

**Before the Zoning Administrator in and for the
County of Monterey, State of California**

In the matter of the application of:
Eric and Donna Colson Revocable
Trust dated April 23, 1999 (PLN100178)

RESOLUTION NO. 11-004

Resolution by the Monterey County Zoning
Administrator:

- 1) Categorically exempting the project pursuant to Section 15301(e); and
- 2) Approving the Combined Development Permit consisting of: 1) a Coastal Administrative Permit to allow the partial demolition and rebuild of a 3,844 square foot single family dwelling to include: a 482 square foot single family dwelling addition, demolition of a 720 square foot three-car carport, construction of a 480 square foot two-car garage, a 60 square foot BBQ trellis with a 13 square foot fireplace, 167 linear feet of retaining walls, and grading (approximately 120 cubic yards of cut and fill); 2) a Coastal Development Permit to allow the removal of one 17-inch diameter Monterey cypress; and 3) Design Approval. Materials and colors to consist of: beige stucco for the body with multi-colored stone veneer and horizontal mahogany shiplap siding and trim and non-reflective copper colored steel for roofing material, fascia, and downspouts.

(PLN100178, Eric and Donna Colson Revocable Trust dated April 23, 1999, 1507 Viscaino Road, Pebble Beach, Del Monte Forest Land Use Plan (APN: 008-212-019-000)

The Combined Development Permit application (PLN100178) came on for public hearing before the Monterey County Zoning Administrator on January 27, 2010. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 1982 Monterey County General Plan,
 - Del Monte Forest Land Use Plan,
 - Del Monte Forest Coastal Implementation Plan, Part 5; and
 - Monterey County Zoning Ordinance (Title 20)

- No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
- b) The property is located at 1507 Viscaino Road, Pebble Beach (Assessor's Parcel Number 008-212-019-000), Del Monte Forest Land Use Plan. The parcel is zoned "LDR/1-D(CZ)" [Low Density Residential, 1 acre per unit, with a Design Control Overlay (Coastal Zone)], which allows additions to single family dwellings. Therefore, the project is an allowed land use for this site.
 - c) The property is located within a Design Control District, which allows the County discretion for approving materials and colors proposed. Section 20.147.070.C.2 of the Del Monte Forest Coastal Implementation Plan requires that all structure be subordinate to and blended into the environment, using appropriate construction and landscaping materials to achieve that effect. The applicant proposes to use beige stucco for the body broken up with the use of stone veneer and horizontal mahogany shiplap siding and trim. The roofing material (including fascia and downspouts) will consist of a flat, non-reflective copper colored steel. The exterior design of the single family dwelling and the use of the proposed colors and materials are consistent with the Del Monte Forest Land Use Plan regulations.
 - d) The project includes the removal of one protected tree (one 17-inch Monterey cypress) and five non-protected trees. As a requirement of the Del Monte Forest Coastal Implementation Plan, the project includes a request for a Coastal Development Permit for removal of the Monterey cypress tree. A Finding has been made supporting removal of the tree and the conditions have been incorporated requiring replacement of that tree and additional tree protection measures for the trees to be retained. For further discussion, please refer to Finding No. 8.
 - e) The subject property is located within the Pescadero Watershed. This area has been identified to drain into the Carmel Bay area of Special Biological Significance. Therefore, Policy protection (Del Monte Forest Land Use Plan Policy No. 1) allows for development to be restricted. Section 20.147.030.A1.b of the Del Monte Forest Coastal Implementation Plan requires a maximum structural coverage of 5,000 square feet and a maximum impervious surface coverage of 4,000 square feet, minimizing runoff, site disturbance, erosion, and sedimentation. The project is in conformance with this requirement and meets all coverage limitations. For further discussion, please refer to Finding No. 7.
 - f) The project was referred to the Del Monte Forest Land Use Advisory Committee (LUAC) for review on January 6, 2011. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors per Resolution No. 08-338, this application warrants referral to the LUAC because it includes a Design Approval requiring a public hearing. No comments or concerns by LUAC members or members of the public were made. The project, as proposed, was supported with a vote of 5 to 0, with 2 members absent.
 - g) The project planner conducted a site inspection on May 6, 2010 to

verify that the project on the subject parcel conforms to the plans listed above.

- h) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File No. PLN100178.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: RMA - Planning Department, Pebble Beach Community Services District, Public Works, Environmental Health Bureau, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
 - b) The project includes tree removal, causing potential impacts to forest resources. Pursuant to Section 21.147.050 of the Del Monte Forest Coastal Implementation Plan, a Forest Management Plan (FMP) by an outside consultant was submitted by the applicant. The FMP concluded that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff independently reviewed these reports and concurs with their conclusions. The following reports have been prepared:
 - *“Tree Resource Assessment/Forest Management Plan” (LIB100371) prepared by Frank Ono, Pacific Grove, Ca., February 26, 2010.*
 - c) Staff conducted a site inspection on May 6, 2010 to verify that the site is suitable for this use.
 - d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File No. PLN100178.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by Pebble Beach Community Services District, Public Works, Environmental Health Bureau, and Water Resources Agency. The respective departments/agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities are available. California American Water is the current water purveyor and the Pebble Beach Community Services District is the current sewer purveyor for the existing single family

dwelling. Staff received no indication that the proposed addition will cause an impact to these services.

