

**Before the Zoning Administrator in and for the
County of Monterey, State of California**

In the matter of the application of:

Castroville Water District (PLN090279)

RESOLUTION NO. 10-030

Resolution by the Monterey County Hearing Body:

- 1) Categorically Exempt the project pursuant to 15303 (c) and 15303 (e);
- 2) Combined Development Permit consisting of: 1) a Use Permit to allow Castroville Community Services District to construct a 2,800 square foot metal building for the storage of sewer maintenance equipment and vehicles and: 2) a Use Permit for the reduction in required parking spaces from 20 spaces to 11 spaces.;

(PLN090279, Castroville Water District, 11301 Wood Street, Castroville, North County Area Plan (APN: 030-222-008-000))

The Castroville Water District application (PLN090279) came on for public hearing before the Monterey County Zoning Administrator on July 29, 2010. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the Monterey County General Plan,
 - North County Area Plan,
 - Monterey County Zoning Ordinance (Title 21)
 - Castroville Community PlanNo conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
- b) The property is located at 11301 Wood Street, Castroville (Assessor's Parcel Number 030-222-008-000, North County Area Plan. The parcel is zoned "HDR-C" Zoning, High Density Residential with an adopted Community Plan overlay. The project is an allowed land use for this site with a Use Permit.
- c) The property is located in the newly adopted Castroville Community Plan Area. The project site is currently, as are all parcels in the Castroville Community Plan Area, zoned "CP" Castroville Community Plan. Development within the Community Plan area are subject to form

based zoning and specific development standards based on the structures use. Staff has reviewed the proposed development with the CCP guidelines and finds the project to be consistent.

- d) The Castroville Community Service District occupies two separate lots of record (Assessors Parcel Number 030-222-005-000 or Lot 1) and (Assessors Parcel Number 030-222-008-000 or Lot 2) respectively. Lot 1 contains a 2,417 square foot office, a 640 square foot garage and a 1,500 square foot storage building. The subject application is for the development of Lot 2 with a 2,800 square foot vehicle storage garage. There will be no changes to Lot 1, except for direct access to the new building and parking re-configuration (See Finding 7) to facilitate access and adequate vehicle mobility.
- e) The Castroville Community Service District qualified for a waiver in planning permit fees pursuant to Board of Supervisors adopted Fee Waiver Policy (Resolution No. 300-342), as a county or other government agency. In total, \$6,107.84 was waived for the processing of this application.
- f) The subject property contained a 1,200 square foot single family dwelling which had to be demolished in order to construct the subject 2,800 square foot building. The existing structure did not hold any historical or archeological significance (See Finding 2).
- g) Development standards for the proposed 2,800 square foot garage were derived from the Public/Public-Quasi Development Standards shown on Table B-8 of the Castroville Community Plan Section 3.4. The project was found to be consistent. The project will maintain a 20 foot setback from Wood Street, a 5 foot setback from each side of the lot and a 10 foot setback to the rear. Coverage will encompass 56 percent of the lot.
- h) The Castroville Community Plan Policy 2.2 requires that new development and redevelopment proposals, including infill development, shall be reviewed with the appropriate Community Plan architectural Design Guidelines (Appendix A) and Development Standards (Appendix B) to ensure quality of design and compatibility.
- i) The project was referred to the North County Land Use Advisory Committee (LUAC) for review. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors per Resolution No. 08-338, this application warranted referral to the LUAC because the project had the potential to require environmental review in early project review. The LUAC recommended approval of the project with a vote of 4 to 0, with two members absent.
- j) The project was not reviewed by the CAC (Castroville Citizens Advisory Committee) because the application was received and reviewed prior to the adoption of the Community Plan. The project was reviewed by the North County Land Use Advisory Committee.
- k) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN090279.

2. FINDING: SITE SUITABILITY – The site is physically suitable for the use
Castroville Community Service District (PLN090279)

proposed.

- EVIDENCE:** a) The project has been reviewed for site suitability by the following departments and agencies: RMA - Planning Department, North County Fire Protection District, Parks, Public Works, Environmental Health Division, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
- b) Staff conducted site inspections in September 2009 and February 2010 to verify that the site is suitable for this use.
- c) The property is located in a high archeological sensitivity area. Staff identified potential impacts to Archeological Resources as a result of the demolition of the 1,200 square foot single family dwelling and detached 400 square foot garage (Permit #10CP00749). A technical report, Archeological Reconnaissance Report, by an outside consultant indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff independently reviewed these reports and concurs with their conclusions. The following report has been prepared:
- *“Preliminary Cultural Resources Reconnaissance of Assessors Parcel Numbers 030-222-008-000” prepared by Lynne Mounday Salinas, CA, August 31, 2009).*
- d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN090279.

3. **FINDING: HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:** a) The project was reviewed by RMA - Planning Department, North County Fire Protection District, Parks, Public Works, Environmental Health Division, and Water Resources Agency. The respective departments/agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- b) Necessary public facilities are available and will be provided. The site is serviced by the Castroville Community Service District for both water and sewage.
- c) Preceding findings and supporting evidence for PLN090279.

4. **FINDING: NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any

other applicable provisions of the County's zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County RMA - Planning Department and Building Services Department records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection in September 2009 and February 2010. Staff also researched County records to assess if any violation exists on the subject property.
 - c) There are no known violations on the subject parcel.
 - d) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN090279.

5. **FINDING: CEQA (Exempt):** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303 (c) and 15303 (e), categorically exempts small structures in urbanized areas such as garages.
 - b) The proposed structure is 2,800 square feet, and CEQA allows an exemption for structures under 10,000 square feet in urbanized areas. The area of Castroville is considered urbanized due to the fact that there is existing infrastructure to serve growth, such as a municipal water district and public sewage system. Further the site does not involve the use or storage of hazardous materials.
 - c) CEQA exempts accessory structures such as garages. The proposed structure will be used as a garage for the keeping and storage of vehicles for district use.
 - d) No adverse environmental effects were identified during staff review of the development application during a site visit in September 2009 and February 2010.
 - e) The property is a developed lot and is an extension to the use on the lot of the adjacent lot, as
 - f) See preceding and following findings and supporting evidence.

6. **FINDING: GENERAL DEVELOPMENT PLAN** – A General Development Plan (GDP) was not required by Monterey County Code Title 21 or the Castroville Community Plan however, the applicant submitted a General Development Plan depicting the development standards of the project.

- EVIDENCE:**
- a) The project as described in the application and accompanying materials was reviewed by the Planning Department, North County Fire Protection District, Parks Department, Public Works Department, Environmental Health Division, Sheriff, and the Water Resources Agency. The respective departments have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood; or the county in general.
 - b) The zoning on the site is "CP" or Castroville Community Plan zoning.

