

**Before the Zoning Administrator and for the
County of Monterey, State of California**

In the matter of the application of:

VICTORIA FASH (PLN100168)

RESOLUTION NO. 11-006

Resolution by the Monterey County Zoning
Administrator:

- 1) Categorically Exempting per CEQA Section 15301 (e);
- 2) Approving Combined Development Permit to allow: 1) a Coastal Administrative Permit for an addition over 10% of existing floor area for the construction of a 689 square foot studio, exercise room, office, bathroom and 197 square foot patio to an existing 3,655 square foot one-story single family dwelling with an attached 496 square foot two-car garage and Design Approval (materials and colors to match existing); and grading of approximately 145 cubic yards of cut; 2) a Coastal Development Permit for development within 50 feet of a coastal bluff; and 3) a Coastal Administrative Permit for development on a man-made slope exceeding 30%.

(PLN100168, Victoria Fash, 36492 Highway 1,
Monterey, APN: 243-251-009-000

The Combined Development Permit application (PLN100168) came on for public hearing before the Monterey County Zoning Administrator on January 27, 2011. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 1982 Monterey County General Plan,
 - Big Sur Coast Land Use Plan,
 - Monterey County Coastal Implementation Plan (CIP), Part 3,
 - Monterey County Zoning Ordinance (Title 20)No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
b) The property is located at 36492 Highway 1, Big Sur (Assessor's Parcel Number 243-251-009-000, Big Sur Coast Land Use Plan. The parcel is zoned "RDR/40-D (14) (CZ)" Rural Density Residential, 40 acres per unit with Design Control, 14-foot height limit (Coastal Zone), which

- allows for additions to residential development. Therefore, the project is an allowed land use for this site.
- c) Pursuant to Chapter 20.44, Design Control Zoning Districts, the project requires design review of structures to make sure they are appropriate to assure protection of the public viewshed, neighborhood character, and assure visual integrity. The project consists of an addition of an artist studio and exercise room to an existing single family dwelling. Colors and materials to be used are of grey board and bat which will match the existing residence. The retaining wall will match existing retaining walls. The addition will incorporate appropriate materials as such and blend into the surrounding environment. Therefore, the project is consistent with the Design Control regulations.
 - d) Pursuant to Section 20.145.030 of the Visual Resources Development Standards (CIP), the project planner shall make an on-site investigation in order to determine whether the project would intrude on the critical viewshed. Approximately 50% of the property is located within a scenic easement. The subject residence is located west of Highway 1. The addition is proposed on the rear north side of the house and will not impact the critical viewshed. No environmentally sensitive habitat would be affected by the addition. The property was staked and staff conducted site visits on April 21, 2010 and August 24, 2010. Photos determined that the addition will not intrude on the critical viewshed.
 - e) The project planner conducted site inspections on April 21, 2010 and August 24, 2010 to verify that the project on the subject parcel conforms to the plans listed above.
 - f) Pursuant to Section 20.145.080 (CIP), the project is located within 50 feet of a Coastal bluff and requires a geologic report. A Geologic and Geotechnical Investigation was prepared by Soil Surveys on May 18, 2010. (*See Finding 2*) The report stated that the project soil conditions are suitable for the proposed addition provided recommendations are followed in the report. Staff has incorporated a Condition of Approval to ensure that recommendations are followed. (Condition #7)
 - g) Pursuant to Section 20.145.120 (CIP) the project is located within a High Archaeological Sensitivity Zone and requires an archaeological report. An Archaeological Reconnaissance was prepared on April 5, 2010. (*See Finding 2*) The report concluded that there were no resources located within 750 feet of the proposed project. The report recommended that construction not be delayed. Staff has incorporated a Condition of Approval to ensure that if any archaeological resources or human remains are accidentally discovered, work shall halt and the appropriate measures be taken. (Condition #4)
 - h) The project includes application for development on a man-made slope exceeding 30%. The slope was created when the original single family residence was built. Approximately 50% of the property is located within a scenic easement. The subject residence is located west of Highway 1. The addition is proposed on the rear (north) side of the house and is located at the furthest end from the bluff and out of the critical viewshed, which better meets the policies and goals of the Big Sur Land Use Plan. (*See Finding #7*)
 - i) On August 10, 2010, the Big Sur Land Use Advisory Committee

continued the project due to concerns with an outlook deck possibly located within a scenic easement. On August 24, 2010 staff confirmed the deck was not permitted and would require removal before the project could move forward. Any development located within the Coastal Zone requires a discretionary permit. One definition for development is disturbance of dirt within an environmentally sensitive habitat area, i.e., 50 feet from a bluff. Therefore, the deck was removed by hand, leaving the footings in the ground to avoid further discretionary permit requirements.

- j) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN100168.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: RMA - Planning Department, Cal Fire Coastal, Public Works, Environmental Health Bureau, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
 - b) Staff identified potential impacts to biological, archaeological and Soil/Slope Stability. Technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff independently reviewed these reports and concurs with their conclusions. The following reports have been prepared:
 - *“Geologic and Geotechnical Investigation” (LIB100196) prepared by Soil Surveys, Inc., Salinas Ca, May 18, 2010.*
 - *“Archaeological Reconnaissance” (LIB100195) prepared by Archaeological Consulting, Salinas CA, State, April 5, 2010.*
 - *“Biological Assessment” (LIB110024) prepared by Califauna, Pebble Beach, June 4, 2010*
 - c) Staff conducted site inspections on April 21, 2010 and August 24, 2010 to verify that the site is suitable for this use.
 - d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN100168.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by the RMA - Planning Department, Cal Fire Coastal, Public Works, Environmental Health Bureau, and Water

Resources Agency. The respective departments/agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.

- b) Necessary public facilities are available. The project is serviced through Garrapata Mutual water system and currently contains a private septic system. There was no indication from the Environmental Health Bureau that there would be issues with continuing with those services.
- c) Pursuant to Section 20.145.080 Fire Hazards Development Standards, a deed restriction stating that hazards exist is required to be recorded when a property has been determined to be a very high hazard. Staff has incorporated a Condition of Approval as such (Condition #8).
- d) Preceding findings #1 and #2 and supporting evidence for PLN100168.

4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County RMA - Planning Department and Building Services Department records and is not aware of any violations that currently exist on subject property.
 - b) Staff conducted a site inspection on April 21, 2010 and August 24, 2010 and researched County records to assess if any violation exists on the subject property.
 - c) The Big Sur Land Use Advisory Committee had concerns with an outlook deck possibly located within a scenic easement on the property. An August 24, 2010 site visit confirmed that there was a deck constructed in the scenic easement and the potential for a violation. However, the deck was removed prior to staff continuing the process of this permit.
 - d) Zoning violation abatement costs, if any, have been paid. A condition is included to assure that all zoning abatement costs, if any, have been paid.
 - e) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN100168.

5. **FINDING:** **CEQA (Exempt):** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15301(e) categorically exempts additions to existing structures provided that the addition will not result in an increase of more than 50 percent of the floor area of the structure before the addition or 2,500 square feet, whichever is less.
 - b) The application consists of a 689 square foot addition to an existing one-story 3,655 square foot single family dwelling. The 689 square foot addition is less than 20 percent of the floor area of the existing residence.
 - c) There is no activity proposed where there is a reasonable possibility that

the activity will have a significant effect on the environment due to unusual circumstances. There is no environmentally sensitive habitat areas, no bluff issues and slopes are man-made. (See Findings #1, #2, and #3)

- d) No adverse environmental effects were identified during staff review of the development application during site visits on April 21, 2010 and August 24, 2010.
- e) See preceding and following findings and supporting evidence.

6. **FINDING: PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

- EVIDENCE:**
- a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.145.150 of the Monterey County Coastal Implementation Plan can be demonstrated.
 - b) The subject property is not described as an area where the Local Coastal Program requires public access (Figure 2 in the Big Sur Coast Land Use Plan).
 - c) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
 - d) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN100168
 - e) The project planner conducted site inspections on April 21, 2010 and August 24, 2010.
 - f) Although the project is located seaward of the first public road, the shoreline Access Plan clearly states that this area is not suitable for access.