- c) In addition to the 23.1 existing water credits available from the single family dwelling, the applicant purchased a water entitlement from Pebble Beach resulting in an additional 10 water credits.
- d) Preceding findings and supporting evidence for PLN100178.

4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County RMA - Planning Department and Building Services Department records and is not aware of any violations existing on subject property.
 - b) Staff conducted a site inspection on May 6, 2010 and researched County records to assess if any violation exists on the subject property.
 - c) There are no known violations on the subject parcel.
 - d) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File No. PLN100178.

5. **FINDING:** **CEQA (Exempt):** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15301(e), categorically exempts minor additions to existing structures and the application includes the addition of 482 square feet to the single family dwelling.
 - b) The project includes the removal of one protected tree and five unprotected trees. The project has been reviewed and no adverse environmental impacts have been identified. See subsequent Finding No. 8 for further discussion.
 - c) No adverse environmental effects were identified during staff review of the development application during a site visit on May 6, 2010.
 - d) CEQA Guidelines Section 15300.2 lists exceptions to categorical exemptions. None of the exceptions can be made because the project will not impact an environmental resource of hazardous or critical concern; the project will not cause a cumulative impact; nor is there an unusual circumstance. In addition, the project will not result in the damage of a scenic resource; the subject property is not a hazardous waste site; nor is the structure to be modified a historical resource. Therefore, the proposed project is exempt from environmental review.
 - e) See preceding and following findings and supporting evidence (Finding Nos. 1, 2, 3, 7, and 8) and the application materials for Project File No. PLN100178.

6. **FINDING:** **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and Local Coastal Program, and does not

interfere with any form of historic public use or trust rights.

- EVIDENCE:** a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.70.050.B.4.c of the Monterey County Coastal Implementation Plan can be demonstrated.
- b) The subject property is not described as an area where the Local Coastal Program requires public access (Figure 15 in the Del Monte Forest Land Use Plan).
- c) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
- d) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File No. PLN100178.
- e) The project planner conducted a site inspection on May 6, 2010.

7. **FINDING: SITE COVERAGE (DEL MONTE FOREST WATERSHEDS) –** The project limits structural and impervious surface coverage in order to reduce runoff within the Pescadero, Seal Rock Creek, and Sawmill Gulch Watersheds and some smaller unnamed watersheds that drain into the Carmel Bay Area of Special Biological Significance (ASBS).

- EVIDENCE:** a) The Del Monte Forest Coastal Implementation Plan –Part 5 limits development of parcels within the Pescadero Watershed to a maximum site coverage of 9,000 square feet. Pursuant to Section 20.147.030.A.1.b of the Del Monte Forest Coastal Implementation Plan, structural coverage is limited 5,000 square feet, including main and accessory structures. Separately, additional impervious surfaces (less than 40% water pass through) are limited to 4,000 square feet.
- b) After the proposed additions, the project site will result in a total structural coverage of 4,998 square feet and impervious coverage of 3,866 square feet. 4,689 square feet of pervious coverage is also proposed. The applicant proposes to remove the 4,407 square foot driveway from an impervious surface and create a 4,407 square driveway consisting of Calstone’s Quarry Stone Permeable Paver System. 116 square feet of decking and 166 square feet of stepping stones are also proposed to be created out of this same material. A condition of approval has been incorporated requiring the applicant to submit evidence that the proposed permeable areas meet the County’s 40% pass through requirement.
- c) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File No. PLN100178.

8. **FINDING: TREE REMOVAL –** The subject project minimizes tree removal in accordance with the applicable goals and policies of the applicable land use plan and the Coastal Implementation Plan.

- EVIDENCE:** a) The project includes application for the removal of six trees (one 17-inch Monterey cypress, one 11-inch Monterey cypress, two 6-inch Coast live oaks, one 16-in Stone pine, and one 4-inch unidentified sapling), one of which is a protected tree. In accordance with the applicable policies of the Del Monte Forest Coastal Implementation

Plan and the Monterey County Zoning Ordinance (Title 20), a Coastal Development Permit is required and the authority to grant said permit has been met.

