

**Before the Zoning Administrator in and for the  
County of Monterey, State of California**

In the matter of the application of:

**Rachel Blank (PLN090064)**

**RESOLUTION NO. 090064**

Resolution by the Monterey County Zoning  
Administrator:

Approving a Combined Development Permit consisting of 1) Coastal Administrative Permit to allow the dismantling and removal of an existing 1,394 square foot mobile home and replacement with a two-story 2,027 square foot prefabricated single family dwelling, installation of a new septic system, new water tanks, and grading of less than 100 cubic yards and 2) a Coastal Development Permit to allow grading on slopes exceeding 25% to provide improved access to the site, install a new water line and install a new retaining wall in an existing man made cut slope. (PLN090064, Blank, 8765 Dyer Road, North County Land Use Plan (APN: 129-021-053-000))

**The Blank application (PLN090064) came on for public hearing before the Monterey County Zoning Administrator on July 30, 2009. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:**

**FINDINGS**

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
- EVIDENCE:** a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
- the Monterey County General Plan,
  - North County Coastal Land Use Plan,
  - North County Coastal Land Use Plan, Implementation Plan,
  - Monterey County Zoning Ordinance (Title 20)
- No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
- b) The property is located at 8765 Dyer Road (Assessor's Parcel Number 129-021-053-000, North County Coastal Land Use Plan. The parcel is zoned LDR/2.5 (CZ) [Low Density Residential, 2.5 acres per unit (Coastal Zone)], which allows placement of a single family dwelling on a single lot. Therefore, the project is an allowed land use for this site.
- c) The project planner conducted a site inspection on March 11, 2009 to verify that the project on the subject parcel conforms to the plans listed above.

- d) Development on slopes in excess of 25% is prohibited unless there is no feasible alternative that would allow development to occur on slopes of less than 25%, or the proposed development better achieves the goals, policies and objectives of the Monterey County General Plan and the North County Coastal Land Use Plan than other development alternatives. In this particular case the grading on the slopes in excess of 25% is to provide improved access to the site, to provide clearance for a new septic tank adjacent to the house and to extend a water line. This proposal better achieves the goals, policies and objectives of the Monterey County General Plan, Title 20 and the North County Coastal Land Use Plan because the proposal will provide improved access, especially emergency access. The driveway will be less steep (maximum of 18%) and will have more gradual turning movements. The grading being done for access is on slopes that have already been modified by previous grading. The new water tanks and corresponding water lines will provide better water pressure and improved fire flow. Moving the house down to the lower pad will provide a better site for the house than the location of the existing house. The clearance for the new septic tank will be provided by cutting into an existing cut slope and will simply expand an existing retaining wall. No other grading is needed for the location of the house. Water tanks are being installed to provide better water pressure for this site and the adjacent property. The extension of the water lines to the adjacent property will involve trenching down slopes in excess of 25%, but this will not result in a permanent alteration to the topography.
- e) The project was referred to the North County Coastal Land Use Advisory Committee (LUAC) for review. This application was sent to the LUAC as a courtesy. The LUAC did not have any concerns with the proposed project and recommend approval with a 4-0 vote.
- f) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN090064.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: RMA - Planning Department, North County Fire Protection District, Public Works, Environmental Health Division, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
  - b) Staff conducted a site inspection on March 11, 2009 to verify that the site is suitable for this use.
  - c) A single family residence has existed on this site for over 30 years. The applicant is proposing to remove the existing and install a new home that will also include improved access, and better water pressure. This will be accomplished without doing any additional significant grading, or removing any native oak trees.
  - d) The site has a significant number of native oak trees of various sizes.

None of the proposed improvements intends to remove any of the existing trees. Conditions will be included in the project approval to insure that the trees are fenced prior to grading so that grading impacts will be minimized.

- e) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN090064.

3. **FINDING: HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by RMA - Planning Department, North County Fire Protection District, Public Works, Environmental Health Division, and Water Resources Agency. The respective departments/agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
  - b) Necessary public facilities are available. Water to the site is provided by Dyer Water System #5. The water system has sufficient water, but recent tests have shown a high total coliform count. The applicant has been working with Environmental Health to resolve this issue. A condition has been added to require that the water system purveyor conduct two tests, one for coliform and the second for residual chlorine. These tests must demonstrate that the well water complies with State and County standards prior to issuance of an occupancy permit.
  - c) Sewer for the site is currently provided by an existing septic system. A new septic tank will be installed, and the existing dispersion pits will be used. The site plan shows an adequate future expansion area in the event that the septic system needs to be redone.
  - d) The site plan does include the installation of two new water tanks at the highest point on the site. This will provide for increased water pressure and fire flow for this site and the adjacent property.
  - e) Preceding findings and supporting evidence for PLN090064. The subject site has been the location of an existing mobile home for over 30 years. The removal of this mobile home and replacement with a modular home will not significantly change the use of the site or adversely affect the public health or safety. The project will have a beneficial impact upon public health and safety because it will remove a decaying structure from the site, provide better access to the site, and address the coliform in the water supply.

4. **FINDING: NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No

- violations exist on the property.
- EVIDENCE:** a) Staff reviewed Monterey County RMA - Planning Department and Building Services Department Monterey County records and is not aware of any violations existing on subject property.
- b) Staff conducted a site inspection on March 11, 2009 and researched County records to assess if any violation exists on the subject property.
- c) There are no known violations on the subject parcel.
- d) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN090064
5. **FINDING:** **CEQA (Exempt):** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.
- EVIDENCE:** a) California Environmental Quality Act (CEQA) Guidelines Section 15303(a), categorically exempts the construction of single family residences.
- b) The project proposes to remove an existing structure from the site which is used as a single family residence and replace it with a structure that will also be used as a single family residence.
- c) No adverse environmental effects were identified during staff review of the development application during a site visit on March 11, 2009.
- d) There are not any unique environmental features, (wetlands, environmentally sensitive habitat) that would indicate that it is inappropriate to exempt this project from further environmental review.
- e) See preceding and following findings and supporting evidence.
6. **FINDING:** **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and Local Coastal Program, and does not interfere with any form of historic public use or trust rights.
- EVIDENCE:** a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.144.150 of the Monterey County Coastal Implementation Plan can be demonstrated.
- b) The subject property is not described as an area where the Local Coastal Program requires public access (Figure 4 (Public Access and Recreation) and Figure 6 (Shoreline Access/Trials) in the North County Coastal Land Use Plan).
- c) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
- d) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN090064
- e) The project planner conducted a site inspection on March 11, 2009.
7. **FINDING:** **DEVELOPMENT ON SLOPE** – The proposed development better achieves the goals, policies and objectives of the Monterey County General Plan and North County Coastal Land Use Plan and the Monterey County Zoning Ordinance (Title 20) than other development

alternatives.