7. **FINDING: DEVELOPMENT ON SLOPE** – The proposed development better achieves the goals, policies and objectives of the 1982 Monterey County General Plan , Big Sur Coast Land Use Plan, Monterey County CIP, Part 3, and the Monterey County Zoning Ordinance (Title 20) than other development alternatives.

- EVIDENCE:**
- a) In accordance with the applicable policies of the Big Sur Coast Land Use Plan and the Monterey County Zoning Ordinance (Title 20), a Coastal Administrative Permit is required and the authority to grant said permit has been met.
 - b) The project includes application for development on man-made slopes exceeding 30%. The slope was created when the original single family residence was built. Only a portion of the addition is located on the man-made slope. The front of the existing single family residence faces the ocean. The proposed addition is located on the rear (north) side of the existing residence and at the furthest end from the bluff. It is sited in a manner that hides it from Highway 1 and out of the critical viewshed area.
 - c) The excavation on the man-made slope does not exceed 100 cubic yards

of dirt, does not exceed 2 feet in depth nor will it excavate on slopes steeper than 1 ½ horizontal to 1 vertical. Therefore, the proposal better achieves the goals, policies and objectives of the Big Sur Coast Land Use Plan and the Monterey County Zoning Ordinance (Title 20).

- d) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN100168.
- e) The project planner conducted site inspections on April 21, 2010 and August 24, 2010.

8. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission

- EVIDENCE:**
- a) Section 20.86.030 Monterey County Zoning Ordinance (Planning Board of Supervisors).
 - b) Section 20.86.080 Monterey County Zoning Ordinance (Coastal Commission). The project is subject to appeal by/to the California Coastal Commission because the project includes conditional uses (Coastal Development Permit), which allows for development located within 50 feet of a Coastal bluff, development on man-made slopes over 30%.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the ZONING ADMINISTRATOR does hereby:

- A. Categorically exempt per CEQA Section 15301 (e);
- B. Approve Combined Development Permit to allow: 1) a Coastal Administrative Permit for an addition over 10% of existing floor area for the construction of a 689 square foot studio, exercise room, office, bathroom and 197 square foot patio to an existing 3,655 square foot one-story single family dwelling with an attached 496 square foot two-car garage and Design Approval (materials and colors to match existing); and grading of approximately 145 cubic yards of cut; 2) a Coastal Development Permit for development within 50 feet of a coastal bluff; and 3) a Coastal Administrative Permit for development on a man-made slope exceeding 30%, in general conformance with the attached sketch and subject to the conditions (**Exhibit 1**), both exhibits being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 27th day of January, 2011 upon motion by the following vote:



Mike Novo, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON **FEB 11 2011**.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE

FEB 21 2011

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS / IS NOT APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning Department and Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

RESOLUTION 11-006 EXHIBIT 1
Monterey County Resource Management Agency
Planning Department
Condition Compliance and/or Mitigation Monitoring
Reporting Plan

Project Name: FASH
 File No: PLN100168 APNs: 243-251-009-000
 Approved by: Zoning Administrator Date: January 27, 2011

**Monitoring or Reporting refers to projects with an EIR or adopted Mitigated Negative Declaration per Section 21081.6 of the Public Resources Code.*

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>	
RMA – Planning Department							
1.		<p>PD001 - SPECIFIC USES ONLY This Combined Permit (PLN100168) allows: 1) a Coastal Administrative Permit for an addition over 10% of existing floor area for the construction of a 689 square foot studio, exercise room, office, bathroom and 197 square foot patio to an existing 3,655 square foot one-story single family dwelling with an attached 496 square foot two-car garage and Design Approval (materials and colors to match existing); and grading of approximately 145 cubic yards of cut; 2) a Coastal Development Permit for development within 50 feet of a coastal bluff; and 3) a Coastal Administrative Permit for development on a man-made slope exceeding 30%. The property is located at 36492 Highway One, Monterey (Assessor's Parcel Number 243-251-009-000), Big Sur Coast Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the following terms and conditions. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is</p>	<p>Adhere to conditions and uses specified in the permit.</p>	Owner/ Applicant	Ongoing unless otherwise stated		
			<p>Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of the RMA - Planning Department.</p>	RMA - Planning			
			<p>To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled.</p>	WRA RMA - Planning			

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		allowed unless additional permits are approved by the appropriate authorities. (RMA-Planning Department)				
2.		PD002 - NOTICE-PERMIT APPROVAL The applicant shall record a notice which states: "A permit (Resolution 11-006) was approved by the Zoning Administrator for Assessor's Parcel Number 243-251-009-000 on January 27, 2011. The permit was granted subject to 16 conditions of approval which run with the land. A copy of the permit is on file with the Monterey County RMA - Planning Department." (RMA-Planning Department)	Obtain appropriate form from the RMA-Planning Department. The applicant shall complete the form and furnish proof of recordation of this notice to the RMA - Planning Department.	Owner/ Applicant RMA- Planning	Prior to the issuance of grading and building permits or commencement of use.	
3.		PD032(A) - PERMIT EXPIRATION The permit shall be granted for a time period of 3 years, to expire on January 27, 2014 unless use of the property or actual construction has begun within this period. (RMA - Planning Department)	The applicant shall obtain a valid grading or building permit and/or commence the authorized use to the satisfaction of the Director of Planning. Any request for extension must be received by the Planning Department at least 30 days prior to the expiration date.	Owner/ Applicant	As stated in the conditions of approval	
4.		PD003(A) - CULTURAL RESOURCES - NEGATIVE ARCHAEOLOGICAL REPORT If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. The Monterey County RMA - Planning Department and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted,	Stop work within 50 meters (165 feet) of uncovered resource and contact the Monterey County RMA - Planning Department and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures	Owner/ Applicant/ Archaeo- logist	Ongoing	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery. (RMA - Planning Department)	required for the discovery.			
5.		PD014(C) – LIGHTING – EXTERIOR LIGHTING PLAN (BIG SUR) All exterior lighting shall be unobtrusive, down-lit, compatible with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. Exterior lights shall have recessed lighting elements. Exterior light sources that would be directly visible from critical viewshed viewing areas, as defined in Section 20.145.020.V, are prohibited. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations, Title 24, Part 6. The exterior lighting plan shall be subject to approval by the Director of the RMA - Planning Department, prior to the issuance of building permits. (RMA – Planning Department)	Submit three copies of the lighting plans to the RMA - Planning Department for review and approval. Approved lighting plans shall be incorporated into final building plans.	Owner/ Applicant	Prior to the issuance of building permits.	
			The lighting shall be installed and maintained in accordance with the approved plan.	Owner/ Applicant	Prior to Occupancy / Ongoing	
6.		PD007 - GRADING-WINTER RESTRICTION No land clearing or grading shall occur on the subject parcel between October 15 and April 15 unless authorized by the Director of RMA - Building Services Department. (RMA – Planning Department and Building Services Department)	Obtain authorization from the Director of RMA - Building Services Department to conduct land clearing or grading between October 15 and April 15.	Owner/ Applicant	Ongoing	
7.		PD008 - GEOLOGIC CERTIFICATION Prior to final inspection, the geologic consultant shall provide certification that all development has been constructed in accordance with the geologic and geotechnical report. (RMA - Planning Department)	Submit certification by the geotechnical consultant to the RMA - Planning Department showing project's compliance with the geotechnical report.	Owner/ Applicant/ Geotechnical Consultant	Prior to final inspection	

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8.		PD017 - DEED RESTRICTION – USE Prior to the issuance of a building permit the applicant shall record a deed restriction as a condition of project approval stating that Fire Hazards exist on the parcel and that development may be subject to certain restrictions required as per Section 20.142.130. (RMA – Planning Department)	Submit signed and notarized document to the Director of RMA – Planning Department for review and signature by the County.	Owner/ Applicant	Prior to the issuance of grading or building permits	
			Proof of recordation of the document shall be submitted to the RMA – Planning Department.	Owner/ Applicant	Prior to occupancy or commencement of use	
Fire Agency (CAL FIRE COASTAL)						
9.		FIRE007 - DRIVEWAYS Driveways shall not be less than 12 feet wide unobstructed, with an unobstructed vertical clearance of not less than 15 feet. The grade for all driveways shall not exceed 15 percent. Where the grade exceeds 8 percent, a minimum structural roadway surface of 0.17 feet of asphaltic concrete on 0.34 feet of aggregate base shall be required. The driveway surface shall be capable of supporting the imposed load of fire apparatus (22 tons), and be accessible by conventional-drive vehicles, including sedans. For driveways with turns 90 degrees and less, the minimum horizontal inside radius of curvature shall be 25 feet. For driveways with turns greater than 90 degrees, the minimum horizontal inside radius curvature shall be 28 feet. For all driveway turns, an additional surface of 4 feet shall be added. All driveways exceeding 150 feet in length, but less than 800 feet in length, shall provide a turnout near the midpoint of the driveway. Where the driveway exceeds 800 feet, turnouts shall be provided at no greater than 400-foot intervals. Turnouts shall be a minimum of 12 feet wide and 30 feet long with a minimum of 25-foot	Applicant shall incorporate specification into design and enumerate as “Fire Dept. Notes” on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection.	