The residential zoning does not require a General Development Plan however; staff had the applicant provide similar information because of the commercial nature of the site.

- c) A General Development Plan has been developed and encompasses the two adjacent Castroville Community District properties (Assessors Parcel Number 030-222-008-000 (Lot 1) and 030-222-005-000 (Lot2)). Lot 1 and Lot 2 will provide 11 total parking spaces for the entire project area. Parking will be appropriate for the use of the property as a contractor's yard with storage facilities for district vehicle parking.
- d) There is no signage planned for the subject property. Existing signs are located on the adjacent site, 11499 Geil Street. If in the future any signage is proposed, it will be in accordance with the Castroville Community Plan Guidelines, Section 7.6.2.
- e) The new 2,800 square foot garage is considered a main structure and will conform to the development standards of a main structure setbacks and height. The subject property (Assessors Parcel Number 030-222-008-000) will be covered 56% in structure coverage and the new garage will be approximately 20 feet high. The project will maintain a 20 foot setback from Wood Street, a 5 foot setback from on each side of the lot and a 10 foot setback to the rear.
- f) Staff conducted site inspections on September 2009 and on February 2010, to verify that the proposed GDP and project are consistent with allowed uses for a heavy industrial site and historical uses identified.
- g) Materials in Planning File PLN090279.

7. FINDINGS:

USE PERMIT - REDUCTION IN PARKING - Monterey County Code allows deviation from required parking standards is due to the unusual characteristics of a use or its immediate vicinity; does not necessitate the number of parking spaces, type of design, or improvements required by Chapter 21.58. In such cases two finding must be made: 1) it shall be determined that reduced parking will be adequate to accommodate all parking needs generated by the use, or 2) additional parking is not necessary because of specific features of the use, site, or site vicinity.

- a) Monterey County Code requires the project provide a minimum of 20 spaces for a 2,417 square foot office, a 1,500 square foot storage warehouse, a 640 square foot warehouse and the new 2,800 square foot garage. The applicant is proposing to provide a total of 11 spaces.
- b) A total of 8 spaces will be provided at 11499 Geil Street for the existing structures, whereas 13 existed before. For the subject property, three spaces will be provided. There will be additional employees as a result of the new garage.
- c) The development of a 2,800 square foot garage necessitated the need to re-adjust (remove) parking spaces provided on the developed adjacent lot. Access to the garage will be gained primarily through the existing parking lot and more space will be needed to ensure adequate clearance of these vehicles as they enter and exit the district's parking lot.
- c) Additional parking is not needed because there will be no new

employees on site. Castroville Community Service District currently has five employees and at any given time, no more than three employees are on site for customer payments and administrative functions.

- d) The properties (APN 030-222-005-000 and APN 030-222-008-000) are used primarily as a vehicle storage yard and additional parking spaces will take away from needed space for larger vehicles to safely ingress and egress through the property. In this case, additional parking is not necessary by virtue of the property use.

8. FINDING: APPEALABILITY - The decision on this project may be appealed to the Planning Commission.

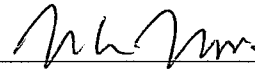
- EVIDENCE:** a) Section 21.10.050.D Monterey County Zoning Ordinance
b) The Planning Commission is the Appeal Authority to consider appeals from the discretionary decisions of the Zoning Administrator made pursuant to Title 21. The decision of the Planning Commission shall be final and may not be appealed. The project is not subject to appeal to/by the California Coastal Commission because the property is not located in the coastal zone.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

- A. Categorically Exempt the project pursuant to 15303 (c) and 15303 (e); and
B. Approve Use Permit to allow Castroville Community Services District to construct a 2,800 square foot metal building for the storage of sewer maintenance equipment and vehicles.

PASSED AND ADOPTED this 29th day of July 29, 2010.



Mike Novo, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON **AUG 0 5 2010**

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE **AUG 1 5 2010**

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning Department and Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

RESOLUTION 10-030 - EXHIBIT 1 Monterey County Resource Management Agency Planning Department Condition Compliance and/or Mitigation Monitoring Reporting Plan	Project Name: <u>Castroville Community Services District</u> File No: <u>PLN090279</u> APNs: <u>030-222-008-000 & 030-222-005-000</u> Approved by: <u>Zoning Administrator</u> Date: <u>July 29, 2010</u>
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**Monitoring or Reporting refers to projects with an EIR or adopted Mitigated Negative Declaration per Section 21081.6 of the Public Resources Code.*

Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
RMA – Planning Department						
1.		PD001 - SPECIFIC USES ONLY This Permit (PLN090279) allows a Combined Development Permit consisting of: 1) a Use Permit to allow Castroville Community Services District to construct a 2,800 square foot metal building for the storage of sewer maintenance equipment and vehicles and: 2) a Use Permit for the reduction in required parking spaces from 20 spaces to 11 spaces. The property is located at 11301 Wood Street, Castroville (Assessor’s Parcel Number 030-222-008-000), North County Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the following terms and conditions. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. (RMA-Planning Department)	Adhere to conditions and uses specified in the permit. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of the RMA - Planning Department.	Owner/ Applicant RMA - Planning	Ongoing unless otherwise stated	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
2.		PD002 - NOTICE-PERMIT APPROVAL The applicant shall record a notice which states: "A permit (Resolution 10-030) was approved by the Zoning Administrator for Assessor's Parcel Number 030-222-008-000 on July 29, 2010. The permit was granted subject to 10 conditions of approval which run with the land. A copy of the permit is on file with the Monterey County RMA - Planning Department." (RMA-Planning Department)	Obtain appropriate form from the RMA-Planning Department. The applicant shall complete the form and furnish proof of recordation of this notice to the RMA - Planning Department.	Owner/ Applicant RMA- Planning	Prior to the issuance of grading and building permits or commencement of use.	
3.		PD032(A) - PERMIT EXPIRATION The permit shall be granted for a time period of 3 years, to expire on July 29, 2013 unless use of the property or actual construction has begun within this period. (RMA – Planning Department)	The applicant shall obtain a valid grading or building permit and/or commence the authorized use to the satisfaction of the Director of Planning. Any request for extension must be received by the Planning Department at least 30 days prior to the expiration date.	Owner/ Applicant	As stated in the conditions of approval	
4.		PD012(G) - LANDSCAPE PLAN AND MAINTENANCE – NON STANDARD CASTROVILLE COMMERCIAL The site shall be landscaped. Prior to the final of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of the RMA - Planning Department. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping. In addition, as required by CCP 7.5, shall include perimeter planters. Perimeter planters and plantings should be designed and located for the purpose of creating a physical barrier, visual screen, and shading of the parking lot area. The parking lot and perimeter landscape should also be designed for safe and convenient pedestrian circulation throughout, including designated paths across perimeter planters.	Submit landscape plans and contractor's estimate to the RMA - Planning Department for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. The landscaping shall be installed and inspected.	Owner/ Applicant/ Licensed Landscape Contractor/ Licensed Landscape Architect	Prior to final or occupancy of Building Permits	