**EVIDENCE:** a) In accordance with the applicable policies of the North County Coastal Land Use Plan and the Monterey County Zoning Ordinance (Title 20), a Coastal Development Permit is required and the authority to grant said permit has been met.

b) The project includes application for development on slopes exceeding 25%. There are three components to this, as follows:

1. The house will be placed upon an existing graded pad area. There is an existing retaining wall where the pad has previously been cut. This retaining wall will be moved slightly back into the slope so that the existing septic tank can be relocated away from the house without pushing the house out beyond the existing pad, or encroaching into existing oak trees. Placing the house on this lower pad is preferable to placing the two story structure on the top level of the lot because the structure will blend into the site due to decreased visibility. The minor grading into the existing cut slope is preferable to extending the pad out onto natural grade, and encroaching into the driplines of trees. This retaining wall will be approximately 5 feet high and 25 feet long, and will be completely screened by the house from any views from off site.
  2. Water tanks are being placed on the top of the site to provide water pressure and additional fire flow for the subject site and the adjacent lot. In order to extend the water lines to the adjacent parcel, the trenching for the water lines will cross slopes in excess of 25%. This is a short term impact and will not adversely affect the appearance of the site. The option is to not install this water line, which would require tanks to be installed on the adjacent property, and water lines would still need to be installed across slopes exceeding 25%. One set of tanks with short term grading impacts is preferable to two sets of tanks and the associated grading impacts.
  3. The current driveway configuration requires vehicles accessing the site to travel to the end of the lot and make a sharp right and then drive up a steep driveway. The applicant proposes to begin the driveway near the western side of the lot and allow the driveway to gradually wrap around the hillside and up to the building pad site. Most of the required grading will be on slopes that have previously been modified by past grading. This is a preferable design to the existing design for everyday access and for emergency vehicle access. While the grading will be across slopes in excess of 25% it will not result in significant cut or fill slopes and will not create an erosion problem. The grading proposed better meets the need for safe access to the existing site.
- c) The grading on slopes exceeding 25% slope will not significantly alter the topography of the site, result in significant grading or create a danger to public health and safety.
- d) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN090064.
- e) The project planner conducted a site inspection on March 11, 2009.
- f) The subject project minimizes development on slopes exceeding 25% in

accordance with the applicable goals and policies of the applicable area plan and zoning codes

8. **FINDING: WATER SUPPLY** – The project has an adequate long-term water supply and manages development in the area so as to minimize adverse effects on the aquifers and preserve them as viable sources of water for human consumption.

**EVIDENCE:** a) The existing house has its water supply from Dyer Road Water System # 5. The new house will receive water from the same source.  
b) The subject site is within the North County Water Impact Area, but is also within Zone 2C so it is considered to have a stable long-term source of water.

9. **FINDING: APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission


**EVIDENCE:** a) Section 20.86.030A Monterey County Zoning Ordinance (Board of Supervisors).  
b) Section 20.86.080A Monterey County Zoning Ordinance (Coastal Commission). The project is subject to appeal by/to the California Coastal Commission because the project involves approval of a Coastal Development Permit.

### **DECISION**

**NOW, THEREFORE**, based on the above findings and evidence, the Zoning Administrator does hereby:

Approve the Combined Development Permit consisting of 1) Coastal Administrative Permit to allow the dismantling and removal of an existing 1,394 square foot mobile home and replacement with a two-story 2,027 square foot prefabricated single family dwelling, installation of a new septic system, new water tanks, and grading of less than 100 cubic yards and 2) a Coastal Development Permit to allow grading on slopes exceeding 25% to provide improved access to the site, install a water line and install a new retaining wall in an existing man made cut slope, in general conformance with the attached sketch (**Exhibit 2**) and subject to the conditions (**Exhibit 1**), both exhibits being attached hereto and incorporated herein by reference.

**PASSED AND ADOPTED** this 30<sup>th</sup> day of July, 2009.

  
JACQUELINE ONCIANO, ZONING ADMINISTRATOR

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE **AUG 14 2009**

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE **AUG 24 2009**

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

#### NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning Department and Building Services Department office in Salinas.

2. This permit expires 4 years after the above date of granting thereof unless construction or use is started within this period.

**RESOLUTION 090064 - EXHIBIT 1**  
**Monterey County Resource Management Agency**  
**Planning Department**  
**Condition Compliance and/or Mitigation Monitoring**  
**Reporting Plan**

**Project Name:** Rachel Blank

**File No:** PLN090064

**APNs:** 129-021-053-000

**Approved by:** Zoning Administrator

**Date:** July 30, 2009

*\*Monitoring or Reporting refers to projects with an EIR or adopted Mitigated Negative Declaration per Section 21081.6 of the Public Resources Code.*

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
<b>RMA – Planning Department</b>						
1.		<b>PD001 - SPECIFIC USES ONLY</b> This Combined Development Permit (PLN090064) allows 1) Coastal Administrative Permit to dismantle and remove an existing 1,394 square foot mobile home and replace it with a two-story 2,027 square foot prefabricated single family dwelling, installation of a new septic system, new water tanks, and grading of less than 100 cubic yards and 2) a Coastal Development Permit for grading on slopes exceeding 25% to provide improved access to the site, installation of a water line and installation of a new retaining wall in an existing man made cut slope. The property is located at 8765 Dyer Road (Assessor's Parcel Number 129-021-053-000), North County Coastal Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the following terms and conditions. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. <b>(RMA-Planning Department)</b>	Adhere to conditions and uses specified in the permit.	Owner/ Applicant	Ongoing unless otherwise stated	
			Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of the RMA - Planning Department.	RMA - Planning		
			To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled.	WRA  RMA - Planning		



