATIONS FROM ORDINANCE PARTS OF THE MONTEREY COUNTY WATER RESOURCES AGENCY APPLY AS FOLLOWS BUT ARE NOT LIMITED TO:
  - TUBES UTILIZED FOR FLUSH TOILETS SHALL HAVE FLUSH CAPACITY OF 1.6 GALLONS (FOTO OR EQUAL).
  - HOT WATER PLUMBING LOCATED GREATER THAN 10 FEET FROM HOT WATER HEADERS EQUIPPED WITH HOT WATER RECIRCULATING SYSTEM.
- THE ARCHITECT IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES BETWEEN ARCHITECTURAL/STRUCTURAL/MECHANICAL/PLUMBING/FIRE PROTECTION/ELECTRICAL DRAWINGS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL BE FIELD VERIFYING ALL SITE CONDITIONS, CONDITIONS AND EXISTING UTILITIES FOR ARCHITECTURAL, HISTORICAL, CULTURAL OR PALEONTOLOGICAL FINDINGS. SHOULD THE CONTRACTOR SUSPECT SUCH A FINDING, HALT ALL WORK WITHIN A 100 RADIIUS OF FINDING AND IMMEDIATELY CONTACT ARCHITECT.

**VICINITY & PLOT PLAN ABBREVIATIONS GENERAL/NOTES**

A1.00

RLS Church  
in the Forest  
Minor  
Addition

3152 Forest Lake Rd.  
Pebble Beach, California

CURB RAMP REQUIRED  
WHEN WALK IS AT  
DIFFERENT LEVEL THAN  
PARKING ELEVATION.

NOTE THAT RAMPS ARE  
NOT ALLOWED TO  
ENCROACH INTO  
LOADING/UNLOADING  
ZONES, PARKING  
SPACES OR VEHICULAR  
TRAFFIC LANES.

ACCESSIBLE PARKING  
SIGN (TYP.) ON POST  
OR WALL  
(SEE 8/AS.04)

ACCESSIBILITY EMBLEM  
(SEE 8/AS.04)

EXISTING DRIVEWAY OFF  
FOREST LAKE DRIVE

3'-0" MIN.  
3'-0" MIN.

REMOVE (E) ASPHALT  
CURB

PAINT OUT (E)  
PARKING SHAFT MARKS

EXISTING GRASS AREA

(H) ASPHALT CURB  
(H) PAINTED STRIPING

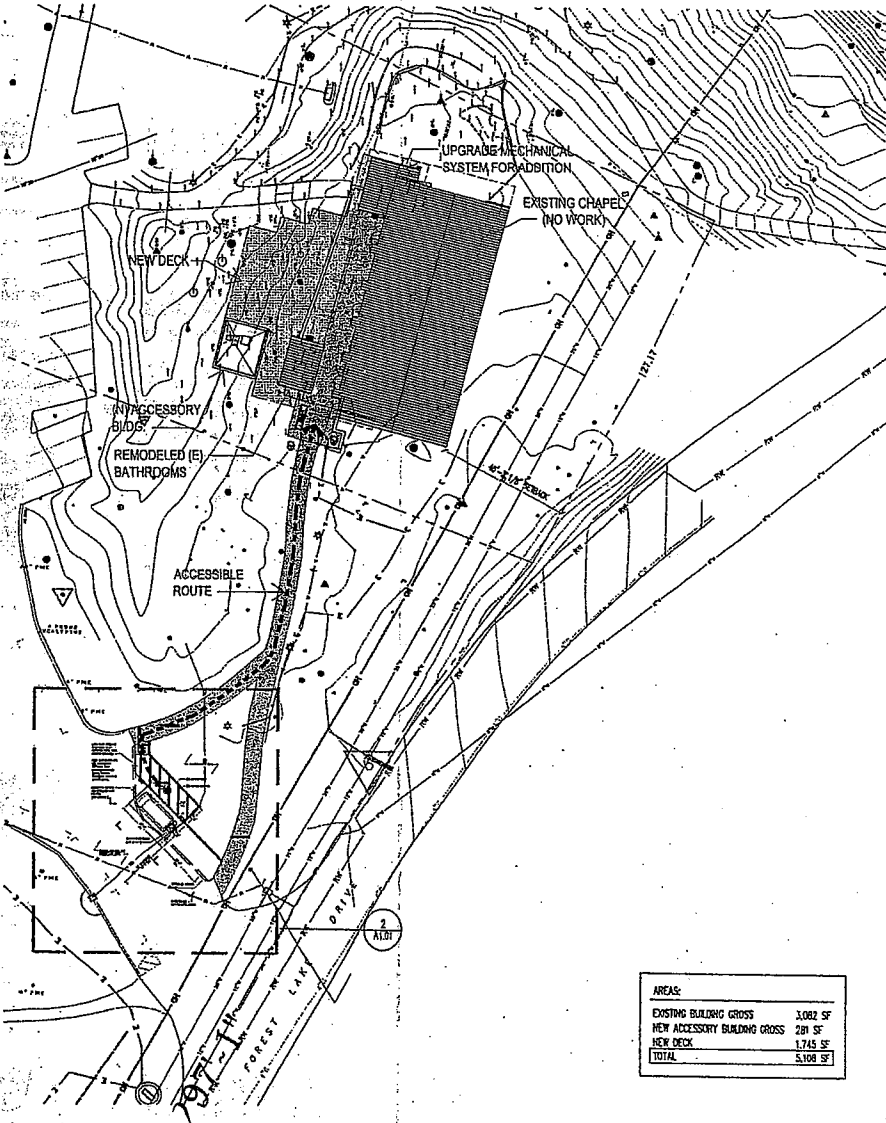
(H) ASPHALT  
PAVING

3'-0" MIN.

