

**Before the Zoning Administrator in and for the
County of Monterey, State of California**

In the matter of the application of:

PADRE LANE PROJECT LLC (PLN100095)

RESOLUTION NO. 10-033

Resolution by the Monterey County Zoning
Administrator:

- 1) Categorically exempting the project from CEQA review per Sections 15301, 15304, 15304 of the CEQA Guidelines; and
- 2) Approving the Combined Development Permit consisting of: 1) a Coastal Administrative Permit and Design Approval to allow the demolition of an existing 2,595 square foot residence and 506 square foot garage and construction of a new 8,818 square foot, two-story residence with a 980 square foot attached garage; 2) a Coastal Development Permit and Design Approval to allow the construction of a 834 square foot single story caretaker unit with a 304 square foot detached garage; and 3) a Coastal Development Permit to allow the removal of four protected trees (two 22-inch Monterey Pines and one 10-inch and one 12-inch double stump Coast live oaks). The project includes site grading of approximately 1,000 cubic yards of cut and 4,600 cubic yards of fill. The property is located at 1231 Padre Lane, Pebble Beach (Assessor's Parcel Number 008-293-014-000), Del Monte Forest Land Use Plan area, Coastal Zone.

(PLN10095, Padre Lane Project LLC, 1231 Padre Lane, Pebble Beach, Del Monte Forest Land Use Plan (APN: 008-293-014-000))

The Padre Lane Project LLC application (PLN100095) came on for public hearing before the Monterey County Zoning Administrator on August 12, 2010. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
- the Monterey County General Plan,

- Del Monte Forest Land Use Plan,
- Del Monte Forest Coastal Implementation Plan, Part 5,
- Monterey County Zoning Ordinance (Title 20)

No conflicts were found to exist. Communications were received during the course of review of the project indicating any inconsistencies. However, the project was found to be consistent with the text, policies, and regulations in these documents. (See Evidence b below).

- b) A neighboring property owner contacted the RMA-Planning Department and expressed concerns regarding the size of the proposed single family dwelling. Both County staff and the Del Monte Forest LUAC has analyzed the proposed single family dwelling and compared it to other homes within the neighborhood. The proposed size is in conformance with the character of the neighborhood and the project meets all setback and lot coverage requirements.
- c) The property is located at 1231 Padre Lane, Pebble Beach (Assessor's Parcel Number 008-293-014-000), Del Monte Forest Land Use Plan. The parcel is zoned "LDR/1.5-D(CZ) [Low Density Residential, 1.5 acres per unit with a Design Control overlay district (Coastal Zone)], which allows the demolition of existing and construction of new single family dwellings as well as accessory structures such as caretaker units. Therefore, the project is an allowed land use for this site.
- d) The subject property is located within a Design Control district, which provides regulation of the location, size, configuration, materials, and colors of structures and fences. The proposed materials and colors include: cement plaster painted beige for the building walls, soffits, and garden walls; wood stained dark brown for the cedar fascias, trim, and panels; aluminum clad in brown for windows and doors; cast stone in beige for wall caps and entry surround; and mission style color blended clay tile roofing. The proposed materials and colors were found to be consistent with Section 20.147.070.C.2 of the Del Monte Forest Coastal Implementation Plan, whereas they are considered to be subordinate to and blend into the environment.
- e) The proposed garage is setback 28 feet from Laureles Lane. Section 20.14.060.C.1.a of Title 20, Site Development Standards for Low Density Residential zoning district, requires main structures, and accessory structures attached to main structures, meet a minimum setback of 30 feet. However, Section 20.62.040.J of Title 20, Height and Setback Exceptions, allows a side setback 50% of the required front setback on the street side for any structure provided that: 1) the subject property is a corner lot adjacent to a key lot, and 2) the structure is more than 25 feet from side line of the key lot. The proposed garage meets these requirements; therefore, the 28-foot setback is consistent with the Zoning Ordinance.
- f) The proposed project includes a generator enclosure on the southern area of the property. The enclosure, approximately 210 square feet, consists of: a six foot concrete masonry unit wall with a stone veneer and a grape-stake wood gate. Staff has determined that the six foot high

- enclosure is similar to a six foot high fence or wall. Therefore, the proposed eight foot setback from Laureles Lane is consistent with the Low Density Residential zoning district.
- g) The applicant proposes to construct a caretaker unit on the property for maintenance and security purposes. Pursuant to Section 20.14.050.I of the Monterey County Zoning Ordinance, a Coastal Development Permit is required. Consistent with this section, the application includes a Coastal Development Permit. For further discussion, see Finding No. 7.
 - h) The applicant proposes to remove four protected trees, two 22-inch Monterey Pines and one 12-inch double stump Coast live oak and one 10-inch Coast live oak. Pursuant to Section 20.147.050.A.1 of the Del Monte Forest Coastal Implementation Plan, a Coastal Development Permit is required for the removal of trees and other major vegetation. Consistent with this section, the application includes a Coastal Development Permit. For further discussion, see Finding No. 8.
 - i) Based on the Visual Resources Map (Figure 2c) of the Del Monte Forest Land Use Plan, the subject property has the potential to be ridgeline and visible from Point Lobos. Therefore, staff conducted a site visit on March 18, 2010 to determine if the project has the potential to be located within the public viewshed and create an adverse visual impact. Based on the project plans, site visits, and staking and flagging; staff has determined that the project will be visible from Point Lobos but will not create an adverse visual impact to the neighborhood and when viewed from a public viewing area. For further discussion, see Finding No. 9.
 - j) The subject property is located within a high archaeological sensitivity zone and pursuant to Section 20.147.080.B.1 of the Del Monte Forest Coastal Implementation Plan an archaeological survey report is required for the proposed project. Consistent with this section, the applicant has provided a *Preliminary Cultural Resources Reconnaissance and Updated Letter* (see Finding No. 2, Evidence b). During field research, dark fine sand with abalone shell and fire-altered rock was found within the top layer of fill in the south corner of the property. However, the predominate soil in the area is a coarse, poorly sorted, decomposed granite, unlike the soil found on the site. Therefore, it was concluded that the fill soil found was imported from an unknown site. The property does not contain evidence of potentially significant cultural resources and the archaeologist recommends that the proposed project not be delayed for archaeological reasons. Although the site has been highly disturbed due to a large amount of cut in the eastern portion and fill placed on the western portion, there is a potential to uncover archaeological resources or human remains during excavation. Therefore, a condition has been incorporated which requires the halt of all work if cultural, archaeological, historical or paleontological resources are uncovered.
 - k) Based on LUAC Procedure guidelines, adopted by the Monterey County Board of Supervisors per Resolution No. 08-338, this application did warrant referral to the LUAC because the project includes a Design

Approval subject to the Zoning Administrator's approval. Therefore, the project was referred to the Del Monte Forest Land Use Advisory Committee (LUAC) for review at the March 18, 2010 hearing. Comments made by a neighboring property owner included concerns regarding the height and size of the proposed single family dwelling, citing the project's inconsistencies with the character of the neighborhood and the average size of homes in the area. During the meeting, it was decided that the LUAC should visit the site to observe the property and the project staking. After review of the plans, project site, and staking, the LUAC concluded that the size of the proposed single family dwelling "was not incompatible with houses in the area and that it would not impact to any significant extent the view" for the neighboring property owner. The LUAC recommended approval of the project with a vote of 5 to 0, with two members absent.

- l) The project planner conducted a site inspection on March 18, 2010 to verify that the project on the subject parcel conforms to the plans listed above.
- m) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN100095.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: RMA - Planning Department, Pebble Beach Community Services District, Public Works, Environmental Health Bureau, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
 - b) Staff identified potential impacts to Archaeological Resources and Forest Resources. Consistent with the requirements of the Del Monte Forest Coastal Implementation Plan, technical reports by outside consultants were required as part of the application. These reports indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff independently reviewed these reports and concurs with their conclusions. The following reports have been prepared:
 - "Preliminary Cultural Resources Reconnaissance and Updated Letter" (LIB100045) prepared by Archaeological Consulting, Salinas, Ca., September 11, 1989 and May 19, 2009.
 - "Tree Resource Assessment and Forest Management Plan" (LIB100158) prepared by Frank Ono, Pacific Grove, Ca., April 19, 2010.
 - c) Staff conducted a site inspection on March 18, 2010 to verify that the site is suitable for this use.
 - d) The application, project plans, and related support materials submitted

by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN100095.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:** a) The project was reviewed by the Pebble Beach Community Services District, Public Works, Environmental Health Bureau, and Water Resources Agency. The respective departments/agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- b) Necessary public facilities are available. The existing single family dwelling is currently served by Cal-Am for water purposes and the Pebble Beach Community Services District. Although the proposed single family dwelling is relatively larger than what is existing, and the applicant proposes an additional unit (caretaker unit) on the property, staff has received no indication by either service providers that the water and sewers facilities were inadequate, or that the increase will cause the need for expansion of their current facilities.
- c) Preceding findings and supporting evidence for PLN100095.

4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

- EVIDENCE:** a) Staff reviewed Monterey County RMA - Planning Department and Building Services Department records and is not aware of any violations existing on subject property. Staff received correspondence from a neighboring property owner prior to the Del Monte Forest LUAC meeting which stated that tree removal and grading had taken place on the property. Staff conducted a site inspection on March 18, 2010 and researched County records to assess if any violation exists on the subject property.
- b) There are no known violations on the subject parcel.
- c) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN100095.

5. **FINDING:** **CEQA (Exempt):** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:** a) California Environmental Quality Act (CEQA) Guidelines Section

- 15301(1)(1), categorically exempts the demolition of a single family dwelling. The single family dwelling was built less than 50 years ago and was not found to be considered historically significant.
- b) California Environmental Quality Act (CEQA) Guidelines Section 15303(a), categorically exempts the construction of a single family dwelling.
 - c) California Environmental Quality Act (CEQA) Guidelines Section 15304(c)(1), categorically exempts filling of earth into previously excavated land with material compatible with the natural features of the site. The site was previously graded when the original single family dwelling was constructed. The applicant proposes to restore the site back to a more natural grade, and in order to do so, the project will require approximately 4,600 cubic yards of imported fill. A Construction Management Plan was submitted as part of the application and it is proposed that the daily amount of imported fill will be 400 cubic yards which equates to about 24 truck trips. The applicant is exploring the option of receiving fill from donor sites with the Del Monte Forest area. However due to timing of other projects, planning approval, and issuance of grading permits, it is difficult to determine which donor site would be appropriate. Therefore, at this point (worst case scenario), the applicant proposes to receive fill from the Monterey Regional Waste Management landfill. The Public Works Department has reviewed the Construction Management Plan and no issues or concerns were identified with the amount of trucks and proposed truck route.
 - d) CEQA's threshold of significance from construction impacts is the direct emission of 82lbs of PM₁₀ per day. The applicant proposed 400 cubic yards of imported fill as the maximum amount of earthwork proposed per day, which equals to approximately 0.1988 lbs of PM₁₀ per day. Therefore, the amount of earthwork proposed does not exceed the threshold of significance.
 - e) CEQA Guidelines Section 15300.2 lists exceptions to categorical exemptions. None of the exceptions can be made because the project will not impact an environmental resource of hazardous or critical concern; the project will not cause a cumulative impact; nor is there an unusual circumstance. In addition, the project will not result in the damage of a scenic resource; the subject property is not a hazardous waste site; nor is the structure to be removed a historical resource. Therefore, the proposed project is exempt from environmental review.
 - f) No adverse environmental effects were identified during staff review of the development application during a site visit on March 18, 2010.
 - g) See preceding and following findings and supporting evidence.

6. **FINDING:** **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and Local Coastal Program, and does not

- interfere with any form of historic public use or trust rights.
- EVIDENCE:** a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.70.050.B.4.c of the Monterey County Coastal Implementation Plan can be demonstrated.
- b) The subject property is not described as an area where the Local Coastal Program requires public access (Figure 15 in the Del Monte Forest Land Use Plan).
- c) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
- d) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN100095.
- e) The project planner conducted a site inspection on March 18, 2010.

7. **FINDING: CARETAKER UNIT/SENIOR UNIT** – The subject project meets the regulations, standards and circumstances for caretaker units in accordance with the applicable goals, policies, and regulations of the applicable area plan and zoning codes.

- EVIDENCE:** a) That the establishment of the caretaker unit will not, under the circumstances of the particular application, be detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood or to the general welfare of the County. (Finding No. 3)
- b) All zoning violation abatement costs, if any, have been paid. (Finding No. 4)
- c) The subject property upon which the caretaker unit is to be built is in compliance with all rules and regulations pertaining to zoning uses, subdivisions and any other applicable provisions of this Title. The proposed caretaker unit contains a livable floor area of 850 square feet, has a building height of 15 feet, and the unit is proposed to provide a residence for an onsite caretaker to maintain the property and structures on site. The proposed caretaker unit meets the regulations set forth in Section 20.64.030.C of the Monterey County Zoning Ordinance which lists regulations for caretaker units in the coastal zone. In addition, the subject property will deed restricted (see Condition No. 10) to insure that future owners will be aware of the restrictions of the caretaker unit.
- d) That adequate sewage disposal and water supply facilities exist or are readily available, as approved by the Director of Environmental Health. The proposed project, the single family dwelling and caretaker unit, will be served by the Pebble Beach Community Services District as the sewer purveyor and California American Water as the water purveyor. There has been no indication that either provider is not capable of supplying service to the caretaker unit (see Finding No. 3, Evidence b).
- e) That the proposed caretaker unit will not adversely impact traffic conditions in the area. The RMA-Public Works Department has

reviewed the project and gave no indication that the additional unit in the area, the proposed caretaker unit, will not have an additional impact to the residential areas within the immediate vicinity of the project, nor will the caretaker unit create an adverse impact on regional traffic. In addition, pursuant to Monterey County Code Chapter 12.90, the project has been conditioned to require payment of a Regional Development Impact Fee prior to issuance of building permits.

- f) Caretaker units shall be subject to the overall buildout in Del Monte Forest as defined by Table A found in the Del Monte Forest Area Land Use Plan. Out of the 1,067 new residential dwellings allowed until buildout, 780 are remaining. Therefore, staff has determined that adequate density exists in the Del Monte Forest area.
- g) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN100095.
- h) The applicant has submitted a Justification Letter for the need of a caretaker unit on the property (see **Exhibit F** of the August 12, 2010 Zoning Administrator hearing staff report). The letter states that the subject property will require constant maintenance and security due to an absentee owner. Therefore, the applicant proposes the unit as the caretaker residence. This justification is consistent with the requirements set forth in Section 20.64.030 of the Monterey County Zoning Ordinance (Title 20).

8. **FINDING:** **TREE REMOVAL** – The subject project minimizes tree removal in accordance with the applicable goals and policies of the applicable land use plan and the Coastal Implementation Plan.

- EVIDENCE:**
- a) The project includes application for the removal four protected trees (two 22-inch Monterey Pines and one 10-inch and one 12-inch double stump Coast live oaks). In accordance with the applicable policies of the Del Monte Forest Coastal Implementation Plan and the Monterey County Zoning Ordinance (Title 20), a Coastal Development Permit is required and the authority to grant said permit has been met.
 - b) The subject property is currently improved with structures and ornamental landscaping; very little native vegetation exists. The remaining native vegetation consists of a fragmented Monterey Pine forest with Coast live oak understory. Out of the 18 trees on the property, four are in poor condition and one is dead.
 - c) Policy No. 33 of the Del Monte Forest Land Use Plan states that the preservation of scenic resources shall be the primary objective when reviewing tree removal requests. The Coast live oak trees proposed for removal are located within the footprint of the proposed single family dwelling and the remaining two Monterey pines are recommended for removal by the forester due to structural defects and declining health. These trees do not currently serve as landscape screening for the existing single family dwelling nor are they considered to be scenic resources on the site.

- d) Policy No. 36 requires siting and design of development so that tree removal is minimized. 22% of the existing trees are proposed for removal and half of those trees are proposed due to declining health. Because the oak trees proposed for removal are located within the center of the lot, avoidance would require a redesign and size reduction of the single family dwelling. If the proposed single family dwelling were to be reduced in size, the overall look would not be consistent with the character of the neighborhood.
- e) Tree replanting is necessary pursuant to Section 20.147.050.D.4 of the Del Monte Forest Coastal Implementation Plan. In accordance with Section 20.147.070.C.2 of the Del Monte Forest Coastal Implementation Plan, all structures shall be subordinate to and blended into the environment, using appropriate construction and landscaping materials to achieve that effect. Therefore, in order for the project to meet both Sections, staff has incorporated a condition of approval which requires replanting in areas between the proposed single family dwelling and Padre Lane. Compliance with this condition will create a break in the mass of the proposed structure.
- f) A Tree Assessment and Forest Management Plan (FMP), dated April 19, 2010, has been prepared by Frank Ono (see Finding No. 2, Evidence b). All development shall be in accordance with the FMP.
- g) Measures for tree protection during construction have been incorporated as conditions and include tree protection zones, trunk protection, hand excavation and bridging roots.
- h) Pursuant to the application materials, staff site visit, and Forest Management Plan, the removal will not involve a risk of adverse environmental impacts. The trees proposed for removal are not exemplary of their species, they are not Monterey Cypress trees within the indigenous range within Del Monte Forest, and they are not known to provide habitat to any sensitive species.
- i) Staff conducted a site inspection on March 18, 2010 to verify that the tree removal is the minimum necessary for the project and to identify any potential adverse environmental impacts related to the proposed tree removal.
- j) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN100095.

9. **FINDING:** **VIEWSHED** – The subject project minimizes development within the viewshed in accordance with the applicable goals and policies of the applicable area plan and zoning codes.