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2.		<b>PD002 - NOTICE-PERMIT APPROVAL</b> The applicant shall record a notice which states: "A permit (Resolution 090064) was approved by the <b>Zoning Administrator</b> for Assessor's Parcel Number 129-021-053-000 on July 30, 2009. The permit was granted subject to 18 conditions of approval which run with the land. A copy of the permit is on file with the Monterey County RMA - Planning Department." <b>(RMA-Planning Department)</b>	Obtain appropriate form from the RMA-Planning Department.  The applicant shall complete the form and furnish proof of recordation of this notice to the RMA - Planning Department.	Owner/ Applicant  RMA- Planning	Prior to the issuance of grading and building permits or commencement of use.	
3.		<b>PD032(A) - PERMIT EXPIRATION</b> The permit shall be granted for a time period of 4 years, to expire on July 29, 2013 unless use of the property or actual construction has begun within this period. <b>(RMA – Planning Department)</b>	The applicant shall obtain a valid grading or building permit and/or commence the authorized use to the satisfaction of the Director of Planning. Any request for extension must be received by the Planning Department at least 30 days prior to the expiration date.	Owner/ Applicant	As stated in the conditions of approval	
4.		<b>PD007 - GRADING-WINTER RESTRICTION</b> No land clearing or grading shall occur on the subject parcel between October 15 and April 15 unless authorized by the Director of RMA - Building Services Department. <b>(RMA – Planning Department and Building Services Department)</b>	Obtain authorization from the Director of RMA - Building Services Department to conduct land clearing or grading between October 15 and April 15.	Owner/ Applicant	Ongoing	
5.		<b>PDSP01 – TREE AND ROOT PROTECTION (NON-STANDARD CONDITION)</b> Trees which are located close to the construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines. The fencing shall remain in place throughout the grading and construction process. The Planning Department shall inspect the fencing prior to issuance of any permits. Prior to issuance of any permits the Planning Department shall also inspect the staking for the grading. If the staking requires encroachment into any dripline of a	Submit evidence of tree protection to the RMA - Planning Department for review and approval.	Owner/ Applicant	Prior to the issuance of grading and/or building permits	
			Submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit	Owner/ Applicant/ Arborist	During Construc- tion	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		native oak tree, an arborist shall be consulted to determine the potential impacts and recommend mitigation measures. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. <b>(RMA - Planning Department)</b>	an interim report prepared by a certified arborist.  Submit photos of the trees on the property to the RMA – Planning Department after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.			
6.		<b>PD012(H) - LANDSCAPING PLAN - NORTH COUNTY COASTAL NATIVE</b> The site shall be landscaped. The use of native species consistent with and found in the project area shall be required in all landscaping plans as a condition of project approval. A list of appropriate native plant species identified in Attachment #2 and #3 in the North County Implementation Plan Development Regulations is available in brochure form ( <i>Suggested Native Species Landscaping List - North County Coastal Zone</i> ) from the RMA - Planning Department. <b>(RMA – Planning Department)</b>	Submit landscape plans and contractor's estimate to RMA - Planning Department for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable.	Owner/ Applicant/ Licensed Landscape Contractor/ Licensed Landscape Architect	Prior to final inspection	
7.		<b>PD014(A) – LIGHTING – EXTERIOR LIGHTING PLAN</b> All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The applicant shall submit 3 copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations, Title 24, Part 6. The exterior lighting plan shall be subject to approval by the Director of the RMA - Planning Department, prior to the issuance of building permits. <b>(RMA – Planning Department)</b>	Submit three copies of the lighting plans to the RMA - Planning Department for review and approval. Approved lighting plans shall be incorporated into final building plans.	Owner/ Applicant	Prior to the issuance of building permits.	

Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
Health Department Environmental Health Division						
8.		EHSP01 WATER SYSTEM QUALITY (NON-STANDARD CONDITION). The Dyer Road Water System # 5 shall contact the Monterey County Health Department, Environmental Health Division to schedule the collection of a water sample ( <i>total coliform</i> ) in addition to a chlorine residual sample prior to the final inspection for the building permit. The samples shall demonstrate that the water from the well is in compliance with State and County Standards. If the samples do not comply with State and County standards corrective measures shall be taken. (Environmental Health)	Contact the Environmental Health Division, Drinking Water Protection Services program to schedule the collection of the <i>total coliform</i> water sample and the chlorine residual sample.	CA Licensed Engineer /Owner/ Applicant	Prior to final inspection for the building permit	
			If the samples do not comply with County and State Standards, measures shall be taken to bring the system into compliance.	CA Licensed Engineer /Owner/ Applicant	Prior to occupancy	
Monterey County Water Resources Agency						
9.		WR8 - COMPLETION CERTIFICATION The applicant shall provide the Water Resources Agency certification from a registered civil engineer or licensed contractor that stormwater detention/retention facilities have been constructed in accordance with approved plans. (Water Resources Agency)	Submit a letter to the Water Resources Agency, prepared by a registered civil engineer or licensed contractor, certifying compliance with approved drainage plan.	Owner/ Applicant/ Engineer/ Contractor	Prior to final inspection	
10.		WR40 - WATER CONSERVATION MEASURES The applicant shall comply with Ordinance No. 3932, or as subsequently amended, of the Monterey County Water Resources Agency pertaining to mandatory water conservation regulations. The regulations for new construction require, but are not limited to: a. All toilets shall be ultra-low flush toilets with a maximum tank size or flush capacity of 1.6 gallons, all shower heads shall have a maximum flow capacity of 2.5 gallons per minute, and all hot water faucets that have more than ten feet of pipe between the faucet and the hot water heater serving such faucet shall be equipped with a hot water recirculating system.	Compliance to be verified by building inspector at final inspection.	Owner/ Applicant	Prior to final building inspection/ occupancy	