3'-0" MIN.

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PINE



AREAS	
EXISTING BUILDING GROSS	3,082 SF
NEW ACCESSORY BUILDING GROSS	281 SF
NEW DECK	1,745 SF
TOTAL	5,108 SF

1 SURVEY AREA OF SCOPE OF WORK  
SCALE 1:100

2 LOCATION OF ACCESSIBLE PARKING  
SCALE 1:5

- NOTES:
- SEE PARKING SPACE IDENTIFICATION SIGNAGE ON DETAIL 8/AS.04
  -

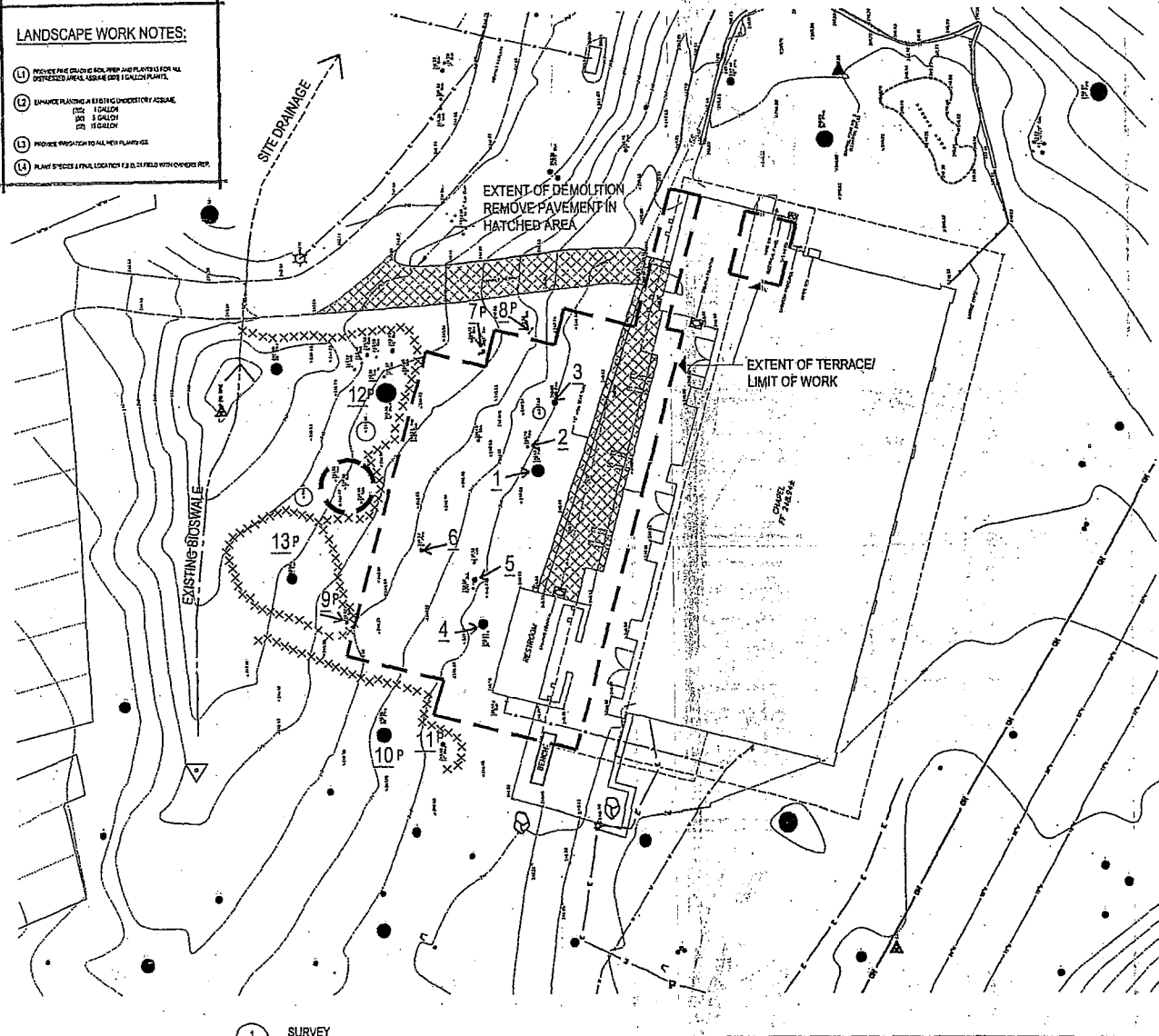
SITE PLAN &  
ACCESSIBLE  
PARKING



A1.01

**LANDSCAPE WORK NOTES:**

- (1) PROTECT THE EXISTING SOIL WHEN AND PLANTED FOR ALL REPOSED AREAS. USE 4.0 GALLON PER 1 GALLON PLANTS.
- (2) BANISH PLANTING A BOTTLE INDUSTRY ASSOCIATION. USE 1.0 GALLON PER 1 GALLON PLANTS.
- (3) PROVIDE PROTECTION FOR ALL NEW PLANTING.
- (4) PLANT SPECIES AND LOCATION IS LISTED WITH OVERSEER REPORT.



