

**Before the Zoning Administrator
in and for the County of Monterey, State of California**

In the matter of the application of:

WHITTEN (PLN090409)

RESOLUTION NO. 10-028

Resolution by the Monterey County Zoning
Administrator:

- 1) Categorically exempt the project from environmental review pursuant to Section 15303 of the CEQA Guidelines; and
- 2) Approving the Coastal Administrative Permit to allow the construction of a 2,224 square foot manufactured dwelling, a 1,984 square foot metal storage building, two (2) 5,000 gallon water storage tanks, and a septic disposal system.

(PLN090409, Whitten, 19191 Karner Road, Castroville, North County Land Use Plan (APN: 131-073-034-000))

The Coastal Administrative Permit applications (PLN090409) came on for public hearing before the Monterey County Zoning Administrator on July 29, 2010. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Monterey County Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the Monterey County General Plan,
 - North County Land Use Plan,
 - North County Coastal Implementation Plan,
 - Monterey County Zoning Ordinance (Title 20)Correspondence was received by a member of the public who mentions conflicts were found to exist and the project is inconsistent with the text, policies, and regulations in these documents.
 - b) The property is located at 19191 Karner Road, Castroville (Assessor's Parcel Number 131-073-034-000), North County Land Use Plan. The parcel is zoned Rural Density Residential, 5 acres per unit, Coastal Zone (RDR/5(CZ)), which allows the construction of a single family dwelling and accessory structures accessory to any principal use provided that a Coastal Administrative Permit is first obtained. The project application and materials include the request for a Coastal Administrative Permit. Therefore, the project is an allowed land use for this site.
 - c) The project does not include a request for any additional uses which are

conditional uses, or is the subject property located within an area where exempt development would be considered non-exempt.

- d) The project planner conducted a site inspection on March 18, 2010 to verify that the project on the subject parcel conforms to the plans listed above.
- e) A letter by a member of the public, James Valenzuela, dated June 28, 2010, was received by staff (see Exhibit E of the July 29, 2010 Zoning Administrator staff report). Mr. Valenzuela has concerns with the proposed project and how it will affect the quantity and quality of the water already available to the neighboring property owners. In addition, he would like to know the "purpose of the 1,984 square foot metal storage facility" and the "need for the two 5,000 gallon water storage tanks." Mr. Valenzuela has requested a public hearing; therefore, pursuant to Section 20.76.060.A.5 of the Monterey County Zoning Ordinance, the project was referred to the Zoning Administrator. Water quality and quantity for the project was reviewed by the Environmental Health Bureau and no issues or concerns were identified (see Finding No. 3, Evidence c). The two 5,000 gallon water storage tanks will be used to hold an emergency water supply as required by the North County Rural Fire Protection District (see Condition No. 17). The accessory structure is proposed for personal and private use, which is consistent with the requirements of the zoning district.
- f) The project was not referred to the North County Coastal Land Use Advisory Committee (LUAC) for review. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors per Resolution No. 08-338, this application did not warrant referral to the LUAC because the project does not involve a variance, it does not require a Design Approval subject to the approval of the Zoning Administrator or Planning Commission, and the project is exempt from CEQA (See Finding No. 5).
- g) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN090409.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

EVIDENCE: a) The project has been reviewed for site suitability by the following departments and agencies: RMA - Planning Department, North County Rural Fire Protection District, Public Works, Environmental Health Bureau, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.

b) Staff identified potential impacts to Archaeological Resources. Consistent with Section 20.144.B.1.a of the North County Coastal Implementation Plan requires that any development within a High Archaeological Sensitivity Zone shall require the submittal of an

archaeological survey. The Monterey County Geographic Information System indicates that the subject property is located within a high archaeological sensitivity zone. Since the project falls under the definition of development within Section 20.06.310 of the Monterey County Zoning Ordinance (Title 20), a technical report by an outside consultant was submitted with the application. The report indicates that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff independently reviewed these reports and concurs with their conclusions. The following reports have been prepared:

- *"Preliminary Cultural Resources Reconnaissance" (LIB100134) prepared by Lynne H. Mounday Archaeologist, Salinas, Ca., January 24, 2010).*

- c) Staff conducted a site inspection on March 18, 2010 to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN090409.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by the North County Rural Fire Protection District, Public Works, Environmental Health Bureau, and Water Resources Agency. The respective departments/agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities are available and will be provided.
 - c) The proposed single family dwelling will be served by an existing onsite well (Well Permit No. W1174). The Environmental Health Bureau has reviewed the proposed project and has found that the existing well is located in an area know to have a high water yield. Therefore, no issues were identified and conditions of approval were required.
 - d) The Environmental Health Bureau has reviewed the proposed project as well as the proposed wastewater disposal system. Due to the clay soils found on the site, a standard shallow septic trench would not be feasible. However, sandy material which is suitable for disposal was found 25 feet beneath the clay. In addition, the civil engineer, Grice Engineering, bored to a depth of 75 feet and no ground water was encountered. Therefore, the applicant proposes a seepage pit disposal system. The Environmental Health Bureau has reviewed the

preliminary plans for the seepage pit disposal system and found no issues, nor were conditions of approval required.

e) Preceding findings and supporting evidence for PLN090409.

4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

EVIDENCE: a) Staff reviewed Monterey County RMA - Planning Department and Building Services Department Monterey County records and is not aware of any violations existing on subject property.
b) Staff conducted a site inspection on March 18, 2010 and researched County records to assess if any violation exists on the subject property.
c) There are no known violations on the subject parcel.
d) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN090409.

5. **FINDING:** **CEQA (Exempt):** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

EVIDENCE: a) California Environmental Quality Act (CEQA) Guidelines Section 15303, categorically exempts construction of one single family dwelling and accessory structures.
b) No adverse environmental effects were identified during staff review of the development application during a site visit on March 18, 2010.
c) CEQA Guidelines Section 15300.2 lists exceptions to categorical exemptions. None of the exceptions can be made because the project will not impact an environmental resource of hazardous or critical concern; the project will not create a cumulative impact on the environment; the project does not have any unusual circumstance; the project will not result in the damage of a scenic resource; the subject property is not a hazardous waste site; nor is their a historical resource on the property. Therefore, the proposed project is exempt from environmental review.
d) See preceding and following findings and supporting evidence.

6. **FINDING:** **PUBLIC ACCESS** - The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

EVIDENCE: a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.144.150 of the Monterey County Coastal Implementation Plan can be demonstrated.
b) The subject property is not described as an area where the Local Coastal Program requires public access (Figure 6 in the North County Land Use

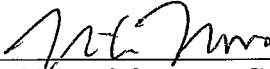
- Plan).
- c) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
 - d) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN090409.
 - e) The project planner conducted a site inspection on March 18, 2010.
7. **FINDING: APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors.
- EVIDENCE:**
- a) Section 20.86.030.A Monterey County Zoning Ordinance (Board of Supervisors).
 - b) Section 20.86.080.A Monterey County Zoning Ordinance (Coastal Commission). The project not subject to appeal by/to the California Coastal Commission because the subject property is not located between the sea and the first public road; the subject property is not located on tidelands, submerged lands, public trust lands, within 100 feet of any wetland, estuary, stream or within 300 feet of the top of the seaward face of any coastal bluff; nor does the project include any uses which are conditional uses.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

- A. Find the project categorically exempt from environmental review pursuant to Section 15303 of the CEQA Guidelines; and
- B. Approve the Coastal Administrative Permit to allow the construction of a 2,224 square foot manufactured dwelling, a 1,984 square foot metal storage building, two (2) 5,000 gallon water storage tanks, and a septic disposal system, in general conformance with the attached sketch (**Exhibit 2**) and subject to the conditions (**Exhibit 1**), both exhibits being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 29th day of July, 2010.