- b) The applicant proposes to remove one 17-inch diameter Monterey cypress. Section 20.147.050.D.2 of the Del Monte Forest Coastal Implementation Plan states that any removal of Monterey cypress trees (not located within the indigenous range) greater than 12-inches in diameter, shall be in accordance with the Forest Management Plan (FMP). A FMP has been submitted (see Finding No. 2, Evidence b) and the project has been conditioned to require compliance with the recommendations of the FMP. In addition, measures for the protection of other trees on the site during construction have been incorporated as conditions and include tree protection zones, trunk protection. Protection for the 12-inch Monterey cypress identified as tree No. 1575 in the FMP, shall occur to the greatest extent possible, including trunk protection, hand excavation, and bridging roots where necessary. If potentially significant roots are discovered during grading and excavation for footings, work shall be halted and the arborist notified. Should destabilization of the 12-inch Monterey cypress occur and removal is necessary, the applicant will be required to apply for and obtain a Coastal Development Permit prior to removal.
- c) The FMP states that although it appears possible to retain the Monterey cypress tree, there are physical aspects that may become problematic during and after construction of the 177 square foot addition at the northern elevation. It is highly probable that the foundation will intrude into the critical root zone, a large 10-inch root will have to be severed, and further excavation into the root zone would be required to minimize existing and/or future sewer problems. In addition to these issues, it is possible that one of the trees will grow into the new wall and roof line. Therefore, it has been recommended that the trees be removed and replaced elsewhere on the site where they will have a greater chance for survival.
- d) The trees proposed for removal appear to be planted and the cypress trees are located in an overcrowded area. Removal of the trees in this area will result in a benefit, allowing more access to light and air to the forest floor.
- e) In addition to the protected Monterey cypress, the applicant proposes to remove: one 11-inch Monterey cypress, two 6-inch Coast live oaks, one 16-in Stone pine, and one 4-inch unidentified sapling due to impacts caused by construction activities. Based on the requirements of the Del Monte Forest Coastal Implementation Plan, a Coastal Development Permit is not required for the removal of these trees.
- f) Staff conducted a site inspection on May 6, 2010 to verify that the tree removal is the minimum necessary for the project and to identify any potential adverse environmental impacts related to the proposed tree removal.
- g) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN100178.


9. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.
- EVIDENCE:** a) Section 20.86.020 Monterey County Zoning Ordinance (Board of Supervisors).
- b) Section 20.86.080 of the Monterey County Zoning Ordinance (Title 20 – Coastal Commission). The project is subject to appeal by/to the California Coastal Commission because the subject property is located between the sea and the first public road, and the applicant requests a permit for development that is permitted in the Zoning Ordinance as a conditional use.

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Zoning Administrator does hereby:

- A. Categorically exempts the project pursuant to Section 15301(e); and
- B. Approves the Combined Development Permit consisting of: 1) a Coastal Administrative Permit to allow the partial demolition and rebuild of a 3,844 square foot single family dwelling to include: a 482 square foot single family dwelling addition, demolition of a 720 square foot three-car carport, construction of a 480 square foot two-car garage, a 60 square foot BBQ trellis with a 13 square foot fireplace, 167 linear feet of retaining walls, and grading (approximately 120 cubic yards of cut and fill); 2) a Coastal Development Permit to allow the removal of one 17-inch diameter Monterey cypress; and 3) Design Approval. Materials and colors to consist of: beige stucco for the body with multi-colored stone veneer and horizontal mahogany shiplap siding and trim and non-reflective copper colored steel for roofing material, fascia, and downspouts, in general conformance with the attached sketch and subject to the conditions (**Exhibit 1**), both exhibits being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 27th day of January, 2011 by:



Mike Novo, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON FEB 10 2011.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE FEB 20 2011

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning Department and Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

RESOLUTION 11-004 - EXHIBIT 1
Monterey County Resource Management Agency
Planning Department
Condition Compliance and/or Mitigation Monitoring
Reporting Plan

Project Name: Colson
 File No: PLN100178 APNs: 008-212-019-000
 Approved by: Zoning Administrator Date: January 27, 2011

**Monitoring or Reporting refers to projects with an EIR or adopted Mitigated Negative Declaration per Section 21081.6 of the Public Resources Code.*

| <i>Permit Cond. Number</i> | <i>Mitig. Number</i> | <i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i> | <i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i> | <i>Responsible Party for Compliance</i> | <i>Timing</i> | <i>Verification of Compliance (name/date)</i> |
|----------------------------------|----------------------|---|--|--|---------------------------------|---|
| RMA – Planning Department | | | | | | |
| 1. | | PD001 - SPECIFIC USES ONLY This Combined Development Permit (PLN100178) allows: 1) a Coastal Administrative Permit to allow the partial demolition and rebuild of a 3,844 square foot single family dwelling to include: a 482 square foot single family dwelling addition, demolition of a 720 square foot three-car carport, construction of a 480 square foot two-car garage, a 60 square foot BBQ trellis with a 13 square foot fireplace, 167 linear feet of retaining walls, and grading (approximately 120 cubic yards of cut and fill); 2) a Coastal Development Permit to allow the removal of one 17-inch diameter Monterey cypress; and 3) Design Approval. Materials and colors to consist of: beige stucco for the body with multi-colored stone veneer and horizontal mahogany shiplap siding and trim and non-reflective copper colored steel for roofing material, fascia, and downspouts. The property is located at 1507 Viscaino Road, Pebble Beach (Assessor's Parcel Number 008-212-019-000), Del Monte Forest Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the following terms and conditions. Any use or construction not in substantial conformance | Adhere to conditions and uses specified in the permit. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of the RMA - Planning Department. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. | Owner/ Applicant RMA - Planning WRA RMA - Planning | Ongoing unless otherwise stated | |