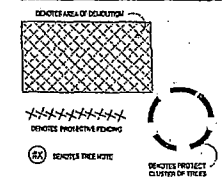
**TREE WORK SUMMARY NOTES:**

- (1) TREES INDICATED WITH 'P' = PROTECT TREE. DUE TO TREE'S HIGH VALUE OR VULNERABILITY.
- (2) SMALL LOCATIONS OF ALL TREES SHALL BE COORDINATED WITH PROJECT OPERATOR AND MONITORED.
- (3) SEE PROTECTION NOTES FOR PROTECT TREE. CONTRACTOR SHALL INSTALL PROTECTIVE FENCING AT THE PERIMETER OF ALL PROTECTED TREES WITHIN 20' OF THE PROTECT PERIMETER. AT THE EDGE OF UNPAVED CONSTRUCTION (WALKWAYS, LINES, AND) IS DEMONSTRATED BY THE PROJECT OPERATOR. PROTECTIVE FENCING SHALL BE AT LEAST 6' HIGH AND CONSTRUCTED OF UNPAVED MATERIAL. PLANTING ON ACHIEVING (TOWARD SUPPORTED BY WOOD OR METAL) SHALL PROTECTIVE FENCING WITH TREE SPECIES SHALL BE INSTALLED ONLY IN CONSULTATION WITH PROJECT OPERATOR AFTER APPROVED TREE REMOVAL, BUT PRIOR TO COMMENCEMENT OF ANY OTHER CONSTRUCTION ACTIVITY. USE OF WOOD OR METAL SHALL BE APPROVED BY THE OPERATOR.
- (4) WHERE TREES ARE REMOVED WITHIN 15' OF LIVE TREES, THE ROOTS OF THE REMOVED TREES SHALL BE SEVERED BEFORE THE STUMP IS EXCAVATED OR GRINDING ROOTS SHALL BE ACCOMPANIED BY GRADING, VERTICAL CUTTING, OR EXCAVATION WITHIN 15' OF THE TREE AS APPROVED BY THE PROJECT OPERATOR.
- (5) SEE GRADING NOTES FOR INDICATIONS OF ADDITIONAL PROTECTIVE FENCING TO BE INSTALLED BY THE OPERATOR. THE CONTRACTOR SHALL STAKE AND OBTAIN ACCESS TO THE BUILDING SITE WITHIN THE AREA OF PROTECTIVE FENCING. LANDSCAPE CONTRACTOR OUTSIDE OF PROTECTIVE FENCING SHALL BE SUPERVISED BY THE OPERATOR. THE CONTRACTOR SHALL ALSO SPECIFICALLY LOCATE PLANTING TO BE MAINTAINED.
- (6) NO STORAGE OF EQUIPMENT OR CONSTRUCTION MATERIALS, PARKING OF VEHICLES OR OPERATION OF EQUIPMENT IS PERMITTED WITHIN THE PROTECTIVE FENCING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTIVE FENCING AND ANY DAMAGE TO THE PROTECTIVE FENCING SHALL BE REPAIRED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTIVE FENCING AND ANY DAMAGE TO THE PROTECTIVE FENCING SHALL BE REPAIRED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTIVE FENCING AND ANY DAMAGE TO THE PROTECTIVE FENCING SHALL BE REPAIRED BY THE CONTRACTOR.
- (7) SPECIAL CONCERN: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTIVE FENCING AND ANY DAMAGE TO THE PROTECTIVE FENCING SHALL BE REPAIRED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTIVE FENCING AND ANY DAMAGE TO THE PROTECTIVE FENCING SHALL BE REPAIRED BY THE CONTRACTOR.
- (8) ALL TREE WORK SHALL BE MONITORED BY STAKE OPERATOR AND DAMAGED AREAS EXISTING USES PHONE NUMBER ON DAILY BASIS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTIVE FENCING AND ANY DAMAGE TO THE PROTECTIVE FENCING SHALL BE REPAIRED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTIVE FENCING AND ANY DAMAGE TO THE PROTECTIVE FENCING SHALL BE REPAIRED BY THE CONTRACTOR.
- (9) SPECIAL CONCERN: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTIVE FENCING AND ANY DAMAGE TO THE PROTECTIVE FENCING SHALL BE REPAIRED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTIVE FENCING AND ANY DAMAGE TO THE PROTECTIVE FENCING SHALL BE REPAIRED BY THE CONTRACTOR.

**NOTES:**

- 1. ALL SURVEY INFORMATION PROVIDED BY THE OPERATOR.
- 2. ALL TREE WORK SHALL BE PROVIDED BY THE OPERATOR AND ENVIRONMENTAL CONSULTING.