EVIDENCE: a) The project includes application for development within a highly sensitive viewshed. Figure 2C “Visual Resources” of the Del Monte Forest Land Use Plan indicates that the property has the potential to be ridgeline and visible from Point Lobos. In accordance with the applicable policies of the Del Forest Land Use Plan and the Del Monte Forest Coastal Implementation Plan, the scenic and visual resources of

the Del Monte Forest shall be protected and incompatible development shall be avoided.

- b) Consistent with Section 20.147.070.A.1 of the Del Monte Forest Coastal Implementation Plan, the applicant was required to stake and flag the proposed structures and staff conducted a site visit to determine if the property is within the public viewshed or affects visual access from public viewing areas. The project will be visible from Point Lobos. However, the nearest visual access point from Point Lobos to the structure is approximately 3.5 miles across the Carmel Bay. Although the proposed structure is larger than what exists, the un-aided view of the structure from Point Lobos will not be a substantial visual impact due to distance.
- c) Section 20.147.070.C.1 of the Del Monte Forest Coastal Implementation Plan requires that on lots within visually prominent settings identified in Figure 2C development be sited on the least visible area of the property. The most visually prominent part of the subject property is at the southwest section. Due to “wrapped” design of the proposed single family dwelling, one half of the structure will be visible from that point and the other half of the single family dwelling and caretaker unit will not.
- d) The project, as proposed and conditioned, is consistent with policies of the Del Monte Forest Land Use Plan dealing with visual resources and will have no significant impact on the highly sensitive viewshed (see preceding Evidence b and c). In addition, Section 20.147.070.C.2 of the Del Monte Forest Coastal Implementation Plan requires all structures to be subordinate to and blended into the environment, using appropriate construction and landscaping materials to achieve that effect. The proposed colors for the structures are beige and brown, which will blend with the natural environment of the site. However, to further break up the mass of the proposed structure, staff has incorporated a condition of approval which requires replanting in areas between the proposed single family dwelling and Padre Lane.
- e) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN100095.
- f) The project planner conducted a site inspection on March 18, 2010 to verify that the project minimizes development within the viewshed or to identify methods to minimize the development.

10. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.

- EVIDENCE:**
- a) Section 20.86.020 Monterey County Zoning Ordinance (Title 20 – Board of Supervisors).
 - b) Section 20.86.080 of the Monterey County Zoning Ordinance (Title 20 – Coastal Commission). The project is subject to appeal by/to the California Coastal Commission because the subject property is located between the sea and the first public road, and the applicant requests a


permit for development that is permitted in the Zoning Ordinance as a conditional use.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

- A. Categorically exempt the project from CEQA review per Sections 15301, 15304, 15304 of the CEQA Guidelines; and
- B. Approve Combined Development Permit consisting of: 1) a Coastal Administrative Permit and Design Approval to allow the demolition of an existing 2,595 square foot residence and 506 square foot garage and construction of a new 8,818 square foot, two-story residence with a 980 square foot attached garage; 2) a Coastal Development Permit and Design Approval to allow the construction of a 834 square foot single story caretaker unit with a 304 square foot detached garage; and 3) a Coastal Development Permit to allow the removal of four protected trees (two 22-inch Monterey Pines and one 10-inch and one 12-inch double stump Coast live oaks). The project includes site grading of approximately 1,000 cubic yards of cut and 4,600 cubic yards of fill, in general conformance with the attached sketch and subject to the conditions (**Exhibit 1**), both exhibits being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 12th day of August, 2010



John H. Ford, Acting Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON **AUG 17 2010**

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE **AUG 27 2010**

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning Department and Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

RESOLUTION 10-033 - EXHIBIT 1
Monterey County Resource Management Agency
Planning Department
Condition Compliance and/or Mitigation Monitoring
Reporting Plan

Project Name: Padre Lane Project LLC
File No: PLN100095 **APNs:** 008-293-014-000
Approved by: Zoning Administrator **Date:** August 12, 2010

**Monitoring or Reporting refers to projects with an EIR or adopted Mitigated Negative Declaration per Section 21081.6 of the Public Resources Code.*

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
RMA – Planning Department						
1.		<p>PD001 - SPECIFIC USES ONLY This Combined Development Permit (PLN100095) allows: 1) a Coastal Administrative Permit and Design Approval to allow the demolition of an existing 2,595 square foot residence and 506 square foot garage and construction of a new 8,818 square foot, two-story residence with a 980 square foot attached garage; 2) a Coastal Development Permit and Design Approval to allow the construction of a 834 square foot single story caretaker unit with a 304 square foot detached garage; and a 3) Coastal Development Permit to allow the removal of four protected trees (two 22-inch Monterey Pines and one 10-inch and one 12-inch double stump Coast live oaks). The project includes site grading of approximately 1,000 cubic yards of cut and 4,600 cubic yards of fill. The property is located at 1231 Padre Lane, Pebble Beach (Assessor's Parcel Number 008-293-014-000), Del Monte Forest Land Use Plan area, Coastal Zone. This permit was approved in accordance with County ordinances and land use regulations subject to the following terms and conditions. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or</p>	<p>Adhere to conditions and uses specified in the permit.</p> <p>Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of the RMA - Planning Department.</p> <p>To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled.</p>	<p>Owner/ Applicant</p> <p>RMA - Planning</p> <p>WRA</p> <p>RMA - Planning</p>	<p>Ongoing unless otherwise stated</p>	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. (RMA-Planning Department)				
2.		PD002 - NOTICE-PERMIT APPROVAL The applicant shall record a notice which states: "A permit (Resolution 10-033) was approved by the Zoning Administrator for Assessor's Parcel Number 008-293-014-000 on August 12, 2010. The permit was granted subject to 21 conditions of approval which run with the land. A copy of the permit is on file with the Monterey County RMA - Planning Department." (RMA-Planning Department)	Obtain appropriate form from the RMA-Planning Department. The applicant shall complete the form and furnish proof of recordation of this notice to the RMA - Planning Department.	Owner/ Applicant RMA- Planning	Prior to the issuance of grading and building permits or commencement of use	
3.		PD032(A) - PERMIT EXPIRATION The permit shall be granted for a time period of 3 years, to expire on August 12, 2013 unless use of the property or actual construction has begun within this period. (RMA – Planning Department)	The applicant shall obtain a valid grading or building permit and/or commence the authorized use to the satisfaction of the Director of Planning. Any request for extension must be received by the Planning Department at least 30 days prior to the expiration date.	Owner/ Applicant	As stated in the conditions of approval	
4.		PD003(A) – CULTURAL RESOURCES – NEGATIVE ARCHAEOLOGICAL REPORT If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. The Monterey County RMA - Planning Department and a qualified archaeologist (i.e., an archaeologist registered with the Society of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures	Stop work within 50 meters (165 feet) of uncovered resource and contact the Monterey County RMA - Planning Department and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.	Owner/ Applicant/ Archaeo- logist	Ongoing	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		required for the discovery. (RMA - Planning Department)				
5.		PD010 - EROSION CONTROL PLAN AND SCHEDULE The approved development shall incorporate the recommendations of the Erosion Control Plan as reviewed by the Director of RMA – Planning and Director of Building Services. All cut and/or fill slopes exposed during the course of construction be covered, seeded, or otherwise treated to control erosion during the course of construction, subject to the approval of the Director of RMA - Planning and Director of RMA - Building Services. The improvement and grading plans shall include an implementation schedule of measures for the prevention and control of erosion, siltation and dust during and immediately following construction and until erosion control planting becomes established. This program shall be approved by the Director of RMA - Planning and Director of RMA - Building Services. (RMA - Planning Department and RMA - Building Services Department)	An Erosion Control Plan shall be submitted to the RMA - Planning Department and the RMA - Building Services Department prior to issuance of building and grading permits.	Owner/ Applicant	Prior to the issuance of grading and building permits	
			Comply with the recommendations of the Erosion Control Plan during the course of construction until project completion as approved by the Director of RMA - Planning and Director of RMA - Building Services.	Owner/ Applicant	Ongoing	
			Evidence of compliance with the Implementation Schedule shall be submitted to the RMA - Planning Department and the RMA - Building Services Department	Owner/ Applicant	Prior to final inspection	
6.		PD011 – TREE AND ROOT PROTECTION (NON-STANDARD) Trees which are located close to the construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Hand excavation is required where trenching for retaining walls or footings are located adjacent to any protected trees. If roots greater	Submit evidence of tree protection to the RMA - Planning Department for review and approval.	Owner/ Applicant	Prior to the issuance of grading and/or building permits	
			Submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.	Owner/ Applicant/ Arborist	During Construction	

<i>Permit Cond. Number</i>	<i>Mittg. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		than 3-inches in diameter are exposed, they shall be bridged or pruned appropriately. Said protection, approved by a certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of the RMA – Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by a certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (RMA - Planning Department)	Submit photos of the trees on the property to the RMA – Planning Department after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.	Owner/ Applicant	Prior to final inspection	
7.		PD012(F) - LANDSCAPE PLAN AND MAINTENANCE (SINGLE FAMILY DWELLING ONLY) The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of the RMA - Planning Department. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County RMA - Planning Department. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (RMA – Planning Department)	Submit landscape plans and contractor's estimate to the RMA - Planning Department for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable.	Owner/ Applicant/ Licensed Landscape Contractor/ Licensed Landscape Architect	Prior to issuance of Building Permits	
			Landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County RMA - Planning Department.	Owner/ Applicant/ Licensed Landscape Contractor/ Licensed Landscape Architect	Prior to Occupancy	
			All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.	Owner/ Applicant	Ongoing	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
8.		<p>PD014(A) – LIGHTING – EXTERIOR LIGHTING PLAN All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The applicant shall submit 3 copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations, Title 24, Part 6. The exterior lighting plan shall be subject to approval by the Director of the RMA - Planning Department, prior to the issuance of building permits. (RMA – Planning Department)</p>	<p>Submit three copies of the lighting plans to the RMA - Planning Department for review and approval. Approved lighting plans shall be incorporated into final building plans.</p>	Owner/ Applicant	Prior to the issuance of building permits	
			<p>The lighting shall be installed and maintained in accordance with the approved plan.</p>	Owner/ Applicant	Prior to Occupancy / Ongoing	
9.		<p>PD016 – NOTICE OF REPORT Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states: "A Tree Assessment and Forest Management Plan has been prepared for this parcel by Frank Ono, dated April 19, 2010 and is on record in the Monterey County RMA - Planning Department , Library No. LIB100158. All development shall be in accordance with this report." (RMA – Planning Department)</p>	<p>Proof of recordation of this notice shall be furnished to the RMA - Planning Department.</p>	Owner/ Applicant	Prior to the issuance of grading and building permits	
			<p>Submit proof that all development has been implemented in accordance with the report to the RMA - Planning Department for review and approval.</p>	Owner/ Applicant	Prior to Occupancy	
10.		<p>PD018 B – DEED RESTRICTION – CARETAKER UNIT (COASTAL) The applicant shall record a deed restriction stating the regulations applicable to a caretaker unit as follows:</p> <ul style="list-style-type: none"> • Only one caretaker unit per lot shall be allowed. • The caretaker shall be employed principally on the lot for purposes of care and protection of persons, plants, animals, equipment, or other facilities on-site or on 	<p>Submit signed and notarized document to the Director of RMA – Planning Department for review and signature by the County.</p>	Owner/ Applicant	Prior to the issuance of grading or building permits	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		<p>contiguous lots under same ownership.</p> <ul style="list-style-type: none"> • The minimum lot size for establishment of a caretaker unit in areas not served by sewers shall be two acres. The minimum lot size for establishment of a caretaker unit in the Carmel Planning Area shall be 40 acres. • Caretaker units shall not be subject to density requirements of the zoning district in which the lot is located, except in North County. In North County, caretakers units shall not be permitted on lots less than 5 acres if located in an area not served by public sewer systems. • The maximum floor area for a caretaker unit is 850 square feet. • A minimum of one covered off-street parking space shall be provided for the caretaker unit. • The caretaker unit shall not be separately rented, let or leased from the main residence whether compensation be direct or indirect. • Subsequent subdivisions which divide a main residence from a caretaker unit shall not be permitted except where lots created meet minimum lot size and density requirements of the existing zoning. • Caretaker units are not permitted on any lot less than 10 acres where a senior citizen unit exists. Senior citizen units may be converted to a caretaker unit, subject to a Coastal Administrative Permit. <p>(RMA – Planning Department)</p>	Proof of recordation of the document shall be submitted to the RMA – Planning Department.	Owner/ Applicant	Prior to occupancy or commencement of use	
11.		<p>PD035 - UTILITIES - UNDERGROUND All new utility and distribution lines shall be placed underground. (RMA - Planning Department; Public Works)</p>	Install and maintain utility and distribution lines underground.	Owner/ Applicant	Ongoing	
12.		<p>PD041 – HEIGHT VERIFICATION (NON-STANDARD) The applicant shall have a benchmark placed upon the property and identify the benchmark on the building</p>	1) The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible	Owner/ Applicant	Prior to the issuance of grading or building	

Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
		plans. The benchmark shall remain visible onsite until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of the RMA- Building Services Department for review and approval, that the height of the single family dwelling from the benchmark is consistent with what was approved on the building permit associated with this project and not exceeding the required 30-foot height limit. (RMA – Planning Department and Building Services Department)	onsite until final building inspection		permits	
			2) The applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of the RMA- Building Services Department for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.	Owner/ Applicant	Prior to the foundation pre-pour inspection	
			3) The applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of the RMA- Building Services Department for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.	Owner/ Applicant/ Engineer	Prior to the final inspection	
13.		PD047 – DEMOLITION/DECONSTRUCTION OF STRUCTURES (MBUAPCD RULE 439) In accordance with Monterey Bay Unified Air Pollution Control District Rule 439, construction plans shall include "Demolition and Deconstruction" notes that incorporate the following work practice standards: <ol style="list-style-type: none"> 1. Sufficiently wet the structure prior to deconstruction or demolition. Continue wetting as necessary during active deconstruction or demolition and the debris reduction process; 2. Demolish the structure inward toward the building pad. Lay down roof and walls so that they fall inward and not away from the building; 3. Commencement of deconstruction or demolition activities shall be prohibited when the peak wind speed exceeds 15 miles per hour. 	Applicant shall incorporate a "Demolition/ Deconstruction" note on the demolition site plan that includes, but is not limited to, the standards set forth in this condition.	Contractor /Owner/ Applicant	Prior to the issuance of a demolition permit	
				Contractor shall obtain any required Air District permits and conduct all deconstruction or demolition activities as required by the Air District.	Contractor /Owner/ Applicant/ Air District	During demolition

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		All Air District standards shall be enforced by the Air District. (RMA – Planning Department)				
14.		PDSP001 – DEMOLITION/DECONSTRUCTION OF SINGLE FAMILY DWELLING BUILT PRIOR TO 1978 - EPA RULE 40 CFR PART 745 (NON-STANDARD) In accordance with Environmental Protection Agency (EPA) Rule 40 CFR Part 745, demolition and/or construction plans shall include “Renovation, Repair, and Painting” notes that lists the EPA approved work practice for renovation as well as incorporate the following: 1. Individuals and firms that perform lead-based paint abatement shall be certified by the EPA; 2. All demolition shall occur in compliance with the regulations set forth in Rule 40 CFR Part 745. All work performed shall be in accordance with the regulations set forth in the EPA’s Renovation, Repair, and Painting Program. (RMA – Planning Department)	Prior to the issuance of demolition and/or building permits, the applicant shall submit demolition and/or construction plans to the RMA-Planning Department for review and approval.	Owner/ Applicant	Prior to the issuance of demolition and/or building permits	
			Prior to the issuance of demolition and/or building permits, the applicant or contractor shall submit documentation of certification of all workers to perform renovations to the RMA-Planning Department for review and/or approval.	Owner/ Applicant/ Contractor	Prior to the issuance of demolition and/or building permits	
RMA – Public Works Department						
15.		PW0043 – REGIONAL DEVELOPMENT IMPACT FEE Prior to issuance of building permits, applicant shall pay the Regional Development Impact Fee (RDIF) pursuant to Monterey Code Chapter 12.90. The fee amount shall be determined based on the parameters adopted in the current fee schedule. (Public Works)	Applicant shall pay Monterey County Building Services Department the traffic mitigation fee.	Owner/ Applicant	Prior to issuance of Building Permits	
16.		PW0044 – CONSTRUCTION MANAGEMENT PLAN The applicant shall submit a Construction Management Plan (CMP) to the RMA-Planning Department and the Department of Public Works for review and approval. The CMP shall include measures to minimize traffic	Applicant shall prepare a CMP and shall submit the CMP to the RMA-Planning Department and the Department of Public Works for review and approval.	Owner/ Applicant/ Contractor	Prior to issuance of the Grading Permit or Building Permit.	