| <i>Permit Cond. Number</i> | <i>Mitig. Number</i> | <i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i> | <i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i> | <i>Responsible Party for Compliance</i> | <i>Timing</i> | <i>Verification of Compliance (name/date)</i> |
|----------------------------|----------------------|---|---|---|---|---|
| | | with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. (RMA-Planning Department) | | | | |
| 2. | | PD002 - NOTICE-PERMIT APPROVAL The applicant shall record a notice which states: "A permit (Resolution 11-004) was approved by the Zoning Administrator for Assessor's Parcel Number 008-212-019-000 on January 27, 2011. The permit was granted subject to 14 conditions of approval which run with the land. A copy of the permit is on file with the Monterey County RMA - Planning Department." (RMA-Planning Department) | Obtain appropriate form from the RMA-Planning Department. The applicant shall complete the form and furnish proof of recordation of this notice to the RMA - Planning Department. | Owner/ Applicant RMA- Planning | Prior to the issuance of grading and building permits or commencement of use. | |
| 3. | | PD032(A) - PERMIT EXPIRATION The permit shall be granted for a time period of 3 years, to expire on January 27, 2014 unless use of the property or actual construction has begun within this period. (RMA - Planning Department) | The applicant shall obtain a valid grading or building permit and/or commence the authorized use to the satisfaction of the Director of Planning. Any request for extension must be received by the Planning Department at least 30 days prior to the expiration date. | Owner/ Applicant | As stated in the conditions of approval | |
| 4. | | PD003(A) - CULTURAL RESOURCES - NEGATIVE ARCHAEOLOGICAL REPORT If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. The Monterey County RMA - Planning Department and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the | Stop work within 50 meters (165 feet) of uncovered resource and contact the Monterey County RMA - Planning Department and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures | Owner/ Applicant/ Archaeo- logist | Ongoing | |

| Permit Cond. Number | Mitig. Number | Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department | Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted. | Responsible Party for Compliance | Timing | Verification of Compliance (name/date) |
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| | | responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery. (RMA - Planning Department) | required for the discovery. | | | |
| 5. | | PD010 - EROSION CONTROL PLAN AND SCHEDULE The approved development shall incorporate the recommendations of the Erosion Control Plan as reviewed by the Director of RMA – Planning and Director of Building Services. All cut and/or fill slopes exposed during the course of construction be covered, seeded, or otherwise treated to control erosion during the course of construction, subject to the approval of the Director of RMA - Planning and Director of RMA - Building Services. The improvement and grading plans shall include an implementation schedule of measures for the prevention and control of erosion, siltation and dust during and immediately following construction and until erosion control planting becomes established. This program shall be approved by the Director of RMA - Planning and Director of RMA - Building Services. (RMA - Planning Department and RMA - Building Services Department) | An Erosion Control Plan shall be submitted to the RMA - Planning Department and the RMA - Building Services Department prior to issuance of building and grading permits. | Owner/ Applicant | Prior to the issuance of grading and building permits | |
| | | | Comply with the recommendations of the Erosion Control Plan during the course of construction until project completion as approved by the Director of RMA - Planning and Director of RMA - Building Services. | Owner/ Applicant | Ongoing | |
| | | | Evidence of compliance with the Implementation Schedule shall be submitted to the RMA - Planning Department and the RMA - Building Services Department | Owner/ Applicant | Prior to final inspection | |
| 6. | | PD012(D) - LANDSCAPE PLAN AND MAINTENANCE - MONTEREY PENINSULA WATER MANAGEMENT DISTRICT (SINGLE FAMILY DWELLING ONLY) The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of the RMA - Planning Department. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient | Submit landscape plans and contractor's estimate to the RMA - Planning Department for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this | Owner/ Applicant/ Licensed Landscape Contractor/ Licensed Landscape Architect | Prior to issuance of Building Permits | |