**GRAPHIC LEGEND**



**TREE WORK MATRIX**

#	NUMBER	SPECIES	DBH (IN)	HEIGHT (FEET)	RELATIVE CONDITION	PROTECT	NOTES
1	MONTEREY PINE	18"	X	X			REMOVE TREE. SEE TREE NOTE (24)
2	MONTEREY PINE	17"	X	X			REMOVE TREE. SEE TREE NOTE (24)
3	MONTEREY PINE	17"	X	X			REMOVE TREE. SEE TREE NOTE (24)
4	MONTEREY PINE	21"	X	X			REMOVE TREE. SEE TREE NOTE (24)
5	COAST LIVE OAK	8.11"				X	REMOVE TREE. SEE TREE NOTE (24)
6	MONTEREY PINE	6"	X	X			REMOVE TREE. SEE TREE NOTE (24)
7	COAST LIVE OAK	2.9"				X	PROTECT PER NOTES (23, 27, 28, 29)
8	COAST LIVE OAK	8.5"				X	PROTECT PER NOTES (23, 27, 28, 29)
9	COAST LIVE OAK	8"				X	PROTECT PER NOTES (23, 27, 28, 29)
10	MONTEREY PINE	20"				X	PROTECT PER NOTES (23, 27, 28, 29)
11	MONTEREY PINE	17"				X	PROTECT PER NOTES (23, 27, 28, 29)
12	MONTEREY PINE	30"				X	PROTECT PER NOTES (23, 27, 28, 29)
13	LEIGHTON CYPRESS	20"				X	PROTECT PER NOTES (23, 27, 28, 29)
							PROTECT FENCING ALL AROUND
							NO. OF TREES REMOVED: 6

RLS Church in the Forest  
Minor Addition

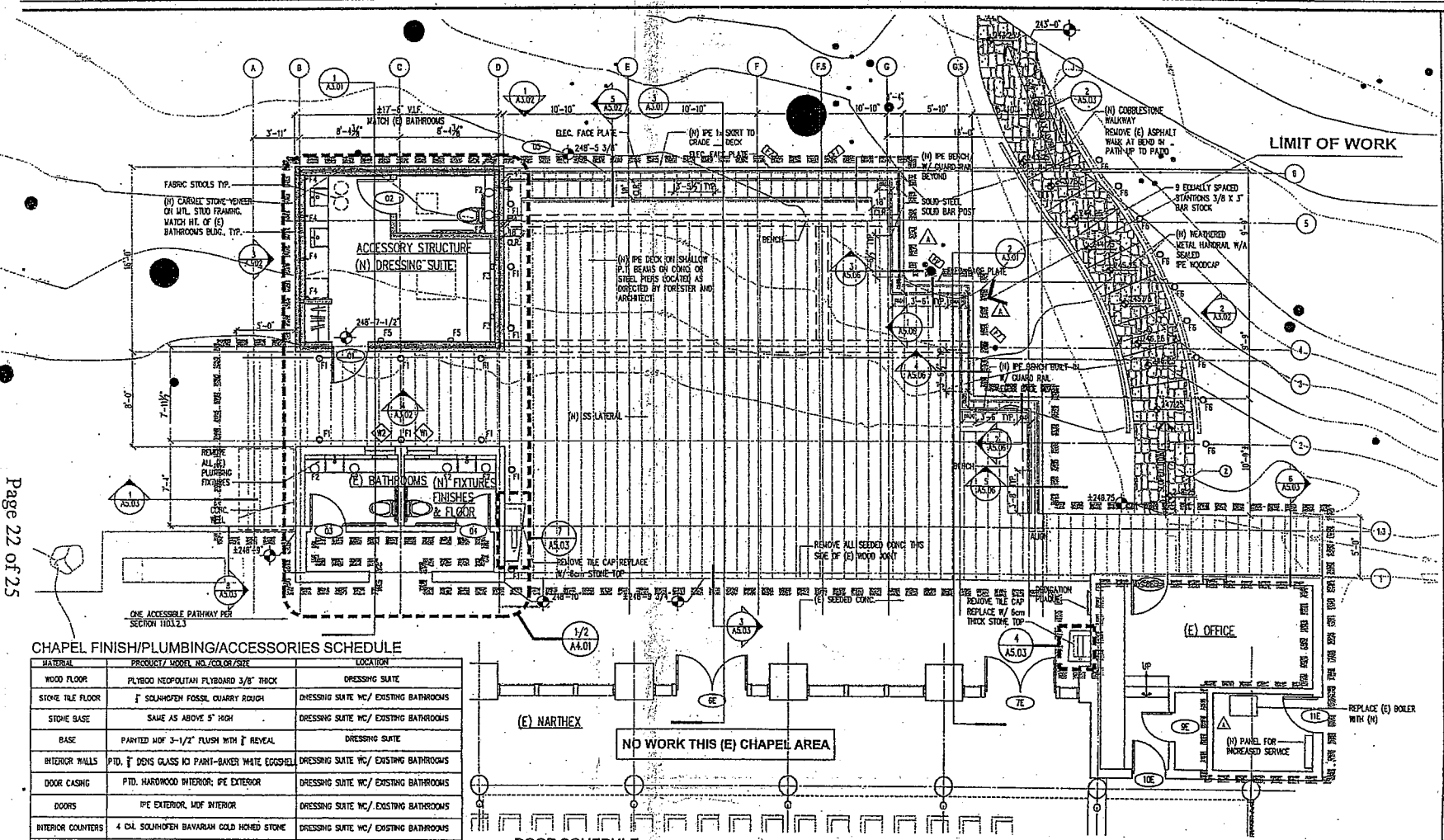
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Pebble Beach, California