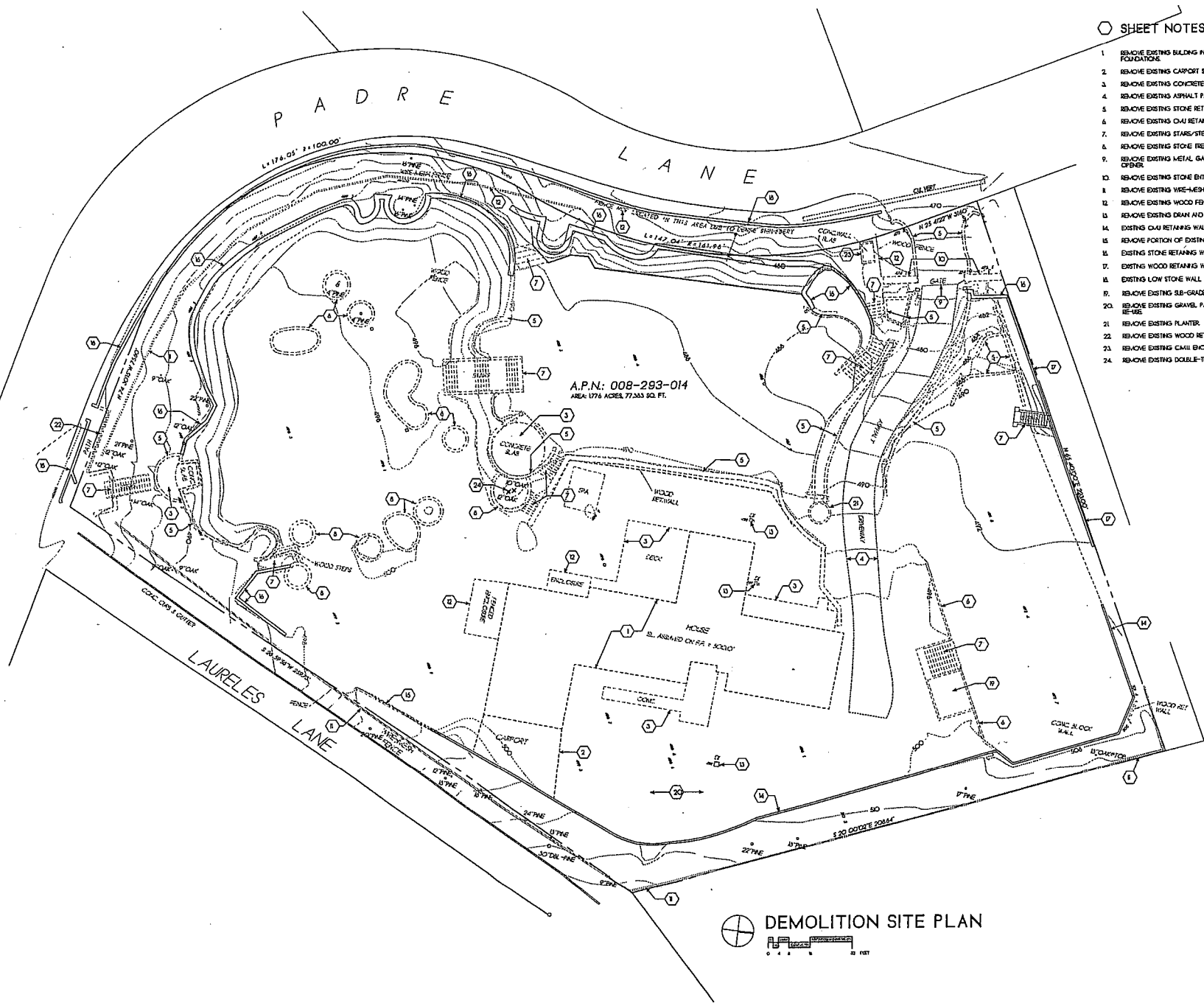
<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		impacts during the construction/grading phase of the project and shall provide the following information: Duration of the construction, hours of operation, an estimate of the number of truck trips that will be generated, truck routes, number of construction workers, parking areas for both equipment and workers, and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project. (Public Works)	The approved measures shall be implemented during the construction/grading phase of the project.	Owner/ Applicant/ Contractor	On-going through construction phases	
Monterey County Water Resources Agency						
17.		WR1 - DRAINAGE PLAN The applicant shall provide the Water Resources Agency a drainage plan prepared by a registered civil engineer or architect addressing on-site and off-site impacts. Drainage improvements shall be constructed in accordance with plans approved by the Water Resources Agency. (Water Resources Agency)	Submit 3 copies of the engineered drainage plan to the Water Resources Agency for review and approval.	Owner/ Applicant/ Engineer	Prior to issuance of any grading or building permits	
18.		WR40 - WATER CONSERVATION MEASURES The applicant shall comply with Ordinance No. 3932, or as subsequently amended, of the Monterey County Water Resources Agency pertaining to mandatory water conservation regulations. The regulations for new construction require, but are not limited to: a. All toilets shall be ultra-low flush toilets with a maximum tank size or flush capacity of 1.6 gallons, all shower heads shall have a maximum flow capacity of 2.5 gallons per minute, and all hot water faucets that have more than ten feet of pipe between the faucet and the hot water heater serving such faucet shall be equipped with a hot water recirculating system. b. Landscape plans shall apply xeriscape principles, including such techniques and materials as native or low water use plants and low precipitation sprinkler	Compliance to be verified by building inspector at final inspection.	Owner/ Applicant	Prior to final building inspection/occupancy	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land-Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		heads, bubblers, drip irrigation systems and timing devices. (Water Resources Agency)				
19.		WR43 - WATER AVAILABILITY CERTIFICATION The applicant shall obtain from the Monterey County Water Resources Agency, proof of water availability on the property, in the form of an approved Monterey Peninsula Water Management District Water Release Form. (Water Resources Agency)	Submit the Water Release Form to the Water Resources Agency for review and approval.	Owner/ Applicant	Prior to issuance of any building permits	
Pebble Beach Community Services District						
20.		FIRE008 - GATES All gates providing access from a road to a driveway shall be located at least 30 feet from the roadway and shall open to allow a vehicle to stop without obstructing traffic on the road. Gate entrances shall be at least the width of the traffic lane but in no case less than 12 feet wide. Where a one-way road with a single traffic lane provides access to a gated entrance, a 40-foot turning radius shall be used. Where gates are to be locked, the installation of a key box or other acceptable means for immediate access by emergency equipment may be required. (Pebble Beach Community Services District)	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection.	
21.		FIRE011 - ADDRESSES FOR BUILDINGS All buildings shall be issued an address in accordance with Monterey County Ordinance No. 1241. Each occupancy, except accessory buildings, shall have its own permanently posted address. When multiple occupancies exist within a single building, each individual occupancy shall be separately identified by its own address. Letters, numbers and symbols for addresses shall be a minimum of 4-inch height, 1/2-inch stroke, contrasting with the background color of the sign, and shall be Arabic. The sign and numbers shall be reflective and made of a noncombustible material. Address signs shall be placed at each driveway entrance	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		and at each driveway split. Address signs shall be and visible from both directions of travel along the road. In all cases, the address shall be posted at the beginning of construction and shall be maintained thereafter. Address signs along one-way roads shall be visible from both directions of travel. Where multiple addresses are required at a single driveway, they shall be mounted on a single sign. Where a roadway provides access solely to a single commercial occupancy, the address sign shall be placed at the nearest road intersection providing access to that site. Permanent address numbers shall be posted prior to requesting final clearance. (Pebble Beach Community Services District)				
22.		FIRE021 - FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM (STANDARD) The building(s) and attached garage(s) shall be fully protected with automatic fire sprinkler system(s). Installation shall be in accordance with the applicable NFPA standard. A minimum of four (4) sets of plans for fire sprinkler systems must be submitted by a California licensed C-16 contractor and approved prior to installation. This requirement is not intended to delay issuance of a building permit. A rough sprinkler inspection must be scheduled by the installing contractor and completed prior to requesting a framing inspection. (Pebble Beach Community Services District)	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	
			Applicant shall schedule fire dept. rough sprinkler inspection	Applicant or owner	Prior to framing inspection	
			Applicant shall schedule fire dept. final sprinkler inspection	Applicant or owner	Prior to final building inspection	

END OF CONDITIONS

Rev. 05/27/2010



SHEET NOTES

1. REMOVE EXISTING BUILDING IN ITS ENTIRETY INCLUDING FOUNDATION.
2. REMOVE EXISTING CARPORT STRUCTURE.
3. REMOVE EXISTING CONCRETE PAVING.
4. REMOVE EXISTING ASPHALT PAVING.
5. REMOVE EXISTING STONE RETAINING WALL.
6. REMOVE EXISTING CHAI RETAINING WALL.
7. REMOVE EXISTING STAIRS/STEPS.
8. REMOVE EXISTING STONE FREE WALL.
9. REMOVE EXISTING METAL GATE AND GATE OPENER.
10. REMOVE EXISTING STONE ENTRY WALLS.
11. REMOVE EXISTING WIRE-MESH FENCE.
12. REMOVE EXISTING WOOD FENCE.
13. REMOVE EXISTING DRAIN AND ASSOCIATED SUBDRAIN SYSTEM.
14. EXISTING CHAI RETAINING WALL TO REMAIN.
15. REMOVE PORTION OF EXISTING CHAI WALL.
16. EXISTING STONE RETAINING WALL TO REMAIN.
17. EXISTING WOOD RETAINING WALL TO REMAIN.
18. EXISTING LOW STONE WALL TO REMAIN.
19. REMOVE EXISTING SUB-GRADE CONCRETE STORAGE ROOM.
20. REMOVE EXISTING GRAVEL PAVING - SAVE GRAVEL FOR RE-USE.
21. REMOVE EXISTING PLANTER.
22. REMOVE EXISTING WOOD RETAINING WALL.
23. REMOVE EXISTING CHAI ENCLOSURE AND CONCRETE SLAB.
24. REMOVE EXISTING DOUBLE-TRUNK OAK TREE.

A.P.N.: 008-293-014
AREA 1778 ACRES 77,333 SQ. FT.



188 PACIFIC STREET, MONTEBELLO, CALIFORNIA 91754
TEL. 909-313-1551 FAX 909-313-1551
PROJECT:

PADRE LANE RESIDENCE
1231 PADRE LANE
PEBBLE BEACH, CA 93953

PROJECT NO. 0056
OWNER:
PADRE LANE PROJECT, LLC
4409 MONTROSE, SUITE 200
HOUSTON, TEXAS 77006

SHEET TITLE:
DEMOLITION SITE PLAN

SCALE: 1/16" = 1'-0"

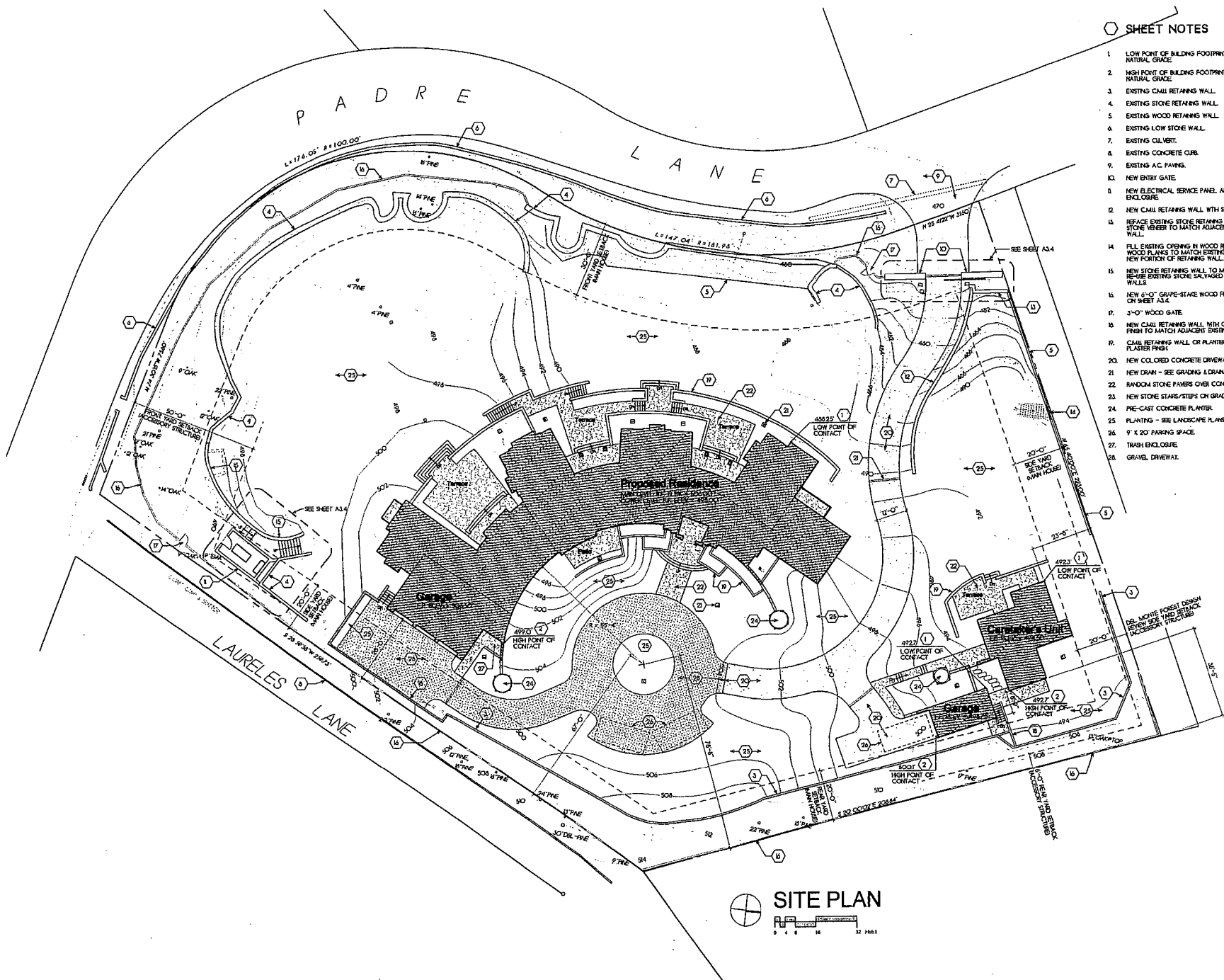
DRAWN BY:
PRINT DATE:
DRAWING DATE: FEBRUARY 9, 2010
DATE ISSUED FOR CONSTRUCTION:

REVISIONS:

FILE:0006 current Site Plan.Dwg
Use of these drawings and specifications is restricted to the project and site for which they were prepared. Any other use without the express written consent of Fletcher+Hardoin Architects, Inc. is prohibited. This is a contract document. It is the responsibility of the user to verify all dimensions and conditions before construction. The user shall be responsible for any errors or omissions. The user shall be responsible for any changes to the drawings. Fletcher+Hardoin Architects, Inc. is not responsible for any errors or omissions in the drawings or specifications. Fletcher+Hardoin Architects, Inc. is not responsible for any errors or omissions in the drawings or specifications. Fletcher+Hardoin Architects, Inc. is not responsible for any errors or omissions in the drawings or specifications.

DEMOLITION SITE PLAN

SHEET NUMBER:
A1.1
SHEET ___ OF ___ SHEETS



SHEET NOTES

1. LOW POINT OF BUILDING FOOTPRINT CONTACT WITH NATURAL GRADE.
2. HIGH POINT OF BUILDING FOOTPRINT CONTACT WITH NATURAL GRADE.
3. EXISTING CMU RETAINING WALL.
4. EXISTING STONE RETAINING WALL.
5. EXISTING WOOD RETAINING WALL.
6. EXISTING LOW STONE WALL.
7. EXISTING CULVERT.
8. EXISTING CONCRETE CURB.
9. EXISTING A.C. PAVING.
10. NEW ENTRY GATE.
11. NEW ELECTRICAL SERVICE PANEL AND GENERATOR ENCLOSURE.
12. NEW CMU RETAINING WALL WITH STONE VENEER FINISH.
13. REFACE EXISTING STONE RETAINING WALL WITH NEW STONE VENEER TO MATCH ADJACENT NEW RETAINING WALL.
14. FILL EXISTING OPENING IN WOOD RETAINING WALL WITH WOOD PLANKS TO MATCH EXISTING. BACKFILL BEHIND NEW PORTION OF RETAINING WALL.
15. NEW STONE RETAINING WALL TO MATCH EXISTING - RE-USE EXISTING STONE SALVAGED FROM REMOVED WALLS.
16. NEW 6"X4" GRAPE-STAKE WOOD FENCE SEE TYP. DETAIL ON SHEET A1.1.
17. 3'-0" WOOD GATE.
18. NEW CMU RETAINING WALL WITH CEMENT PLASTER FINISH TO MATCH ADJACENT EXISTING WALL.
19. CMU RETAINING WALL OR PLASTER WALL WITH CEMENT PLASTER FINISH.
20. NEW COLORED CONCRETE DRIVEWAY PAVING.
21. NEW DRAIN - SEE GRADING & DRAINAGE PLAN SHEET A1.3.
22. RANDOM STONE PAVERS OVER CONCRETE SLAB - TYP.
23. NEW STONE STAIRS/STEPS ON GRADE.
24. PRE-CAST CONCRETE PLANTER.
25. PLANTINGS - SEE LANDSCAPE PLANS - TYP.
26. 9' X 20' PARKING SPACE.
27. TRASH ENCLOSURE.
28. GRAVEL DRIVEWAY.