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		taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall long with a minimum 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall be located within 50 feet of the primary building. The minimum turning radius for a turnaround shall be 40 feet from the center line of the driveway. If a hammerhead/T is used, the top of the "T" shall be a minimum of 60 feet in length. (CAL FIRE COASTAL)				
10.		FIRE008 - GATES All gates providing access from a road to a driveway shall be located at least 30 feet from the roadway and shall open to allow a vehicle to stop without obstructing traffic on the road. Gate entrances shall be at least the width of the traffic lane but in no case less than 12 feet wide. Where a one-way road with a single traffic lane provides access to a gated entrance, a 40-foot turning radius shall be used. Where gates are to be locked, the installation of a key box or other acceptable means for immediate access by emergency equipment may be required. (CAL FIRE COASTAL)	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection.	
11.		FIRE011 - ADDRESSES FOR BUILDINGS All buildings shall be issued an address in accordance with Monterey County Ordinance No. 1241. Each occupancy, except accessory buildings, shall have its own permanently posted address. When multiple occupancies exist within a single building, each individual occupancy shall be separately identified by its own address. Letters, numbers and symbols for addresses shall be a minimum of 4-inch height, 1/2-inch stroke, contrasting with the background color of the sign, and shall be Arabic. The sign and numbers shall be reflective and made of a noncombustible material. Address signs shall be placed at each driveway entrance and at each driveway split. Address signs shall be and	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	

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		visible from both directions of travel along the road. In all cases, the address shall be posted at the beginning of construction and shall be maintained thereafter. Address signs along one-way roads shall be visible from both directions of travel. Where multiple addresses are required at a single driveway, they shall be mounted on a single sign. Where a roadway provides access solely to a single commercial occupancy, the address sign shall be placed at the nearest road intersection providing access to that site. Permanent address numbers shall be posted prior to requesting final clearance. (CAL FIRE COASTAL)				
12.		FIRE015 - FIRE HYDRANTS/FIRE VALVES A fire hydrant or fire valve is required. The hydrant or fire valve shall be 18 inches above grade, 8 feet from flammable vegetation, no closer than 4 feet nor further than 12 feet from a roadway, and in a location where fire apparatus using it will not block the roadway. The hydrant serving any building shall be not less than 50 feet and not more than 1000 feet by road from the building it is to serve. Minimum hydrant standards shall include a brass head and valve with at least one 2 1/2 inch National Hose outlet supplied by a minimum 4 inch main and riser. More restrictive hydrant requirements may be applied by the Reviewing Authority. Each hydrant/valve shall be identified with a reflectorized blue marker, with minimum dimensions of 3 inches, located on the driveway address sign, non-combustible post or fire hydrant riser. If used, the post shall be within 3 feet of the hydrant/valve, with the blue marker not less than 3 feet or greater than 5 feet above the ground, visible from the driveway. On paved roads or driveways, reflectorized blue markers shall be permitted to be installed in accordance with the State Fire Marshal's Guidelines for Fire Hydrant Markings Along State Highways and Freeways, May 1988. (CAL FIRE COASTAL)	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	
13.		FIRE020 - DEFENSIBLE SPACE REQUIREMENTS (HAZARDOUS CONDITIONS) Manage combustible vegetation within a minimum of 10 feet of structures (or to the property line). Limb trees 6 feet up from ground. Remove limbs within 10 feet of	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		chimneys. Additional fire protection or firebreaks approved by the Reviewing Authority may be required to provide reasonable fire safety. Environmentally sensitive areas may require alternative fire protection, to be determined by Reviewing Authority and the Director of Planning and Building Inspection. (CAL FIRE COASTAL)	Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	
14.		FIRE022 - FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM - (HAZARDOUS CONDITIONS) The building(s) and attached garage(s) shall be fully protected with automatic fire sprinkler system(s). Installation shall be in accordance with the applicable NFPA standard. A minimum of four (4) sets of plans for fire sprinkler systems must be submitted by a California licensed C-16 contractor and approved prior to installation. This requirement is not intended to delay issuance of a building permit. A rough sprinkler inspection must be scheduled by the installing contractor completed prior to requesting a framing inspection. Due to substandard access, or other mitigating factors, small bathroom(s) and open attached porches, carports, and similar structures shall be protected with fire sprinklers. (CAL FIRE COASTAL)	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	
			Applicant shall schedule fire dept. rough sprinkler inspection	Applicant or owner	Prior to framing inspection	
			Applicant shall schedule fire dept. final sprinkler inspection	Applicant or owner	Prior to final building inspection	
15.		FIRE024 - FIRE ALARM SYSTEM - (SINGLE FAMILY DWELLING) The residence shall be fully protected with an approved household fire warning system as defined by NFPA Standard 72. Plans and specifications for the household fire warning system shall be submitted by a California licensed C-10 contractor and approved prior to installation. Household fire warning systems installed in lieu of single-station smoke alarms required by the Uniform Building Code shall be required to be	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	
			Applicant shall submit fire alarm plans and obtain approval.	Applicant or owner	Prior to rough sprinkler or framing inspection	

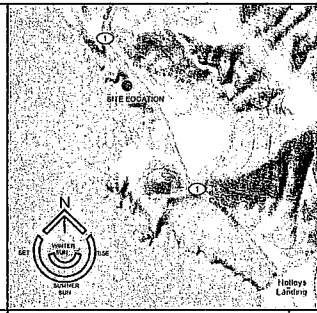
<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		placarded as permanent building equipment. (CAL FIRE COASTAL)	Applicant shall schedule fire alarm system acceptance test.	Applicant or owner	Prior to final building inspection	
16.		FIRE027 - ROOF CONSTRUCTION - (VERY HIGH HAZARD SEVERITY ZONE) All new structures, and all existing structures receiving new roofing over 50 percent or more of the existing roof surface within a one-year period, shall require a minimum of ICBO Class A roof construction. (CAL FIRE COASTAL)	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	

END OF CONDITIONS

Rev. 08/25/2010

FASH RESIDENCE

36492 Highway One Monterey (Big Sur), California 93940



ARCHITECT: Jon Sather Erlandson
700 New 71st
Carmel, Ca. 93921
Phone: 831.623.6163

CONTRACTOR: Dennis L. Area Constructors, Inc.
Post Office Box 1791
Carmel, California 93921
Phone: 657-1354

STRUCTURAL ENGINEER: MESSMER & ASSOCIATES, INC.
603 Palm Ave.
San Jose, Ca. 95128
Tel: 831.392.2302
Fax: 831.392.2320

DATE	REVISION

FIRE PROTECTION NOTES:

- This residence and garage shall be fully protected with an automatic fire sprinkler system. Installation, approval, and maintenance shall comply with applicable National Fire Protection Association standard 13a and local amendments, the editions of which shall be determined by the enforcing jurisdiction. Plans for the fire sprinkler system must be submitted and approved by the Fire Protection District prior to installation. Rough-in inspections must be completed prior to requesting a framing inspection from the building inspections department.
- Fire alarm flow switch shall be wired to the kitchen refrigerator circuit. Any deviations require approval from the fire department.
- Address numbers shall be posted before construction begins. Permanent address numbers shall be posted prior to request for a final inspection. All address numbers (permanent or temporary) shall be posted on the property so as to be clearly visible from the road. Where visibility cannot be provided, a post or sign bearing the address numbers shall be set adjacent to the driveway or access road to the property. Address numbers posted shall be "arabic" (1, 2, 3, etc.) not "Roman" (I, II, X, etc.) or written out in words (thirteen, seventy six, etc.). Address numbers posted shall be a minimum number height of 4 inches, 3/4" wide stroke, and contrasting with the background colors of the sign. Note: If numbers are not posted, building inspectors will not grant a final inspection.
- Clear vegetation: all flammable vegetation or other combustible growth shall at all times be maintained at a clear distance of not less than 100 feet on each side from the structure or buildings. This shall not apply to single specimens of trees, ornamental shrubbery or similar plants used as ground covers, provided that they do not form a means of rapidly transmitting fire from the native growth to any structure. Additional fire protection or firebreak may be required when, because of extra hazardous conditions, a firebreak of only 100 feet around such structure is not sufficient to provide reasonable fire safety. Environmentally sensitive areas may require alternative fire protection. This shall be determined by the Fire Chief and the Director of Planning and Building.
- Driveways shall be not less than 12' wide with an unobstructed vertical clearance of 12'. The grade for all driveways shall not exceed 15 percent. Where the grade exceeds 8 percent, a minimum structural surface shall be installed capable of supporting a 22 ton fire vehicle.
- Privacy gates (if applicable) shall be provided with a keyed switch meeting fire department specifications. Gate entrances shall be at least the width. Unobstructed vertical clearances shall be not less than 15 feet.
- The roofing system on all structures on this property shall be a minimum of ICBO Class A construction.
- This project shall be fully protected by a combination fire and burglar alarm system, installed in lieu of the single-station smoke alarm required by the CBC. The alarm panel shall be placarded as permanent building equipment.

GENERAL NOTES:

- THESE DOCUMENTS HAVE BEEN APPROVED FOR CONSTRUCTION BY THE PLANNING AND BUILDING DEPARTMENTS AND THE PROJECT ARCHITECT. ANY DEVIATIONS FROM THE WORK DESCRIBED HEREON MUST BE APPROVED IN ADVANCE BY THE ARCHITECT AND SUBMITTED TO THE APPLICABLE AGENCIES FOR APPROVAL.
- ALL WORK SHALL CONFORM TO THE 2007 EDITION OF THE UNIFORM BUILDING CODE (UBC) AND TO ALL CITY AND/OR COUNTY PLANNING AND BUILDING DEPARTMENT REGULATIONS.
- FROM 10 SUBMITTING BIDS, CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE PROJECT SITE AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THESE DOCUMENTS AND THE ACTUAL SITE CONDITIONS.
- CONCRETE COMPRESSIVE DESIGN STRENGTH SHALL BE 3000 PSI @ 28 DAYS MINIMUM.
- BUILDING ACCESS SHALL BE PROVIDED IN A LOCATION VISIBLE FROM THE PUBLIC RIGHT-OF-WAY.
- CONSTRUCTION SHALL PROVIDE ADEQUATE TEMPORARY SUPPORT AND SHORING AS REQUIRED AT ALL LEVELS UNTIL EXISTING SUPPORTS ARE REMOVED, REINFORCED, AND REPAIRS ARE COMPLETED TO BE REMOVED.
- CONTRACTOR SHALL MAINTAIN RECORDS OF THE ARCHITECT OF ANY CONDITIONS DISCOVERED DURING CONSTRUCTION WHICH MAY REQUIRE PROVISION OF PROJECT DETAILS OR WHICH MAY AFFECT PROJECT CONSTRUCTION COSTS.
- NO PERSON SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE TO THE FIRE PROTECTION OR BURGLAR ALARM SYSTEMS OR OTHER EQUIPMENT ARISING FROM THE WATER PUMPING SUPPLYING WATER TO THE PROPERTY AND FROM THE PROPERTY TO THE COUNTY HEALTH DEPARTMENT.
- ALL HOSE LINES LAID IN CONNECTION WITH CONSTRUCTION ACTIVITIES SHALL BE COVERED WITH AN AUTOMATIC SAFETY HEAVY.
- NO HO VEHICLE SHALL BE USED FOR CONSTRUCTION OR BUILT EQUIPMENT PURPOSES IN CONNECTION WITH THIS PROJECT AS A REASONABLE AVAILABLE SOURCE OF FUELWOOD OR OTHER SUBSTITUTABLE WOOD PRODUCTS IS AVAILABLE TO THE NEAREST COUNTY HEALTH DEPARTMENT AND APPROPRIATE FOR SUCH USE.
- ONE WINDOW OR DOOR IN EACH BATHROOM SHALL PROVIDE A MINIMUM OPENING AREA OF 5.7 SQ. FT. WITH A MINIMUM CLEAR HEIGHT OF 20". A MINIMUM CLEAR HEIGHT OF 4" AND A MINIMUM NET AREA OF 1".
- CEILING LATH SHALL BE INSTALLED WITH MINIMUM TWO LAYERS OF GAUGE 9 PAPER WHICH SHALL COVER OVER WOOD BATS SHEATHING.

VICINITY MAP

3

PROJECT TEAM

1

ARCHITECTURAL DRAWINGS

PROPOSED ARCHITECTURAL PLANS	
A-1.1	TITLE SHEET and PROJECT NOTES & INFORMATION
A-2.1	PROPOSED SITE PLAN
A-2.2	CONSTRUCTION STAGING PLAN
A-3.1	PROPOSED FLOOR PLAN
A-3.2	PROPOSED EXTERIOR ELEVATIONS

EXISTING PROPERTY PLANS

A-4.1	EXISTING SITE PLAN
A-4.2	EXISTING FLOOR PLAN
A-4.3	EXISTING EXTERIOR ELEVATIONS

CIVIL DRAWINGS

C-1.0	CIVIL DRAINAGE PLANS
C-2.0	CIVIL EROSION CONTROL PLANS

PRODUCT DESCRIPTION:

Addition of Artist's Studio, Exercise Room and Bathroom to an existing Single Family Residence

OWNER: Ms. Victoria Fash
36492 Highway One
Monterey (Big Sur), California 93940

PROJECT ADDRESS: 36492 Highway One
Monterey (Big Sur), California 93940

A.P.N.: 243-251-008-000

Zoning District: ROR/40-D(14)(C2)

Property Area: 2.12 Acres +/- 92,347 SF

Site coverage: Allowed: 25.0%
Existing: 5.3% +/-
Proposed: 6.2% +/-

FLOOR AREAS:	EXISTING	PROPOSED
First Floor Living Area:	3,655 S.F.	4,344 S.F.
Garage:	496 S.F.	496 S.F.
Total:	4,151 S.F.	4,840 S.F.

SITE COVERAGE:	ALLOWED	EXISTING	PROPOSED
Residence:	4,151 S.F.	4,840 S.F.	4,840 S.F.
Patios and Covered Patio:	225 S.F.	865 S.F.	865 S.F.
Total:	23,087 S.F.	4,929 S.F.	5,705 S.F.

IMPERMEABLE COVERAGE:	EXISTING	PROPOSED
Residence:	4,151 S.F.	4,840 S.F.
Overhangs and Covered Patios:	786 S.F.	883 S.F.
Patios and Walks:	1,076 S.F.	1,076 S.F.
Impermeable Driveway:	1,864 S.F.	1,864 S.F.
Mechanical Yard:	210 S.F.	210 S.F.
Total:	8,087 S.F.	8,873 S.F.