Mike Novo, Monterey County Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON **AUG 05 2010**

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE

AUG 15 2010

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning Department and Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

RESOLUTION 10-028 - EXHIBIT 1
Monterey County Resource Management Agency
Planning Department
Condition Compliance and/or Mitigation Monitoring
Reporting Plan

Project Name: Whitten
 File No: PLN090409 APNs: 131-073-034-000
 Approved by: Zoning Administrator Date: July 29, 2010

**Monitoring or Reporting refers to projects with an EIR or adopted Mitigated Negative Declaration per Section 21081.6 of the Public Resources Code.*

Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
RMA – Planning Department						
1.		<p>PD001 - SPECIFIC USES ONLY This Coastal Administrative Permit (PLN090409) allows the construction of a 2,224 square foot manufactured dwelling, a 1,984 square foot metal storage building, two (2) 5,000 gallon water storage tanks, and a septic disposal system. The property is located at 19191 Karner Road, Castroville (Assessor's Parcel Number 131-073-034-000), North County Land Use Plan area, Coastal Zone. This permit was approved in accordance with County ordinances and land use regulations subject to the following terms and conditions. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. (RMA-Planning Department)</p>	<p>Adhere to conditions and uses specified in the permit.</p> <p>Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of the RMA - Planning Department.</p> <p>To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled.</p>	<p>Owner/ Applicant</p> <p>RMA - Planning</p> <p>WRA</p> <p>RMA - Planning</p>	<p>Ongoing unless otherwise stated</p>	
2.		<p>PD002 - NOTICE-PERMIT APPROVAL The applicant shall record a notice which states: "A permit (Resolution 10-028) was approved by the Zoning Administrator for Assessor's Parcel Number 131-073-034-000 on July 29, 2010. The permit was granted subject to</p>	<p>Obtain appropriate form from the RMA-Planning Department.</p> <p>The applicant shall complete the form and furnish proof of recordation of this</p>	<p>Owner/ Applicant</p> <p>RMA- Planning</p>	<p>Prior to the issuance of grading and building</p>	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land-Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		23 conditions of approval which run with the land. A copy of the permit is on file with the Monterey County RMA - Planning Department." (RMA-Planning Department)	notice to the RMA - Planning Department.		permits or commencement of use	
3.		PD032(A) - PERMIT EXPIRATION The permit shall be granted for a time period of 3 years, to expire on July 29, 2013 unless use of the property or actual construction has begun within this period. (RMA - Planning Department)	The applicant shall obtain a valid grading or building permit and/or commence the authorized use to the satisfaction of the Director of Planning. Any request for extension must be received by the Planning Department at least 30 days prior to the expiration date.	Owner/ Applicant	As stated in the conditions of approval	
4.		PD003(A) - CULTURAL RESOURCES - NEGATIVE ARCHAEOLOGICAL REPORT If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. The Monterey County RMA - Planning Department and a qualified archaeologist (i.e., an archaeologist registered with the Society of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery. (RMA - Planning Department)	Stop work within 50 meters (165 feet) of uncovered resource and contact the Monterey County RMA - Planning Department and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.	Owner/ Applicant/ Archaeologist	Ongoing	
5.		PD010 - EROSION CONTROL PLAN AND SCHEDULE The approved development shall incorporate the recommendations of the Erosion Control Plan as reviewed by the Director of RMA - Planning and Director of	An Erosion Control Plan shall be submitted to the RMA - Planning Department and the RMA - Building Services Department prior to issuance of building and grading permits.	Owner/ Applicant	Prior to the issuance of grading and building permits	

Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
		Building Services. All cut and/or fill slopes exposed during the course of construction be covered, seeded, or otherwise treated to control erosion during the course of construction, subject to the approval of the Director of RMA - Planning and Director of RMA - Building Services. The improvement and grading plans shall include an implementation schedule of measures for the prevention and control of erosion, siltation and dust during and immediately following construction and until erosion control planting becomes established. This program shall be approved by the Director of RMA - Planning and Director of RMA - Building Services. (RMA - Planning Department and RMA - Building Services Department)	Comply with the recommendations of the Erosion Control Plan during the course of construction until project completion as approved by the Director of RMA - Planning and Director of RMA - Building Services.	Owner/ Applicant	Ongoing	
			Evidence of compliance with the Implementation Schedule shall be submitted to the RMA - Planning Department and the RMA - Building Services Department	Owner/ Applicant	Prior to final inspection	
6.		PD012(H) - LANDSCAPING PLAN - NORTH COUNTY COASTAL NATIVE The site shall be landscaped. The use of native species consistent with and found in the project area shall be required in all landscaping plans as a condition of project approval. A list of appropriate native plant species identified in Attachment #2 and #3 in the North County Implementation Plan Development Regulations is available in brochure form (<i>Suggested Native Species Landscaping List - North County Coastal Zone</i>) from the RMA - Planning Department. (RMA - Planning Department)	Submit landscape plans and contractor's estimate to RMA - Planning Department for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable.	Owner/ Applicant/ Licensed Landscape Contractor/ Licensed Landscape Architect	Prior to issuance of Building Permits	
7.		PD014(A) - LIGHTING - EXTERIOR LIGHTING PLAN (NON-STANDARD) All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. All exterior lights on the single family dwelling and metal storage building shall be down-	Submit three copies of the lighting plans to the RMA - Planning Department for review and approval. Approved lighting plans shall be incorporated into final building plans.	Owner/ Applicant	Prior to the issuance of building permits	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		lit in such a way where the light source will not be visible from any areas within the Elkhorn Slough. The applicant shall submit 3 copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations, Title 24, Part 6. The exterior lighting plan shall be subject to approval by the Director of the RMA - Planning Department, prior to the issuance of building permits. (RMA – Planning Department)	The lighting shall be installed and maintained in accordance with the approved plan.	Owner/ Applicant	Prior to Occupancy / Ongoing	
8.		PD035 - UTILITIES - UNDERGROUND All new utility and distribution lines shall be placed underground. (RMA - Planning Department; Public Works)	Install and maintain utility and distribution lines underground.	Owner/ Applicant	Ongoing	
9.		PD038 - WATER TANK APPROVAL The water tank shall be painted an earth tone color to blend into the area and landscaped (including land sculpturing and fencing, where appropriate), subject to the approval of the Director of the RMA - Planning Department, prior to the issuance of building permits. (RMA – Planning Department)	Submit proposed color of water tank and landscaping plans to the RMA - Planning Department for review and approval.	Owner/ Applicant	Prior to the issuance of grading or building permits	
			Provide evidence to the Director of the RMA - Planning Department that the water tank has been painted and the landscaping has been installed according to the plans approved by the RMA - Planning Department.	Owner/ Applicant	Prior to the final inspection or occupancy	
			All landscaped areas and fences shall be continuously maintained; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.	Owner/ Applicant	On-going	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
RMA – Public Works Department						
10.		PW0005 – ENCROACHMENT (STD DRIVEWAY) Obtain an encroachment permit from the Department of Public Works and construct a standard driveway connection to Karner Road. (Public Works)	Applicant shall obtain an encroachment permit from DPW prior to issuance of building permits and complete improvement prior to occupancy or commencement of use. Applicant is responsible to obtain all permits and environmental clearances.	Owner/ Applicant	Prior to issuance of building/grading permits	
11.		PW0043 – REGIONAL DEVELOPMENT IMPACT FEE Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule. (Public Works)	Applicant shall pay Monterey County Building Services Department the traffic mitigation fee.	Owner/ Applicant	Prior to issuance of building/grading permits	
Monterey County Water Resources Agency						
12.		WR8 - COMPLETION CERTIFICATION The applicant shall provide the Water Resources Agency certification from a registered civil engineer or licensed contractor that stormwater detention/retention facilities have been constructed in accordance with approved plans. (Water Resources Agency)	Submit a letter to the Water Resources Agency, prepared by a registered civil engineer or licensed contractor, certifying compliance with approved drainage plan.	Owner/ Applicant/ Engineer/ Contractor	Prior to final inspection	
13.		WRSP001 – DRAINAGE PLAN (NON-STANDARD) The applicant shall provide the Water Resources Agency a drainage plan addressing on-site and off-site impacts. The plan shall include retention/percolation facilities to mitigate the impact of impervious surface stormwater runoff. Drainage improvements shall be constructed in accordance with plan approved by the Water Resources Agency. (Water Resources Agency)	Submit 3 copies of the drainage plan to the Water Resources Agency for review and approval.	Owner/ Applicant	Prior to issuance of building/grading permits	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
North County Rural Fire Protection District						
14.		FIRE002 - ROADWAY ENGINEERING The grade for all roads shall not exceed 15 percent. Where road grades exceed 8 percent, a minimum structural roadway surface of 0.17 feet of asphaltic concrete on 0.34 feet of aggregate base shall be required. The length of vertical curves in roadways, exclusive of gutters, ditches and drainage structures designed to hold or divert water, shall not be less than 100 feet. No roadway turn shall have a horizontal inside radius of less than 50 feet. A roadway turn radius of 50 to 100 feet is required to have an additional 4 feet of roadway surface. A roadway turn radius of 100 to 200 feet is required to have an additional 2 feet of roadway surface. Roadway turnarounds shall be required on dead-end roads in excess of 150 feet of surface length. The minimum turning radius for a turnaround shall be 40 feet from the center line of the road. If a hammerhead/T is used, the top of the "T" shall be a minimum of 60 feet in length. (North County Rural Fire Protection District)	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit	
			Applicant shall schedule fire dept. clearance inspection for each phase of development.	Applicant or owner	Prior to final building inspection	
15.		FIRE007 - DRIVEWAYS Driveways shall not be less than 12 feet wide unobstructed, with an unobstructed vertical clearance of not less than 15 feet. The grade for all driveways shall not exceed 15 percent. Where the grade exceeds 8	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit	

Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
		<p>percent, a minimum structural roadway surface of 0.17 feet of asphaltic concrete on 0.34 feet of aggregate base shall be required. The driveway surface shall be capable of supporting the imposed load of fire apparatus (22 tons), and be accessible by conventional-drive vehicles, including sedans. For driveways with turns 90 degrees and less, the minimum horizontal inside radius of curvature shall be 25 feet. For driveways with turns greater than 90 degrees, the minimum horizontal inside radius curvature shall be 28 feet. For all driveway turns, an additional surface of 4 feet shall be added. All driveways exceeding 150 feet in length, but less than 800 feet in length, shall provide a turnout near the midpoint of the driveway. Where the driveway exceeds 800 feet, turnouts shall be provided at no greater than 400-foot intervals. Turnouts shall be a minimum of 12 feet wide and 30 feet long with a minimum of 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall long with a minimum 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall be located within 50 feet of the primary building. The minimum turning radius for a turnaround shall be 40 feet from the center line of the driveway. If a hammerhead/T is used, the top of the "T" shall be a minimum of 60 feet in length.</p> <p>(North County Rural Fire Protection District)</p>	<p>Applicant shall schedule fire dept. clearance inspection</p>	<p>Applicant or owner</p>	<p>Prior to final building inspection</p>	
<p>16.</p>		<p>FIRE011 - ADDRESSES FOR BUILDINGS All buildings shall be issued an address in accordance with Monterey County Ordinance No. 1241. Each</p>	<p>Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.</p>	<p>Applicant or owner</p>	<p>Prior to issuance of building permit</p>	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		occupancy, except accessory buildings, shall have its own permanently posted address. When multiple occupancies exist within a single building, each individual occupancy shall be separately identified by its own address. Letters, numbers and symbols for addresses shall be a minimum of 4-inch height, 1/2-inch stroke, contrasting with the background color of the sign, and shall be Arabic. The sign and numbers shall be reflective and made of a noncombustible material. Address signs shall be placed at each driveway entrance and at each driveway split. Address signs shall be and visible from both directions of travel along the road. In all cases, the address shall be posted at the beginning of construction and shall be maintained thereafter. Address signs along one-way roads shall be visible from both directions of travel. Where multiple addresses are required at a single driveway, they shall be mounted on a single sign. Where a roadway provides access solely to a single commercial occupancy, the address sign shall be placed at the nearest road intersection providing access to that site. Permanent address numbers shall be posted prior to requesting final clearance. (North County Rural Fire Protection District)	Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	
17.		FIRE014 - EMERGENCY WATER STANDARDS - FIRE PROTECTION WATER SUPPLY - (SINGLE PARCEL) For development of structures totaling less than 3,000 square feet on a single parcel, the minimum fire	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit	

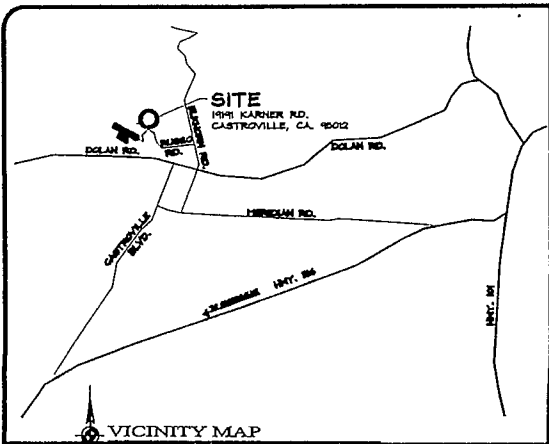
<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		protection water supply shall be 4,900 gallons. For development of structures totaling 3,000 square feet or more on a single parcel, the minimum fire protection water supply shall be 9,800 gallons. For development of structures totaling more than 10,000 square feet on a single parcel, the reviewing authority may require additional fire protection water supply. Other water supply alternatives, including ISO Rural Class 8 mobile water systems, may be permitted by the fire authority to provide for the same practical effect. The quantity of water required by this condition shall be in addition to the domestic demand and shall be permanently and immediately available. (North County Rural Fire Protection District)	Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	
18.		FIRE017 - DISPOSAL OF VEGETATION AND FUELS Disposal, including chipping, burying, or removal to a landfill site approved by the local jurisdiction, of vegetation and debris caused by site development and construction, road and driveway construction, and fuel modification shall be completed prior to final clearance of the related permit. (North County Rural Fire Protection District)	Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	
19.		FIRE019 - DEFENSIBLE SPACE REQUIREMENTS Manage combustible vegetation within a minimum of 100 feet of structures (or to the property line). Limb trees 6 feet up from ground. Remove limbs within 10 feet of chimneys. Additional and/or alternate fire protection or firebreaks approved by the fire authority may be required to provide reasonable fire safety. Environmentally sensitive areas may require alternative fire protection, to be determined by Reviewing Authority and the Director of Planning and Building Inspection. (North County Rural Fire Protection District)	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans. Applicant shall schedule fire dept. clearance inspection	Applicant or owner Applicant or owner	Prior to issuance of grading and/or building permit Prior to final building inspection	

Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
20.		FIRE021 - FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM (STANDARD) The building(s) and attached garage(s) shall be fully protected with automatic fire sprinkler system(s). Installation shall be in accordance with the applicable NFPA standard. A minimum of four (4) sets of plans for fire sprinkler systems must be submitted by a California licensed C-16 contractor and approved prior to installation. This requirement is not intended to delay issuance of a building permit. A rough sprinkler inspection must be scheduled by the installing contractor and completed prior to requesting a framing inspection. (North County Rural Fire Protection District)	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit	
			Applicant shall schedule fire dept. rough sprinkler inspection	Applicant or owner	Prior to framing inspection	
			Applicant shall schedule fire dept. final sprinkler inspection	Applicant or owner	Prior to final building inspection	
21.		FIRE025 - SMOKE ALARMS – (SINGLE FAMILY DWELLING) Where a household fire warning system or combination fire/burglar alarm system is installed in lieu of single-station smoke alarms required by the Uniform Building Code the alarm panel shall be required to be placarded as permanent building equipment. (North County Rural Fire Protection District)	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit	
			Applicant shall schedule fire alarm system acceptance test.	Applicant or owner	Prior to final building inspection	
22.		FIRE026 - ROOF CONSTRUCTION (STANDARD) All new structures, and all existing structures receiving new roofing over 50 percent or more of the existing roof surface within a one-year period, shall require a minimum of ICBO Class B roof construction. (North County Rural Fire Protection District)	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit	
23.		PDSP001 - DEBRIS REMOVAL (NON-STANDARD) Prior to occupancy or final of the building permit, whichever occurs first, the applicant shall cause to be removed from the property all junk, including scrap metals, scrap materials, dismantled or wrecked vehicles or machinery, garbage, debris or similar materials. (RMA – Planning Department)	Proof of compliance shall be submitted to RMA - Planning Department prior to issuance of building permits.	Owner/ Applicant	Prior to the occupancy or final of the building permit.	

END OF CONDITIONS - Rev. 05/18/2010

John L. Whitten (PLN090409)

Page 16 of 16



LANDSCAPE PLAN

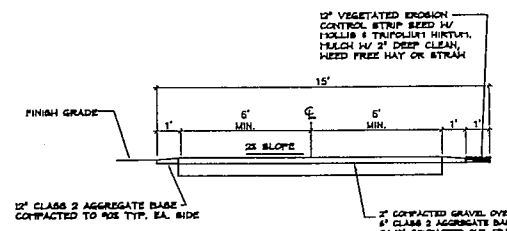
ALL DISTURBED AREAS TO BE SEEDED W/ NATIVE GRASS. ROTO-TILL & PLANT ANNUAL BARLEY FOR 1 YEAR. ROTO-TILL & PLANT MIX OF TUFTED HAIR GRASS (FESCHAMERIA) AND BLUE WILD RYE THE FOLLOWING WINTER.

"I CERTIFY THAT THIS LANDSCAPING AND IRRIGATION PLAN COMPLIES WITH ALL MONTEREY COUNTY LANDSCAPING REQUIREMENTS INCLUDING USE OF NATIVE DROUGHT TOLERANT NON-INVASIVE SPECIES, LIMITED TIME AND LOW FLOW, WATER CONSERVING IRRIGATION FIXTURES."

Signature: *[Signature]*

License Number: 770809

IF ARCHAEOLOGICAL REMAINS OR HUMAN REMAINS ARE ACCIDENTALLY DISCOVERED DURING CONSTRUCTION, WORK SHALL BE HALTED WITHIN 50 FEET(S) OF THE FIND SITE. IT CAN BE EVALUATED BY A QUALIFIED PROFESSIONAL ARCHAEOLOGIST. IF THE FIND IS DETERMINED TO BE SIGNIFICANT, APPROPRIATE MITIGATION MEASURES SHALL BE FORMULATED AND IMPLEMENTED.



TYP. DRIVEWAY SECTION
N.T.S.