FLETCHER-HARDOIN
ARCHITECT



188 PACIFIC STREET, HOUSTON, CALIFORNIA 94033
TEL. 415-767-7891 - FAX 415-767-7892

PROJECT:
PADRE LANE RESIDENCE
1231 PADRE LANE
PEBBLE BEACH, CA 9395

PROJECT NO. 0805
OWNER:
PADRE LANE PROJECT, I
4409 MONTROSE, SUITE 200
HOUSTON, TEXAS 77006

SHEET TITLE:
SITE PLAN

SCALE: 1/16" = 1'-0"

DRAWN BY:
PRINT DATE:
DRAWING DATE: FEBRUARY 9, 2010
DATE ISSUED FOR CONSTRUCTION:

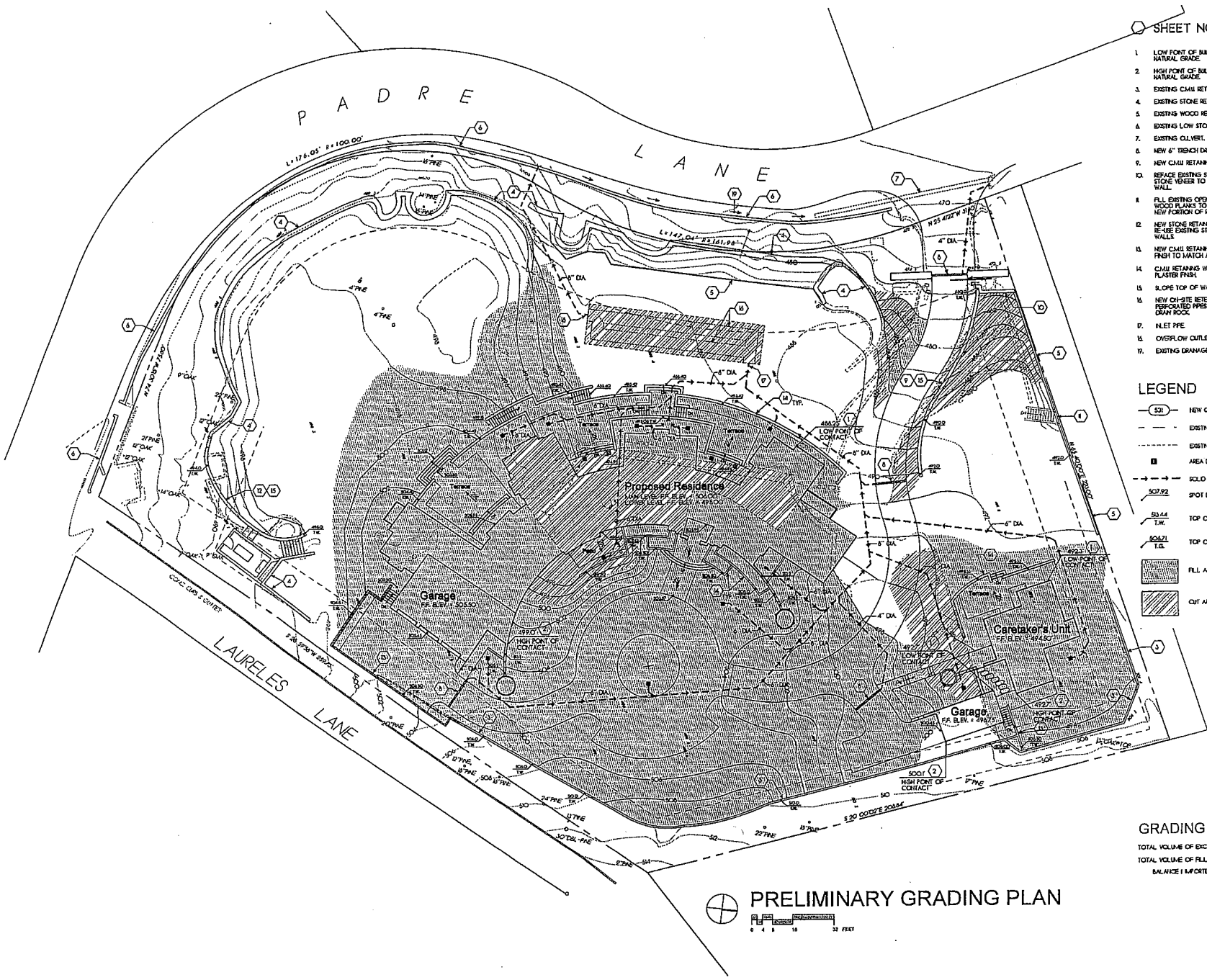
REVISIONS:

FILE:0004 SITE VIEW: 014
Map of State of Texas and qualifications is hereby certified to the Board of Architecture, State of California, that the undersigned is a duly Licensed Professional Architect. This drawing was prepared by the undersigned or under the direct supervision and control of the undersigned and it is hereby certified that the undersigned is a duly Licensed Professional Architect and is duly registered in the State of California.

SHEET NUMBER:

A1.2
SHEET OF SH





SHEET NOTES

1. LOW POINT OF BUILDING FOOTPRINT CONTACT WITH NATURAL GRADE.
2. HIGH POINT OF BUILDING FOOTPRINT CONTACT WITH NATURAL GRADE.
3. EXISTING CMU RETAINING WALL.
4. EXISTING STONE RETAINING WALL.
5. EXISTING WOOD RETAINING WALL.
6. EXISTING LOW STONE WALL.
7. EXISTING CULVERT.
8. NEW 6" TRINCH DRAIN.
9. NEW CMU RETAINING WALL WITH STONE VENEER FINISH.
10. REFACE EXISTING STONE RETAINING WALL WITH NEW STONE VENEER TO MATCH ADJACENT NEW RETAINING WALL.
11. FILL EXISTING OPENING IN WOOD RETAINING WALL WITH WOOD PLANKS TO MATCH EXISTING. BACKFILL BEHIND NEW PORTION OF RETAINING WALL.
12. NEW STONE RETAINING WALL TO MATCH EXISTING - RE-USE EXISTING STONE SALVAGED FROM REMOVED WALLS.
13. NEW CMU RETAINING WALL WITH CEMENT PLASTER FINISH TO MATCH ADJACENT EXISTING WALL.
14. CMU RETAINING WALL OR PLANTER WALL WITH CEMENT PLASTER FINISH.
15. SLOPE TOP OF WALL WITH FINISH GRADE.
16. NEW ON-SITE RETENTION SYSTEM WITH 60" DIAMETER PERFORATED PIPES SET IN DRAINAGE PIT FILLED WITH DRAIN ROCK.
17. INLET PIPE.
18. OVERFLOW OUTLET PIPE.
19. EXISTING DRAINAGE SWALE.

LEGEND

- (52)— NEW CONTOUR
- - - - EXISTING CONTOUR TO REMAIN
- - - - EXISTING CONTOUR TO CHANGE
- AREA DRAIN
- - - - SOLID PVC STORM DRAIN LINE SIZE AS INDICATED
- 507.92 SPOT ELEVATION
- 53.44 T.W. TOP OF WALL ELEVATION
- 504.71 T.G. TOP OF GRATE ELEVATION
- FILL AREAS
- ▨ CUT AREAS

GRADING INFORMATION

TOTAL VOLUME OF EXCAVATION	967 CY.
TOTAL VOLUME OF FILL:	459 CY.
BALANCE (IMPORTED FILL):	3,564 CY.

PRELIMINARY GRADING PLAN



740 PACIFIC STREET, SUITE 100, CALIFORNIA, TEXAS
TEL: 281-351-1411 FAX: 281-351-3880

PADRE LANE RESIDENCE
1231 PADRE LANE
PEBBLE BEACH, CA 93953

PROJECT NO. 0806
OWNER
PADRE LANE PROJECT, LLC
4409 MONTROSE, SUITE 200
HOUSTON, TEXAS 77006

SHEET TITLE:
PRELIMINARY GRADING & DRAINAGE PLAN

SCALE: 1/4" = 1'-0"

DRAWN BY:
PRINT DATE:
DRAWING DATE: FEBRUARY 9, 2010
DATE ISSUED FOR CONSTRUCTION

REVISIONS:

FILE: 0006 BTE 15x6c Site

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SHEET NUMBER:

A1.3

SHEET ___ OF ___ SHEETS



120 PACIFIC STREET, HOUSTON, CALIFORNIA 92604
TEL: 818-913-5544 FAX: 918-913-1998

PADRE LANE RESIDENCE
1231 PADRE LANE
PEBBLE BEACH, CA 93955

PROJECT NO. 0806
OWNER:
PADRE LANE PROJECT, LLC
4408 MONTROSE, SUITE 200
HOUSTON, TEXAS 77006

SHEET TITLE:
ENTRY LEVEL FLOOR PLAN

SCALE: 1/8" = 1'-0"

DRAWN BY:
PRINT DATE:
DRAWING DATE: FEBRUARY 9, 2010
DATE ISSUED FOR CONSTRUCTION:

REVISIONS:

○ SHEET NOTES

1. RANDOM STONE PAVING OVER CONCRETE SLAB - TYP.
2. CRAI RETAINING WALLS WITH CEMENT PLASTER FINISH
3. CRAI PLANTER WALLS WITH CEMENT PLASTER FINISH
4. CRAI YARD WALL WITH CEMENT PLASTER FINISH
5. PRE-CAST CONCRETE PLANTER
6. METAL GUARDRAIL
7. 9' X 20' PARKING SPACE

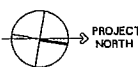
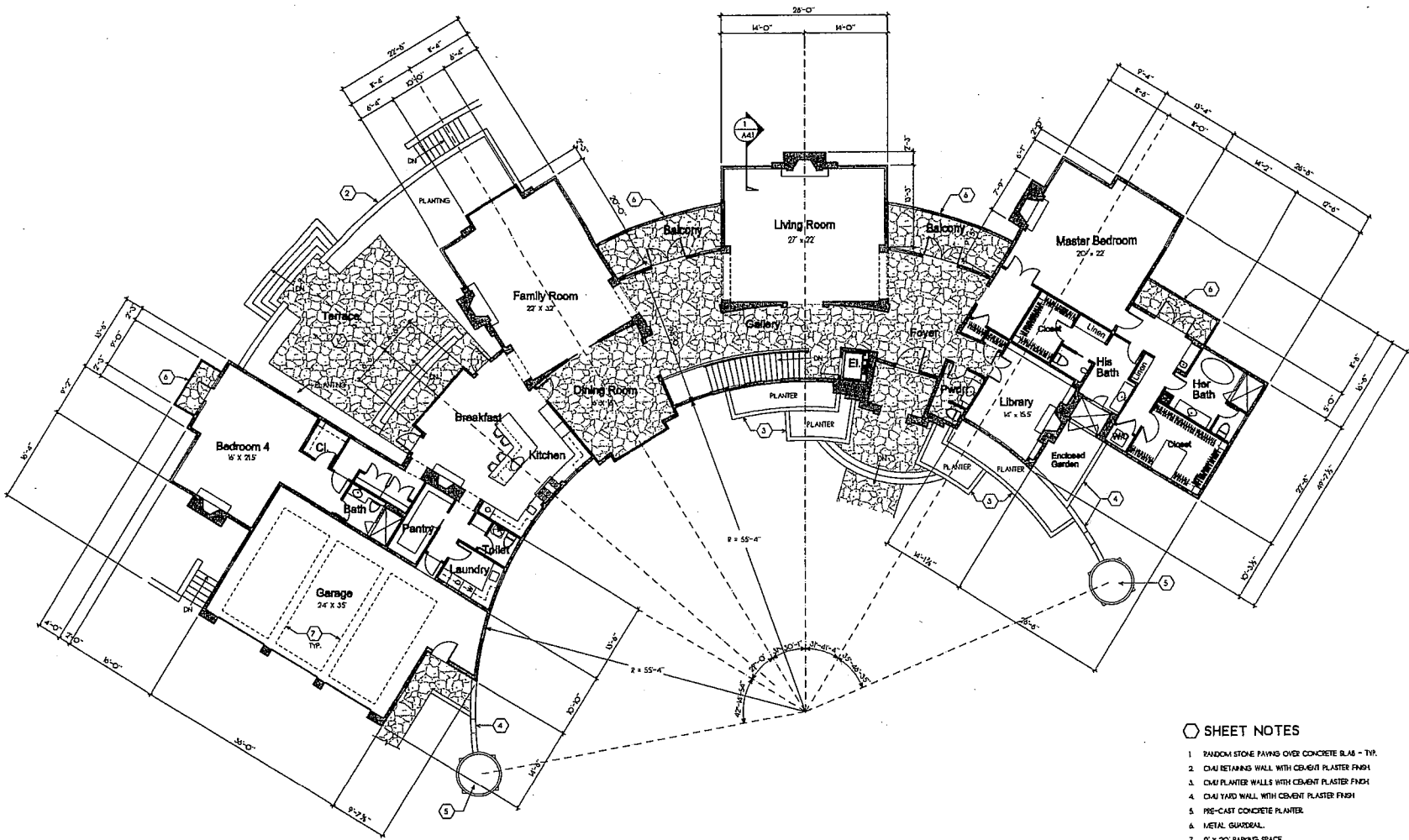
FILED ROOM PLANS VIEW: PLAN

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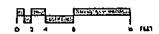
SHEET NUMBER:

A2.1

SHEET _____ OF _____ SHEETS



ENTRY LEVEL FLOOR PLAN





100 PACIFIC STREET - HUNTERSBURY, CALIFORNIA 92024
TEL: 619-515-1815 • FAX: 619-253-3888

PROJECT:
PADRE LANE RESIDENCE
1231 PADRE LANE
PEBBLE BEACH, CA 93953

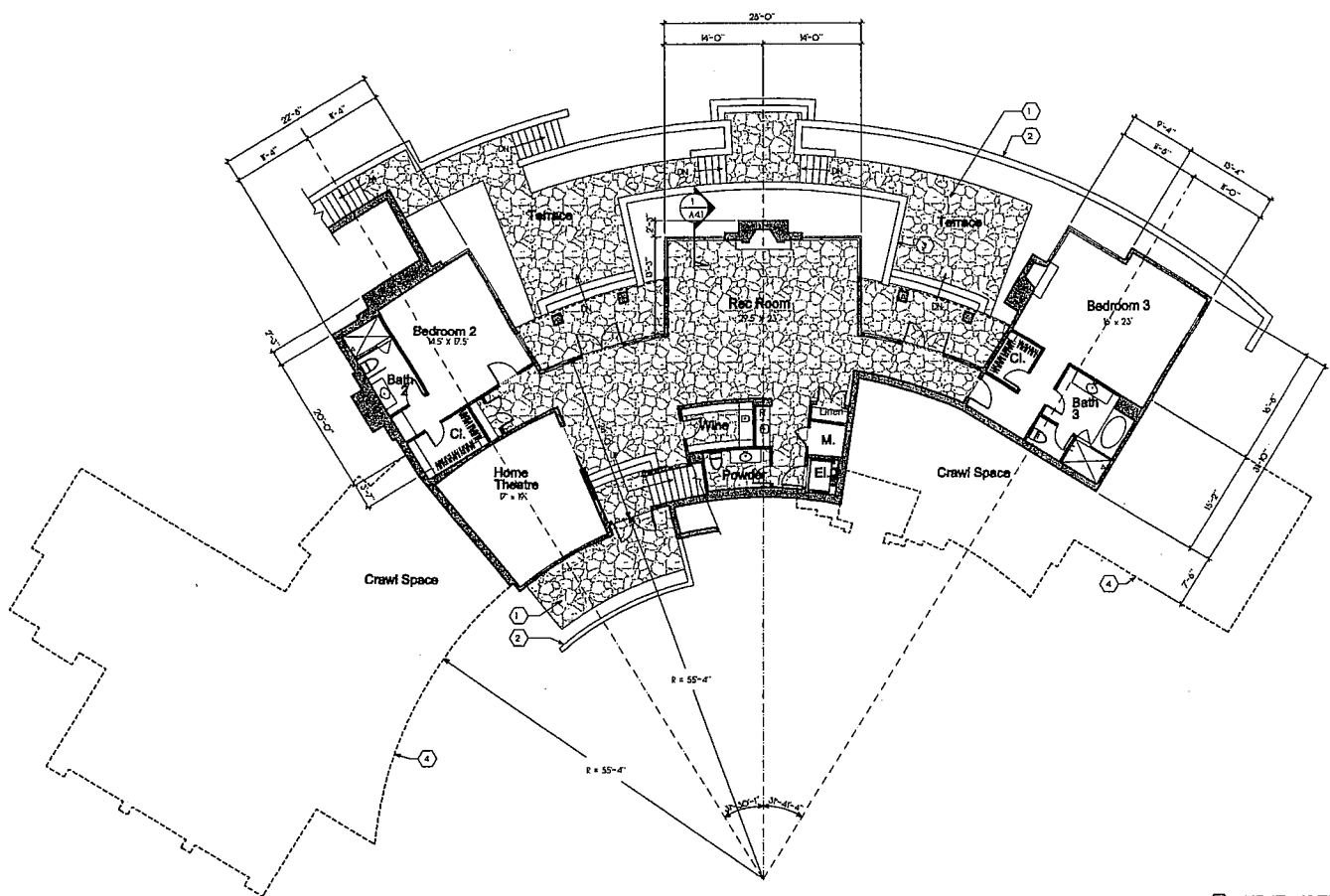
PROJECT NO. 0806
OWNER:
PADRE LANE PROJECT, LLC
4409 MONTROSE, SUITE 200
HOUSTON, TEXAS 77006

SHEET TITLE:
LOWER LEVEL FLOOR PLAN

SCALE: 1/8" = 1'-0"

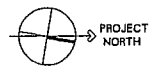
DRAWN BY:
PRINT DATE:
DRAWING DATE: FEBRUARY 9, 2010
DATE ISSUED FOR CONSTRUCTION:

REVISIONS:

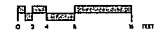


SHEET NOTES

1. RANDOM STONE PAVING OVER CONCRETE SLAB - TYP.
2. CMU RETAINING WALL WITH CEMENT PLASTER FINISH
3. CMU PLASTER WALLS WITH CEMENT PLASTER FINISH
4. WALL LINE ABOVE.