| Permit Cond. Number | Mitig. Number | Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department | Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted. | Responsible Party for Compliance | Timing | Verification of Compliance (name/date) |
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| | | <p>detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County RMA - Planning Department. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (RMA – Planning Department)</p> | <p>landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures.”</p> | | | |
| | | | <p>Submit one (1) set landscape plans of approved by the RMA – Planning Department, a Maximum Applied Water Allowance (MAWA) calculation, and a completed “Residential Water Release Form and Water Permit Application” to the Monterey County Water Resources Agency for review and approval.</p> | <p>Owner/ Applicant/ Licensed Landscape Contractor/ Licensed Landscape Architect</p> | <p>Prior to issuance of Building Permits</p> | |
| | | | <p>Submit the RMA – Planning Department approved landscape plans, a Maximum Applied Water Allowance (MAWA) calculation, and a completed “Residential Water Release Form and Water Permit Application” to the Monterey Peninsula Water Management District for review and approval.</p> | <p>Owner/ Applicant/ Licensed Landscape Contractor/ Licensed Landscape Architect</p> | <p>Prior to issuance of Building Permits</p> | |
| | | | <p>Submit an approved water permit from the MPWMD to the RMA – Building Permit</p> | <p>Owner/ Applicant/ Licensed Landscape Contractor</p> | <p>Prior to issuance of Building Permits</p> | |
| | | | <p>Landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted</p> | <p>Owner/ Applicant/ Licensed Landscape</p> | <p>Prior to Occupancy</p> | |

| <i>Permit Cond. Number</i> | <i>Mitig. Number</i> | <i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i> | <i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i> | <i>Responsible Party for Compliance</i> | <i>Timing</i> | <i>Verification of Compliance (name/date)</i> |
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| | | | to the Monterey County RMA - Planning Department. | Contractor/ Licensed Landscape Architect | | |
| 7. | | PD014(A) – LIGHTING – EXTERIOR LIGHTING PLAN All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The applicant shall submit 3 copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations, Title 24, Part 6. The exterior lighting plan shall be subject to approval by the Director of the RMA - Planning Department, prior to the issuance of building permits. (RMA – Planning Department) | Submit three copies of the lighting plans to the RMA - Planning Department for review and approval. Approved lighting plans shall be incorporated into final building plans. | Owner/ Applicant | Prior to the issuance of building permits. | |
| | | | The lighting shall be installed and maintained in accordance with the approved plan. | Owner/ Applicant | Prior to Occupancy / Ongoing | |
| 8. | | PD035 - UTILITIES - UNDERGROUND All new utility and distribution lines shall be placed underground. (RMA - Planning Department; Public Works) | Install and maintain utility and distribution lines underground. | Owner/ Applicant | Ongoing | |
| 9. | | PD048 – TREE REPLACEMENT/RELOCATION (NON-STANDARD) Within 60 days of permit approval, the applicant shall replace each tree approved for removal as follows: <ul style="list-style-type: none"> Replacement ratio recommended by arborist: two 5-gallon size nursery stock Monterey cypress trees shall be planted to replace the 17-in Monterey cypress. The replacement trees shall be planted in areas where light, water, and shelter can be provided for survival. Replacement tree(s) shall be located within the same | The Owner/Applicant shall submit evidence of tree replacement to the RMA-Planning Department for review and approval. Evidence shall be a receipt for the purchase of the replacement tree(s) and photos of the replacement tree(s) being planted. Six months after the planting of the replacement tree(s), the Owner/Applicant shall submit evidence | Owner/ Applicant | Within 60 days after approval Six months after | |

| <i>Permit Cond. Number</i> | <i>Mitig. Number</i> | <i>Conditions of Approval and/or Mitigation Measures and Responsible Land-Use Department</i> | <i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i> | <i>Responsible Party for Compliance</i> | <i>Timing</i> | <i>Verification of Compliance (name/date)</i> |
|----------------------------|----------------------|--|---|---|--|---|
| | | general location as the tree being removed. (RMA – Planning Department) | demonstrating that the replacement tree(s) are in a healthy, growing condition. One year after the planting of the replacement tree(s), the Owner/Applicant shall submit a letter prepared by a County-approved tree consultant reporting on the health of the replacement tree(s) and whether or not the tree replacement was successful or if follow-up remediation measures or additional permits are required. | | planting One year after planting | |
| 10. | | PD050 – RAPTOR/MIGRATORY BIRD NESTING Any tree removal activity that occurs during the typical bird nesting season (February 22-August 1), the County of Monterey shall require that the project applicant retain a County qualified biologist to perform a nest survey in order to determine if any active raptor or migratory bird nests occur within the project site or within 300 feet of proposed tree removal activity. During the typical nesting season, the survey shall be conducted no more than 30 days prior to ground disturbance or tree removal. If nesting birds are found on the project site, an appropriate buffer plan shall be established by the project biologist. (RMA – Planning Department) | No more than 30 days prior to ground disturbance or tree removal, the Owner/Applicant/Tree Removal Contractor shall submit, to the RMA-Planning Department, a nest survey prepared by a County qualified biologist to determine if an active raptor or migratory bird nests occur within the project site or immediate vicinity. | Owner/ Applicant/ Tree Removal Contractor | No more than 30 days prior to ground disturbance or tree removal | |
| 11. | | PDSP001 – PERMEABLE PAVING (NON-STANDARD) The applicant shall install permeable paving for the 4,407 square foot driveway, the 116 square foot deck, and the 166 square feet of stepping stones at the BBQ patio, porch and dining patio. Evidence supporting the | The applicant shall submit evidence (supporting calculations from a geotechnical engineer stating that the proposed permeable areas meet the County's required pass through rate of 40%) to the Director of RMA-Planning for review and approval. | Owner/ Applicant | Prior to the issuance of grading or building permits, whichever occurs first | |