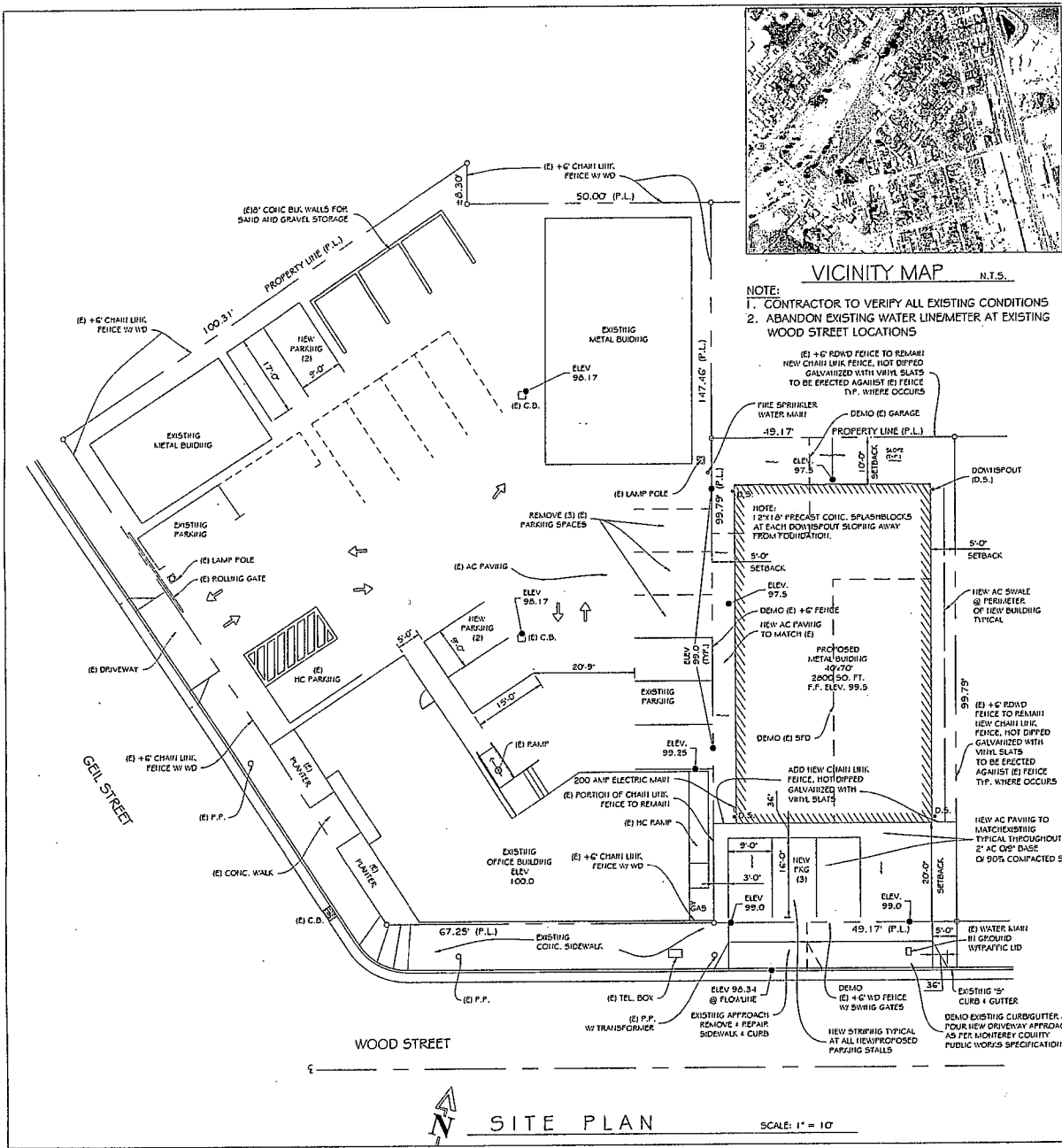
<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		<p>Additional parking lot plantings - Within the parking area, a minimum of one tree should be planted for every six parking stalls, throughout the lot. The cutout area for the tree island should be of adequate size to accommodate a mature tree (typically 5' clear minimum island width) Landscaping in the form of street trees, planters, and pots in the public parkway is encouraged. The use of protective and decorative tree wells is encouraged for street trees.</p> <p>The landscaping shall be installed and inspected prior to occupancy. All landscaped areas shall be continuously maintained by the applicant and all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (RMA – Planning Department)</p>	<p>All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.</p>			
5.		<p>PD014(A) – LIGHTING – EXTERIOR LIGHTING PLAN</p> <p>All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The applicant shall submit 3 copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations, Title 24, Part 6. The exterior lighting plan shall be subject to approval by the Director of the RMA - Planning Department, prior to the issuance of building permits. (RMA – Planning Department)</p>	<p>Submit three copies of the lighting plans to the RMA - Planning Department for review and approval. Approved lighting plans shall be incorporated into final building plans.</p> <p>The lighting shall be installed and maintained in accordance with the approved plan.</p>	Owner/ Applicant	<p>Prior to first inspection of related building permits.</p> <p>Prior to occupancy or final of building permits.</p>	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
6.		PD003(A) – CULTURAL RESOURCES – NEGATIVE ARCHAEOLOGICAL REPORT If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. The Monterey County RMA - Planning Department and a qualified archaeologist (i.e., an archaeologist registered with the Society of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery. (RMA - Planning Department)	Stop work within 50 meters (165 feet) of uncovered resource and contact the Monterey County RMA - Planning Department and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.	Owner/ Applicant/ Archaeologist	Ongoing	
RMA – Public Works Department						
7.		PW0001 – ENCROACHMENT (COM) Obtain an encroachment permit from the Department of Public Works and construct a commercial driveway connection to Geil Way and Wood Street including acceleration and deceleration tapers. The design and construction is subject to the approval of the Public Works Director. (Public Works)	Applicant shall obtain an encroachment permit from DPW prior to issuance of building permits and complete improvement prior to occupying or commencement of use. Applicant is responsible to obtain all permits and environmental clearances.	Owner/ Applicant	Prior to Building/ Grading Permit Issuance.	
8.		PW0007 – PARKING STD The parking shall meet the standards of the Zoning Ordinance and be approved by the Director of Public Works and the Director of Planning and Building Inspection. (Public Works)	Applicant's engineer or architect shall prepare a parking plan for review and approval.	Owner/ Applicant/ Engineer	Prior to Building/ Grading Permits Issuance	
Fire Agency - North County Fire Department						
9.		FIRE011 - ADDRESSES FOR BUILDINGS All buildings shall be issued an address in accordance with Monterey County Ordinance No. 1241. Each occupancy, except accessory buildings, shall have its own permanently posted address. When multiple	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	

Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
		<p>occupancies exist within a single building, each individual occupancy shall be separately identified by its own address. Letters, numbers and symbols for addresses shall be a minimum of 4-inch height, 1/2-inch stroke, contrasting with the background color of the sign, and shall be Arabic. The sign and numbers shall be reflective and made of a noncombustible material. Address signs shall be placed at each driveway entrance and at each driveway split. Address signs shall be and visible from both directions of travel along the road. In all cases, the address shall be posted at the beginning of construction and shall be maintained thereafter. Address signs along one-way roads shall be visible from both directions of travel. Where multiple addresses are required at a single driveway, they shall be mounted on a single sign. Where a roadway provides access solely to a single commercial occupancy, the address sign shall be placed at the nearest road intersection providing access to that site. Permanent address numbers shall be posted prior to requesting final clearance. Responsible Land Use Department: North County Fire District.</p>			<p>Prior to final building inspection.</p>	
10.		<p>FIRE021 - FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM (STANDARD) The building(s) and attached garage(s) shall be fully protected with automatic fire sprinkler system(s). Installation shall be in accordance with the applicable NFPA standard. A minimum of four (4) sets of plans for fire sprinkler systems must be submitted by a California licensed C-16 contractor and approved prior to installation. This requirement is not intended to delay issuance of a building permit. A rough sprinkler inspection must be scheduled by the installing contractor and completed prior to requesting a framing inspection. Responsible Land Use Department: North County Fire District.</p>	<p>Applicant shall enumerate as "Fire Dept. Notes" on plans.</p> <p>Applicant shall schedule fire dept. rough sprinkler inspection</p> <p>Applicant shall schedule fire dept. final sprinkler inspection</p>	<p>Applicant or owner</p>	<p>Prior to issuance of building permit.</p> <p>Prior to framing inspection</p> <p>Prior to final building inspection</p>	

END OF CONDITIONS

Rev. 05/27/2010



NOTE:
 1. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS
 2. ABANDON EXISTING WATER LINEMETER AT EXISTING WOOD STREET LOCATIONS

LEGEND		PROJECT DATA	
ABBREVIATIONS	SYMBOLS		
(S) = SEW	• 2 1/2" WALLS	New Metal Building	
(E) = EXISTING	• 2 1/2" WALLS	Owner: Castaneda Community Service District (CCSD)	
(T) = TYPICAL	• 2 1/2" WALLS	Contract: E&C Type	
(RM) = REMOVE	• DUAL ENVIRONMENT	Address: 1849 Oak Rd, Castaneda, CA 94013 PH: (510) 433-2440	
(RF) = FENCE	• PROPERTY LINE	Job Address: 11811 Woodway Blvd, Castaneda, CA 94012	
(FL) = FLOOR		A.P.R.L.: 010-223-001	
(GR) = GRADE		Job No.: 0406.01.04.01	
(DR) = DRAINAGE		Date: 04/06.01.04.01	
(W) = WATER		Type of Construction:	
(M) = MECHANICAL		Site Coverage: Proposed Metal Building 3300 sq. ft. (24.3 % Coverage)	
(ELEC) = ELECTRICAL		Grading: None	
(TEMP) = TEMP.		Parking Requirements: 18 Spots (1) Vehicle Storage 18 Spots (1) Total = 36	
(D) = DEMO		Notes: New spots added on adjacent lot = 18 New spots added on adjacent lot = 4 New spots added on adjacent lot = 4 Total spots on both lots = 32	
(CONC) = CONCRETE		Scale of Work: Construction of New Metal Storage Building and add new fencing *** Conditions to be a separate permit	
(ASB) = ASBESTOS		APPLICABLE CODES: 2007 California Fire Code 2007 California Electrical Code 2007 California Energy Code 2007 California Gravity Code	
(C) = CONCRETE		COMPLIANCE: Architectural Engineer: Anubhag Prasad Civil Engineer: Sameer Chaudhary Structural Engineer: Sameer Chaudhary Mechanical Engineer: Sameer Chaudhary Electrical Engineer: Sameer Chaudhary Fire Protection Engineer: Sameer Chaudhary Civil Engineer: Sameer Chaudhary Mechanical Engineer: Sameer Chaudhary Electrical Engineer: Sameer Chaudhary Fire Protection Engineer: Sameer Chaudhary	
(W) = WATER		DIFFERENTIALS: 1. FIRE SPRINKLERS 2. STEEL BUILDING DRAWINGS	

SHEET INDEX	
A1: GENERAL NOTES & SPECIFICATIONS	
A2: FLOOR PLAN ELECTRICAL & FOUNDATION	
A3: ELEVATIONS	
A4: SECTIONS & DETAILS	

GENERAL NOTES - SPECIFICATIONS

1. POWER:
 a) To remove existing power pole on Wood Street.
 b) 200 amp main at front of building per plan provide a sub-panel and meter.

2. FIRE ALARM SYSTEM: Not Required - Less than 20 beds.

3. FIRE SPRINKLER WATER MAIN: The intake hydrant (including water main - 30 psi, 400 GPM) shall be installed at a service line. Contractor to install a detector check valve with fire department connection.

4. PARKING STRIPS: Include striping of existing parking area. (As per City of Monterey)

5. FIRE ALARM PANEL: Telephone lines to be wireless to main office.

6. BUILDING:
 a) Builder or equal
 b) Color to match existing Facility per Owner.
 c) Building to comply with fire drawings and structural notes.
 d) FINISHING: To include perimeter of new building as per plan.
 e) AC and basecoat as per soil report.
 f) New Finishing: To match Existing.

CONTRACTOR NOTES:

1. Contractor to verify all existing conditions, utilities and dimensions prior to construction.
 2. Any discrepancies in the plans shall be reported by the general contractor. Structural Engineer calculations and Soil Report.
 3. Contractor shall protect all existing utilities and maintain uninterrupted service. Any damage done due to contractor negligence shall be repaired at the contractor's expense.