LOWER LEVEL FLOOR PLAN



FILED/0006 PLANS VIEW: PLAN/2

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A2.2

SHEET ___ OF ___ SHEETS



100 PACIFIC STREET, MONTEREY, CALIFORNIA 93940
TEL 831-373-3888 FAX 831-373-3888

PROJECT:

PADRE LANE RESIDENCE
1231 PADRE LANE
PEBBLE BEACH, CA 93955

PROJECT NO. 0808

OWNER:

PADRE LANE PROJECT, LLC
4408 MONTROSE, SUITE 200
HOUSTON, TEXAS 77006

SHEET TITLE:

CARETAKER'S UNIT & DETACHED GARAGE FLOOR PLANS

SCALE: 1/8" = 1'-0"

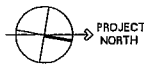
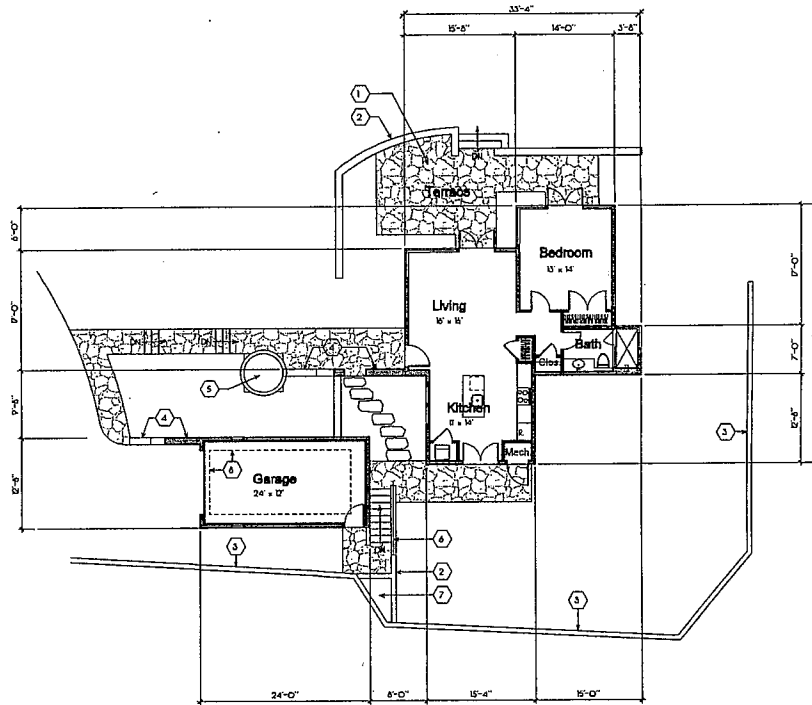
DRAWN BY:

PRINT DATE:

DRAWING DATE: FEBRUARY 9, 2010

DATE ISSUED FOR CONSTRUCTION

REVISIONS:



CARETAKER'S UNIT & DETACHED GARAGE FLOOR PLANS



○ SHEET NOTES

1. RANDOM STONE PAVING OVER CONCRETE SLAB - TIP.
2. CMU RETAINING WALL WITH CEMENT PLASTER FINISH.
3. EXISTING CMU RETAINING WALL WITH NEW CEMENT PLASTER FINISH.
4. CMU YARD WALL WITH CEMENT PLASTER FINISH.
5. PRE-CAST CONCRETE PLANTER.
6. METAL GUARDRAIL.
7. PLANTER.
8. 9' X 20' PARKING SPACE.

FILE:0808 PLAN VIEW: CTFPLAN

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SHEET NUMBER:

A2.3

SHEET ___ OF ___ SHEETS



PROJECT:

PADRE LANE RESIDENCE
1231 PADRE LANE
PEBBLE BEACH, CA 93953

PROJECT NO. 0606

OWNER
PADRE LANE PROJECT, LLC
4409 MONTROSE, SUITE 200
HOUSTON, TEXAS 77006

SHEET TITLE
EXTERIOR ELEVATIONS

SCALE: 1/8" = 1'-0"

DRAWN BY:
PRINT DATE:
DRAWING DATE: FEBRUARY 9, 2000
DATE ISSUED FOR CONSTRUCTION

REVISIONS:

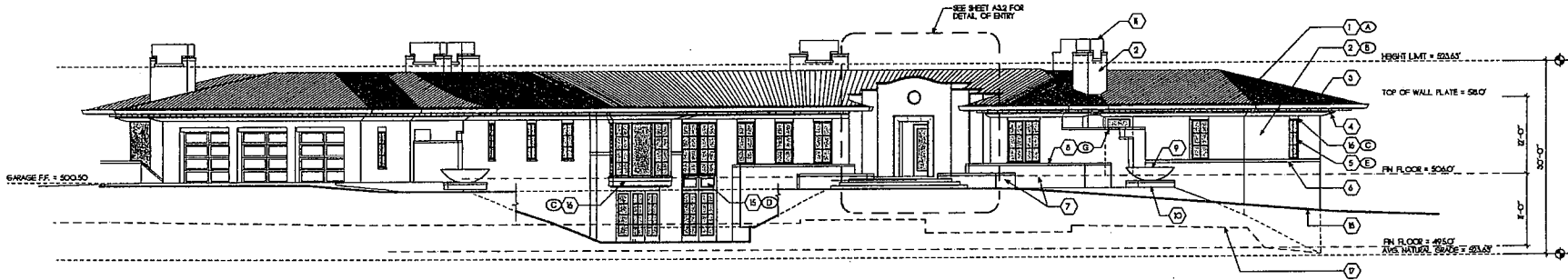
FILE: 0606 Elevations VIEW: ELEV

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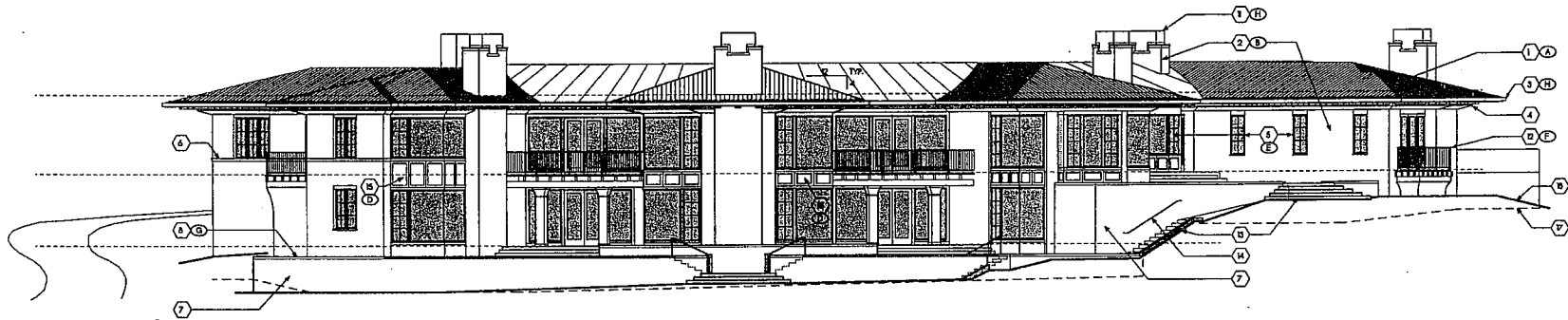
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A3.1

SHEET _____ OF _____ SHEETS



EAST ELEVATION

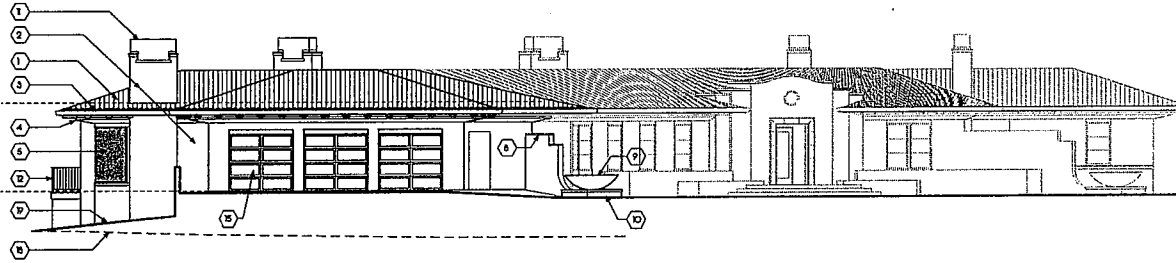


WEST ELEVATION

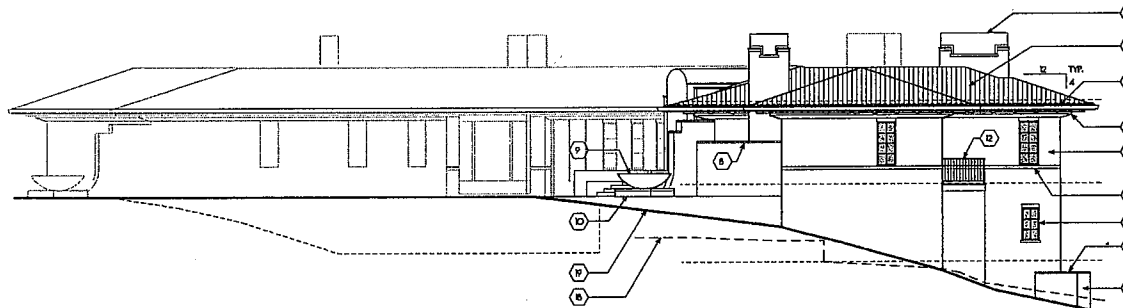
EXTERIOR COLOR SCHEDULE		
SYMBOL	DESCRIPTION	COLOR/SPECIFICATION
(A)	MESH-STYLE CLAY TILE ROOFING	RED-LAND CLAY TILE "BENCANTO BLEND"
(B)	CEMENT PLASTER	LIGHT-TROWELED MONTEREY TEXTURE PAINT COLOR DANN EDWARDS PAINTS "LUVISA, DESIGN 'TALE BEACH"
(C)	WOOD FASCIA, TRIM, EXPOSED WOOD BEAMS	WRE-SOILED CEDAR, FINISHED WITH CAROT STANS SEMI-TRANSPARENT "KOOLY" "CORDOYAN BROWN"
(D)	WOOD RAISED PANELS	WRE-SOILED CEDAR, FINISHED WITH CAROT STANS SEMI-TRANSPARENT "KOOLY" "CORDOYAN BROWN"
(E)	ALUMINUM CLAD WOOD WINDOWS	WARREN WINDOWS AND DOORS "BAHAMA BROWN" FINISH
(F)	METAL RAILINGS	GALVANIZED STEEL, RAILINGS PAINTED WITH DANN EDWARDS PAINTS "CLAY, DESIGN "NORTHERN TERRITORY"
(G)	CAST STONE	NAPA VALLEY CAST STONE, TRADITIONAL LIMESTONE TEXTURE (4.50" FINISH)
(H)	COPPER GUTTERS, REPLACE BRICKS	16 OZ. UN-FINISHED COPPER

○ SHEET NOTES

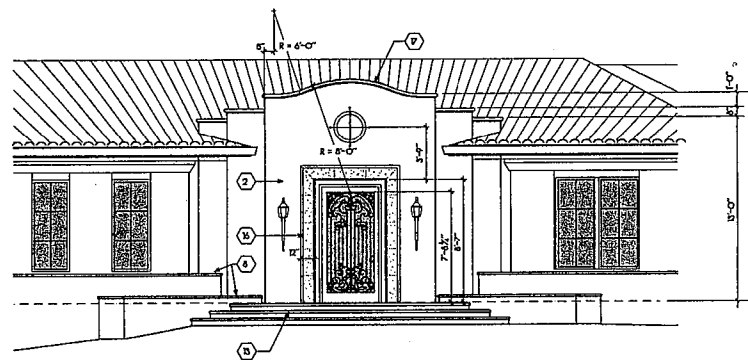
- 2-Piece MESH-STYLE CLAY TILE ROOFING - TYP.
- CEMENT PLASTER EXTERIOR WALL FINISH - TYP.
- COPPER GUTTER.
- COMBINATION CEMENT PLASTER & WOOD BOFFI AT ROOF OVERHANGS.
- ALUMINUM-CLAD WOOD WINDOWS AND EXTERIOR DOORS - TYP.
- BRAVED CEMENT PLASTER TRIM BAND.
- CMU RETAINING WALL OR PLANTER WALL WITH CEMENT PLASTER FINISH.
- CAST STONE WALL CAP.
- PRE-CAST CONCRETE PLANTER.
- CMU PLANTER BASE WITH CEMENT PLASTER FINISH AND PRE-CAST CONCRETE CAP.
- COPPER CHIMNEY CAP & BRICK.
- METAL GUARDRAIL - TYP.
- STAIRS ON GRADE - SEE SITE PLAN.
- METAL HANDRAIL.
- WOOD TRIM.
- EXISTING GRADE.
- FINISH GRADE.



SOUTH END ELEVATION
SCALE 1/8" = 1'-0"



NORTH END ELEVATION
SCALE 1/8" = 1'-0"



ENTRY ELEVATION DETAIL
SCALE 1/4" = 1'-0"

SHEET NOTES

1. 2-PIECE MEXICAN STYLE CLAY TILE ROOFING - TYP.
2. CEMENT PLASTER EXTERIOR WALL FINISH - TYP.
3. COPPER GUTTER
4. COMBINATION CEMENT PLASTER & WOOD BOFFIT AT ROOF OVERHANGS
5. ALUMINUM-CLAD WOOD WINDOWS AND EXTERIOR DOORS - TYP.
6. SHAVED CEMENT PLASTER TRIM BAND.
7. CLAU SETBACKS WALL OR PLANTER WALL WITH CEMENT PLASTER FINISH.
8. CAST STONE WALL CAP.
9. PRE-CAST CONCRETE PLANTER.
10. CLAU PLANTER BASE WITH CEMENT PLASTER FINISH AND PRE-CAST CONCRETE CAP.
11. COPPER CHIMNEY CAP & BRIDLE.
12. METAL GUARDRAIL - TYP.
13. STAIRS ON GRADE - SEE SITE PLAN.
- 14.
15. WOOD PANEL, GARAGE DOORS.
16. CAST STONE SURROUND.
17. CAST STONE CORNICE.
18. EXISTING GRADE.
19. FINISH GRADE.



100 PACIFIC STREET, MONTEREY, CALIFORNIA 93940
TEL: 831-373-1055 • FAX: 831-373-1000
PROJECT:

PADRE LANE RESIDENCE
1231 PADRE LANE
PEBBLE BEACH, CA 93953

PROJECT NO. 0808
OWNER:
PADRE LANE PROJECT, LLC
4409 MONTROSE, SUITE 200
HOUSTON, TEXAS 77006

SHEET TITLE:
EXTERIOR ELEVATIONS

SCALE: AS NOTED

DRAWN BY:
PRINT DATE:
DRAWING DATE: FEBRUARY 9, 2008
DATE ISSUED FOR CONSTRUCTION:

REVISIONS:

FILE: 0808 Elevations VIEW: ELEV2

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SHEET NUMBER:

A3.2

SHEET ___ OF ___ SHEETS



140 PACIFIC STREET, MONTELEONE, CALIFORNIA 92008
TEL. 858-315-3333 • FAX 858-315-3886

PROJECT:

PADRE LANE RESIDENCE
1231 PADRE LANE
PEBBLE BEACH, CA 93953

PROJECT NO. 0606

OWNER:

PADRE LANE PROJECT, LLC
4409 MONTROSE, SUITE 200
HOUSTON, TEXAS 77006

SHEET TITLE:
CARETAKER'S UNIT
EXTERIOR ELEVATIONS

SCALE 1/8" = 1'-0"

DRAWN BY:

PRINT DATE:

DRAWING DATE: FEBRUARY 9 2000

DATE ISSUED FOR CONSTRUCTION

REVISIONS:

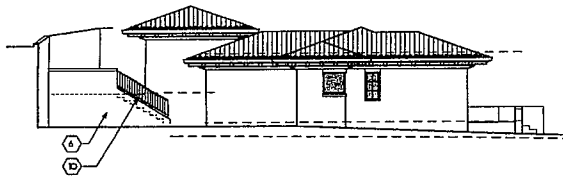
P.L.C. 0606 Elevations VIEW: ELEV.

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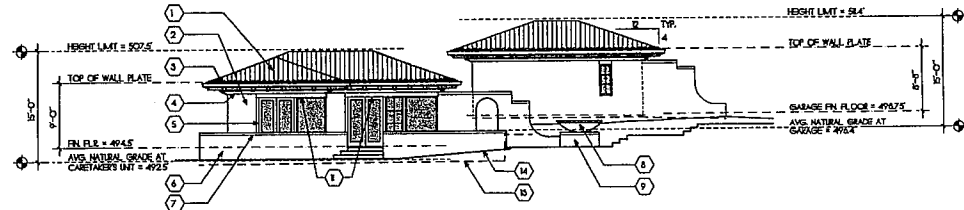
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A3.3

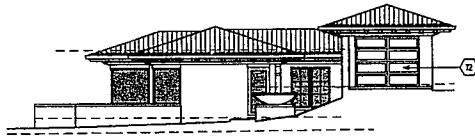
SHEET _____ OF _____ SHEETS



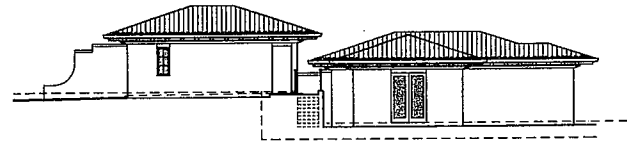
NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION

SHEET NOTES

1. 2-PIECE MISSION STYLE CLAY TILE ROOFING - TYP.
2. CEMENT PLASTER EXTERIOR WALL FINISH - TYP.
3. COPPER GUTTER
4. COBINATION CEMENT PLASTER & WOOD SORBIT AT ROOF OVERHANGS
5. ALUMINUM-CLAD WOOD WINDOWS AND EXTERIOR DOORS - TYP.
6. CLAY RETAINING WALL WITH CEMENT PLASTER FINISH
7. CAST STONE WALL CAP.
8. PRE-CAST CONCRETE PLANTER.
9. CLAY PLANTER BASE WITH CEMENT PLASTER FINISH AND PRE-CAST CONCRETE CAP.
10. METAL GUARDRAIL - TYP.
11. WOOD TRIM
12. WOOD PANEL GARAGE DOOR
13. EXISTING GRADE
14. FINISH GRADE



125 PACIFIC STREET, MONTEREY, CALIFORNIA 93940
TEL. 408-773-3800 FAX 408-773-3801

PROJECT:
PADRE LANE RESIDENCE
1231 PADRE LANE
PEBBLE BEACH, CA 93056

PROJECT NO. 0806
OWNER
PADRE LANE PROJECT,
4409 MONTE ROSE, SUITE
HOUSTON, TEXAS 77006

SHEET TITLE
SITE FEATURE DETAILS

SCALE: AS NOTED

DRAWN BY:
PRINT DATE:
DRAWING DATE: FEBRUARY 9, 2010
DATE ISSUED FOR CONSTRUCTION

REVISIONS

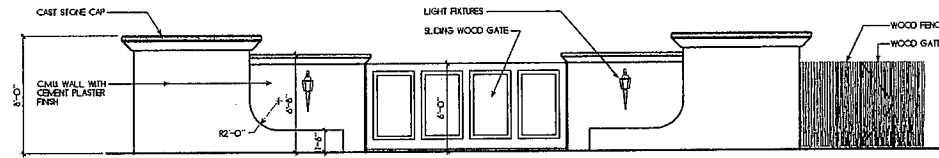
FILE: 0806 Elevations VIEW: A3-4

All dimensions and quantities are shown to the nearest 1/8" for whole feet and 1/16" for fractions. The contractor shall verify all dimensions in the field and shall be responsible for any discrepancies. The architect shall not be responsible for any errors or omissions in the drawings or for any consequences arising therefrom. The architect shall not be responsible for any construction methods or materials used in the construction of the project. The architect shall not be responsible for any construction methods or materials used in the construction of the project.