PARKING:	REQUIRED	EXISTING	PROPOSED
Covered:	2 Spaces	3 Spaces	3 Spaces
Uncovered:	0 Spaces	4 Spaces	4 Spaces

TREE REMOVAL:
None

GRADING QUANTITIES:

CUT: 145 CY
FILL: None

APPLICABLE CODES

- 2007 CA Building Code (Based on 2006 International Building Code)
- 2007 CA Fire Code (Based on 2006 International Fire Code)
- 2007 CA Plumbing Code (Based on 2006 Uniform Plumbing Code)
- 2007 CA Mechanical Code (Based on 2006 Uniform Mechanical Code)
- 2007 CA Electrical Code (Based on 2003 National Electrical Code)
- 2007 CA Energy Code

CONSTRUCTION TYPE:
Type V Non-Roofed

OCCUPANCY:
R-1

WATER SOURCE:
Coropoto Private System

FIRE PROTECTION NOTES

6

GENERAL NOTES

5

DRAWING INDEX

4

PROJECT INFORMATION

2

Jon Sather Erlandson Architect - CIVILS
The NEWBIE North East Corner of Ocean and Fifth, Carmel By The Sea



M.A.L.: Jon Sather Erlandson, Architect, Post Office Box 1791, Carmel, California 93921
Phone: (831) 623-6163 Email: jon@jserlandson.com

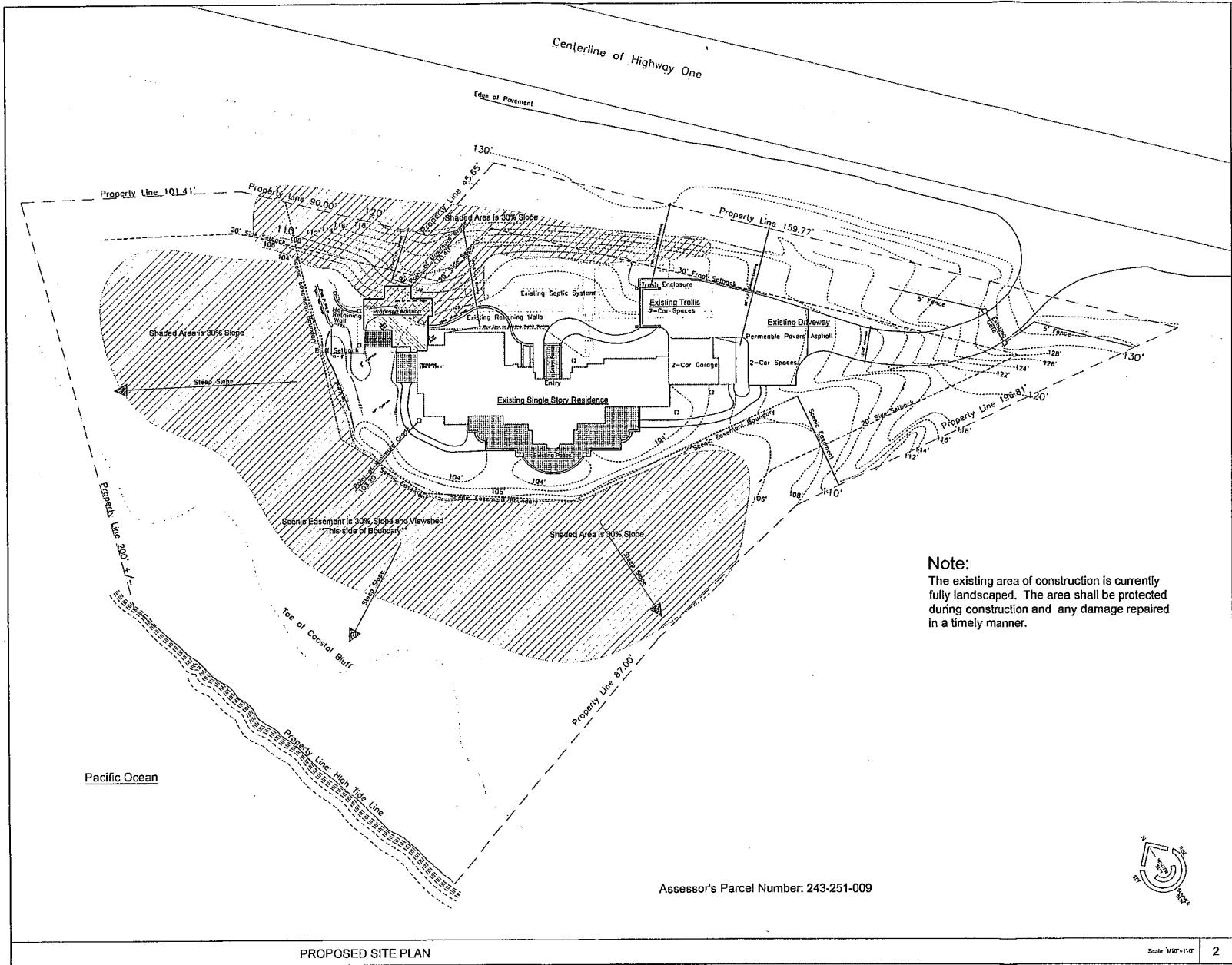
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36492 Highway One
Monterey, California 93940

Job Number: 2010-01 Drawn By: [Blank]

Date: 03.21.2010 Revisions: [Blank]

Sheet Number: **A 1-1**
of [Blank] Sheets

TITLE SHEET & SITE PLAN



Note:
 The existing area of construction is currently fully landscaped. The area shall be protected during construction and any damage repaired in a timely manner.

Assessor's Parcel Number: 243-251-009

PROPOSED SITE PLAN

Scale 1/16" = 1'-0"

2

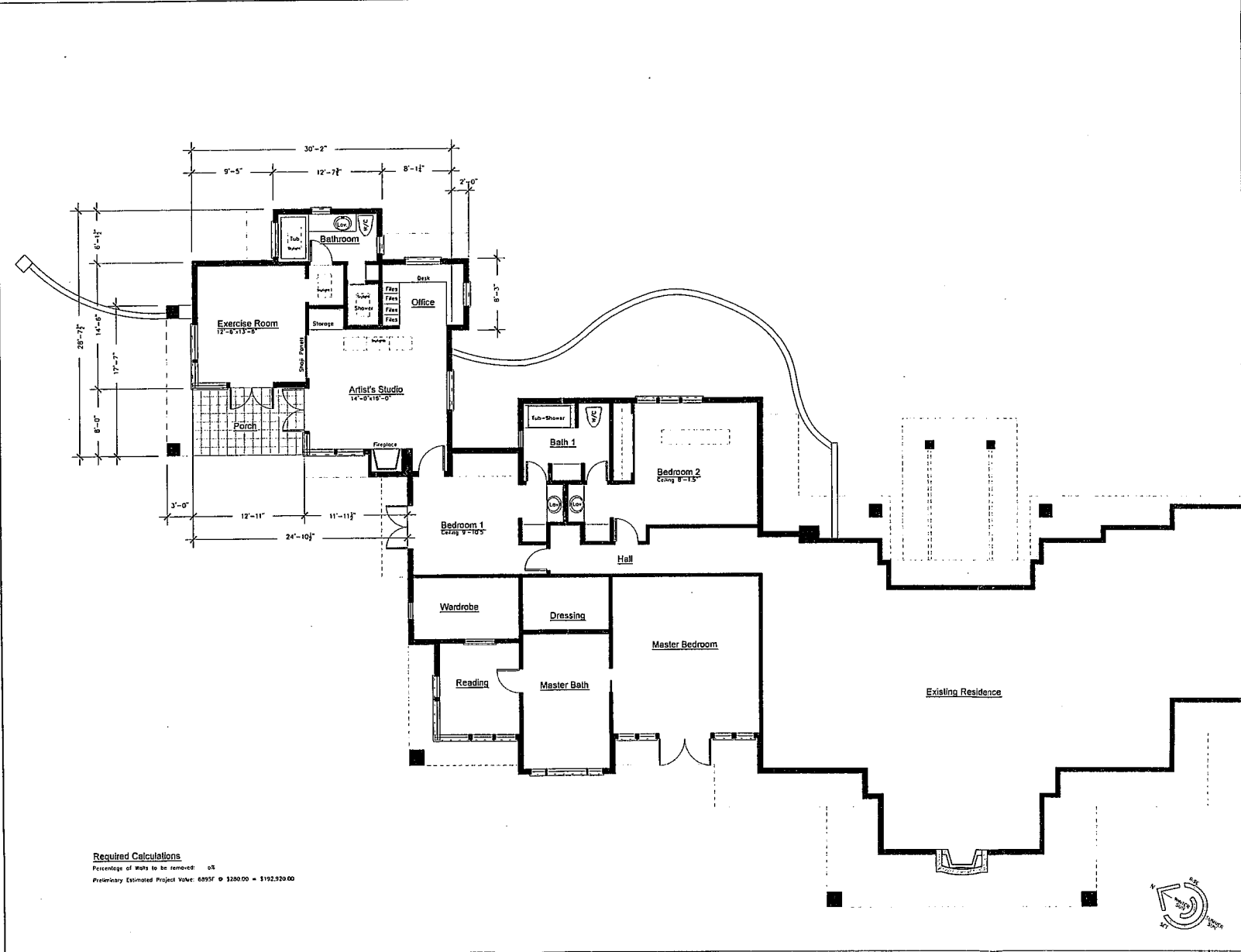
DATE	REVISION

Jon Sather Erlandson Architect - C11925
 The MWRP North East Corner of Ocean and FFA, Corner By The Sea
 M.E.L. Jon Sather Erlandson, Architect, P.O. Box 108, Grand Central Station
 Phone: (313) 625-4113 Fax: (313) 625-4113 E-mail: jon@jon-sather.com