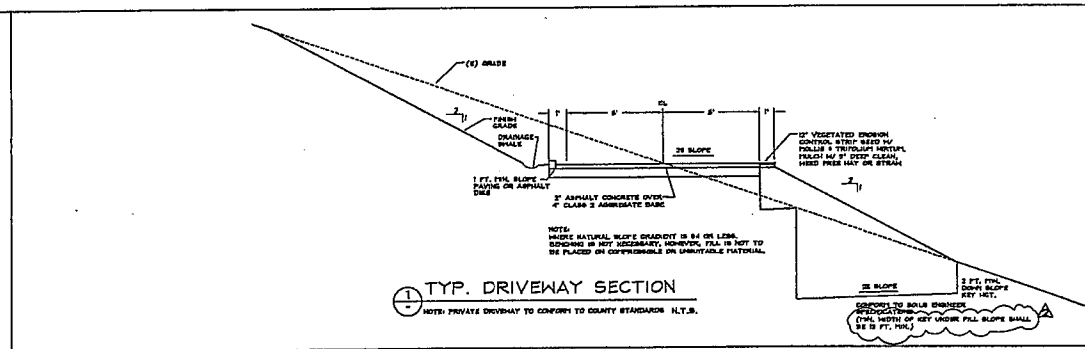
<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		b. Landscape plans shall apply xeriscape principles, including such techniques and materials as native or low water use plants and low precipitation sprinkler heads, bubblers, drip irrigation systems and timing devices. <b>(Water Resources Agency)</b>				
11.		<b>WRSP01 - DRAINAGE PLAN – RETENTION (NON-STANDARD CONDITION)</b> The applicant shall provide the Water Resources Agency a drainage plan addressing on-site and off-site impacts. The plan shall include retention/percolation facilities to mitigate the impact of impervious surface stormwater runoff. Drainage improvements shall be constructed in accordance with plans approved by the Water Resources Agency. <b>(Water Resources Agency)</b>	Submit 3 copies of the drainage plan to the Water Resources Agency for review and approval.	Owner/ Applicant	Prior to issuance of grading or building permits	WRA
<b>Fire Agency (North County Fire Protection District)</b>						
12.		<b>FIRE007 - DRIVEWAYS</b> Driveways shall not be less than 12 feet wide unobstructed, with an unobstructed vertical clearance of not less than 15 feet. The grade for all driveways shall not exceed 15 percent. Where the grade exceeds 8 percent, a minimum structural roadway surface of 0.17 feet of asphaltic concrete on 0.34 feet of aggregate base shall be required. The driveway surface shall be capable of supporting the imposed load of fire apparatus (22 tons), and be accessible by conventional-drive vehicles, including sedans. For driveways with turns 90 degrees and less, the minimum horizontal inside radius of curvature shall be 25 feet. For driveways with turns greater than 90 degrees, the minimum horizontal inside radius curvature shall be 28 feet. For all driveway turns, an additional surface of 4 feet shall be added. All driveways exceeding 150 feet in length, but less than 800 feet in length, shall provide a turnout near the midpoint of the driveway. Where the driveway exceeds	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection.	

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		800 feet, turnouts shall be provided at no greater than 400-foot intervals. Turnouts shall be a minimum of 12 feet wide and 30 feet long with a minimum of 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall long with a minimum 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall be located within 50 feet of the primary building. The minimum turning radius for a turnaround shall be 40 feet from the center line of the driveway. If a hammerhead/T is used, the top of the "T" shall be a minimum of 60 feet in length. <b>North County Fire Protection District.</b>				
13.		<b>FIRE011 - ADDRESSES FOR BUILDINGS</b> All buildings shall be issued an address in accordance with Monterey County Ordinance No. 1241. Each occupancy, except accessory buildings, shall have its own permanently posted address. When multiple occupancies exist within a single building, each individual occupancy shall be separately identified by its own address. Letters, numbers and symbols for addresses shall be a minimum of 4-inch height, 1/2-inch stroke, contrasting with the background color of the sign, and shall be Arabic. The sign and numbers shall be reflective and made of a noncombustible material. Address signs shall be placed at each driveway entrance and at each driveway split. Address signs shall be and visible from both directions of travel along the road. In all cases, the address shall be posted at the beginning of construction and shall be maintained thereafter. Address signs along one-way roads shall be visible from both directions of travel. Where multiple addresses are required at a single driveway, they shall be mounted on a single sign. Where a roadway provides access solely to a single commercial occupancy, the address sign shall be placed at the nearest road intersection providing	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	

Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
		access to that site. Permanent address numbers shall be posted prior to requesting final clearance. <b>North County Fire Protection District.</b>				
14.		<b>FIRE014 - EMERGENCY WATER STANDARDS - FIRE PROTECTION WATER SUPPLY - (SINGLE PARCEL)</b> For development of structures totaling less than 3,000 square feet on a single parcel, the minimum fire protection water supply shall be 4,900 gallons. For development of structures totaling 3,000 square feet or more on a single parcel, the minimum fire protection water supply shall be 9,800 gallons. For development of structures totaling more than 10,000 square feet on a single parcel, the reviewing authority may require additional fire protection water supply. Other water supply alternatives, including ISO Rural Class 8 mobile water systems, may be permitted by the fire authority to provide for the same practical effect. The quantity of water required by this condition shall be in addition to the domestic demand and shall be permanently and immediately available. <b>North County Fire Protection District.</b>	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	
15.		<b>FIRE019 - DEFENSIBLE SPACE REQUIREMENTS - (STANDARD)</b> Manage combustible vegetation within a minimum of 100 feet of structures (or to the property line.) Limb trees 6 feet up from ground. Remove limbs within 10 feet of chimneys. Additional and/or alternate fire protection or firebreaks approved by the fire authority may be required to provide reasonable fire safety. Environmentally sensitive areas may require alternative fire protection, to be determined by Reviewing Authority and the Director of Planning and Building	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		Inspection. North County Fire Protection District.				
16.		<b>FIRE021 - FIRE PROTECTION EQUIPMENT &amp; SYSTEMS - FIRE SPRINKLER SYSTEM (STANDARD)</b> The building(s) and attached garage(s) shall be fully protected with automatic fire sprinkler system(s). Installation shall be in accordance with the applicable NFPA standard. A minimum of four (4) sets of plans for fire sprinkler systems must be submitted by a California licensed C-16 contractor and approved prior to installation. This requirement is not intended to delay issuance of a building permit. A rough sprinkler inspection must be scheduled by the installing contractor and completed prior to requesting a framing inspection. <b>North County Fire Protection District.</b>	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	
			Applicant shall schedule fire dept. rough sprinkler inspection	Applicant or owner	Prior to framing inspection	
			Applicant shall schedule fire dept. final sprinkler inspection	Applicant or owner	Prior to final building inspection	
17.		<b>FIRE025 - SMOKE ALARMS – (SINGLE FAMILY DWELLING)</b> Where a household fire warning system or combination fire/burglar alarm system is installed in lieu of single-station smoke alarms required by the Uniform Building Code the alarm panel shall be required to be placarded as permanent building equipment. <b>North County Fire Protection District.</b>	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	
			Applicant shall schedule fire alarm system acceptance test.	Applicant or owner	Prior to final building inspection	
18.		<b>FIRE026 - ROOF CONSTRUCTION (STANDARD)</b> All new structures, and all existing structures receiving new roofing over 50 percent or more of the existing roof surface within a one-year period, shall require a minimum of ICBO Class B roof construction. <b>North County Fire Protection District.</b>	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	