DRAINAGE NOTES:

1. Prior to the start of Construction the applicant/owner shall provide the location of a State of California Licensed Surveyor's and Engineer's reference datum (existing prior to any grading) that shall be used to establish indicated elevations on submitted Plans and shall remain in place on site throughout the entire duration of construction work on this project. (See 106.3.3 and 106.4.1)

2. CUTS & FILLS: N/A

3. All cut and fill slopes shall be finished to a maximum slope of 2:1 (H:V) horizontal to 1 vertical. All fill material shall be tested as fill where shown on the plan. Top soil shall be stockpiled and used in planting areas. Provide a copy of all compaction tests and final grading reports to the building department prior to requesting a building permit.

4. KEYWAYS: N/A

5. GROUND CONTROLS: All cut & fill slopes shall be covered with jute netting and covered with grass prevent erosion in accordance with Division 02 Civil Engineering 02360. Erosion Control Measures shall be in place at the end of each day's work between October 15 and April 15.

6. FINISH GRADIENTS: Finish grades adjacent to structures shall slope away from the structure at 2% for a minimum of 2 feet.

7. All grading shall conform to the Monterey County Grading Ordinance 2255.

8. Parking water application between October 15 and April 15, the following measures must be followed in the immediate operations must be generated by making under other effective means of soil protection.

9. All roads and driveways shall have drainage facilities sufficient to prevent flooding.

10. All roads and driveways shall have drainage facilities sufficient to prevent flooding.

11. Runoff from the site shall be detained or filtered by berms, vegetated filterstrips, and/or catch basins to prevent the escape of sediments from the site.

12. Drainage control measures shall be maintained and in place at the end of each day and continuously throughout the life of the project during water operations.
 (Monterey County Grading/Excavation Ord. 2804 16.12.200)

WATER CONSERVATION (Monterey County Ordinance 3439)

1. No person may tap into any fire hydrant for any purpose other than fire suppression or emergency use, without first obtaining written approval from the water purveyor supplying water to the hydrant and from the Monterey County Health Department.

2. All uses used in connection with any construction activities shall be equipped with a water meter. When an automatic shut-off device is purchased or otherwise obtained for the use or type of use to be used, the device shall be an automatic shut-off device.

3. The water meter may be used for consumption or dual control purposes in construction activities where there is a reasonably available source of reclaimed or otherwise available water approved by the Monterey County Health Department and appropriate for such use.

4. Flow bills shall have a non-renewable type back flow prevention device.

FIRE PROTECTION NOTES

1. Fire Sprinklers: All building shall be fully protected with an automatic fire sprinkler system, including the garage, mechanical equipment and laundry areas. Installation, approval, and maintenance shall be in compliance with applicable National Fire Protection Association Standard 1362 and local amendments, the edition(s) of which shall be determined by the enforcing jurisdiction. Plans for fire sprinkler system(s) must be submitted and approved prior to installation. Roughing inspections must be completed prior to requesting a framing inspection from the Building Inspection Department.

2. Fire Alarm System: A fire alarm shall be wired in the kitchen refrigerator circuit. Any devices require approval from the fire department.

3. Posting Address Numbers: Before construction begins, temporary or permanent address numbers shall be posted and visible from both directions of travel along the road. Permanent address numbers shall be posted prior to request of final inspection. All address numbers (permanent or temporary) shall be posted on the property in as to be clearly visible from the road. Where visibility cannot be provided a post or sign bearing the address numbers shall be set adjacent to the driveway entrance or access road to the property. Address numbers posted shall be "Arabic" (1,2,3, etc.) "Roman" (I, II, III, etc.) or white on a dark background (black, blue, red, etc.). Address numbers posted shall be a minimum number height of 3" high, all black with stroke, and contrasting with the background color of the sign. (NOTE: If numbers are not posted, Building Inspectors will not grant a final inspection.)

4. Razing: Final construction shall be a Class A and installed per manufacturer's instructions as defined by the Uniform Building Code Standard 152.

5. Clear Vegetation: All flammable vegetation or other combustible growth shall be at all times maintain clear distance of not less than 20 feet on each side from structures or buildings. This shall apply to single specimen trees, ornamental shrubbery or similar plants used as ground cover, provided that they do not form a screen of rapidly accumulating fire from the site or in any structure. Remove trees limbs within 10 feet of buildings. Additional fire protection firebreak may be required where because of extra hazardous conditions, a firebreak of only 20 feet around each structure is not sufficient to provide reasonable fire safety. Environmentally sensitive areas may require alternative fire protection to be determined by the Fire Chief and Director of Planning and Building. This project requires 30 feet clearance as to property lines 12 feet or more.

6. Access Driveways: Access driveways shall comply with Monterey County Ordinance 2006 and shall include a fire department capable of supporting fire 15 feet in height on 15 foot vertical clearance, and a maximum 15 percent grade. On 15 feet or more vertical clearance having a slope of 8 percent or more the finish surface shall be AC pavement or concrete.

7. Fire Protection: When buildings are protected by an approved automatic fire sprinkler system, the penalties of this section may be modified, subject to the approval of the Local Fire Department.

8. Fire Alarm: N/A

9. Each building shall be equipped a fire extinguisher that is fully compliant with the local fire code. These extinguishers shall be located in each building, clearly visible from the roadway access. They shall be a minimum of eight inches with a minimum of one inch thick and shall be of the type of construction, different than the surface they are to be stored.

10. Buildings required to be protected with fire or other fire protection shall be maintained.

11. Portable, hand held fire extinguishers shall be provided for each occupancy per NFPA (National Fire Protection Association) Standard.

REVISIONS	DATE	BY
1		
2		
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10		