| <i>Permit Cond. Number</i> | <i>Mitig. Number</i> | <i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i> | <i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i> | <i>Responsible Party for Compliance</i> | <i>Timing</i> | <i>Verification of Compliance (name/date)</i> |
|----------------------------|----------------------|--|--|---|--|---|
| | | pavers permeability shall be submitted to the RMA-Planning Department for review and approval prior to the issuance of grading or building permits and prior to final of building permits. (RMA – Planning Department) | The applicant shall submit a letter from the geotechnical engineer stating that the installed permeable paving meets the County’s required pass through rate of 40% to the Director of RMA-Planning for review and approval. | Owner/ Applicant/ Contractor | Prior to final of building permits | |
| 12. | | PD002SP – TREE AND ROOT PROTECTION (NON-STANDARD) Trees which are located close to the construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by a certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of the RMA – Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by a certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. Protection for the 12-inch Monterey cypress identified as tree No. 1575 in the FMP, shall occur to the greatest extent possible, including trunk protection, hand excavation, and bridging roots where necessary. If potentially significant roots are discovered during grading and excavation for footings, work shall be halted and the arborist notified. Should destabilization of the 12-inch Monterey cypress occur and removal is | Submit evidence of tree protection to the RMA - Planning Department for review and approval. | Owner/ Applicant | Prior to the issuance of grading and/or building permits | |
| | | | Submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist. | Owner/ Applicant/ Arborist | During Construction | |
| | | | Submit photos of the trees on the property to the RMA – Planning Department after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required. | Owner/ Applicant | Prior to final inspection | |

| <i>Permit Cond. Number</i> | <i>Mitig. Number</i> | <i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i> | <i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i> | <i>Responsible Party for Compliance</i> | <i>Timing</i> | <i>Verification of Compliance (name/date)</i> |
|---|----------------------|--|--|---|--|---|
| | | necessary, the applicant shall be required to apply for and obtain a Coastal Development Permit prior to removal. (RMA - Planning Department) | | | | |
| Monterey County Water Resources Agency | | | | | | |
| 13. | | WR43 - WATER AVAILABILITY CERTIFICATION The applicant shall obtain from the Monterey County Water Resources Agency, proof of water availability on the property, in the form of an approved Monterey Peninsula Water Management District Water Release Form. (Water Resources Agency) | Submit the Water Release Form to the Water Resources Agency for review and approval. | Owner/ Applicant | Prior to issuance of any building permits | |
| Pebble Beach Community Services District | | | | | | |
| 14. | | FIRE008 - GATES All gates providing access from a road to a driveway shall be located at least 30 feet from the roadway and shall open to allow a vehicle to stop without obstructing traffic on the road. Gate entrances shall be at least the width of the traffic lane but in no case less than 12 feet wide. Where a one-way road with a single traffic lane provides access to a gated entrance, a 40-foot turning radius shall be used. Where gates are to be locked, the installation of a key box or other acceptable means for immediate access by emergency equipment may be required. (Pebble Beach Community Services District) | Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans. | Applicant or owner | Prior to issuance of grading and/or building permit. | |
| | | | Applicant shall schedule fire dept. clearance inspection | Applicant or owner | Prior to final building inspection. | |

END OF CONDITIONS

COLSON RESIDENCE

1507 Viscaino Rd. Pebble Beach, California

PROJECT SCOPE

REMODEL OF 3,844 SQFT 4 BDR 4 B BATH SFR. WITH ATTACHED 120 SQFT 3 CAR GARAGE, TO A 4,324 SQFT 4 BDR 4-1/2 BATH SINGLE FAMILY RESIDENCE WITH ATTACHED 480 SQFT 2 CAR GARAGE, AN OUTDOOR FIREPLACE, 60 SQFT OF BBQ TRELIS AND 167 LINEAR FT. OF RETAINING WALL. THIS INCLUDES REPAVING (E) 481 SQFT TERRACE, ADDITION OF 194 SQFT OUTDOOR DINING PATIO, 162 SQFT BBQ PATIO, 747 SQFT ENTRY PATIO AND RE-ROOF OF 6,490 SQ. FT. FROM ASPHALT SHINGLES TO METAL ROOF.