Hornberger

Warstell

Architects & Planners  
1700 Market Lane  
San Francisco, CA 94109

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CHAPEL FINISH/PLUMBING/ACCESSORIES SCHEDULE

MATERIAL	PRODUCT/ MODEL NO./COLOR/SIZE	LOCATION
WOOD FLOOR	PLYWOOD METROPOLITAN FLOORBOARD 3/8" THICK	DRESSING SUITE
STONE TILE FLOOR	SOULHOFFEN FOSIL QUARRY ROUGH	DRESSING SUITE WC/ EXISTING BATHROOMS
STONE BASE	SAKE AS ABOVE 5" HIGH	DRESSING SUITE WC/ EXISTING BATHROOMS
BASE	PAINTED W/OF 3-1/2" FLUSH WITH REVEAL	DRESSING SUITE
INTERIOR WALLS	PTD. 1/2" DENS GLASS NO PAINT-BAVER WHITE EGGSHELL	DRESSING SUITE WC/ EXISTING BATHROOMS
DOOR CASING	PTD. HARDWOOD INTERIOR, P/E EXTERIOR	DRESSING SUITE WC/ EXISTING BATHROOMS
DOORS	P/E EXTERIOR, W/OF INTERIOR	DRESSING SUITE WC/ EXISTING BATHROOMS
INTERIOR COUNTERTOPS	4 CM. SOULHOFFEN BAVARIAN GOLD HONED STONE	DRESSING SUITE WC/ EXISTING BATHROOMS
COUNTER SINKS	CUSTOM BY SOULHOFFEN	DRESSING SUITE WC/ EXISTING BATHROOMS
FAUCETS	DORNBRACHT 32 500 823 POLISHED CHROME	DRESSING SUITE WC/ EXISTING BATHROOMS
MIRRORS	1" SAFETY MIRROR	DRESSING SUITE WC/ EXISTING BATHROOMS
BATHRM. ACCESSORIES	BOBRICK COMBO TP/SEAT COVER OPENSER RECESSER	DRESSING SUITE WC/ EXISTING BATHROOMS
TOILETS	TOTO ECONOXUS ADA TOILET CS174EF	DRESSING SUITE WC/ EXISTING BATHROOMS
CERILING SURFACE	PLYBOO BP-118981 1/2"	DRESSING SUITE
DECK/ BECHES/ QUARDRAL	P/E WOOD CLR. SEAL/CARBON STEEL NATURAL PATIN	EXTERIOR DECK AREA
EXTERIOR STONE WALLS	CAPHEL STONE- TO MATCH EXISTING	DRESSING SUITE
DRAINING FIXTURES	8 CM. SOULHOFFEN BEIGE ROUGH	EXTERIOR DECK AREA
LIGHT FIXTURES	LIGHT FIXTURES DESCRIPTION SEE 2/A4.01	INTERIOR AND EXTERIOR SPACES

DOOR SCHEDULE

DOOR /	DOOR NAME	UL RATING	HARDWARE GROUP	OPENING SIZE W X H	DOOR			REMARKS		
					TYPE	HEAD	JAMB			
01	(N) DRESSING SUITE	-	X	3'-0" X 6'-8" X 1 1/2"	-	9/AS.04	9/AS.04	SILL	ENTRANCE	
02	(N) DRESSING SUITE	-	X	3'-0" X 6'-8" X 1 1/2"	-	10/AS.04	10/AS.04	6/AS.04	ENTRANCE	
03	(N) BATHROOMS	-	X	3'-0" X 6'-8" X 1 1/2"	-	9/AS.04	9/AS.04		ENTRANCE	
04	(N) BATHROOMS	-	X	3'-0" X 6'-8" X 1 1/2"	-	9/AS.04	9/AS.04		ENTRANCE	
05	(N) ACCESS DOOR	-	X	SEE ELEV. ON A3.02	-				ACCESS DR	ON DECK SHRT

AREAS:	
EXISTING BLDG GROSS	3,082 sf
ACCESSORY BLDG GROSS	281 sf
NEW DECK	1,745 sf
TOTAL	5,108 sf

- NOTES:
- GENERAL STAIR NOTE: ALL TREADS TO HAVE A 1/2" SLOPE IN THE DIRECTION OF THE STAIR
  - SEE SHEET A4.01 FOR HARDWARE SCHEDULE
  - SEE SHEET A4.01 FOR LIGHT FIXTURE SCHEDULE

SCALE: 1/8" = 1'-0"

DATE: 11/94

BY: [Signature]