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# SHEET INDEX

1.1	SITE PLAN, VICINITY MAP, PROJECT DATA, NOTES
1.2	ENLARGED SITE PLAN, EROSION CONTROL NOTES AND DETAILS
1.3	SITE SECTIONS & DRIVEWAY PROFILE
FDI	FIRE DEPARTMENT NOTES
2.1	1ST & 2ND FLOOR PLANS, DECK FRAMING PLAN & DETAILS
3.1	EXTERIOR ELEVATIONS
81.0	STRUCT. NOTES, NOTES, SCHEDULE GENERAL INFORMATION
81.1	ACI REBAR HOOK SCHEDULE, TYP. FOUNDATION DETAILS
82.0	FOUNDATION PLAN & DETAILS

**CONSULTANTS**

**STRUCTURAL:**  
CHRISTIAN LEE & ASSOC. INC.  
ORRIS LEE  
18 QUAIL RUN CIRCLE, SUITE B  
SALINAS, CA. 94607  
805-461-0001

**GEOTECHNICAL:**  
CIVIC ENG. & GEOLOGY INC.  
2614 CRICKEN AVE.  
SALINAS, CA. 94703 805-422-4419

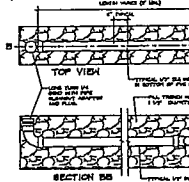
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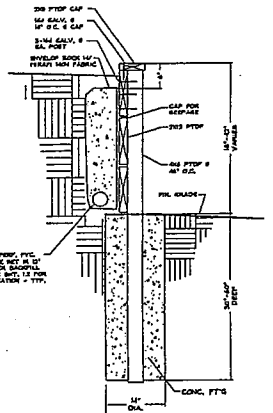
# TRENCH DIMENSIONS

NOTES:  
1. TRENCH SHALL BE 2 FT. DEEP AND 18 IN. WIDE.  
2. TRENCH SHALL BE 18 IN. WIDE AT BOTTOM AND 24 IN. WIDE AT TOP.  
3. TRENCH SHALL BE 18 IN. WIDE AT BOTTOM AND 24 IN. WIDE AT TOP.  
4. TRENCH SHALL BE 18 IN. WIDE AT BOTTOM AND 24 IN. WIDE AT TOP.



## ROOF WATER DISPERSION OUTLET DTL.

N.T.S.



## RETAINING WALL

N.T.S.

## EROSION CONTROL & GRADING NOTES

1. EXPOSED EARTH SHALL BE LANDSCAPED FOR EROSION CONTROL PRIOR TO THE RAINY SEASON (OCT. 15 TO APRIL 15). IF LANDSCAPING IS NOT ESTABLISHED PRIOR TO THE RAINY SEASON, SLOPES AND WALLS SHALL BE SEEDS WITH ANNUAL RYE GRASS (OR EQUIVALENT) AND MULCHED WITH A LAYER OF STRAW, WOOD CHIPS OR COMPOST. IN ADDITION, MULCH SHALL BE REAPPLIED ON SLOPES BY JULY 15TH TO MAINTAIN THE MULCHING. MULCHING SHALL BE REAPPLIED ON SLOPES BY JULY 15TH TO MAINTAIN THE MULCHING.
2. DURING CONSTRUCTION, EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. EROSION PROTECTION MAY CONSIST OF MULCHING AND/OR PLANTING OF NATIVE VEGETATION OF ADEQUATE DENSITY. SLOPE PROTECTION SHALL BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT. ANY EXPOSED SOIL ON DISTURBED SLOPES SHALL BE REAPPLIED TO MAINTAIN THE MULCHING.
3. GRASSING SLOPES SHALL BE A MINIMUM OF 4' AWAY FROM THE HOUSE FOR A MINIMUM OF 10 FEET.
4. CONTRACTOR TO MAINTAIN ADEQUATE WATER FLOW TO USE FOR DIRT CONTROL AT ALL TIMES DURING GRADING OPERATIONS.
5. EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY BETWEEN OCT. 15 AND APRIL 15.

## WINTER OPERATION NOTES

OCTOBER 15 THRU APRIL 15  
WHEN WINTER OF EROSIONS TAKE PLACE, THE FOLLOWING MEASURES MUST BE TAKEN TO PREVENT ACCELERATED EROSION.

- A. VEGETATION REMOVAL BETWEEN OCT. 15 AND APRIL 15 SHALL NOT BE PROCEED SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 14 DAYS DURING THIS PERIOD. PRECIPITATION AND SPRING RAIN MEASURES SHALL BE IN PLACE.
- B. BETWEEN OCT. 15 AND APRIL 15, DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
- C. RUN-OFF FROM THE SITE SHALL BE DETERMINED OR FILTERED BY BEANS VEGETATED FILTER STRIP AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA OR SITE. THESE DRAINAGE CONTROL MEASURES MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT.
- D. FRESHWATER FLOWERS SHALL BE AT THE END OF EACH DAY'S WORK.
- E. ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
- F. THE DIRECTION OF THE BUILDING DISSECTION DEPT. MAY STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.