FASH RESIDENCE
 CONSULTING ARCHITECTS
 3421 Highway 101
 Suite 100
 San Diego, CA 92108
 Phone: (619) 451-1111
 Fax: (619) 451-1112
 Email: info@fashresidence.com

Job Number 2510-01	Drawn By
Date 08-21-2010	Revised
Sheet Number A-2.1	of Sheets

PROPOSED SITE PLAN



Required Calculations
 Percentage of Walls to be removed: 0%
 Preliminary Estimated Project Value: 6895F @ \$280.00 = \$1,929,200.00

PROPOSED FLOOR PLAN Additional Living Area 6895F

Scale: 1/4" = 1'-0" 1

DATE	REVISION

Jon Sather Erlandson Architect - CT1925
 The MANS North East Corner of Downey and 55th, Canal City, The Sea
 MAIL: Jon Sather Erlandson, Architect: Post Office Box 705, Orange County, CA 92667
 Phone: (714) 251-0210 Fax: (714) 251-0224 Email: jon@jonerandson.com

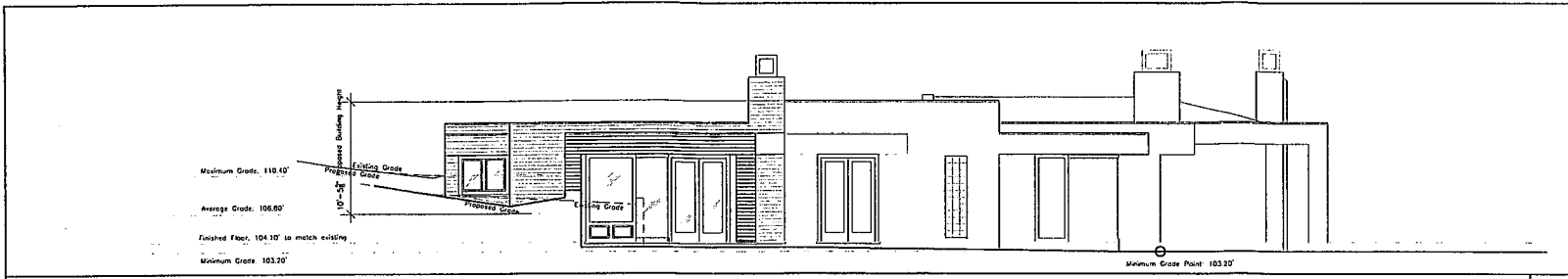
FASH RESIDENCE
 34452 Highway One, Big Sur, California 93920

Job Period 2010-01	Drawn by
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Date 08-21-2010	Revised by
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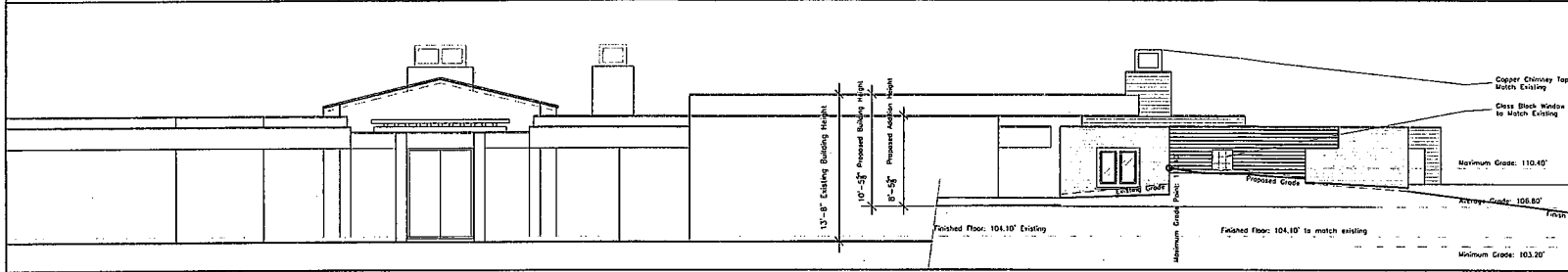
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 of Sheet

PROPOSED FLOOR PLAN



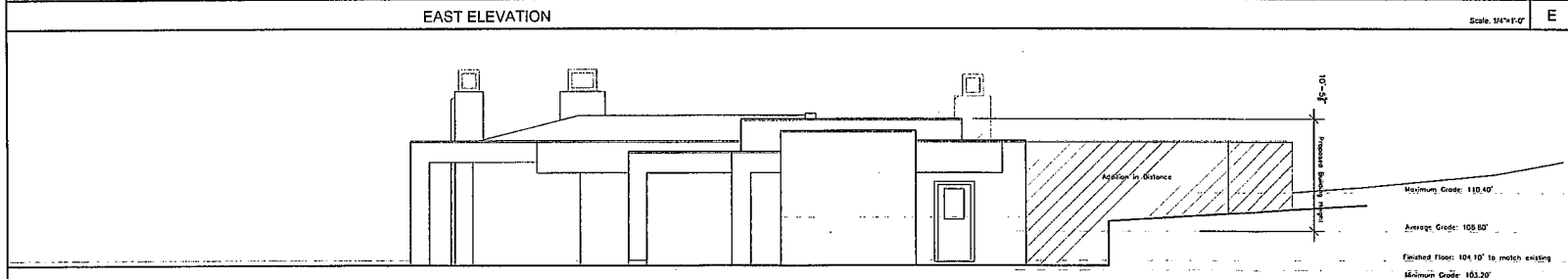
NORTH ELEVATION

Scale: 1/4"=1'-0" N



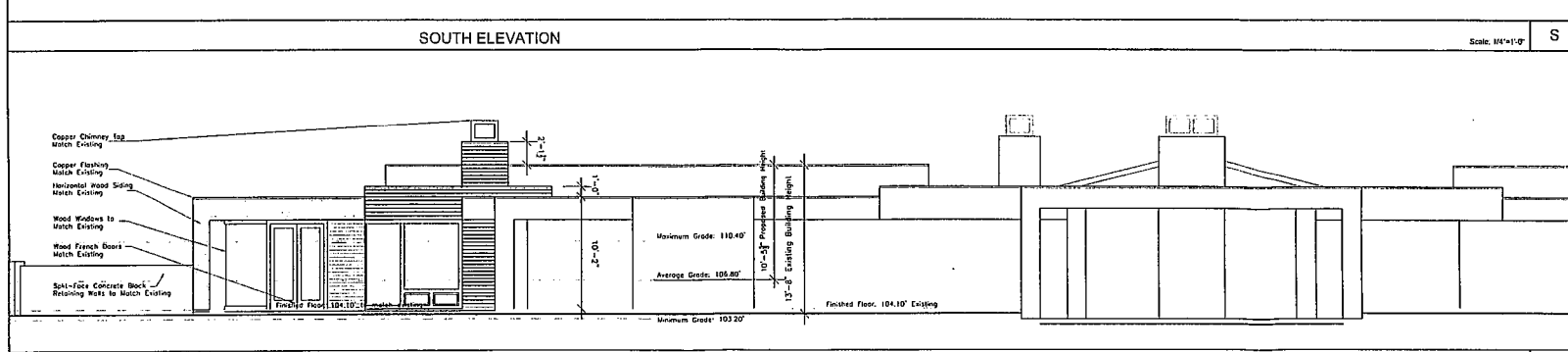
EAST ELEVATION

Scale: 1/4"=1'-0" E



SOUTH ELEVATION

Scale: 1/4"=1'-0" S



WEST ELEVATION

Scale: 1/4"=1'-0" W

DATE	REVISION

Jon Sather Erlandson Architects - C11925
 The MEW North East Corner of Dobson and 6th, Cannon Beach, OR
 3631 4th Street Cannon Beach, OR 97103
 Phone: (503) 265-5131 Email: jon@jonerandson.com