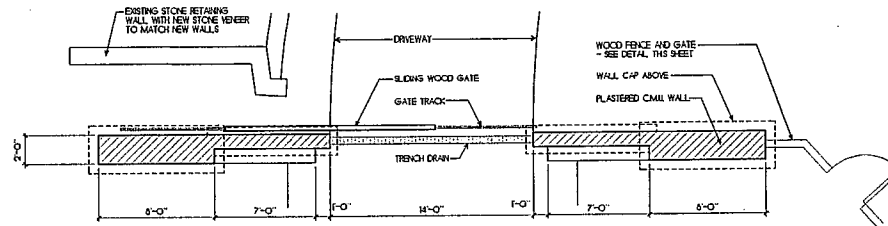
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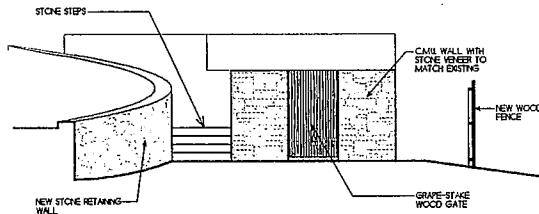
SHEET OF 51



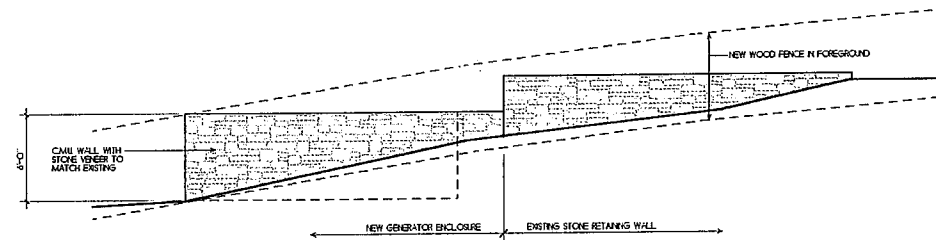
ENTRY GATE ELEVATION
SCALE 1/4" = 1'-0"



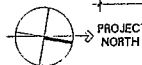
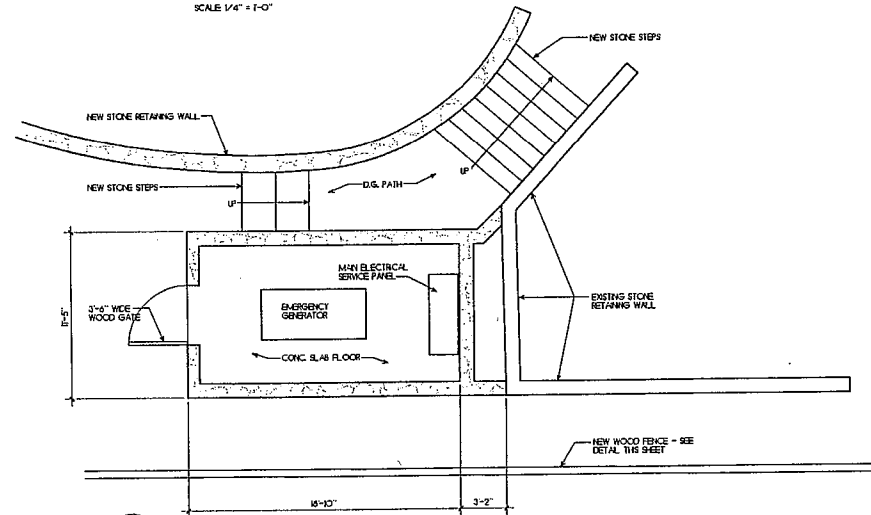
ENTRY GATE PLAN
SCALE 1/4" = 1'-0"



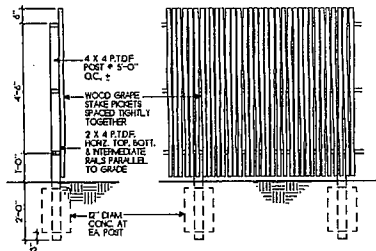
GENERATOR ENCLOSURE SOUTH ELEVATION
SCALE 1/4" = 1'-0"



GENERATOR ENCLOSURE EAST ELEVATION
SCALE 1/4" = 1'-0"



GENERATOR ENCLOSURE FLOOR PLAN
SCALE 1/4" = 1'-0"



WOOD FENCE
SCALE 1/8" = 1'-0"



700 PACIFIC STREET, HOUSTON, CALIFORNIA 98000
TEL: 805-573-5955 • FAX: 805-573-5990

PROJECT:
PADRE LANE RESIDENCE
1231 PADRE LANE
PEBBLE BEACH, CA 93953

PROJECT NO. 0606
OWNER:
PADRE LANE PROJECT, LLC
4409 MONTROSE, SUITE 200
HOUSTON, TEXAS 77006

SHEET TITLE:
WALL SECTION

SCALE: 1-1/2" = 1'-0"

DRAWN BY:
PRINT DATE:
DRAWING DATE: FEBRUARY 9, 2010
DATE ISSUED FOR CONSTRUCTION:

REVISIONS:

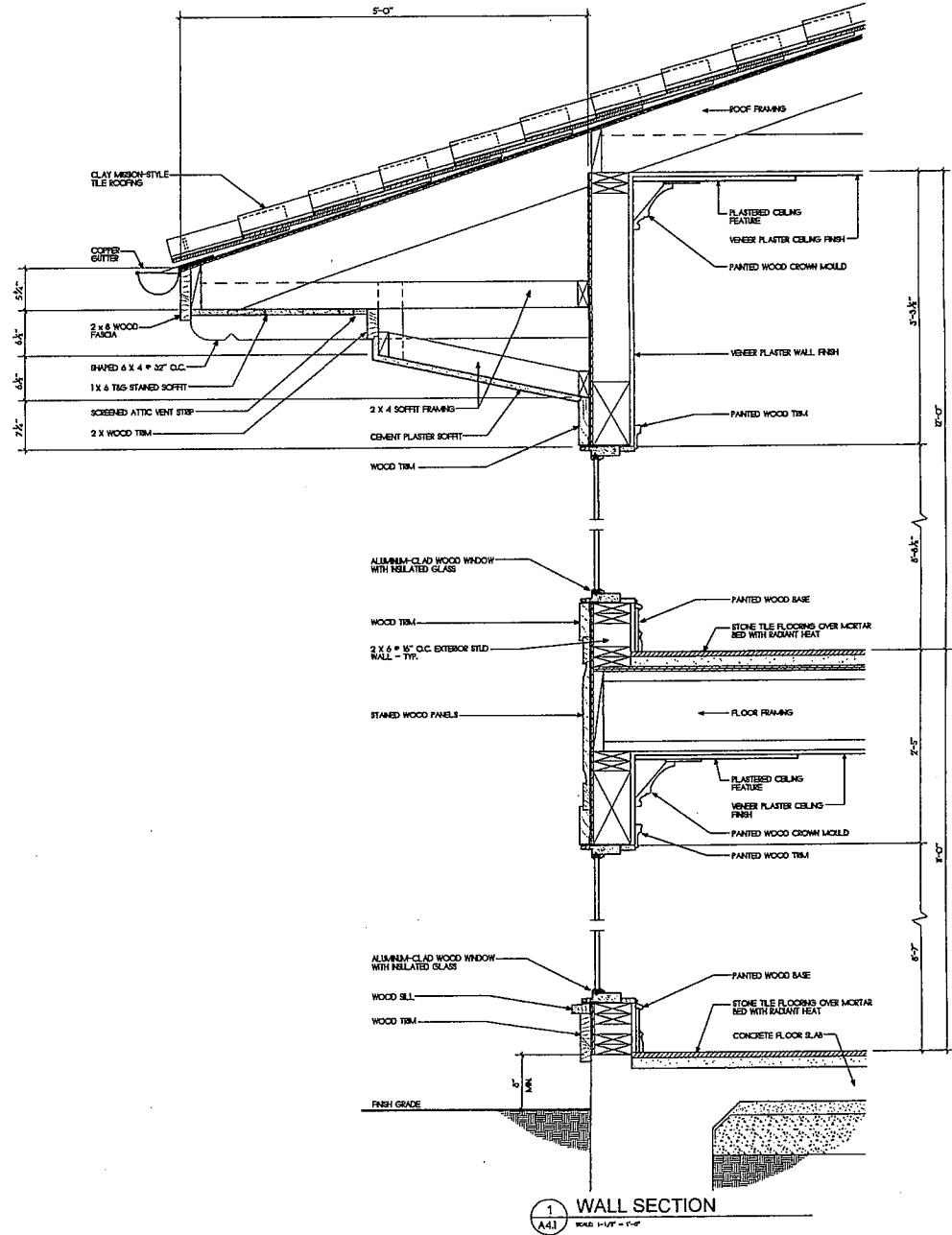
FILE: 0606 WALL/ECT VEH DETAIL

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SHEET NUMBER:

A4.1

SHEET ___ OF ___ SHEETS



1 WALL SECTION
SCALE: 1-1/2" = 1'-0"



TAP PACIFIC STREET, MONTEPELIER, CALIFORNIA 95020
TEL: 925-933-8815 FAX: 925-933-1008

PROJECT:
**PADRE LANE
RESIDENCE**
1231 PADRE LANE
PEBBLE BEACH, CA 93953

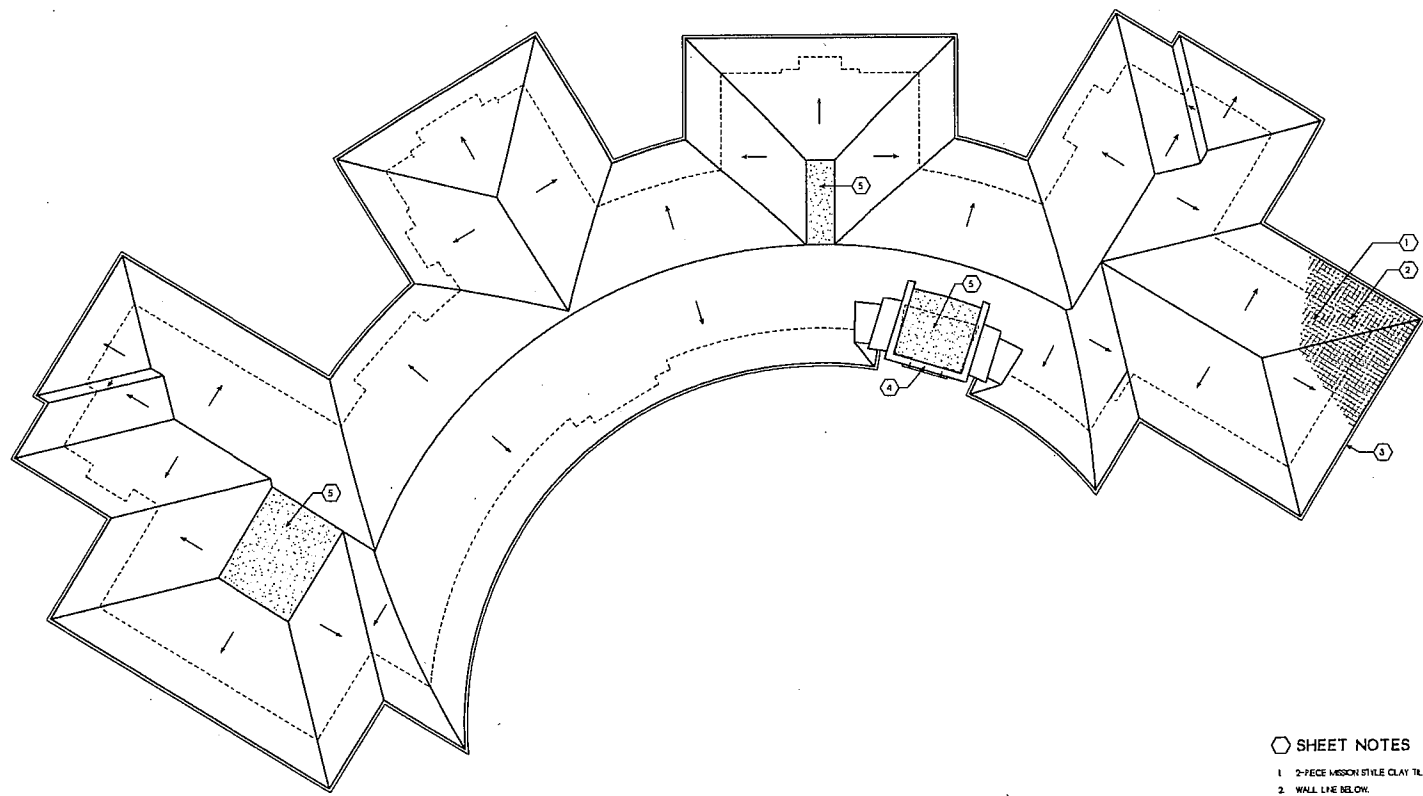
PROJECT NO: 0506
OWNER:
PADRE LANE PROJECT, LLC
4409 MONTROSE, SUITE 200
HOUSTON, TEXAS 77005

SHEET TITLE:
ROOF PLAN

SCALE: 1/8" = 1'-0"

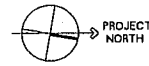
DRAWN BY:
PRINT DATE:
DRAWING DATE: FEBRUARY 9, 2010
DATE ISSUED FOR CONSTRUCTION:

REVISIONS:



SHEET NOTES

- 1 2-PIECE MISSION STYLE CLAY TILE ROOFING - TYP.
- 2 WALL LINE BELOW.
- 3 COPPER GUTTER - TYP.
- 4 CAST STONE CORNICE.
- 5 MULT-IP ROOF.