PROJECT: RLS Church in the Forest

NO. 1

FLOOR PLAN

A2.01



RLS Church  
in the Forest  
Minor  
Addition

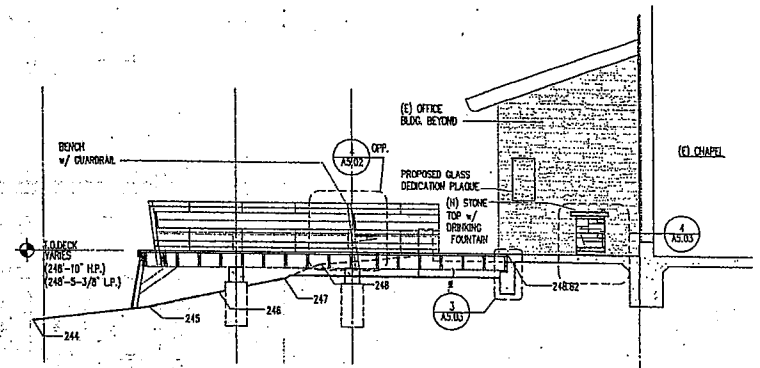
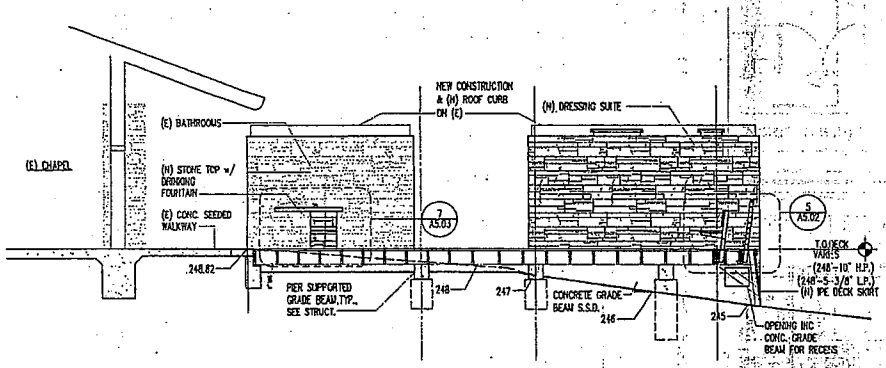
3152 Forest Lake Rd.  
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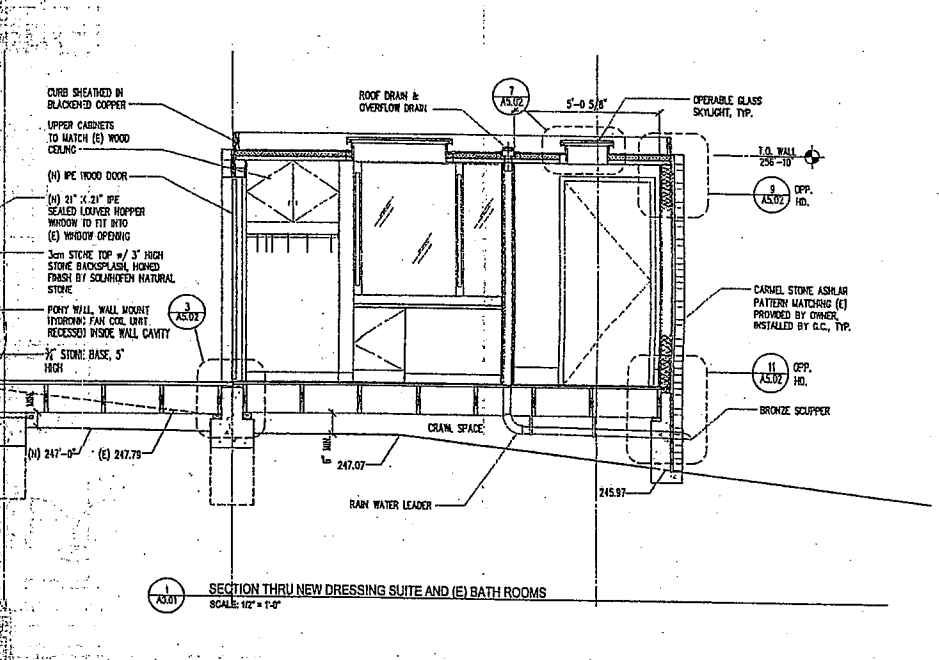
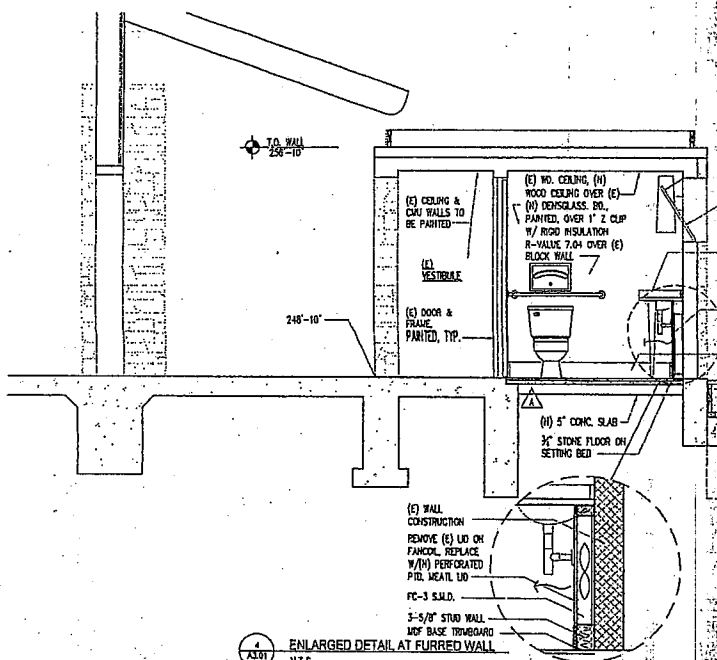
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100 Maiden Lane  
San Francisco, CA 94102

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3 AS.01 SECTION THRU TERRACE LOOKING SOUTH  
SCALE: 1/4" = 1'-0"