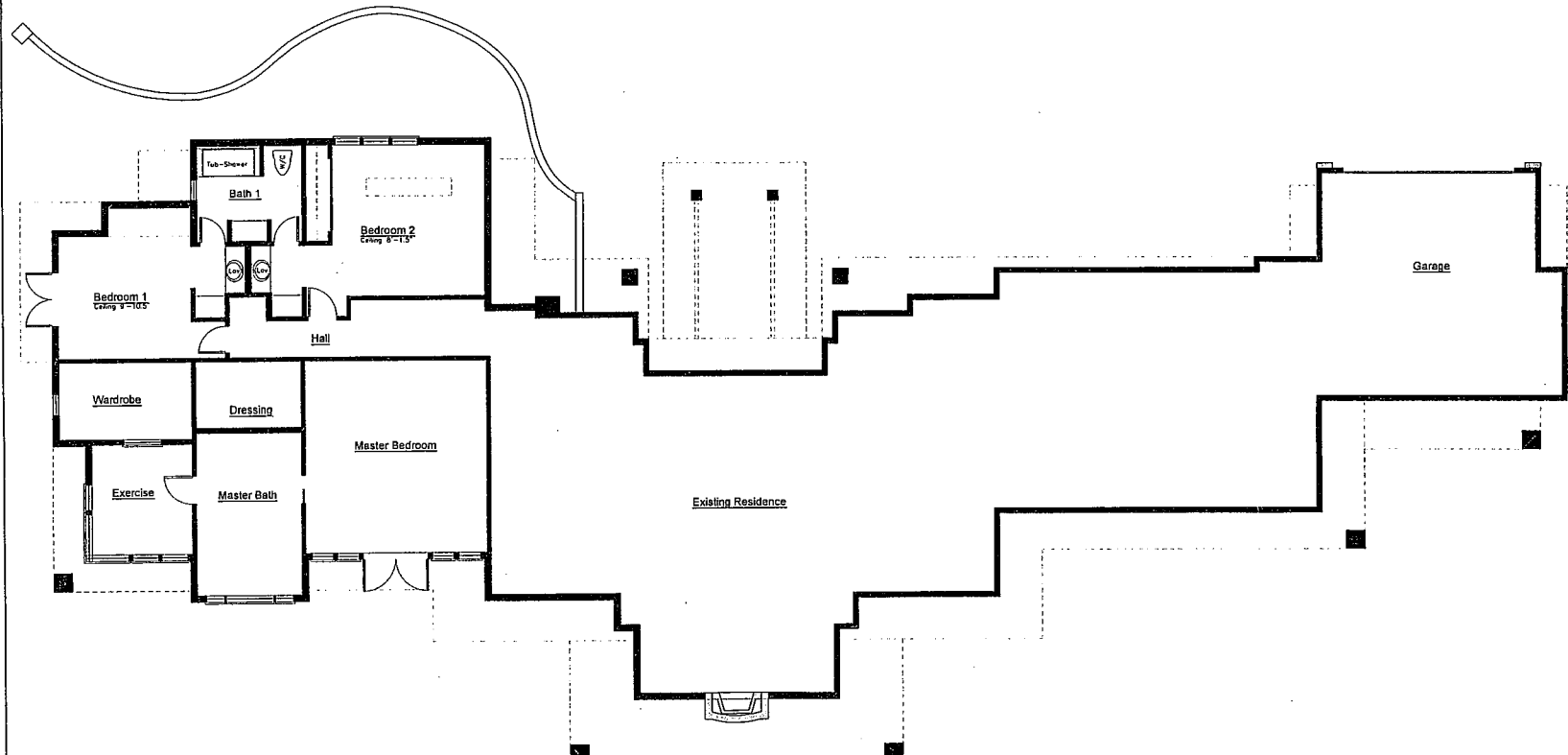
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 Cannon Beach, Oregon 97103

Job Number: 2010-01 Drawn By: [Blank]

Date: 06-21-2010 Revision: [Blank]

Sheet Number: **A-3.2** of 3 sheets

PROPOSED EXTERIOR ELEVATIONS



DATE	REVISION

Jon Sather Erlandson Architect - C11925
 The MRP® North East Corner of Downey and Fife, Canal by The Sea
 M.E.L.: Jon Sather Erlandson, Architect: 10400 Wilshire Blvd 1000 Century City, Los Angeles, CA 90024
 Phone: (310) 205-1100 Fax: (310) 205-1101 Email: jon@jonerandson.com

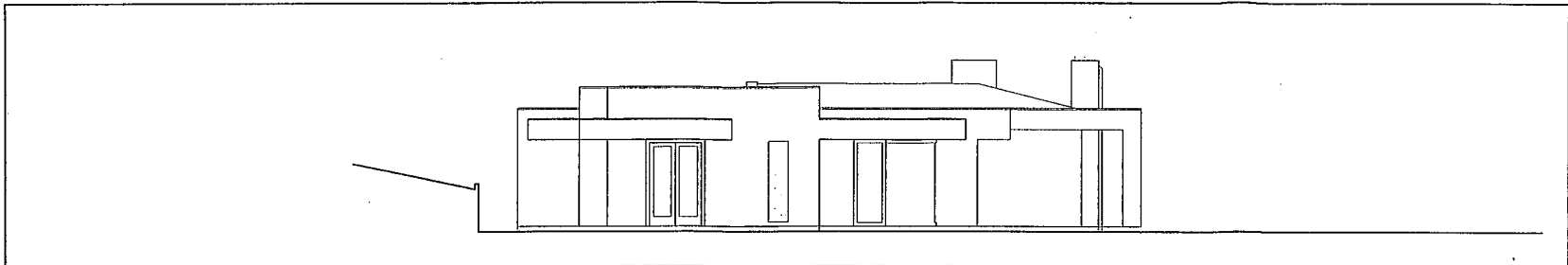
FASH RESIDENCE
 34822 Highway One
 Big Sur, California 94028

Job Number 2010-01	Drawn By
Date 08-21-2010	Revision
Sheet Number A-4...2	of Sheets



EXISTING FLOOR PLAN Living Area 3555 SF Garage 499 SF Scale: 1/8"=1'-0" 1

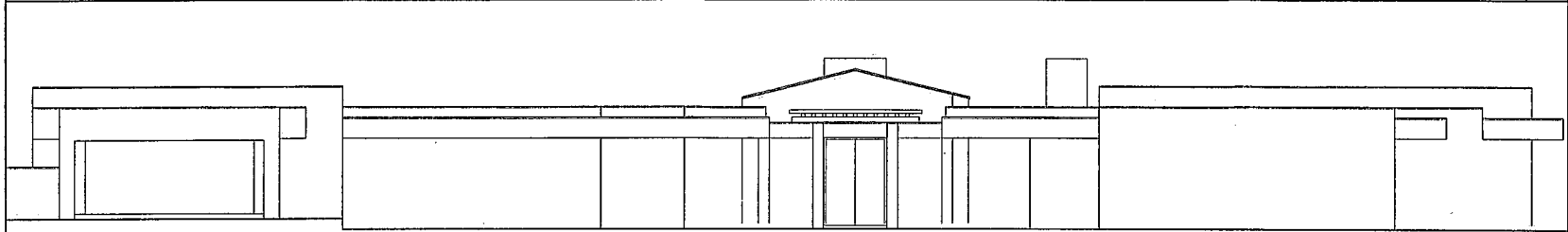
EXISTING FLOOR PLANS



NORTH ELEVATION

Scale: 1/8"=1'-0"