## ADDITIONAL GRADING NOTES:

1. ALL GRADING SHALL CONFORM TO MONTEREY COUNTY GRADING ORDINANCE #103 AND EROSION CONTROL ORDINANCE #106.

2. FAD ELEVATION SHALL BE CERTIFIED TO 1 FT. PRIOR TO ANY FOOTING OR SCHEDULING ANY INSPECTIONS.

3. ALL GRADING AND EROSION CONTROL MEASURES TO FOLLOW RECORD FOR GEOTECHNICAL REPORT BY GRACE ENG.

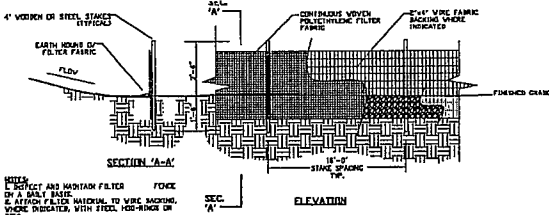
4. Annual grading shall begin within 30 days of vegetation removal or that area shall be planted under the provisions of Section 16.08.340 to control erosion. (16.08.300 C.1)

5. No vegetation removal or grading will be allowed which will result in alteration of water courses or uncontrollable erosion. (16.08.300 C.2)

6. Cut slopes shall be no steeper than two horizontal to one vertical. (16.08.300 A)

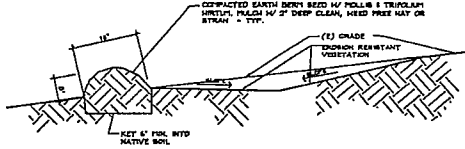
7. Drainage and terraces shall be provided as required by Section 117

NOTE: SEE SHIT. 1.3 FOR ADDITIONAL GRADING & EROSION NOTES



## SILT FENCING DTL.

N.T.S.

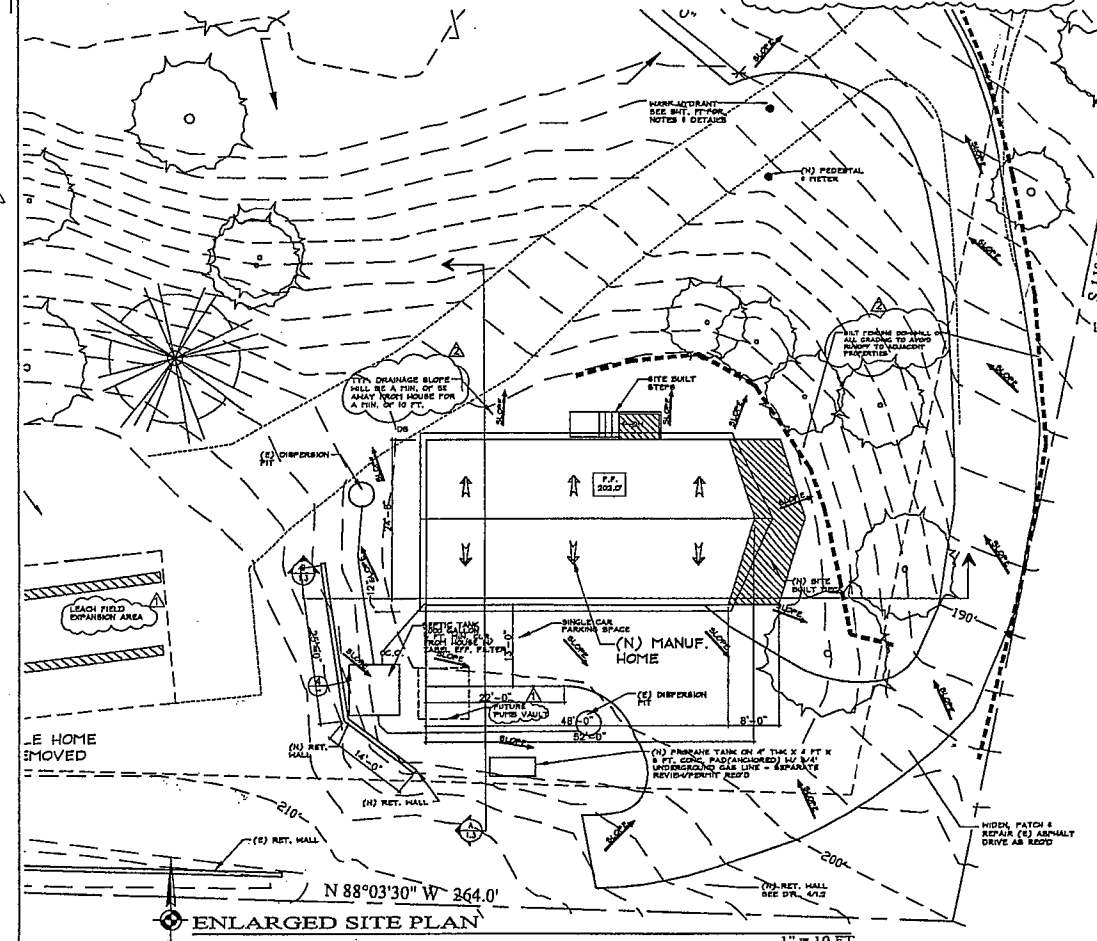


## TYP. EARTH BERM DTL.

N.T.S.

## TREE PROTECTION NOTES:

TYP. Provide tree protection measures for all trees within area of & during construction and grading. 4 FT. MTL. STAKES W/ PVC NETTING (OR EQ.)



N 88°03'30" W 264.0'

## ENLARGED SITE PLAN

1" = 10 FT.