PROJECT TEAM

OWNER: ERIC AND DONNA COLSON
60 EAST SIR FRANCIS DRAKE BND
SUITE 204
LARKSPUR, CA 94494

PROJECT ADDRESS: 1507 VISCAINO RD
PEBBLE BEACH, CA 93955

ARCHITECT: ERIC MILLER ARCHITECTS, INC.
157 GRAND AVE. SUITE 106
PACIFIC GROVE, CA 93950
PH: (831) 912-0410

ARBORIST: FRANK ONO
CERTIFIED ARBORIST & URBAN FORESTER
1219 MILES AVENUE
PACIFIC GROVE, CA 93950
PH: 831-919-1086

LAND SURVEYOR: BASELINE LAND SURVEYORS, INC.
201 HOFFMAN AVENUE, SUITE 8
MONTEREY CA 93940
PH: (831) 919-3243
FAX: (831) 919-3244

NOTES

- THE EXISTING LANDSCAPING WILL REMAIN EXCEPT AS NOTED ON THE NORTHEAST PATIO.
- TREE REMOVAL IS PROPOSED FOR THE FOLLOWING:
TWO (2) CYPRESS, 1" AND 1"
TWO (2) OAK, 6" AND 6"
ONE (1) PINE, 16"
ONE (1) OTHER, 4"

CONSTRUCTION MANAGEMENT

PROJECT MANAGER: LUYEN VU

TEL NO.: 831-912-0410

NO. OF TRUCK TRIPS/DAY: 3

AMOUNT OF GRADING/DAY: 1/4

HOURS OF OPERATION: 8 AM TO 5 PM

PROJECT SCHEDULING: 16 MONTHS

PROPOSED ROUTE FOR HAULING MATERIAL: 17 MILE DRIVE, HIGHWAY 1 NORTH, DEL MONTE EXIT, MARINA DISPOSAL SITE

LOCATION OF STOCKPILES AND PARKING FOR CONST. VEHICLES: ON SITE DRIVEWAY

(E) COVERAGE

EXISTING BUILDING / SITE COVERAGE

| | |
|-----------------------------------|--------------------|
| (E) MAIN HOUSE | 3,844 S.F. |
| (E) 3 CAR GARAGE | 120 S.F. |
| (E) SHED 1 | 114 S.F. |
| (E) SHED 2 | 30 S.F. |
| (E) DRIVEWAY | 4,478 S.F. |
| (E) EXTERIOR PATIOS (NOT COVERED) | 2,293 S.F. |
| TOTAL SF. | 11,494 S.F. |

| | |
|--|--------|
| (E) BUILDING COVERAGE | 4.0 % |
| (E) SITE COVERAGE (LANDSCAPE INCLUDED) | 21.8 % |

(N) BUILDING COVERAGE

PROPOSED BUILDING COVERAGE

| AREA | EXISTING | TO DEMO. | TO REMAIN | NEW AREA | TOTAL SF. |
|------------------|------------|----------|------------|----------|-------------------|
| MAIN HOUSE | 3,844 S.F. | - | 3,844 S.F. | 482 S.F. | 4,326 S.F. |
| GARAGE | 120 S.F. | - | 480 S.F. | - | 480 S.F. |
| SHED 1 | 114 S.F. | - | 114 S.F. | - | 114 S.F. |
| BBQ TRELIS | - | - | - | 60 S.F. | 60 S.F. |
| FIREPLACE | - | - | - | 19 S.F. | 19 S.F. |
| TOTAL SF. | | | | | 4,999 S.F. |

ADDITIONAL BUILDING FOOTPRINT

| | |
|------------------|-----------------|
| GREAT ROOM | 40 S.F. |
| BATHROOM 2 | 171 S.F. |
| MASTER BATHROOM | 140 S.F. |
| ENTRY PORCH | 79 S.F. |
| TOTAL SF. | 430 S.F. |

| | |
|--|-------|
| (N) BUILDINGS COVERAGE | 10.4% |
| (N) SITE COVERAGE (LANDSCAPE INCLUDED) | 1.4% |

(N) SITE COVERAGE

IMPERVIOUS COVERAGE

| AREA | EXISTING | TO DEMO. | TO REMAIN | NEW AREA | TOTAL SF. |
|-------------------------|------------|------------|-----------|----------|-------------------|
| TERRACE | 481 S.F. | - | 481 S.F. | - | 481 S.F. |
| FRONT STAIR | 441 S.F. | - | 441 S.F. | - | 441 S.F. |
| WOOD DECK & SHED 1 | 90 S.F. | - | 90 S.F. | - | 90 S.F. |
| BOZZ COURT PATIO | 226 S.F. | - | 226 S.F. | - | 226 S.F. |
| BOZZ COURT RET. WALL | 181 S.F. | - | 181 S.F. | - | 181 S.F. |
| ENTRY PATIO | - | - | - | 147 S.F. | 147 S.F. |
| RET WALL & ENTRY PORCH | - | - | - | 14 S.F. | 14 S.F. |
| PARKING SPACE | - | - | - | 357 S.F. | 357 S.F. |
| BBQ AREA | - | - | - | 84 S.F. | 84 S.F. |
| BBQ PATIO | - | - | - | 162 S.F. | 162 S.F. |
| RET WALL & BBQ PATIO | - | - | - | 7 S.F. | 7 S.F. |
| OUTDOOR DINING PATIO | - | - | - | 194 S.F. | 194 S.F. |
| RET WALL & DINING PATIO | - | - | - | 128 S.F. | 128 S.F. |
| RET WALL & BATH 1 | - | - | - | 18 S.F. | 18 S.F. |
| PORCH | - | - | - | 32 S.F. | 32 S.F. |
| FOUNTAIN | - | - | - | 76 S.F. | 76 S.F. |
| CONCRETE PATH | 180 S.F. | 180 S.F. | - | - | - |
| (E) DRIVEWAY | 4,478 S.F. | 4,478 S.F. | - | - | - |
| TOTAL SF. | | | | | 9,866 S.F. |