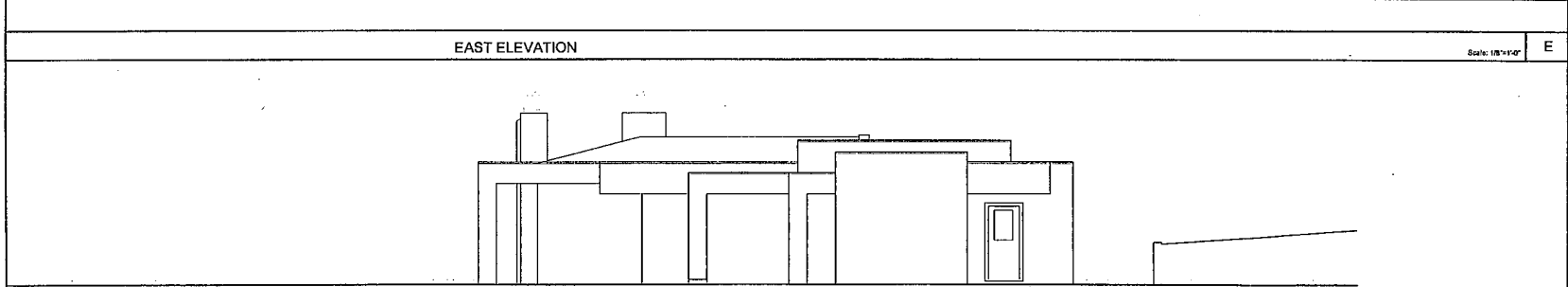
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EAST ELEVATION

Scale: 1/8"=1'-0"

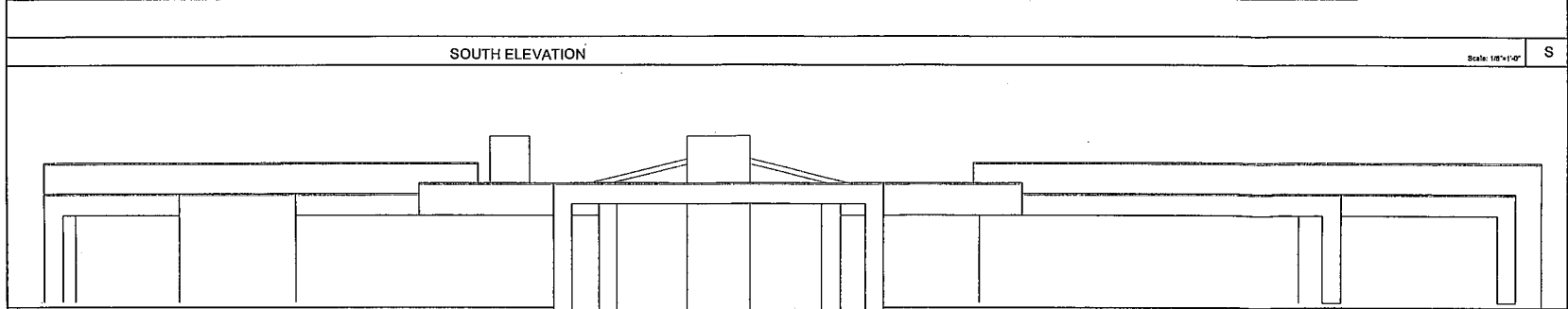
E



SOUTH ELEVATION

Scale: 1/8"=1'-0"

S



WEST ELEVATION

Scale: 1/8"=1'-0"

W

DATE	REVISION

Jon Sather Erlandson Architect - CI1925
 The MENS North East Corner of Dodge and 6th, Central City, SD
 1001 So. Park, Rapid City, SD 57701, 605-342-1000
 Fax: 605-342-1001
 www.jon-sather.com

FASH RESIDENCE
 3402 Highway One
 Central, California 92020

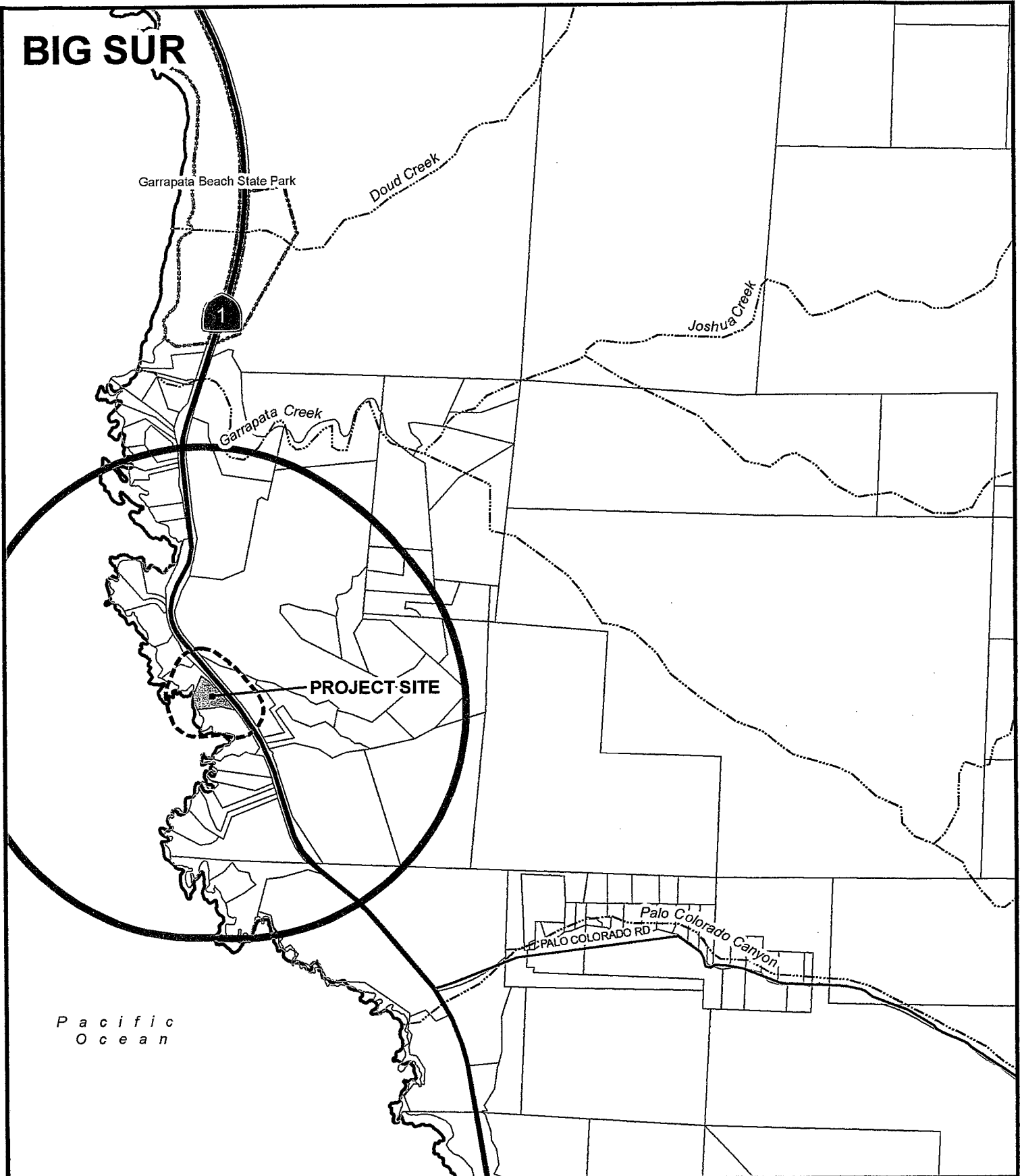
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Date: 06-21-2010
 Revisor: []

Sheet Number: **A-4.3**
 of 2 sheets

EXISTING EXTERIOR ELEVATIONS

BIG SUR



APPLICANT: FASH

APN: 243-251-009-000

FILE # PLN100168

Water

2500' Limit

300' Limit

City Limits