ROOF PLAN

FILING/CAD FILE NAME: VIEW: ROOFPAN

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SHEET NUMBER:

A5.1

SHEET ___ OF ___ SHEETS



240 PACIFIC STREET, MONTEPELIER, CALIFORNIA 92020
TEL: 609-392-3313 FAX: 609-392-3360
PROJECT:

**PADRE LANE
RESIDENCE**
1231 PADRE LANE
PEBBLE BEACH, CA 93953

PROJECT NO. 0806
OWNER:
PADRE LANE PROJECT, LLC
4409 MONTROSE, SUITE 200
HOUSTON, TEXAS 77006

SHEET TITLE:
SITE LIGHTING PLAN

SCALE: 1/16" = 1'-0"

DRAWN BY:
PRINT DATE:
DRAWING DATE: FEBRUARY 9, 2010
DATE ISSUED FOR CONSTRUCTION:

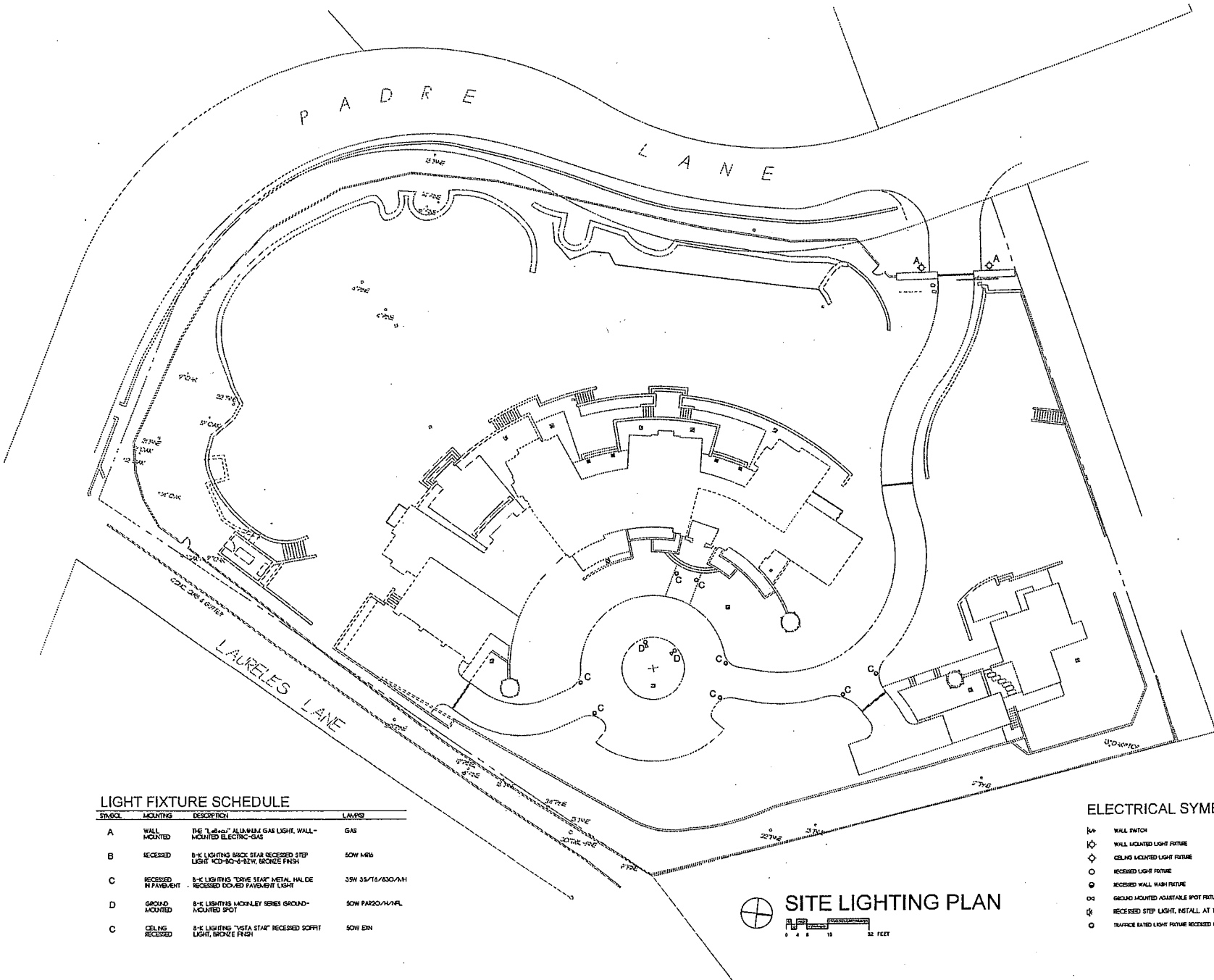
REVISIONS:

FILE:0806 SITE MEW:ShuLw
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SHEET NUMBER:

E1.1

SHEET ___ OF ___ SHEETS



LIGHT FIXTURE SCHEDULE

SYMBOL	MOUNTING	DESCRIPTION	LAMPS
A	WALL MOUNTED	THE "Lithero" ALUMINUM GAS LIGHT, WALL-MOUNTED ELECTRIC-GAS	GAS
B	RECESSED	8"x LIGHTING "ROCK STAR" RECESSED STEP LIGHT, "CD-90-4-S2W, BRONZE FINISH	50W MR16
C	RECESSED IN PAVEMENT	8"x LIGHTING "ROCK STAR" METAL HALIDE RECESSED COATED PAVEMENT LIGHT	35W 35/16/8300/AM
D	GROUND MOUNTED	8"x LIGHTING "MCKINLEY SERIES GROUND-MOUNTED SPOT	50W PAR30/4/HL
C	CEILING RECESSED	8"x LIGHTING "VISTA STAR" RECESSED SOFFIT LIGHT, BRONZE FINISH	50W EDN

ELECTRICAL SYMBOLS LEGEND

- ⊕ WALL FINISH
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊕ RECESSED LIGHT FIXTURE
- ⊕ RECESSED WALL WASH FIXTURE
- ⊕ GROUND MOUNTED ADJUSTABLE SPOT FIXTURE
- ⊕ RECESSED STEP LIGHT, INSTALL AT 12" ABOVE WALKING SURFACE
- ⊕ TRAFFIC BATIO LIGHT FIXTURE RECESSED IN PAVING



SITE LIGHTING PLAN



TOP PACIFIC STREET, MONTEZUMA, CALIFORNIA 95026
TEL: 925-753-1853 FAX: 925-753-1886

PROJECT:
PADRE LANE RESIDENCE
1231 PADRE LANE
PEBBLE BEACH, CA 93953

PROJECT NO: 0006
OWNER:
PADRE LANE PROJECT, LLC
4408 MONTROSE, SUITE 200
HOUSTON, TEXAS 77006

SHEET TITLE:
ENTRY LEVEL EXTERIOR LIGHTING PLAN

SCALE: 1/8" = 1'-0"

DRAWN BY:
PRINT DATE:
DRAWING DATE: FEBRUARY 9, 2010
DATE ISSUED FOR CONSTRUCTION:

REVISIONS:

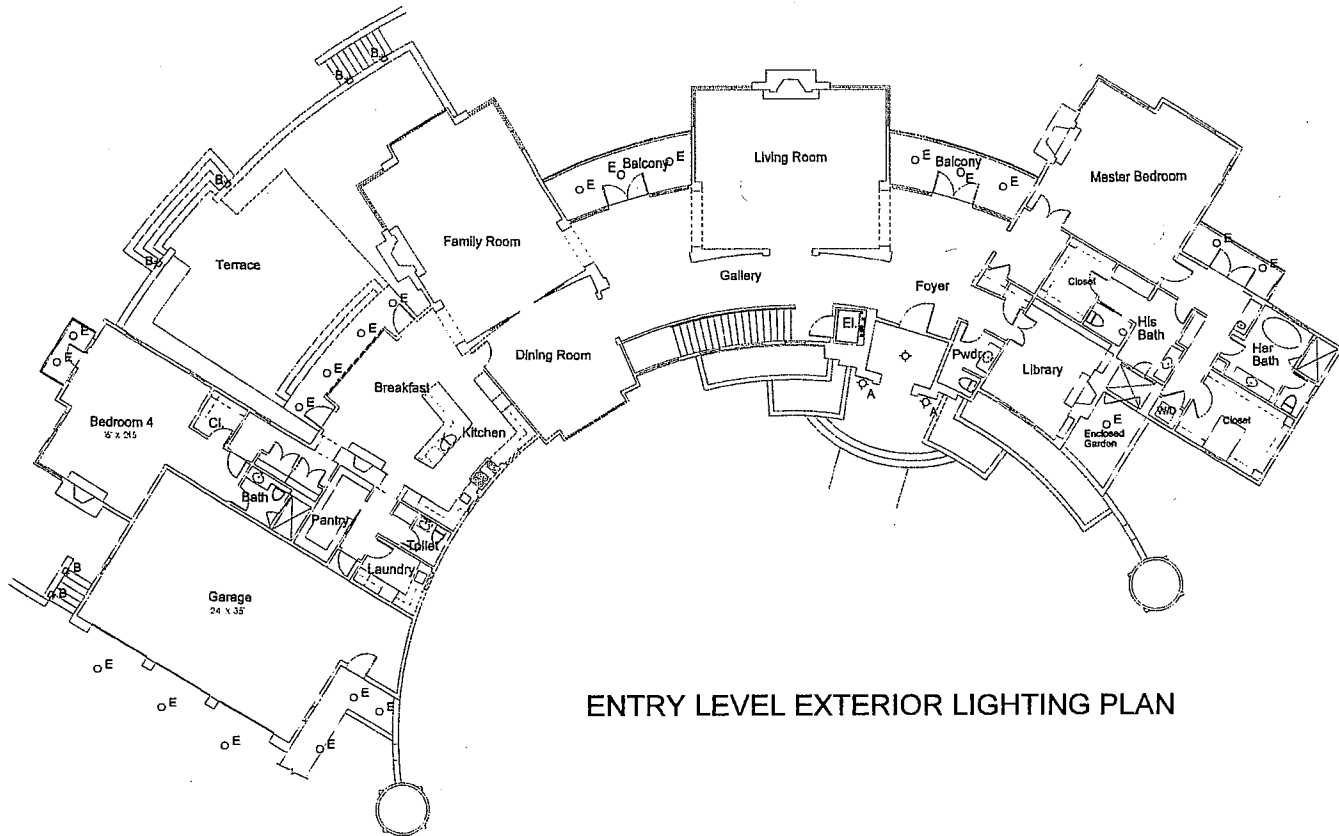
FILE: 0006 PLANS VIEW: ELEC2

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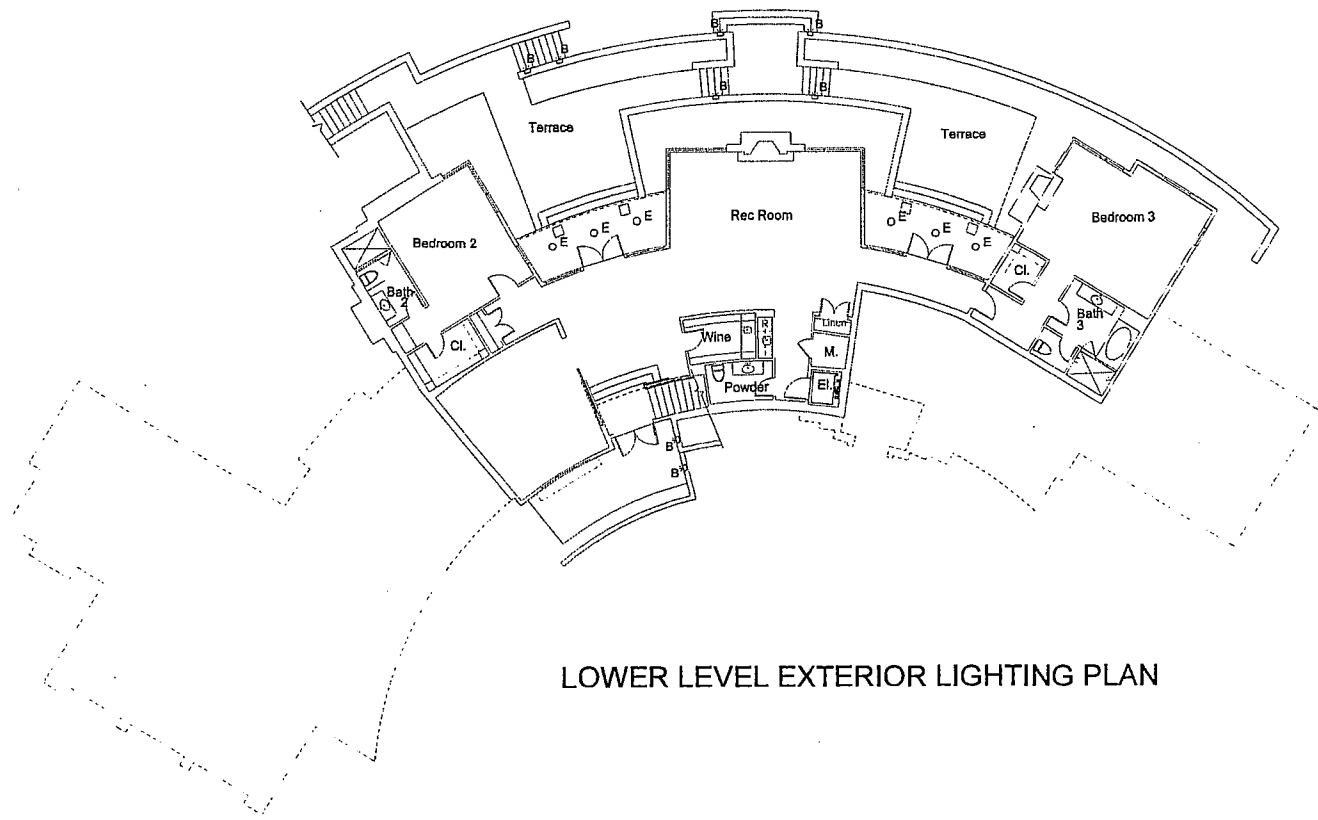
SHEET NUMBER:

E2.1

SHEET ___ OF ___ SHEETS



ENTRY LEVEL EXTERIOR LIGHTING PLAN



LOWER LEVEL EXTERIOR LIGHTING PLAN



1700 FAULSTICH BLVD., MONTEREY, CALIFORNIA 93940
TEL: 831-351-5865 FAX: 831-351-5868
PROJECT:

PADRE LANE RESIDENCE
1231 PADRE LANE
PEBBLE BEACH, CA 93953

PROJECT NO. 0808
OWNER
PADRE LANE PROJECT, LLC
4409 MONTROSE, SUITE 200
HOUSTON, TEXAS 77006

SHEET TITLE
LOWER LEVEL EXTERIOR LIGHTING PLAN

SCALE: 1/8" = 1'-0"

DRAWN BY:
PRINT DATE:
DRAWING DATE: FEBRUARY 9, 2010
DATE ISSUED FOR CONSTRUCTION:

REVISIONS:

FILE: 0808 PLANS VIEW: ELECT

Use of Plans without the accompanying Agreement is prohibited. The user of these Plans shall be deemed to have accepted the terms and conditions of the Agreement. The user shall be responsible for obtaining all necessary permits and for compliance with all applicable laws, codes and regulations. The user shall indemnify and hold the Architect harmless for any and all claims, damages, losses and expenses, including reasonable attorneys' fees, arising out of or from the use of these Plans. FLETCHER+HARDON ARCHITECTS AND ASSOCIATES, INC.

SHEET NUMBER:

E2.2

SHEET ___ OF ___ SHEETS



120 PACIFIC STREET, MONTEREY, CALIFORNIA 93940
TEL 805 543 1855 FAX 805 573 1885

PROJECT:
PADRE LANE RESIDENCE
1231 PADRE LANE
PEBBLE BEACH, CA 93953

PROJECT NO. 0806
OWNER:
PADRE LANE PROJECT, LLC
4409 MONTROSE, SUITE 200
HOUSTON, TEXAS 77006

SHEET TITLE:
**CARETAKER'S UNIT &
DETACHED GARAGE
EXTERIOR LIGHTING PLAN**

SCALE 1/8" = 1'-0"

DRAWN BY:
PRINT DATE:
DRAWING DATE: FEBRUARY 9, 2010
DATE ISSUED FOR CONSTRUCTION:

REVISIONS:

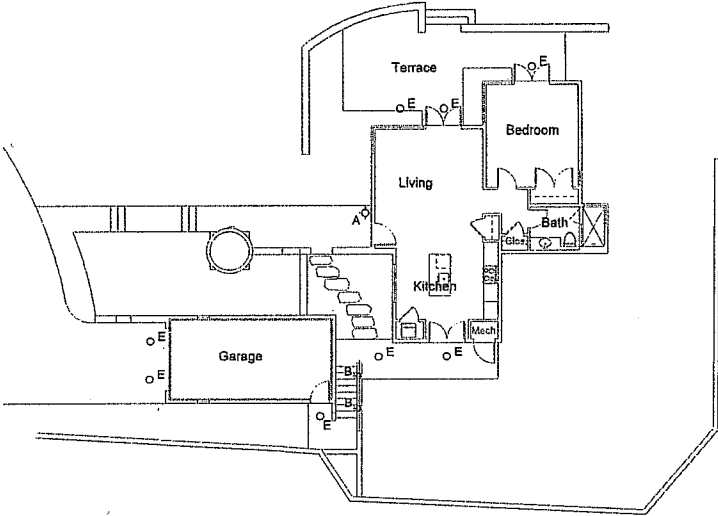
FILE:0806 PLANS VIEW: CTELECT

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SHEET NUMBER:

E2.3

SHEET ___ OF ___ SHEETS



**CARETAKER'S UNIT / DETACHED GARAGE
EXTERIOR LIGHTING PLAN**

FLETCHER+HARDOIN

ARCHITECTS

the duckering group

Landscape Architecture • Planning • Construction Management
876 East 81st Avenue, Suite 1000, Denver, Colorado 80231 303.733.4500



PADRE LANE RESIDENCE
1231 PADRE LANE
PEBBLE BEACH, CA 93953

PROJECT NO. 0006
OWNER
PADRE LANE LLC
4409 MONTROSE, SUITE 200
HOUSTON, TEXAS 77005

DATE: 10/10/11
SITE PLAN

SCALE: 1/8" = 1'-0"

DATE: 10/10/11
PROJECT DATE:
DRAWING DATE:
DATE SUBMITTED FOR SUBMITTAL

DESIGNER:

PROJECT SITE: 1231 Padre Lane

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SHEET NUMBER:

L-1

SHEET 1 OF 3 SHEETS

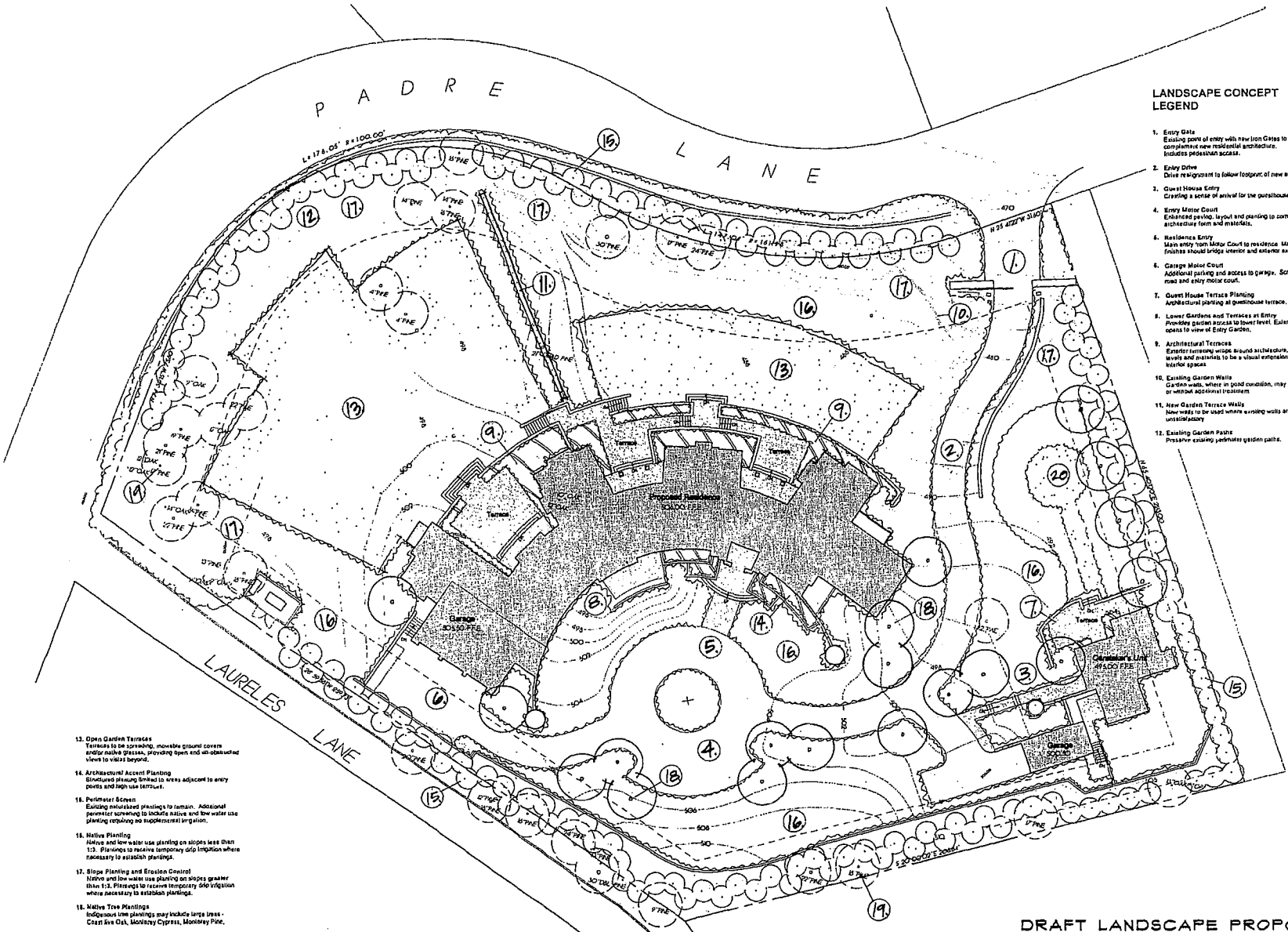
LANDSCAPE CONCEPT LEGEND

1. Entry Gate
Easing point of entry with new iron gates to complement new residential architecture. Includes pedestrian access.
2. Entry Drive
Drive re-assignment to follow footprint of new architecture.
3. Guest House Entry
Creating a sense of arrival for the guesthouse.
4. Entry Motor Court
Expanded parking, layout and paving to complement architecture form and materials.
5. Residence Entry
Main entry from Motor Court to residence. Materials and finishes should bridge exterior and interior spaces.
6. Garage Motor Court
Additional parking and access to garage. Screened from road and entry motor court.
7. Guest House Terrace Planting
Architectural planting at guesthouse terrace.
8. Lower Gardens and Terraces at Entry
Provide garden access to lower level. Exterior patio opens to view of Entry Garden.
9. Architectural Terraces
Emphasize terracing with stone and concrete. Terrace levels and materials to be a visual extension of the interior spaces.
10. Existing Garden Walls
Garden walls, where in good condition, may remain with or without additional treatment.
11. New Garden Terrace Walls
New walls to be used where existing walls are deemed unsatisfactory.
12. Existing Garden Paths
Preserve existing pedestrian garden paths.

13. Open Garden Terraces
Terraces to be screened, movable ground covers and/or native grasses, providing open and unobstructed views to vista beyond.
14. Architectural Accent Planting
Structural planting limited to areas adjacent to entry porches and high use terraces.
15. Perimeter Screens
Existing perimeter plantings to remain. Additional perimeter screening to lock-in native and low water use planting requiring no supplemental irrigation.
16. Native Planting
Native and low water use planting on slopes less than 1:3. Plantings to receive temporary drip irrigation where necessary to establish plantings.
17. Slope Planting and Erosion Control
Native and low water use planting on slopes greater than 1:3. Plantings to receive temporary drip irrigation where necessary to establish plantings.
18. Native Tree Plantings
Indigenous tree plantings may include large tree - Coast Red Oak, Monterey Cypress, Monterey Pine.
19. Existing Trees to Remain
Existing trees in healthy condition will remain where possible.
20. Open House Formal Planting
Formal garden will have a mix of architectural plantings and native plantings to reduce water requirements of the structured garden.



DRAFT LANDSCAPE PROPOSAL



1231 PADRE LANE CONSTRUCTION MANAGEMENT PLAN

PEBBLE BEACH
MONTEREY COUNTY - STATE OF CALIFORNIA

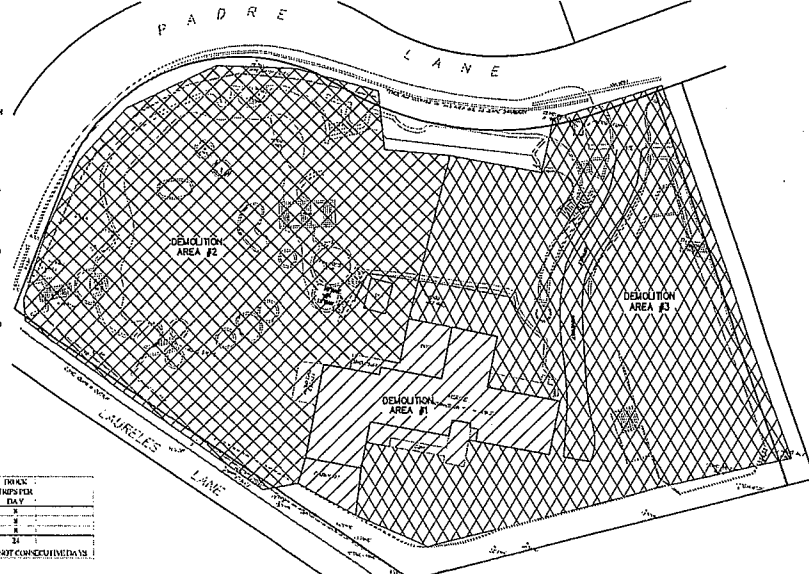
DEMOLITION STAGING
SEE ARCHITECTURAL PLANS
FOR EROSION CONTROL AND
GENERATION NOTES.

STEP 1: REMOVE EXISTING
CONCRETE AND SUPPORT IN
ITS ENTIRETY INCLUDING
FOUNDATION IN DEMOLITION
AREA #1. USE EXISTING
STAGING AND TEMPORARY
STOCKPILE AREA.
STEP 2: REMOVE CONCRETE
AND 10 INCHES RETAINING
WALLS, TREE WALLS AND
FENCING IN DEMOLITION AREA
#2 WHILE USING DEMOLITION
AREA #1 AS EQUIPMENT
STAGING AND TEMPORARY
STOCKPILE AREA.
STEP 3: REMOVE CONCRETE
AND 10 INCHES RETAINING
WALLS, UNDERGROUND
STORAGE TANKS AND FENCING
IN DEMOLITION AREA #3
WHILE USING DEMOLITION
AREA #1 AS EQUIPMENT
STAGING AND TEMPORARY
STOCKPILE AREA.

HAUL ROUTES:
HAUL TRUCKS WILL LEAVE
THE SITE TURNING LEFT ONTO
PADRE LANE, THEN LEFT
ONTO ORLANDO ROAD, THEN
RIGHT ONTO SLOTTON HILL
DRIVE, AT THE POSSIBLE
BEACH HIGHWAY 1/4 MILE
GATE, TAKE STATE HIGHWAY 1
WEST TO THE MONTEREY
REGIONAL WASTE
MANAGEMENT (LUNDFELL) EXIT
TO CHARLE BOESEN LANE.

EMPLOYEE PARKING:
EMPLOYEE PARKING ON-SITE
SEE DESIGN DRAWING AND
DEMOLITION AREA #1.

TRUCKS PER DAY	TOTAL CUMULATIVE CUBIC YARDS
1	300
2	600
3	900
4	1200
5	1500
6	1800
7	2100
8	2400
9	2700
10	3000
11	3300
12	3600
TOTAL	3600



B DEMOLITION STAGING PLAN

SCALE: 1"=10'

DEMOLITION QUANTITIES
FOR PRELIMINARY GRADING
PLAN PREPARED BY
FLETCHER AND HARDON
ARCHITECTS
587 FT CUT
4,554 CU CUT
3,554 CU NET SPOT FILL

DEMOLITION STAGING:
STEP 1: REMOVE CUT
MATERIAL FROM CUT AREAS
AND STOCKPILE ON PLACE.
ON-SITE USE DEMOLITION
AREA #1 TO HOUSE
SITE FOR EQUIPMENT
STAGING AND TEMPORARY
STOCKPILE AREA.
STEP 2: NET SPOT FILL
MATERIAL FROM MONTEREY
REGIONAL WASTE
MANAGEMENT (LUNDFELL).
USE DEMOLITION AREA #1 (OLD
HOUSE SITE) FOR
DEMOLITION STAGING AND
TEMPORARY STOCKPILE
AREA. MAXIMUM LOADS
SHALL BE 24 LOADS PER DAY OR
400 CU.

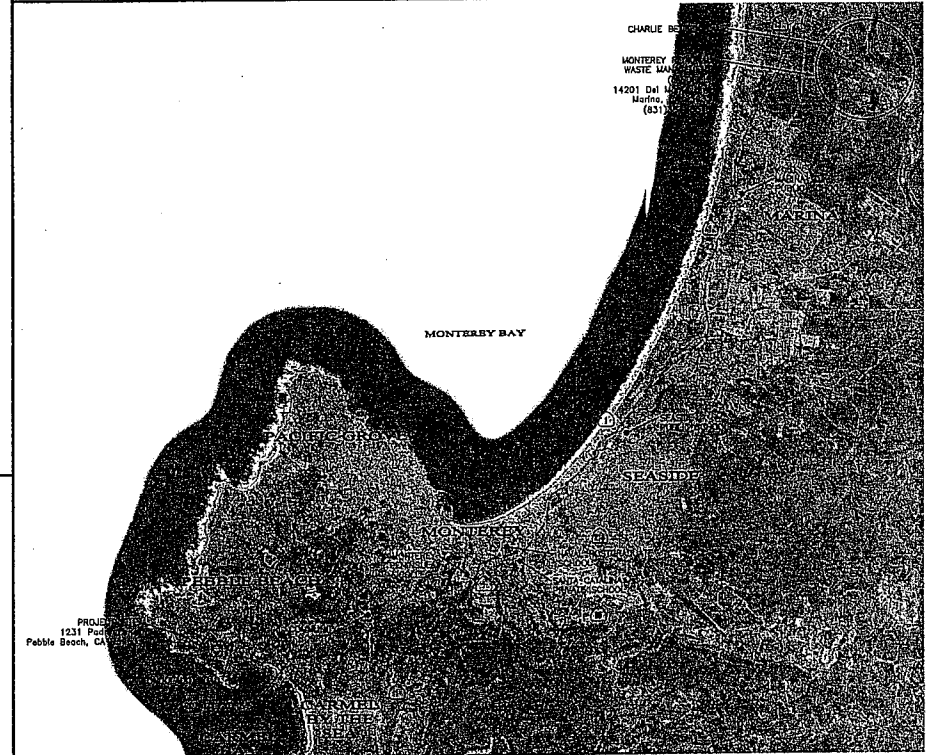
HAUL ROUTES:
HAUL TRUCKS WILL LEAVE
THE MONTEREY REGIONAL
WASTE MANAGEMENT
(LUNDFELL) ON CHARLE
BOESEN LANE AND
PROCEED SOUTH ON STATE
HIGHWAY 1, DRIVING AT
THE HIGHWAY 1/4 MILE
BEACH GATE, TAKE STATE
HIGHWAY 1 EAST, MAKE
RIGHT TURN ONTO
ORLANDO ROAD AND
RIGHT ONTO PADRE LANE.

EMPLOYEE PARKING:
EMPLOYEE PARKING
ON-SITE. SEE DESIGN
DRAWING AND DEMOLITION
AREA #1.

TRUCKS PER DAY	TRUCKS PER DAY	MATERIAL CUMULATIVE CUBIC YARDS	TOTAL CUMULATIVE CUBIC YARDS
1	31	300	300
2	31	600	600
3	31	900	900
4	31	1200	1200
5	31	1500	1500
6	31	1800	1800
7	31	2100	2100
8	31	2400	2400
9	31	2700	2700
10	31	3000	3000
11	31	3300	3300
12	31	3600	3600
TOTAL	360	3600	3600

C GRADING STAGING PLAN

SCALE: 1"=10'



A OVERALL TRUCK ROUTING PLAN

SCALE: 1"=5000'

CONSTRUCTION NOTES

1. ALL WORK SHALL TAKE PLACE DURING DAYLIGHT HOURS, MONDAY - FRIDAY, 8AM TO 5PM.
2. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE PER DAY. PRECAUTION SHOULD BE BASED UPON THE TYPE OF OPERATION, SOIL, AND WIND EXPOSURE.
3. ALL CRANE ACTIVITIES SHALL BE HALTED DURING PERIODS OF HIGH WINDS (15 MPH).
4. HAUL TRUCKS SHALL MAINTAIN 2- FEET OF FREEBOARD AND BE COVERED.
5. COVER INACTIVE STORAGE PILES.
6. THE SIGNED PERMITS AND THE APPROVED CONSTRUCTION PLANS SHALL BE MAINTAINED IN A CONSPICUOUS LOCATION AT THE CONSTRUCTION JOB SITE AT ALL TIMES, AND THAT SUCH COPIES ARE AVAILABLE FOR AGENCY REVIEW ON REQUEST. ALL PERSONS INVOLVED WITH THE CONSTRUCTION SHALL BE DRESSED IN THE CONTENT AND MEANING OF THE PERMITS AND THE APPROVED CONSTRUCTION PLANS, AND THE PUBLIC KNOW REQUIREMENTS APPLICABLE TO THEM, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
7. EQUIPMENT WASHING, REFUELING AND SERVICING SHALL TAKE PLACE ONLY ON-SITE. APPROPRIATE BEST MANAGEMENT PRACTICES SHALL BE USED TO ENSURE THAT NO SPILLS OF PETROLEUM PRODUCTS OR OTHER CHEMICALS TAKE PLACE DURING THESE ACTIVITIES.
8. THE CONSTRUCTION SITE SHALL MAINTAIN GOOD CONSTRUCTION SITE HOUSEKEEPING CONTROLS AND PROCEDURES (E.G. CLEANUP ALL LEAKS, OILS, AND OTHER SPILLS IMMEDIATELY; KEEP MATERIALS COVERED AND OUT OF THE RAIN, INCLUDING COVERING EXPOSED PILES OF SOIL, AND WASTES; DISPOSE OF ALL WASTES PROPERLY; PLACE TRASH RECEPTACLES ON SITE FOR THAT PURPOSE; AND COVER OPEN TRASH RECEPTACLES DURING WET WEATHER).
9. ALL EROSION AND SEDIMENT CONTROLS SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AS WELL AS AT THE END OF EACH WORKDAY. AT A MINIMUM, SILT FENCES, OR EQUIVALENT APPARATUS, SHALL BE INSTALLED AT THE PERIMETER OF THE CONSTRUCTION SITE TO PREVENT CONSTRUCTION-RELATED RUNOFF AND/OR SEDIMENT FROM LEAVING THE SITE.

CONSTRUCTION COORDINATOR

CONTRACTOR SHALL PROVIDE A CONSTRUCTION COORDINATOR THAT CAN BE CONTACTED DURING CONSTRUCTION. SHOULD QUESTIONS ARISE DURING CONSTRUCTION (IN CASE OF BOTH REGULAR HOURS AND IN EMERGENCIES), THEIR CONTACT INFORMATION (INCLUDING THEIR ADDRESS AND 24-HOUR PHONE NUMBERS) SHALL BE CONSPICUOUSLY POSTED AT THE JOB SITE IN A MANNER THAT THE CONTACT INFORMATION IS READILY NOBLE FROM PUBLIC VIEWING AREAS. THE POSTING SHALL INDICATE THAT THE CONSTRUCTION COORDINATOR SHOULD BE CONTACTED TO ANSWER ANY QUESTIONS THAT ARISE DURING CONSTRUCTION (IN CASE OF BOTH REGULAR HOURS AND IN EMERGENCIES). THE CONSTRUCTION COORDINATOR SHALL RECORD THE HAUL PHONE NUMBER AND NATURE OF ALL COMPLAINTS (IF ANY) RECEIVED DURING CONSTRUCTION, AND SHALL INVESTIGATE COMPLAINTS AND TAKE REMEDIAL ACTION, IF NECESSARY, WITHIN 24-HOURS OF RECEIPT OF THE COMPLAINT OR INQUIRY.



PADRE LANE PROJECT, LLC
PLN 100095

PACIFIC
DISPOSAL/RECOVERY MONTEREY COUNTY, CALIFORNIA

CONSTRUCTION MANAGEMENT PLAN

CP

DATE: AUG. 3, 2010

DEL MONTE FOREST



APPLICANT: PADRE LANE PROJECT LLC

APN: 008-293-014-000

FILE # PLN100095

 300' Limit  2500' Limit  City Limits  Water