DATE: 04/22/2010

BY: JES

PROJECT: 04222010

NO: 04222010

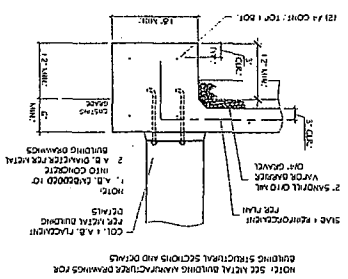
DRY: JES

DESIGN: JES

AI

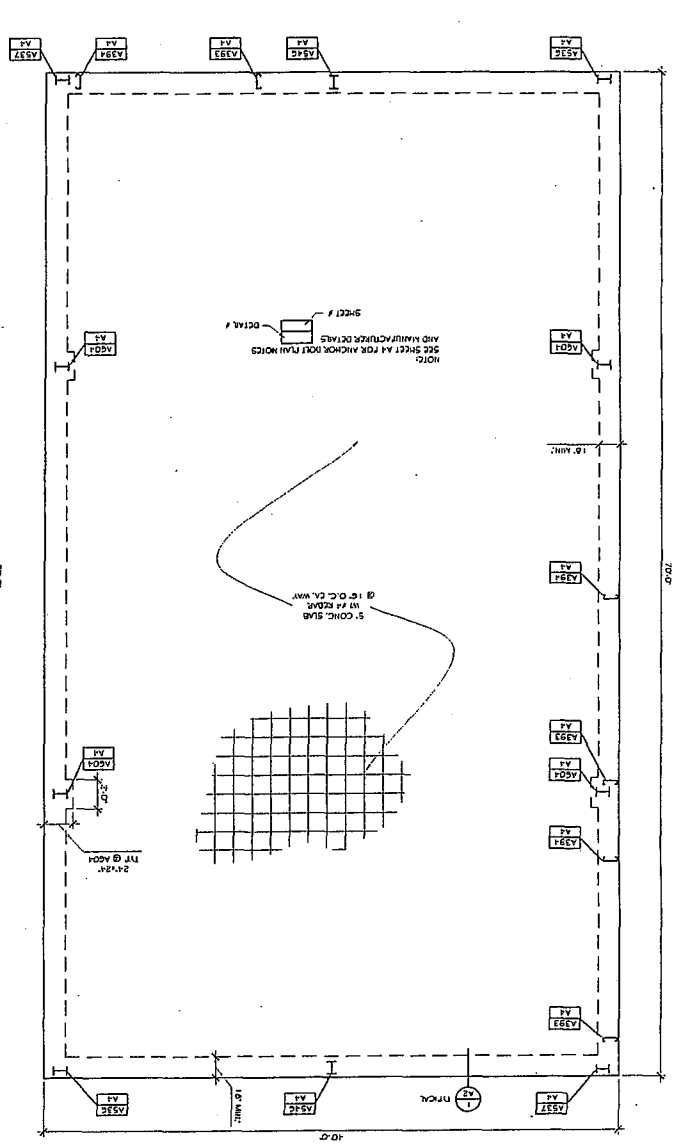
Blanco Designs
 202 LA BARRA DR
 SAUNTA BARBARA, CA 93101
 PH: (805) 933-0506 FAX: (805) 933-0933
 CA CONSTRUCTION LIC # 474261

FOOTING DETAIL
SCALE: 1/4" = 1'-0"

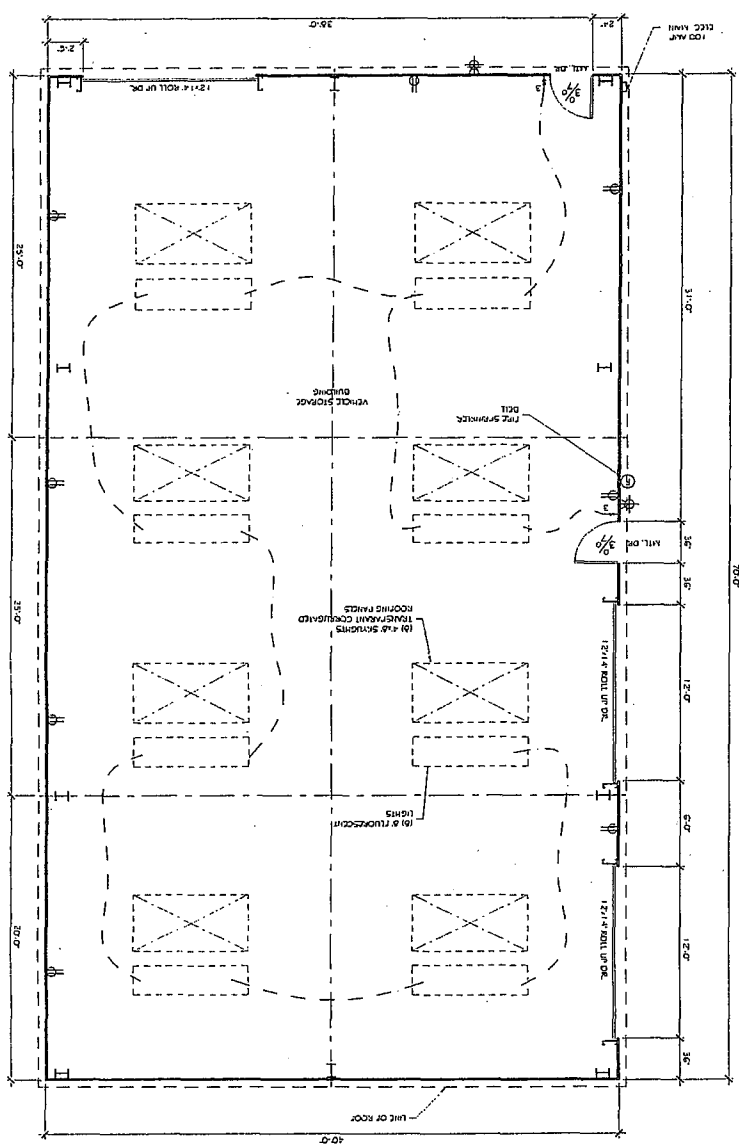


- FOOTING NOTES:**
1. THE FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CALIFORNIA FOUNDATION DESIGN MANUAL, 1989 EDITION, AND THE 2001 INTERNATIONAL BUILDING CODE (IBC).
 2. THE FOUNDATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CALIFORNIA FOUNDATION DESIGN MANUAL, 1989 EDITION, AND THE 2001 INTERNATIONAL BUILDING CODE (IBC).
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FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

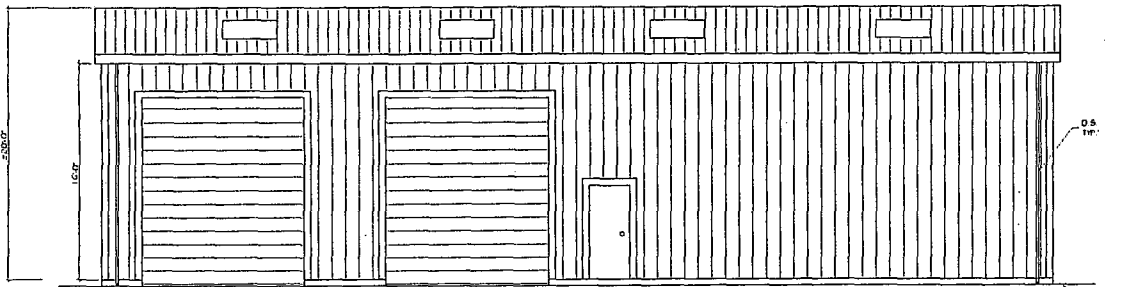


FLOOR PLAN / ELECTRICAL
SCALE: 1/4" = 1'-0"