GENERAL SITE PLAN NOTES

REFER TO GEOTECH REPORT FOR ALL GRADING AND FOUNDATION RECOMMENDATIONS

SOIL REPORT BY GRICE GEOTECHNICAL ENGINEERING, INC

TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE

THE LETTER NUMBERS FOR PERMANENT ADDRESS SIGNS SHALL BE ADEQUATE SIZE AND OF A COLOR WHICH CONTRASTS TO BACKGROUND IN NO CASE SHALL THE LETTER NUMBERS BE LESS THAN 4 INCHES IN HEIGHT WITH A MINIMUM 5/8" STROKE

NOTE:

TYPE OF CONSTRUCTION V-NUMBERED

THIS PROJECT SHALL COMPLY WITH 2007 CBC, CFC, OFC, PFC, CAC, AND TITLE 24 ENERGY REGULATIONS

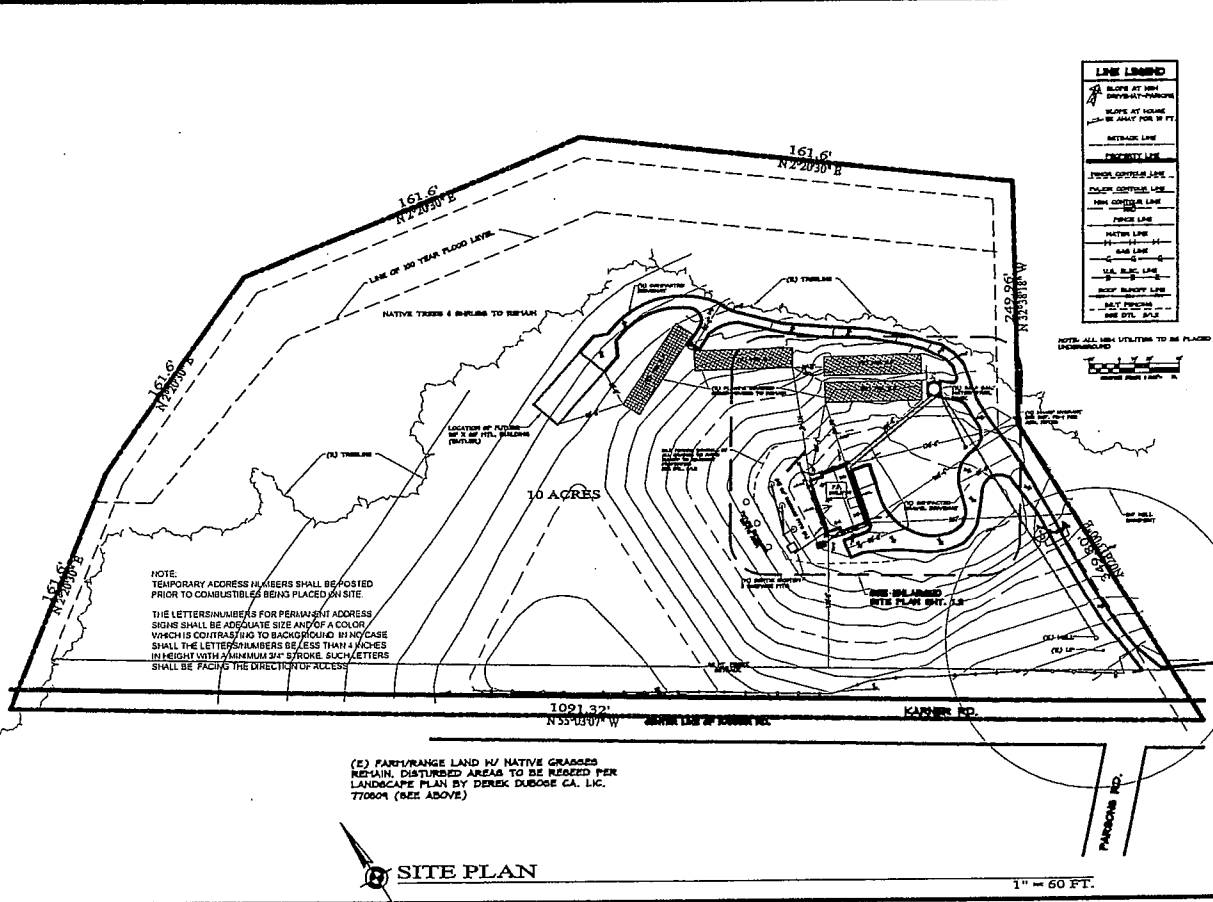
- ALL FOUNDATION AND RELATED WORK TO CONFORM WITH RULES OF CHAPTER 18 OF THE 2007 CBC - CONCRETE COMPRESSION STRENGTH (2800 PSI MIN. 3000) (SECT. 1913 TABLE 1903.2)
- FOR CBC 2007 SECTION 1903 THE THICKNESS OF CONCRETE FLOOR SLABS SUPPORTED DIRECTLY ON GROUND SHALL NOT BE LESS THAN 8" U/L OR 4" T/C. POLY VAPOR BARRIER JOINTS LAPPED NOT LESS THAN 6" PLACED BETWEEN THE BASE COURSE OR SUB-GRADE AND CONCRETE SLAB.
- REINFORCING BARS SHALL BE DEFORMED BARS CONFORMING WITH STANDARD SPECIFICATIONS ASTM-A63 GRADE 60 U/L. BARS SHALL BE PLACED IN AS LONG LENGTHS AS POSSIBLE AND SHALL LAP 48 DIAMETER AT 90 DEGREE ANGLES. BARS SHALL BE STAGGERED AND BARS MAY BE WELDED TOGETHER AT SPLICES.
- BAR COVERAGE (FACE OF BAR TO FACE OF CONCRETE) SHALL BE AS FOLLOWS:
CONCRETE SLAB ON GRADE - 1-1/2" MIN.
CONCRETE SURFACE AGAINST EARTH - 2" MIN.
FOR ALL OTHERS SEE DETAILS
- LIFFERS SHALL BE - D.P. #2
- SHALL CONSTRUCTION SHALL COMPLY WITH 2007 CBC TABLE 2003.4 (FOR CONVENTIONAL CONSTRUCTION)
- PAVING TO BE IN COMPLIANCE WITH 2007 CBC TABLE 8.000.0

PROJECT SHALL COMPLY WITH THE 2007 CALIFORNIA BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, FIRE AND ENERGY CODES

HOME SHALL HAVE HAD APPROVAL CERTIFICATION APPLIED TO EACH IMPROVEMENT.

ANY ALTERNATIONS/STRUCTURAL ADDITIONS TO THE PLAN, HOME MUST BE APPROVED BY THE CALIFORNIA DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT.

OWNERS:	JOHN WHITTEN
DESIGNER:	RAY SCHMITT
CONTRACTOR:	FOUR WINDS CONSTRUCTION CONTRACTOR # B814791 131-072-034-000
APN:	19191 KARNER
ADDRESS:	19191 KARNER CASTROVILLE, CA, 95012
PROJECT:	(N) SINGLE FAMILY RESIDENCE NEW SEPTIC SYSTEM NEW WATER STORAGE TANK (N) PROPANE TANK (N) ASPHALT DRIVEWAY
ZONED:	RDRS (C) & RC (C)
LOT SIZE:	435,800 SQ. FT. (10 ACRES)
OCCUPANCY:	R-1B
LOT COVERAGE:	2.72727273 %
BUILDING HEIGHT:	14'-2"
EXIST. PLASTIC COVERED GREEN HOUSES - (4 TOTAL 1918 S.F.) TO REMAIN	TOTAL: (EXISTING) 7672 SQ. FT.
PROPOSED NEW MANUFACTURED HOME	2224 SQ. FT.
NEW "BUTLER" MTL. BUILDING	1984 SQ. FT.
TOTAL: (NEW)	4208 SQ. FT.
TOTAL:	11880 SQ. FT.



NOTE: NO TREES TO BE REMOVED

GRADING, DRAINAGE & EROSION CONTROL NOTES:

EROSION CONTROL MEASURES TO BE IN PLACE BETWEEN OCT. 15 & APRIL 15 OR 14-DAY RAIN RAIN IS PREVIOUS OTHER TYPES.

CONTRACTOR TO PREVENT SEDIMENT EROSION OF ANY DISTURBED AREAS DURING AND AFTER CONSTRUCTION BY INSTALLATION OF EROSION CONTROL MEASURES & 2" THICK STRAIN FULCH ON DISTURBED AREAS.

ALL DRAINAGE PATTERNS CREATED BY GRADING ARE INTENDED TO BE SHEET FLOW TO AVOID CONCENTRATED RUNOFF. DRAINWAYS INSTALLED TO DRAIN CONTOURS.

ROOF RUNOFF TO BE COLLECTED VIA SOLID PVC TO WATER DISPERSION PIT

PROVIDE POSITIVE DRAINAGE AWAY FROM ALL FOUNDATIONS SLOPE FUL GRADE BE AWAY FROM FOUNDATION MIN. 10 FT. ALL SIDES.

CONTROL RUNOFF WITH STRAIN HADDOLES, BAILS AND/OR SILT FIDERS TO PREVENT EROSION RUN OFF TO ADJOINING PROPERTIES.