2 AS.01 SECTION THRU TERRACE SEATING LOOKING NORTH  
SCALE: 1/4" = 1'-0"



4 AS.01 ENLARGED DETAIL AT FURRED WALL  
N.T.S.

1 AS.01 SECTION THRU NEW DRESSING SUITE AND (E) BATH ROOMS  
SCALE: 1/2" = 1'-0"

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SECTIONS /  
ELEVATIONS

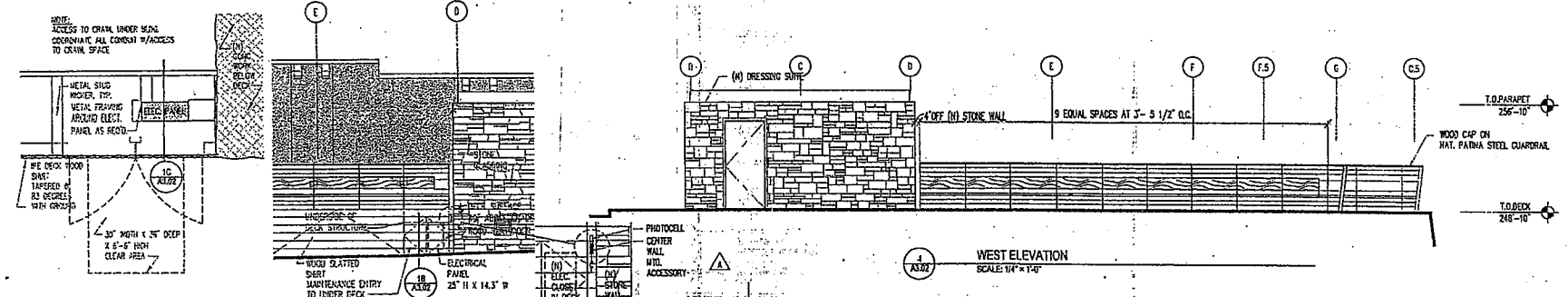
A3.01

RLS Church  
in the Forest  
Minor  
Addition

3152 Forest Lake Rd.  
Pebble Beach, California



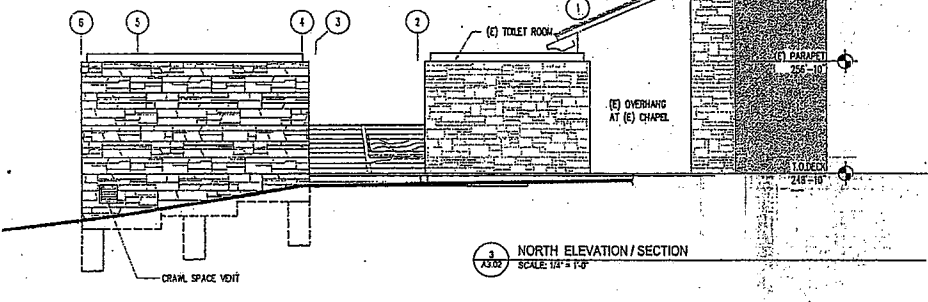
ARCHITECTS & PLANNERS  
1301 BALBOA BLVD.  
SAN FRANCISCO, CALIFORNIA



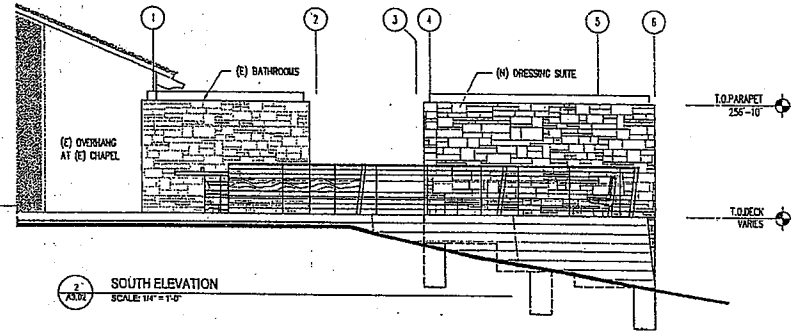
1B PLAN IN FRONT OF ACCESS ELECTRICAL PANEL  
SCALE: 3/4" = 1'-0"

1A ACCESS DOOR TO ELECTRICAL PANEL  
SCALE: 1/4" = 1'-0"

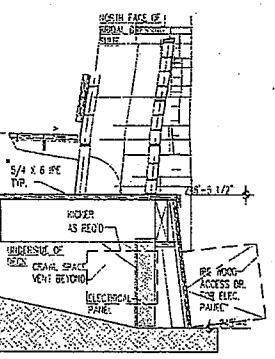
PHOTOCELL LOCATION  
SCALE: 1/2" = 1'-0"



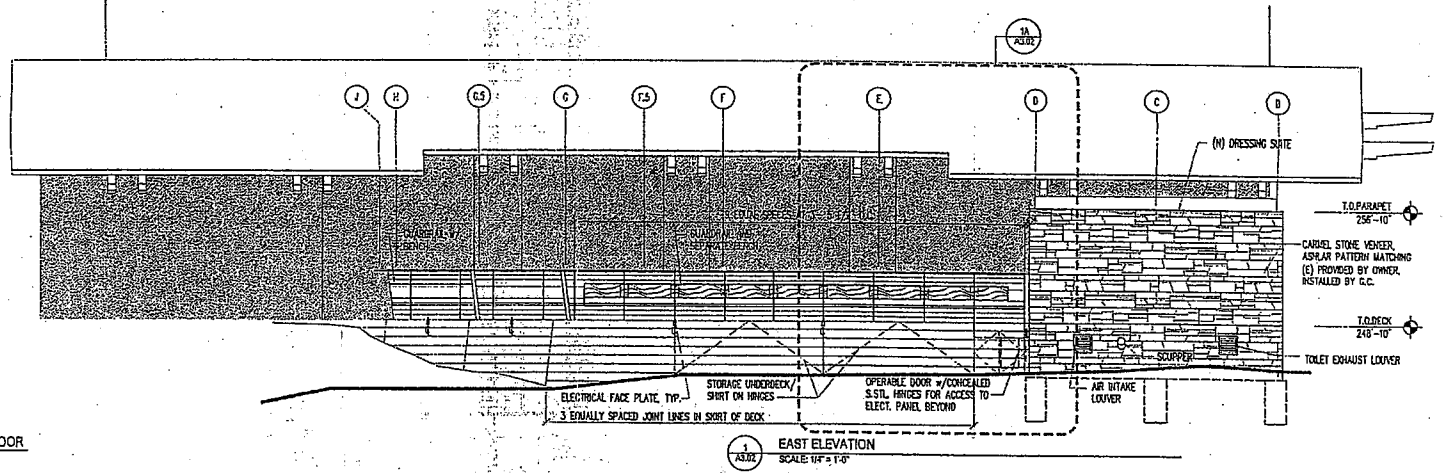
3 NORTH ELEVATION / SECTION  
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