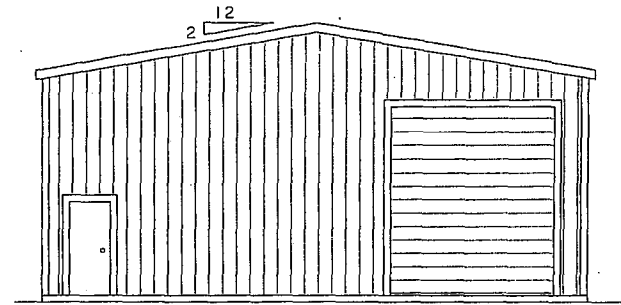


A2

Prepared For:	CCSD
Address:	11999 6th St., Carmichael, CA 95012 (916) 481-3300
Project Name:	FLOOR PLAN, ELECTRICAL & FOUNDATION PLAN
Designer:	BLANCO DESIGNS
Address:	11272 WEBB ST., SUITE 200 CARMICHAEL, CA 95012 (916) 481-3300
Scale:	1/4" = 1'-0"
Sheet No.:	A2
Revision:	
Date:	

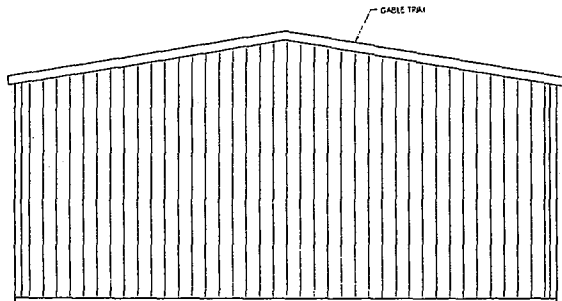


FRONT ELEVATION (WEST) SCALE = 1/4" = 1'-0"

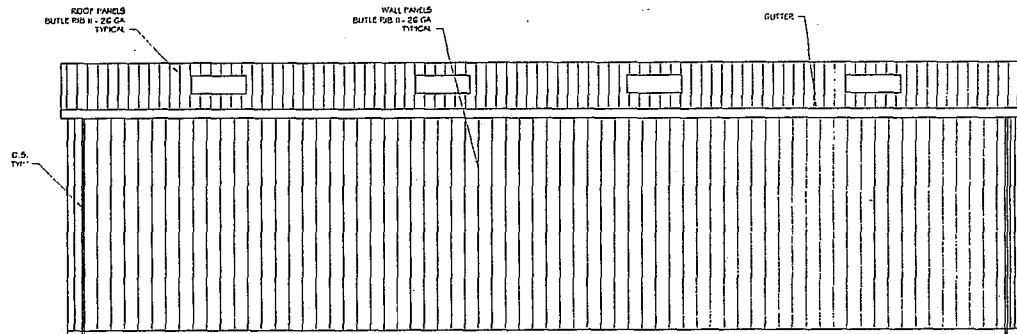


RIGHT ELEVATION (SOUTH) SCALE = 1/4" = 1'-0"

- NOTE:
 1. FOR BUILDING DETAILS SEE MANUFACTURERS BUILDING DRAWINGS BY "STEEL SOLUTIONS"
 2. ROOF COLOR: BY OWNER
 3. WALL PANEL COLOR: BY OWNER
 4. GUTTER & TRIM COLOR: BY OWNER



LEFT ELEVATION (NORTH) SCALE = 1/4" = 1'-0"



REAR ELEVATION (EAST) SCALE = 1/4" = 1'-0"

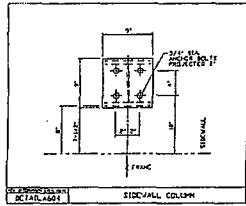
REVISIONS	DATE BY

BLANCO DESIGNS
 11275 MARKET ST., SUITE 101
 FOLSOM, CA 95630
 PH: (916) 433-4311 FAX: (916) 433-4245
 CA CONTRACTORS LIC. # 472616

ELEVATIONS

Prepared For:
 CCSD
 11499 Geil St.
 Castroville, CA 95012
 (831) 633-2500

12/13/2009
 AS 3/09/CO
 P-12/09
 JBB
 Sheet
 A3
 of 7 Sheets



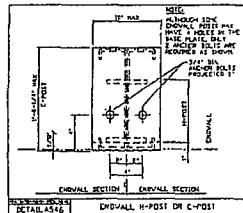
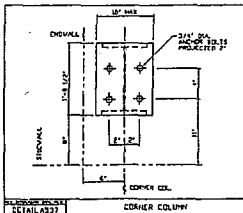
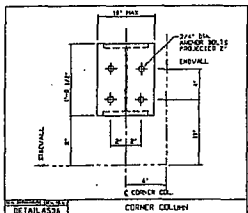
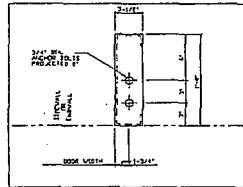
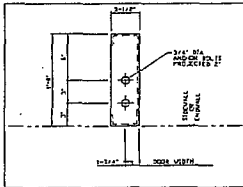
1. The fabricator is permitted to deviate from the dimensions to be fabricated and finish to meet the requirements of the Building Code. It is the responsibility of the fabricator to provide the appropriate dimensions for the steel to meet the requirements of the Building Code.

2. The fabricator shall verify the dimensions of the steel to meet the requirements of the Building Code.

3. The fabricator shall verify the dimensions of the steel to meet the requirements of the Building Code.

4. The fabricator shall verify the dimensions of the steel to meet the requirements of the Building Code.

5. The fabricator shall verify the dimensions of the steel to meet the requirements of the Building Code.

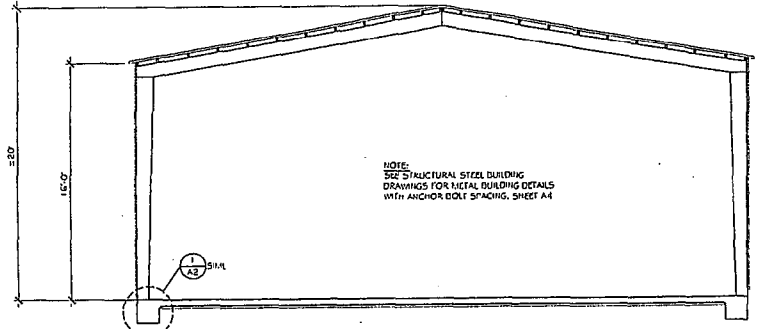


P R E L I M I N A R Y

P R E L I M I N A R Y

REVISED	DATE	DESCRIPTION	SCALE	DATE	BY
ADVANTAGE					

REVISED	DATE	DESCRIPTION	SCALE	DATE	BY
ADVANTAGE					



SECTION A SCALE: 1/4\"/>

STEEL BUILDING CONSULTANT
 STEEL SOLUTIONS, INC.
 Hollister, CA 95024
 Ph: (831) 638-0774

REVISIONS	DATE BY

BLANCO DESIGNS
 11272 MERIDIAN ST. SUITE D
 CASTROVILLE, CA 95012
 Ph: (831) 633-1811 FAX: (831) 633-1245
 CA CONTRACTORS LIC. # 72461

SECTIONS & DETAILS

Prepared For:
 CCSO
 11499 Gal St.
 Castroville, CA 95012
 (831) 633-2560

1/21/2008
AS NOTED
BY

Sheet
 A4

Proposed General Development Plan
for the Castroville Community Services District property,
located at 11301 Wood Street and 11499 Geil Street.