NO CUT & FILL REGD. GRADING TO SCAPE & LEVEL BUILDING PAD & DRIVE ONLY.

SEE SHT. 1,2 FOR ADDITION GRADING & EROSION CONTROL NOTES

(E) PART/RANGE LAND W/ NATIVE GRASSES REMAIN. DISTURBED AREAS TO BE RESEED PER LANDSCAPE PLAN BY DEREK DUBOIS C.A. LIC. 770809 (SEE ABOVE)

SITE PLAN
1" = 60 FT.

SHEET INDEX

1.1	SITE PLAN, VICINITY MAP, PROJECT DATA, NOTES
1.2	RELANGED SITE PLAN, EROSION CONTROL NOTES AND DETAILS
FDH	FIRE DEPARTMENT NOTES
2.1	1ST FLOOR PLANS
3.1	EXTERIOR ELEVATIONS ADD. GRADING NOTES
3.2	FUTURE METAL BUILDING PLANS & ELEVATIONS

REVISION

APN: 191-078-034-000

APPLICANT: RAY SCHMITT

CONTRACTOR # B814791

CASTROVILLE, CA. 95012

SITE PLAN - PROJECT DATA

Date: 11-

Drawn R:

Checked

Scale: AS

Job

Sheet

1.

EROSION CONTROL & GRADING NOTES

1. EXPOSED EARTH SHALL BE LANDSCAPED FOR EROSION CONTROL PRIOR TO THE RAINY SEASON (OCT. 15 TO APRIL 15). IF LANDSCAPING IS NOT ESTABLISHED PRIOR TO THE RAINY SEASON, SLOPES AND SWALES SHALL BE SEEDED WITH ANNUAL RYE GRASS (HIBISCUS) AND MULCHED WITH A 2" LAYER OF STRAW, WOOD CHIPS OR COMPOST. IN ADDITION, MULCH SHALL BE MAINTAINED ON SWALES BY JUTE NETTING STAPLED TO GROUND. SILT FENCES AND/OR STRAW BALES SHALL BE INSTALLED ALONG THE LENGTHS OF GRADING LINE BELOW AREAS WITH SOFT EROSION CONTROL MEASURES.
2. DURING CONSTRUCTION, EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. SUCH PROTECTION MAY CONSIST OF MULCHING AND/OR PLANTING OF NATIVE VEGETATION OF ADEQUATE DENSITY, SILT FENCING, STRAW BALES, ETC. LOCATION OF SUCH PROTECTION WILL DEPEND ON THE CONSTRUCTION SEASON, STAGE OF GRADING, AND THE DIRECTION OF PROJECT. ANY EXPOSED SOIL ON DISTURBED SLOPES SHALL BE PERMANENTLY PROTECTED FROM EROSION.
3. DRAINAGE SLOPE WILL BE A MINIMUM OF 5% AWAY FROM THE HOUSE FOR A MINIMUM OF 10 FEET.
4. CONTRACTOR TO MAINTAIN ADEQUATE WATER SUPPLY TO USE FOR DUST CONTROL AT ALL TIMES DURING GRADING OPERATIONS.
5. EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY BETWEEN OCT. 15 AND APRIL 15.

**WINTER OPERATION NOTES
OCTOBER 15 THRU APRIL 15**

WHEN WINTER OPERATIONS TAKE PLACE THE FOLLOWING MEASURES MUST BE TAKEN TO PREVENT ACCELERATED EROSION.

- A. VEGETATION REMOVAL BETWEEN OCT. 15 AND APRIL 15 SHALL NOT PROCEED SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN 15 DAYS. DURING THIS PERIOD, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE.
- B. BETWEEN OCT. 15 AND APRIL 15, DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOILS PROTECTION.
- C. RUN-OFF FROM THE SITE SHALL BE DETERMINED OR FILTERED BY BEAMS, VEGETATED FILTER STRIPS AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE DISTURBED AREA OR SITE. THESE DRAINAGE CONTROL MEASURES MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT.
- D. EROSION CONTROL MEASURES SHALL BE AT THE END OF EACH DAY'S WORK.
- E. ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
- F. THE DIRECTOR OF THE BUILDING INSPECTION DEPT. MAY STOP OPERATIONS DURING PERIODS OF INCLEMENT WEATHER IF HE DETERMINES THAT EROSION PROBLEMS ARE NOT BEING CONTROLLED ADEQUATELY.

ADDITIONAL GRADING NOTES:

A COPY OF ALL FIELD REPORTS, COMPACTION TESTS AND FINAL GRADING REPORTS SHALL BE SUBMITTED TO THE COUNTY AT SCHEDULED INSPECTIONS.

ALL GRADING SHALL CONFORM TO MONTEREY COUNTY GRADING ORDINANCE # 2533 AND EROSION CONTROL ORDINANCE # 2308.

PAD ELEVATION SHALL BE CERTIFIED TO BE 1 FEET, PRIOR TO ANY FOOTING OR SCHEDULING ANY INSPECTIONS.

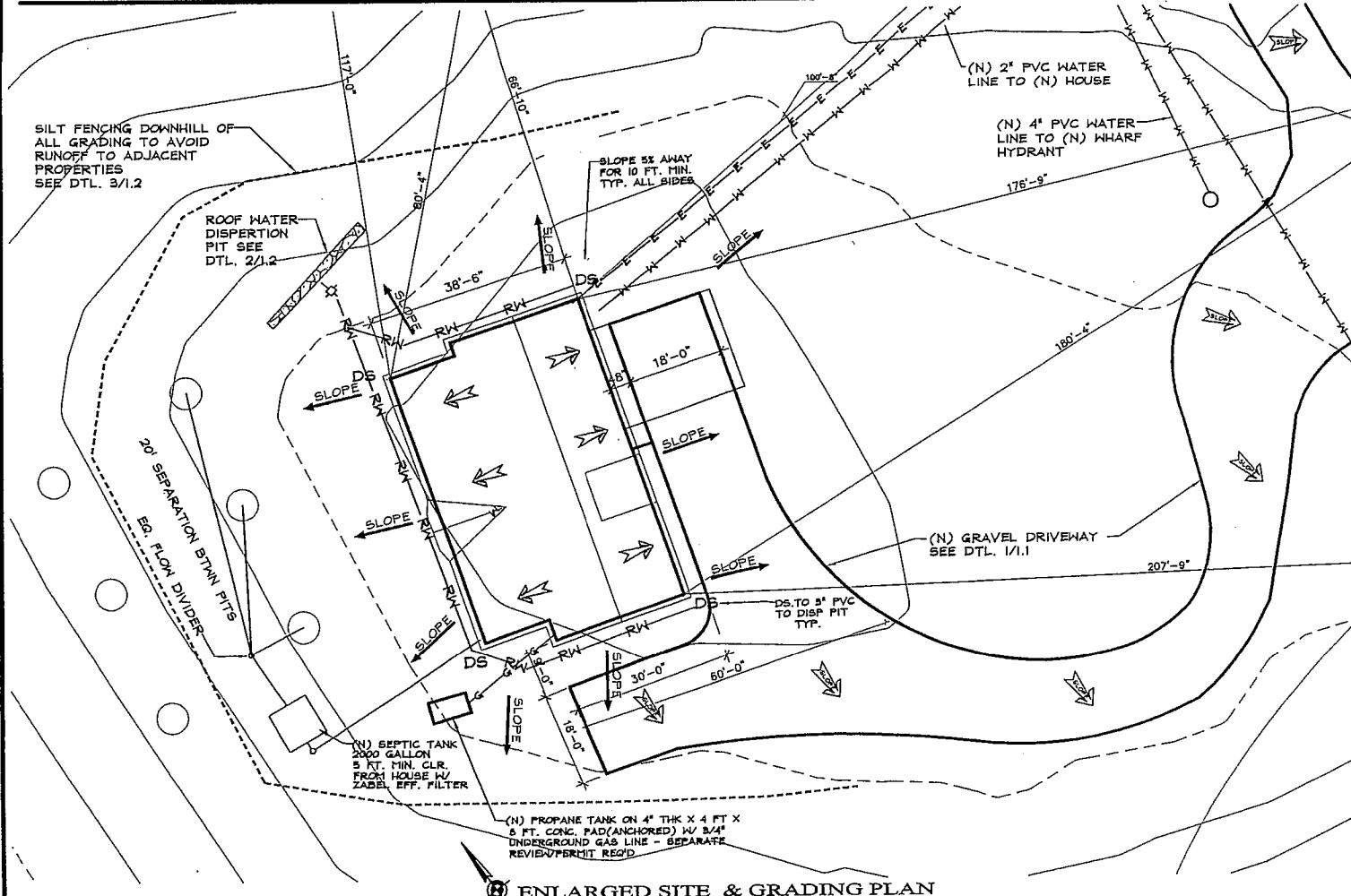
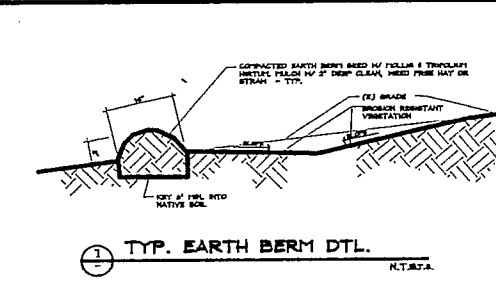
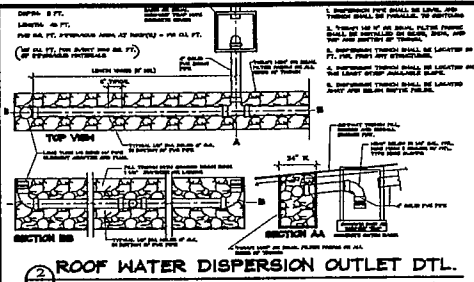
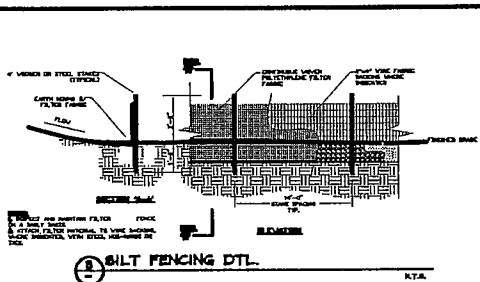
ALL GRADING AND EROSION CONTROL MEASURES TO FOLLOW NEED PER GEOTECHNICAL REPORT BY GRICE ENG.