REVISIONS	BY
05/28/09	
05/24/09	

APN: 124-021-093-000  
CONTRACTOR: RAY SCHMITT  
ADDRESS: 8765 DYER RD.  
SALINAS, CA 95007  
JANE BLANK  
(MODEL 8280D)

AFFILIATE: RAY SCHMITT  
CONTRACTOR: RAY SCHMITT  
ADDRESS: 8765 DYER RD.  
SALINAS, CA 95007  
JANE BLANK  
(MODEL 8280D)

ENLARGED SITE PLAN  
& EROSION CONTROL  
NOTES & DETAILS

Date: 01-20-09

Drawn: GLS

Checked:

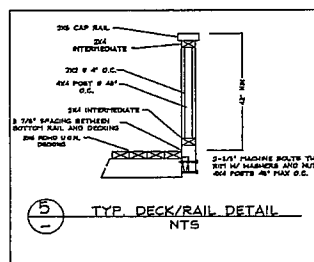
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Sheet:

1.2





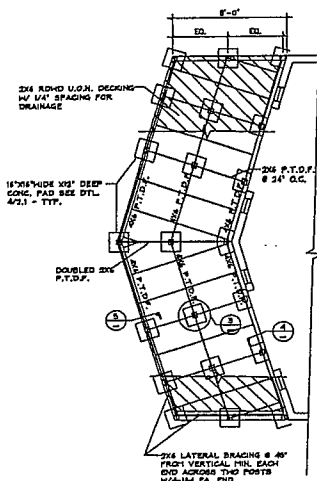
The drawing consists of two parts: a 'SECTION' view on the left and a 'TOP VIEW' on the right. The 'SECTION' view shows a hand rail with a 1/2" thick top flange and a 1/4" thick base flange, both with a 1/4" radius. The rail is shown in cross-section, with a 1/4" hole in the center. The 'TOP VIEW' shows the rail's profile, with a 1/2" wide top flange and a 1/4" wide base flange. The rail is shown in plan view, with a 1/4" hole in the center. The drawing is labeled 'SECTION' and 'TOP VIEW'.

**SECTION**

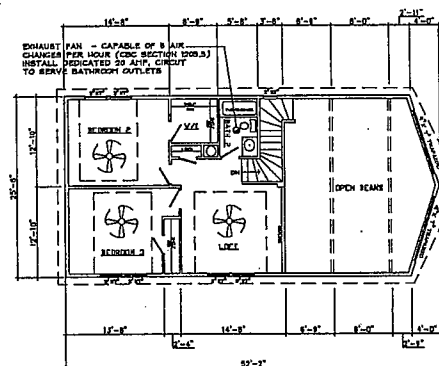
**TOP VIEW**

**HAND RAIL DETAIL**

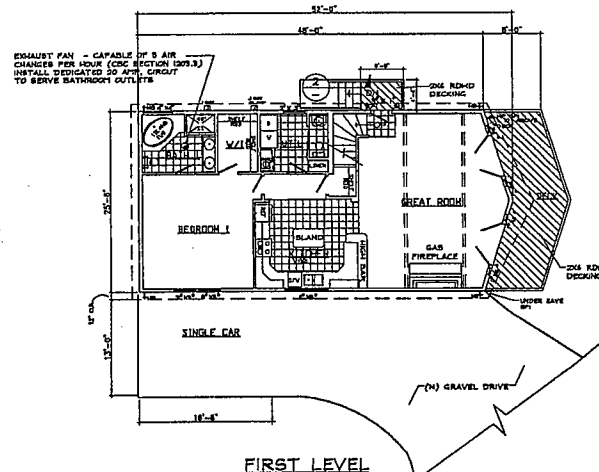
**NTS**



 **DECK FRAMING PLAN**  
1/4" = 1'-0"



## SECOND LEVEL



FIRST LEVEL

**AUTOMATIC SPRINKLER SYSTEM:**  
THIS BUILDING SHALL BE PROTECTED BY AN APPROVED  
AUTOMATIC SPRINKLER SYSTEM COMPLYING WITH THE EDITION  
OF NFPA 130 CURRENTLY ADOPTED IN CHAPTER 35 OF THE  
CALIFORNIA BUILDING CODE.

**GFI PROTECTION:**

EXTERIOR ELECTRICAL  
OUTLET SHALL HAVE A  
WEATHERPROOF ENCLOSURE  
SPEC PER NEC 410-87(a).  
GFCI PROTECTED ELECTRIC  
OUTLETS SHALL BE  
INSTALLED AT THE FRONT  
AND REAR OF THE MOBILE  
PER NEC 210-43(a).

PROVIDE CONCRETE ENCASED  
UPPER GROUND, COLD WATER  
BOND OR 2 1/2" X 8" CU  
GROUND ROD FOR MAIN  
SERVICE ENTRANCE, CONNECT  
MANUFACTURED HOME  
EQUIPMENT GROUNDING  
CONTINUOUS PER  
INSTALLATION INSTRUCTIONS.

NOTES

ALL EXT. LIGHTS SHALL BE MARKED  
'SUITABLE FOR HOT LOCATIONS' PER  
2004 CBC, ARTICLE 410-4.

ALL EXT. LIGHTS TO BE INSTALLED  
W/ MOTION DETECTORS OR BE FLUORESCENT

FUQUA HOMES INC.	
TITLE	FLOOR PLAN

NO.	8280D	REV.	SHEET
-----	-------	------	-------

FIRST LEVEL	1283 SQ. FT.
SECOND LEVEL	744 SQ. FT.
TOTAL	2027 SQ. FT.



FUQUA HOME

 FLOOR PLANS

---

1/8" = 1'-0"

REVISIONS	BY

APN: 129-021-053-000  
ADDRESS: 8765 DYER RD.  
SALINAS, CA. 93907  
JANE BLANK  
(MODEL 8280D)