County Planning File Number PLN090279

This General Development Plan addresses the new proposed 2,800 square foot building located at 11301 Wood Street (APN: 030-222-008-000 or Lot 2). Minimal changes, if any, are proposed on Lot 1 (APN: 030-222-005-000 or Lot 1).

Requested uses (Drawn from the applicable Code Section for the Zoning District)

- Public and quasi-public use, specifically a public safety facilities or public utility facilities;

Uses not to be considered

- Residential uses and Residential Accessory Uses

Description of Proposed Site Improvements

- Propose a 2,800 square foot metal garage for the storage of vehicles, district safety equipment and related uses. The building will be accessed through the existing developed lot, located at 11499 Geil Street.
- Materials and Colors will match the existing metal storage buildings on 11499 Geil Street. Siding will be Warm White with white trim. The height of the new 2,800 square foot building will be approximately 20 feet high, in keeping with the height of the existing buildings on the adjacent site.
- 12 Parking spaces will be provided with 1 parking space being ADA compliant behind the office on Parcel 1.
- Security lighting will be located on the north and west portion of the new 2,800 square foot garage, of "RAB Lighting WP2F84". Existing exterior lighting (a lamp pole) is located at the entrance of Lot 1 and to the southeast of the existing 1,500 square foot garage on Lot 1. The property is also secured by a chain link fence which stands approximately 5'5" tall around the corridor of Lot 1 and Lot 2.
- Because the site does not handle hazardous materials or accumulate large quantities of trash there is no existing trash and recycling bins.
- Landscaping Plan will encompass 10% of Lot 1 and 10% of Lot 2.

Sign Program Existing signage is located on the office building fronting Geil and Wood Roads.

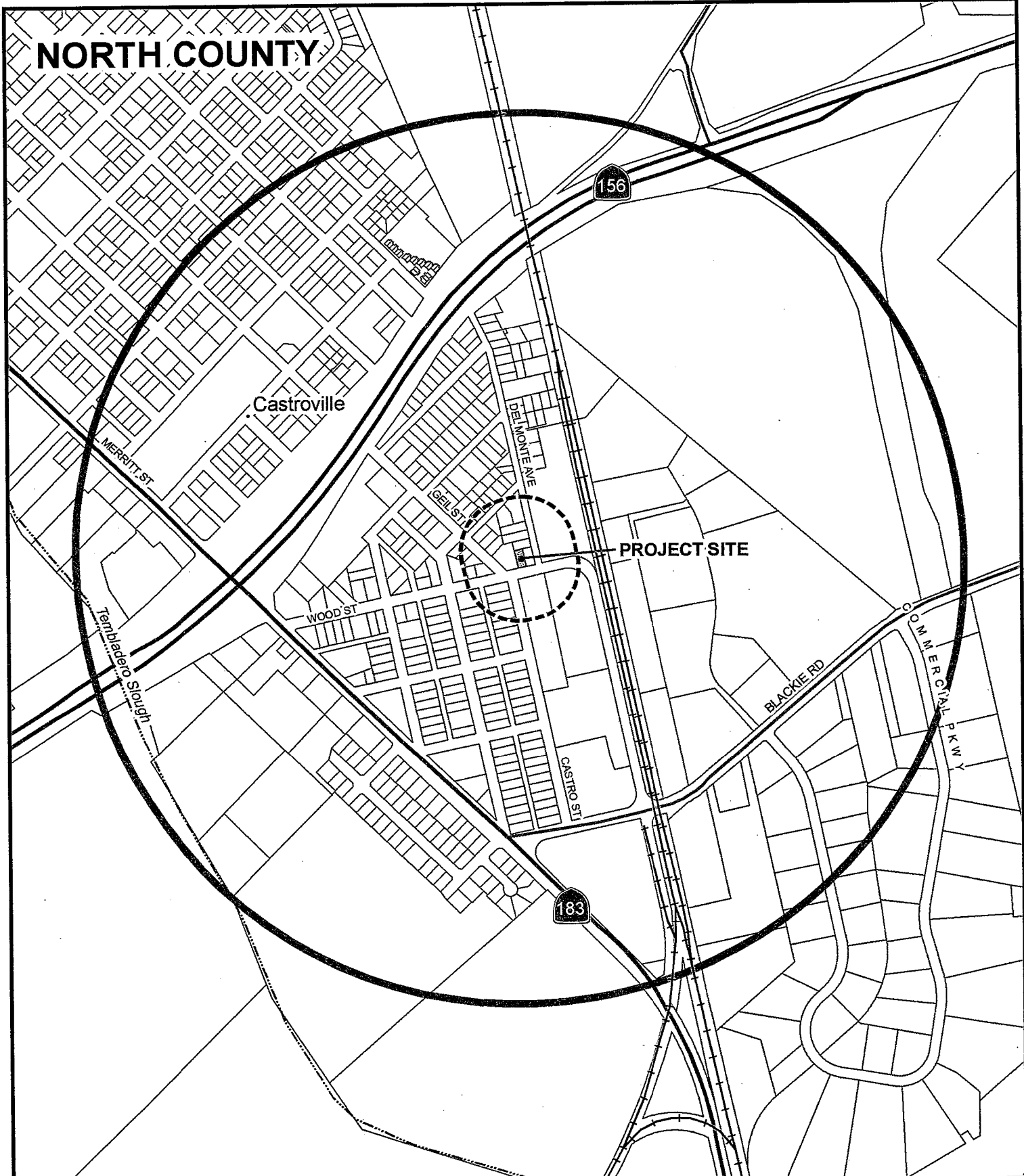
Proposed Number of Employees: 5 employees

Operations

Hours of Operation: Monday – Friday, 8-5pm

Delivery Hours: No deliveries, parking of vehicles after services provided

NORTH COUNTY



APPLICANT: CASTROVILLE WATER DISTRICT

APN: 030-222-008-000

FILE # PLN090279

 300' Limit  2500' Limit  City Limits  Water