Actual grading shall begin within 30 days of vegetation removal or that area shall be planted under the provisions of Section 16.08.340 to control erosion. (16.08.300 C, 1)

No vegetation removal or grading will be allowed which will result in siltation of water courses or uncontrollable erosion. (16.08.300 C, 2)

Cut slopes shall be no steeper than two horizontal to one vertical. (16.08.300 A)

Drainage and terraces shall be provided as required by Section 117



ENLARGED SITE & GRADING PLAN

1" = 10 FT

REVISION
 APN: 181-078-054-000
 APPLICANT: RAY SCHMITT
 CONTRACTOR # B147471
 COASTAL HOME SOLUTIONS
 CASTROVILLE, CA 95012
 ENLARGED SITE PLAN & EROSION CONTROL NOTES & DETAILS
 Date: 11
 Drawn R
 Checked
 Scale: As
 Job
 Sheet

1

The following paragraphs must be printed on the project plans under "FIRE DEPARTMENT NOTES".

Fire sprinklers are required. Place the following note on the project plans:

1. **Fire Sprinklers Required** - The residence(s) shall be protected with automatic fire sprinkler system(s). Fire sprinklers are required in attached garages, installation, approval, and maintenance shall be in accordance with applicable National Fire Protection Association Standard 130 and local ordinances. The additional cost shall be determined by the enforcing jurisdiction. Plans for fire sprinkler system(s) must be submitted and approved prior to installation. Rough-in provisions must be completed prior to requesting a Building Inspection from the Building Department.

When fire sprinklers are required, place the following note on the project plans:

2. **Fire Alarm Plan** - Notify shall be wired to the fire department station. Any deviations require approval from the fire department.

Address numbers shall be posted pursuant to the note that follows. Place the following note on the project plans:

3. **Address Numbers to be Posted** - Before construction begins, temporary or permanent address numbers shall be posted. Permanent address numbers shall be posted prior to request of a final inspection. All address numbers (permanent or temporary) shall be posted on the property so as to be clearly visible from the road. Where a utility cannot be provided, a post or sign bearing the address numbers shall be set adjacent to the driveway or access road to the property. Address numbers posted shall be "Arabic" (1, 2, 3, etc.) not "Roman" (I, II, III, etc.) or written out in words (Thirteen, Seventy-six, etc.). Address numbers posted shall be a minimum number height of 3 inches, 1/8 inch wide stroke, and conforming with the background colors of the sign. NOTE: If numbers are not posted, Building/Fire Inspectors will not grant a final inspection.

Separate addresses shall be obtained pursuant to the note that follows for structures' main, main-stem units and "granny houses". Also, place the following note on the project plans:

4. **Separate Address Required** - Caretaker's Units, Senior Citizen Units and "Granny Houses" shall be issued address separate from the main residence. Contact the Monterey County Public Works Dept. at 755-4816.

Show the type and class of roof on the project plans.

2. **Roofing** - Class 1 or Class 2 Roofing: Roof construction shall be a Class A or Class B building, as defined by Uniform Building Code Standard 15.2. This requirement shall apply to all new construction and when 50 percent or more of an existing roof is replaced within a one-year period.

Vegetation shall be cleared pursuant to the note that follows. Place this note on the project plans:

6. **Clear Vegetation** - All flammable vegetation or other combustible growth shall at all times maintain clear distance of not less than 10 feet on each side from structures or buildings. This shall not apply to single specimens of trees, ornamental shrubbery or similar plants used as ground covers, provided that they do not form a canopy of foliage overhanging the roof from the outside growth to any structure. Additional fire protection or firebreak may be required where, because of tree hazardous condition, a firebreak of only 10 feet around such structure is not sufficient to provide reasonable fire safety. Environmentally sensitive areas may require alternative fire protection, to be determined by the Fire Chief and Director of Planning and Building. This project requires _____ feet clearance.

Monterey County Fire Department/Clearance Administration Form 1-1
Revised February 1, 1997

FIRE DEPARTMENT NOTES

Show the width, height, slope percentage, and type of surface of the access driveway on the project plans.

1. **Access Driveway - General** - Access driveway shall be approved driving surface capable of supporting the approved 20,000-lb load, not less than 10 feet of unobstructed width, a minimum 10:12 to 15:12 vertical clearance, and a maximum 15 percent grade. The driveway and access shall have a top of 3/4 percent or more the field surface shall be A.C. concrete or asphalt. EXISTING DRIVEWAY shall be removed by an approved contractor for the driveway system, the perimeter of this section may be modified, subject to the approval of the local fire department.

If the access road is over 100 feet long and less than 22 feet wide, place an emergency access on the project plans (See diagram, see attached drawing 11-17).

2. **Driveway Turnout/Driveway** - Minimum width of the driveway shall be more than 12 feet wide unobstructed. All driveways meeting 20,000-lb load in length, but less than 100 feet in length, shall provide a turnout area at the 25 percent of the driveway. Where the driveway meets 100 feet, turnout shall be provided at a greater than 400 feet driveway.

If the access road has a dead end of more than 100 feet long, shall also be provided in the access road driving the project plan (See attached drawing 11-17). Also, see attached drawing 11-17 on the project plan.

3. **Access Driveway Turnout** - Turnout shall be provided: All dead end access roads in excess of 100 feet in length shall be provided with approved turnout for the turning around of fire apparatus.

If the access road has turns, indicate the turning radius at the turn (see attached drawing 11-17 and Example C).

Show turnout on the plans. Also, place the following note on the project plans:

10. **Driveway Turnout** - Turnout shall be provided with a hard curb, meeting the department specifications. Turnout shall be provided with fire department approved meeting fire department specifications. One entrance shall be provided at the side of the turnout, but it is not more than 12 feet wide. Unobstructed vertical clearance shall be not less than 10 feet.

Show turnout on the plans.

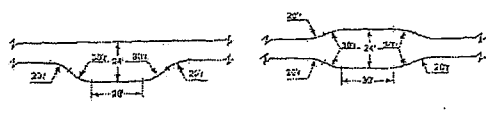
11. **Height** - All new and reconstructed bridges shall be at least the width of the roadway and shall not be less than 12 feet wide. Bridge width on all spans exceeding turning radius shall be the same as the width of the span with turn. All bridges shall be designed for 10,000-lb loading (maximum specification for highway bridges) and three-pedal loads.

Show accessible grade on plans.

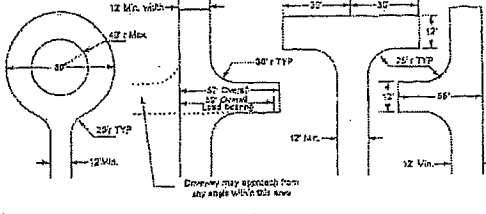
12. **Height for Structures (Minimum) Street Right-of-Way** - All private 1-story and lower structures shall be 10 feet above the building and secondary building from its property line and for the corner of the road. The overall height shall be 10 feet or more a 10-foot minimum unless noted to the contrary. All signs and modifications made to signs be required by the local fire jurisdiction to provide the same protection effect.