APPLICANT: RAY SCHMITT  
CONTRACTOR # B514791  
COASTAL HOME SOLUTIONS  
7850 MESSICK ROAD  
PRUNEDALE, CA. 93907

1ST & 2ND LEVEL  
FLOOR PLAN

Date: 01-20-01

Drawn GLE

**Checker**

Scale: As Shown

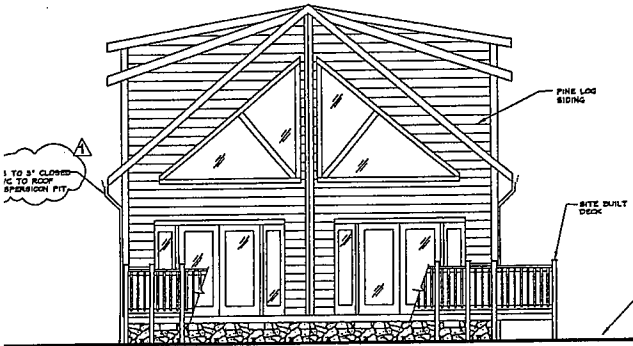
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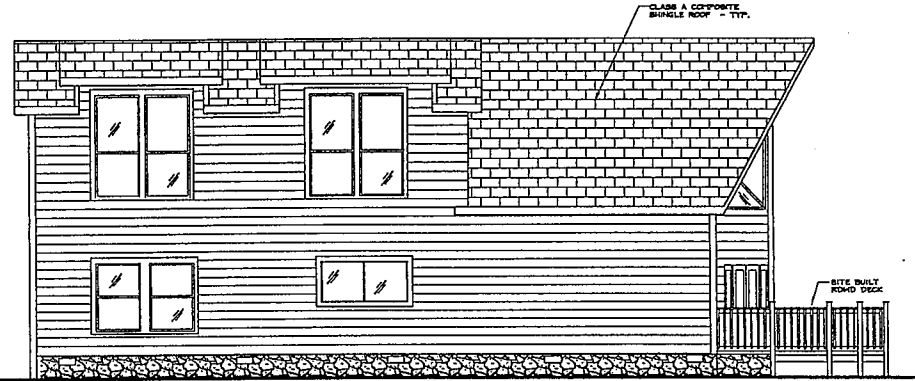
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## 2.1

QUALITY ASSURANCE  
 1. SHIPWELL SHALL CARRY UNDERWRITER'S LABORATORIES LABELS:  
 2. 1/2" PLY CLAM A FIRE RESISTANCE  
 3. 1/2" PLY WOOD RESISTANCE  
 4. KATHY (S-42)  
 5. DETAIL SHIPWELL TO MEET REQUIREMENTS OF PUBLISHED  
 ONCE CROOKING RESTRICTIONS.

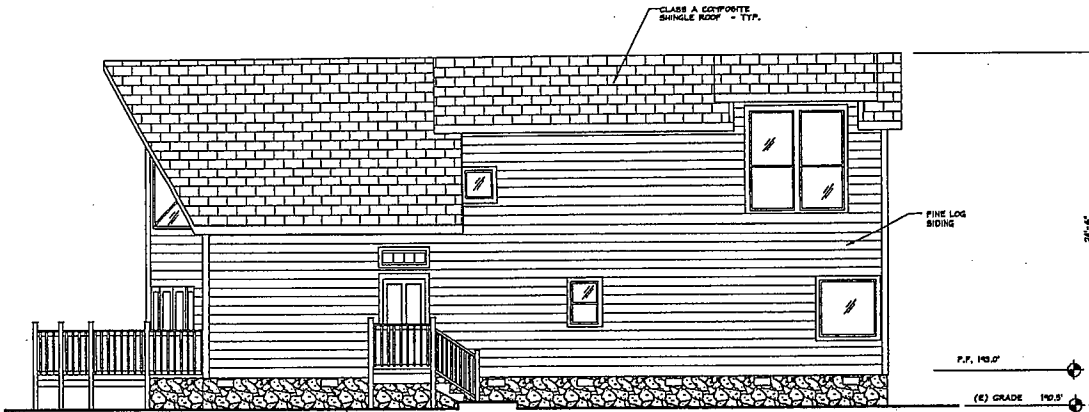


EAST ELEVATION



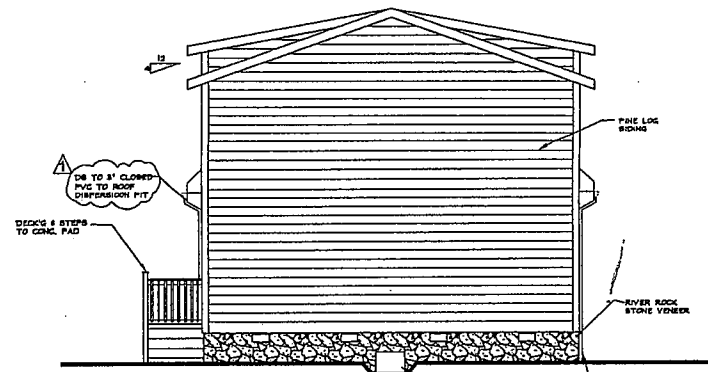
SOUTH ELEVATION

BODY COLOR - STAINED LOG SIDING  
 TRIM - BK OILED TRIM  
 FASCIA - BK SHALE WHITE  
 SHINGLES - PINK 30 GUTTAU GREEN



NORTH ELEVATION

PROVIDE 6" X 14" SCREEN 1/4" MESH VENTS -  
 (78 SQ. IN. FREE AREA) ALONG PERIMETER OF  
 FOUNDATION BLOCKING TO PROVIDE 1 603 FT.  
 VENTING PER 100 SQ. FT. OF UNDERFLOOR AREA.  
 1250 / 100 = 12.5 SQ. FT. = 1250 SQ. IN. / 75 SQ. IN.  
 = 16 2/3 VENTS  
 LOCATE OPENINGS CLOSE TO CORNERS AND EVENLY  
 SPACED TO PROVIDE CROSS VENTILATION



WEST ELEVATION

EXTERIOR ELEVATIONS

1/8" = 1'-0"

REVISIONS	BY
1	05/28/09

APN: 124-021-053-000  
 ADDRESS: 8765 DTER RD.  
 SALINAS, CA. 95407  
 JANE BLANK  
 (MODEL 62800)

APPLICANT: RAY SCHMITT  
 CONTRACTOR: R. BLATT  
 CONTRACT: LUTE SOLUTIONS  
 7050 MESSICK ROAD  
 PRUNEDALE, CA. 95907  
 (831) 663-1114 FAX (831) 663-1118

EXTERIOR ELEVATIONS

Date: 01-20-09  
 Drawn: GLB  
 Checked:  
 Scale: As Shown  
 Job:  
 Sheet:

3.1



# NORTH COUNTY



APPLICANT: BLANK

APN: 129-021-053-000

FILE # PLN090064

 300' Limit  2500' Limit  City Limits