1C DETAIL OF ELECTRICAL PANEL ACCESS DOOR  
SCALE: 3/4" = 1'-0"



1 EAST ELEVATION  
SCALE: 1/4" = 1'-0"

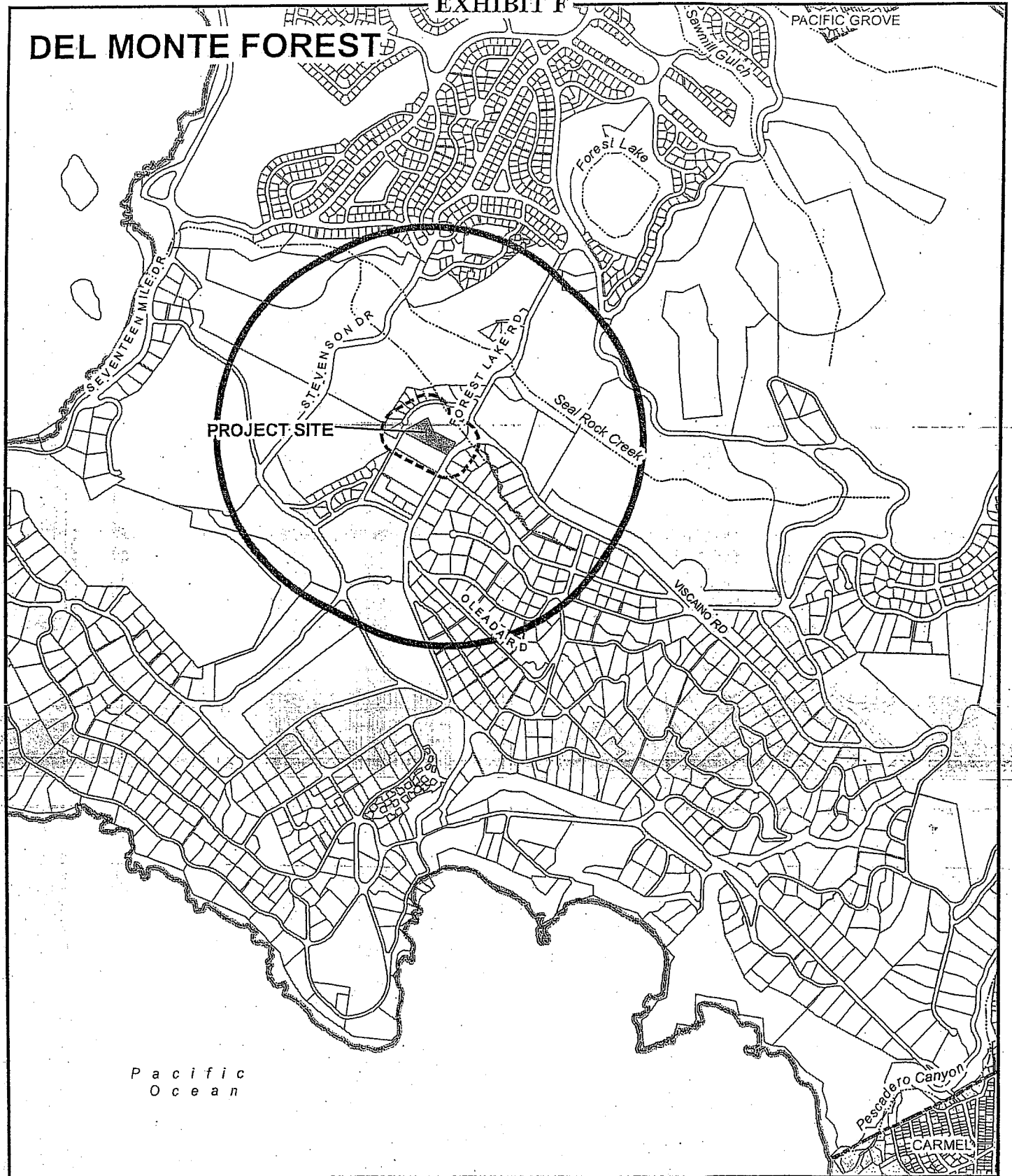
EXTERIOR ELEVATIONS

A3.02

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EXHIBIT F

DEL MONTE FOREST



APPLICANT: ROBERT LOUIS STEVENSON SCHOOL  
 APN: 008-022-023-000 FILE # PLN080410

300' Limit 2500' Limit City Limits