Monterey County Fire Department/Clearance Administration Form 1-1
Revised February 1, 1997

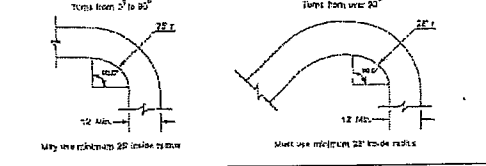
EXAMPLE A Driveway Turnouts Form # 1 (04/07/04) Revised 1/2007



EXAMPLE B Driveway / Road Turnaround



EXAMPLE C Driveway Turning Radii



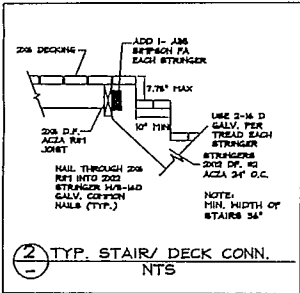
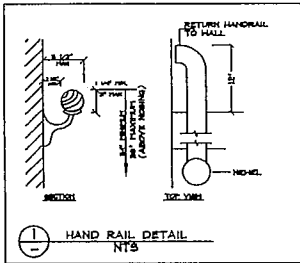
REVISION:

APPLICANT: RAY SCHMITT
CONTRACTOR: BHA/ATRI
COASTAL HOME SOLUTIONS
CASTROVILLE, CA 95012

FIRE DEPT. NOTES

Date: 11-
Drawn R
Checked
Scale: As
Job
Sheet

FI



DOOR & LANDING REQUIREMENTS

LANDING AT DOOR NOT REQUIRED ON INTERIOR FLIGHT IN DWELLING OR SINGLE FAMILY HOME (EXCEPT BARRIERS DOORS) DOES NOT SHOW OVER THE STAIRS. (2003A IBC, § 1003.4 EXP. 3)

THERE SHALL BE A FLOOR OR A LANDING AT EACH STAIRWAY OR STAIR RUN. LANDINGS SHALL HAVE A MIN. CLEARANCE OF TRAVEL OF AT LEAST 5'-0" PER (IBC 2003.1.1)

STAIR DOOR FROM DOWNWAY - TOP OF THRESHOLD 7'-0" MAX. (IBC 2003.4 EXP. 3)

MAX. 2'-0" RISE AND MIN. 1'-0" RUN. (2003A IBC § 4)

MIN. 3'-0" CLEAR WIDTH (IBC 2003.1.1)

SOLID WOOD OR FINISH OF WOOD - 4" OPENING AT TRANSOME AT STAIR TREAD/CLIMBER RAIL. (2003.1.3)

STAIR FRAMES

-ALL FRAMES TO BE FTDF (ACIA)

-ALL FASTENERS TO BE APPROVED (ACIA)

-NAILS & BOLTS TO BE SECURED (ACIA) - MATCH DRAW.

-SEE PLAN, SECTION (1/2)X(1/2)

GUARDRAILS

REQUIRED 42" HIGH MORE THAN 3'-0" ABOVE GRADE OR FLOOR.

ALL UNENCLOSED FLOOR AND ROOF OPENINGS, OPEN AND GLAZED SIDES OF LANDINGS AND BALCONY, BALCONIES OR PORCHES HANGING MORE THAN 30 INCHES ABOVE GRADE, OR THE FLOOR BELOW, AND ROOFS LINED FOR OTHER THAN SERVICE OF BUILDINGS SHALL BE PROTECTED BY A GUARDRAIL.

GUARDRAILS SHALL NOT BE LESS THAN 42" IN HEIGHT, EXCEPT ON STAIRWAYS WHERE THEY MAY BE 3'-0" OPEN BALCONIES AND STAIR BALCONYS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4 INCHES IN DIAMETER CANNOT PASS THROUGH. (IBC 2003.1.6)

HANDRAILS (RAMP)

NOT REQUIRED ON A CONTINUOUS RUN LESS THAN FOUR RISES. (2003A IBC § 2)

STAIRWAYS SHALL HAVE AT LEAST ONE HANDRAIL, AND HANDRAILS SHALL BE INSTALLED ON BOTH SIDES OF STAIRWAYS. THE TOP OF HANDRAILS SHALL BE PLACED NOT LESS THAN 34 INCHES OR MORE THAN 38 INCHES ABOVE THE FINISH OF TREADS. THEY SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIR. RAILS SHALL BE RETURNED OR WALL-TERMINATE IN RISER, PORTS OR SAFETY THROUGH-WALLS.

HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL. THE HANDRAIL PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/2 INCHES OR MORE THAN 2 INCHES IN CROSS-SECTIONAL DIMENSION ON THE SHAPE SHALL PROVIDE AN UNOBSTRUCTED SURFACE. THE HANDRAIL PORTION SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS.

NOTE: SEE SHT. 1.11 FOR ADDITIONAL CODE COMPLIANT NOTES

TYPE OF CONSTRUCTION V-B

SITE INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ROOFING BY OWENS CORNING UL 740 CLASS A ASTM E 106, CLASS A

SEE SHT. 2 FOR GARAGE ELEC.

NOTES

HALL CONSTRUCTION SHALL COMPLY WITH CBC TABLE 2504.9.1 (FOR CONVENTIONAL CONSTRUCTION.)

NAILING TO BE IN COMPLIANCE WITH CBC TABLE 2504.9.1

SITE INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ROOFING BY OWENS CORNING UL 740 CLASS A ASTM E 106, CLASS A

NOTES

BOLTS IN WOOD SHALL CONFORM TO ASTM A-307. BOLT HOLES SHALL BE DRILLED 1/16" OVERSIZE OF BOLT. USE STANDARD WASHER ON ALL BEARING OF HEADS AND NUTS AGAINST WOOD UNLESS OTHERWISE NOTED. BOLTS, NUTS AND WASHERS SHALL BE HOT-DIPPED GALV. OR STAINLESS STEEL WHERE EXPOSED TO WEATHER. BOLTS WITH UPSET THREADS ARE NOT ALLOWED.

HOLD DOWN HARDWARE MUST BE SECURED IN PLACE PRIOR TO FOUNDATION INSPECTION AND SHALL BE RE-TIGHTENED AT COMPLETION OF PROJECT, OR IMMEDIATELY BEFORE FINISHING OF CONSTRUCTION WHICH WILL MAKE THEM INACCESSIBLE.

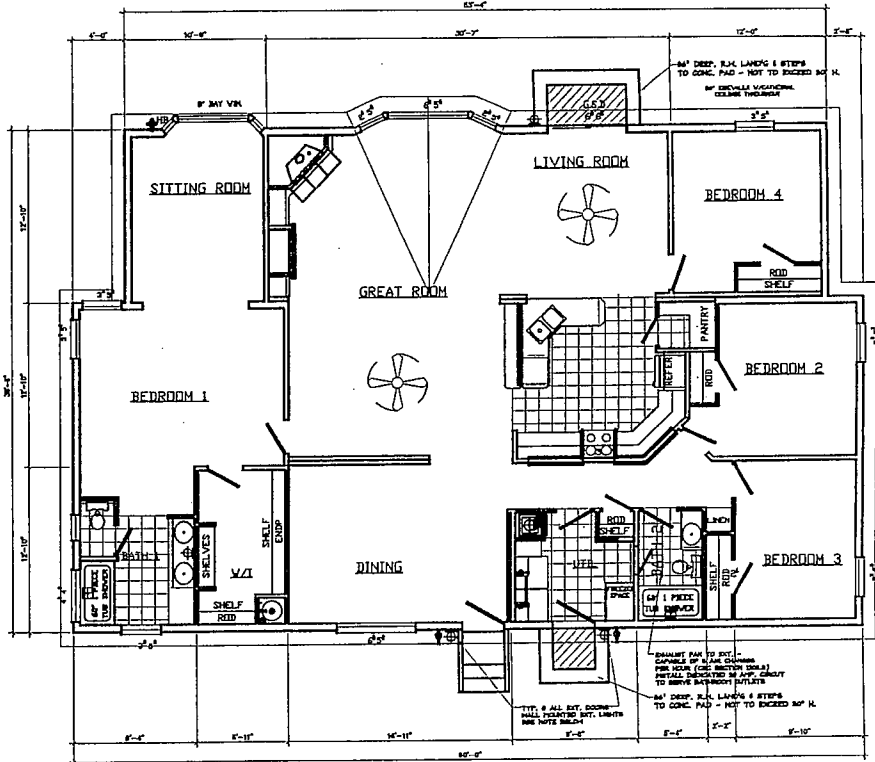
ALL FASTENERS EMBEDDED IN CONCRETE SHALL BE ATTACHED TO, OR HOOKED AROUND, REINFORCING STEEL, OR OTHERWISE TERMINATED TO EFFECTIVELY TRANSFER FORCES TO THE REINFORCING STEEL. (2007 CBC SECTIONS 2506.3.3.)

AT THE TIME CONCRETE IS PLACED, REINFORCEMENT SHALL BE FREE FROM MUD, OIL, OR OTHER NONMETALLIC COATINGS THAT DECREASE BOND. (2007 CBC SECTION 2506.3.3.)

FASTENERS IN PRESERVATIVE-TREATED WOOD (ANCHOR BOLTS, NAILS, SCREWS, ETC.) - EXCLUDING INTERIOR WALLS SHALL BE APPROVED GALVANIZED OR COPPER, STAINLESS STEEL OR HOT-DIPPED ZINC-COATED STEEL. (2007 CBC SECTION 2504.4.3)

ANCHOR BOLTS SHALL BE MIN. 1/2" DIA. IN SDC D (3/8" DIA. IN SDC E) AND SHALL BE EMBEDDED AT LEAST 7" INTO THE FOUNDATION. ANCHOR BOLT SHALL BE SPACED NOT MORE THAN 8" APART. THERE SHALL BE A MIN. OF TWO BOLTS PER BILL PIECE WITH ONE BOLT LOCATED NOT MORE THAN 1" OR LESS THAN 4" FROM EACH END OF THE BILL PIECE. (SEC 2506.4)

PLATE WASHERS FOR ANCHOR BOLTS, MIN. 3" X 3" BY 0.224" THK. (SEC 2506.3.3)



NOTE: ALL SET LIMITS SHALL BE MARKED THROUGHOUT THE SET EXCEPT FOR THE BATH, KITCHEN, AND LIVING ROOM. ALL SET LIMITS TO BE INSTALLED AS NOTED DETAIL. NO HALL LIGHTS SHALL BE INSTALLED UNLESS SPECIFIED BY LOCAL AGENCY AND LISTED ONLY THROUGH AREA BY CITY OF LOS ANGELES. E-1394D 2224 SQ. FT.

GFI PROTECTION:
 EXISTING ELECTRICAL OUTLET SHALL HAVE A GFCI PROTECTED RECEPTACLE. ALL NEW ELECTRICAL SHALL BE INSTALLED IN ACCORDANCE WITH THE 2007 CBC SECTION 2504.4.3.

WOOD:
 TEMPORARY BRACING SHALL BE PLACED PRIOR TO DEMOLITION BEING PLACED ON SITE.
 THE LIVING/DINING FOR NONSMOKING COMMON ROOM SHALL BE LOCATED BEHIND OF A COLD WALL IS CONSTRUCTION IS REQUIRED. IN NO CASE SHALL THE LIVING/DINING BE LESS THAN 4 INCHES IN THICKNESS. MINIMUM 2-1/2" LUMBER SHALL BE USED TO BRACE WALLS AND CEILING FROM THE INTERIOR OF ROOMS.



FUQUA HOMES, INC.
 TITLE: FLOOR PLANS
 NO: 1394D
 REV: 001

ALTERNATE APPROVAL SYSTEM:
 THIS DRAWING SHALL BE PREPARED BY AN APPROVED ALTERNATE APPROVAL SYSTEM OPERATING UNDER THE AUTHORITY OF THE CALIFORNIA BUILDING AGENCY.



FLOOR PLANS

1/4" = 1'-0"

REVISIONS

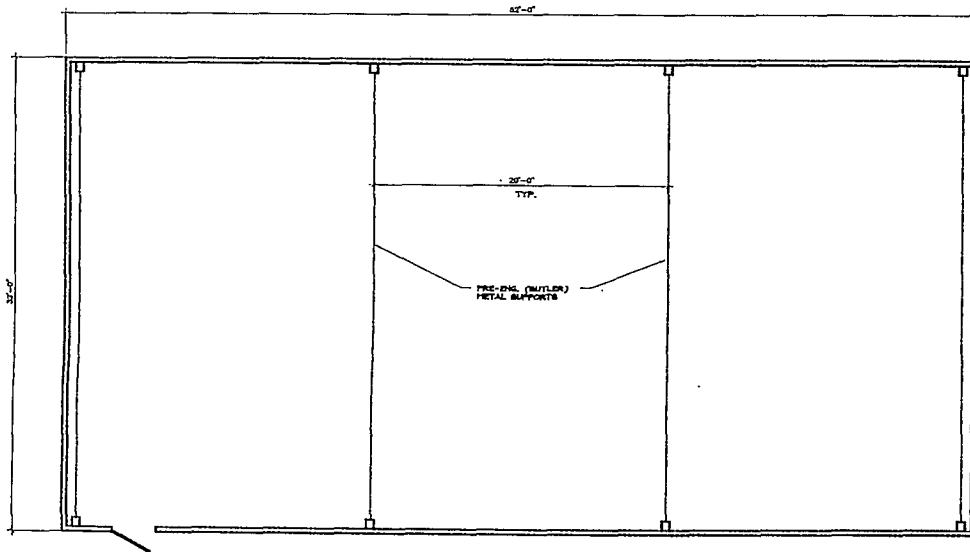
APN: 151-075-084-000
 CONTRACTOR # B514791
 COASTAL HOME SOLUTIONS
 CASTROVILLE, CA 95012

APPLICANT: RAY SCHMITT
 CONTRACTOR # B514791
 COASTAL HOME SOLUTIONS
 CASTROVILLE, CA 95012

1ST & 2ND LEVEL FLOOR PLAN

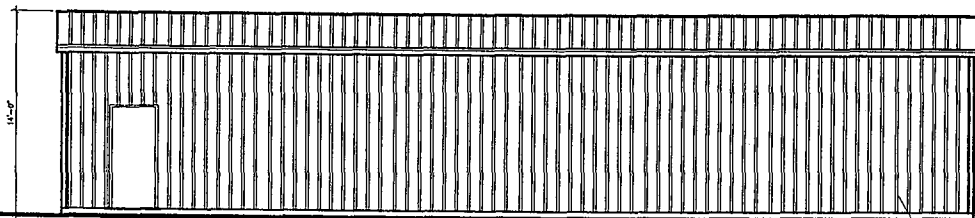
Date: 11-
 Drawn RS
 Checked
 Scale: As
 Job
 Sheet

2.



FLOOR PLAN

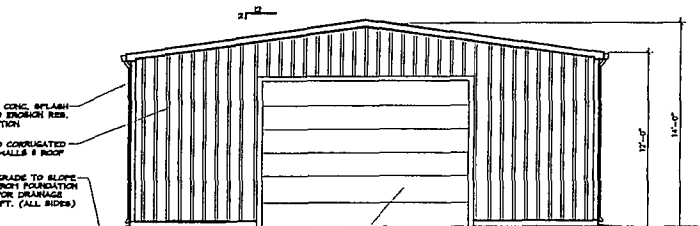
1/4" = 1'-0"



EAST ELEVATION

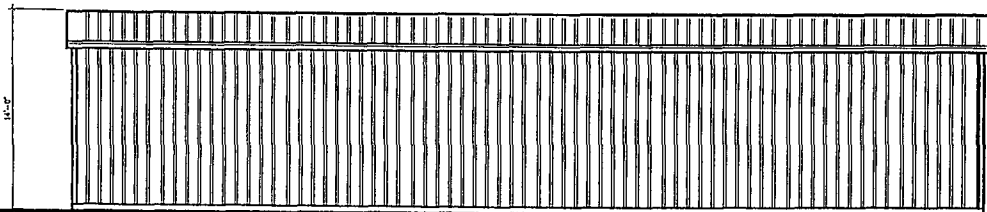
8 FT. W. X 7 FT. H. METAL DOOR

D.A. TO CONC. SPLASH-
D.L. TO FINISH RES.
VEGETATION
PAINTED CORRUGATED
METAL WALLS & ROOF
FINISH GRADE TO SLOPE
AWAY FROM FOUNDATION
AT 1% FOR DRAINAGE
MIN. 10 FT. (ALL SIDES)

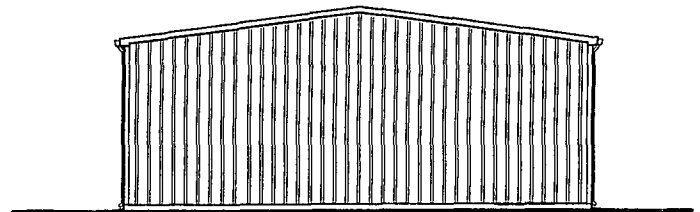


NORTH ELEVATION

14 FT. W. X 10 FT. H. METAL ROLL-UP DOORS



WEST ELEVATION



SOUTH ELEVATION

EXTERIOR ELEVATIONS

1/4" = 1'-0"

REVISIONS

APN: 191-079-084-000
ADDRESS: 19191 KARNER
CASTROVILLE, CA 95004

APPLICANT: RAY SCHMITT
CONTRACTOR # BB44791
COASTAL HOME SOLUTIONS

METAL (BUTLER) BUILDING
EXTERIOR ELEVATIONS &
FLOOR PLAN

Date: 11 -

Drawn: RS

Checked:

Scale: As

Job:

Sheet

3.

NORTH COUNTY

Moss Landing Wildlife Area

Elkhorn Slough Nat'l Estuarine Sanctuary

Elkhorn Slough

PROJECT SITE

SPRING POINT RD

PARSONS RD

KARNER RD

RUSSO RD

ELKHORN RD

DOLAN RD

Moro Cojo Slough

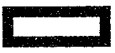
MERIDIAN RD

CASTROVILLE BLVD

APPLICANT: WHITTEN

APN: 131-073-034-000

FILE # PLN090409



2500' Limit



300' Limit



City Limits

Water