PERVIOUS COVERAGE

| AREA | EXISTING | TO DEMO. | TO REMAIN | NEW AREA | TOTAL SF. |
|---------------------------|----------|----------|-----------|------------|-------------------|
| (N) DRIVEWAY | - | - | - | 4,407 S.F. | 4,407 S.F. |
| DECK | - | - | - | 116 S.F. | 116 S.F. |
| STEP STAIRS & BBQ PATIO | - | - | - | 40 S.F. | 40 S.F. |
| STEP STAIRS & PORCH | - | - | - | 100 S.F. | 100 S.F. |
| STEP STAIRS & ENTRY PORCH | - | - | - | 26 S.F. | 26 S.F. |
| TOTAL SF. | | | | | 4,689 S.F. |

PROJECT DATA

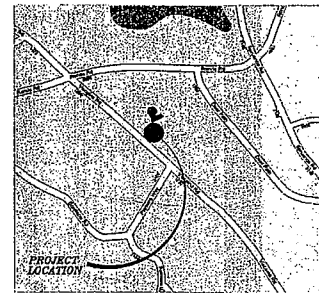
ASSESSOR'S PARCEL NUMBER: 008-212-014

LOT SIZE: 52,500 SQ. FT.
BUILDING HEIGHT: 30 FT. MAX.
ZONING: LDR1-D(CZ)
FRONT SETBACK: 50'
REAR SETBACK: 20'
SIDE SETBACK: 20'
OCCUPANCY GROUP: R-3 FOR HOUSE / U-1 FOR GARAGE
BUILDING COVERAGE: 5,000 MAX
IMPERVIOUS COVERAGE: 4,000 MAX

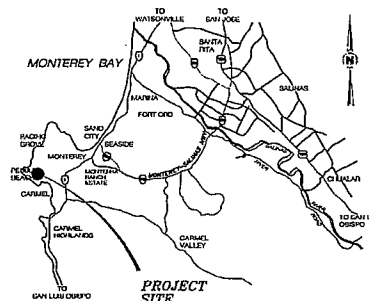
WATER AND SEWER SERVICE PROVIDERS

WATER SERVICE PROVIDER: CAL-AM
SEWER SERVICE PROVIDER: (PBCSD) PEBBLE BEACH COMMUNITY SERVICE DISTRICT

LOCATION MAP



VICINITY MAP



SHEET INDEX

| ARCHITECTURAL | |
|---------------|--|
| A-0.1 | TITLE SHEET |
| A-1.0 | (E) SITE PLAN & TOPOGRAPHIC SURVEY |
| A-1.1 | (E) SITE PLAN |
| A-1.2 | (N) SITE PLAN |
| A-1.3 | (N) EROSION CONTROL, GRADING & DRAINAGE PLAN |
| A-2.0 | (E) FLOOR & DEMOLITION PLAN |
| A-2.1 | (E) ROOF & DEMO PLAN |
| A-2.2 | (N) FLOOR PLAN |
| A-2.3 | (N) ROOF PLAN |
| A-2.4 | (N) REFLECTED CEILING PLAN |
| A-3.0 | (E) EXTERIOR ELEVATIONS |
| A-3.1 | (E) EXTERIOR ELEVATIONS |
| A-3.2 | (E) EXTERIOR ELEVATIONS |
| A-3.3 | (N) EXTERIOR ELEVATIONS |
| A-3.4 | (N) EXTERIOR ELEVATIONS |
| A-3.5 | (N) EXTERIOR ELEVATIONS |
| A-3.6 | (N) EXTERIOR ELEVATIONS |
| A-8.1 | (N) BUILDING SECTIONS |
| A-8.6 | (N) WALL SECTIONS DETAILS |
| A-7.1 | (N) MATERIAL SAMPLE |
| L-1 | LANDSCAPING PLAN |

| REVISION | No. |
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CONSULTANT:

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157 GRAND AVE. SUITE 106
PACIFIC GROVE, CA 93950
PHONE (831) 912-0410 • FAX (831) 912-0410 • WEB: www.ericmillerarchitects.com

ARCHITECT

Colson Residence
1507 VISCAINO RD.
PEBBLE BEACH, CA 93955
A.P.N. 008-212-014-000

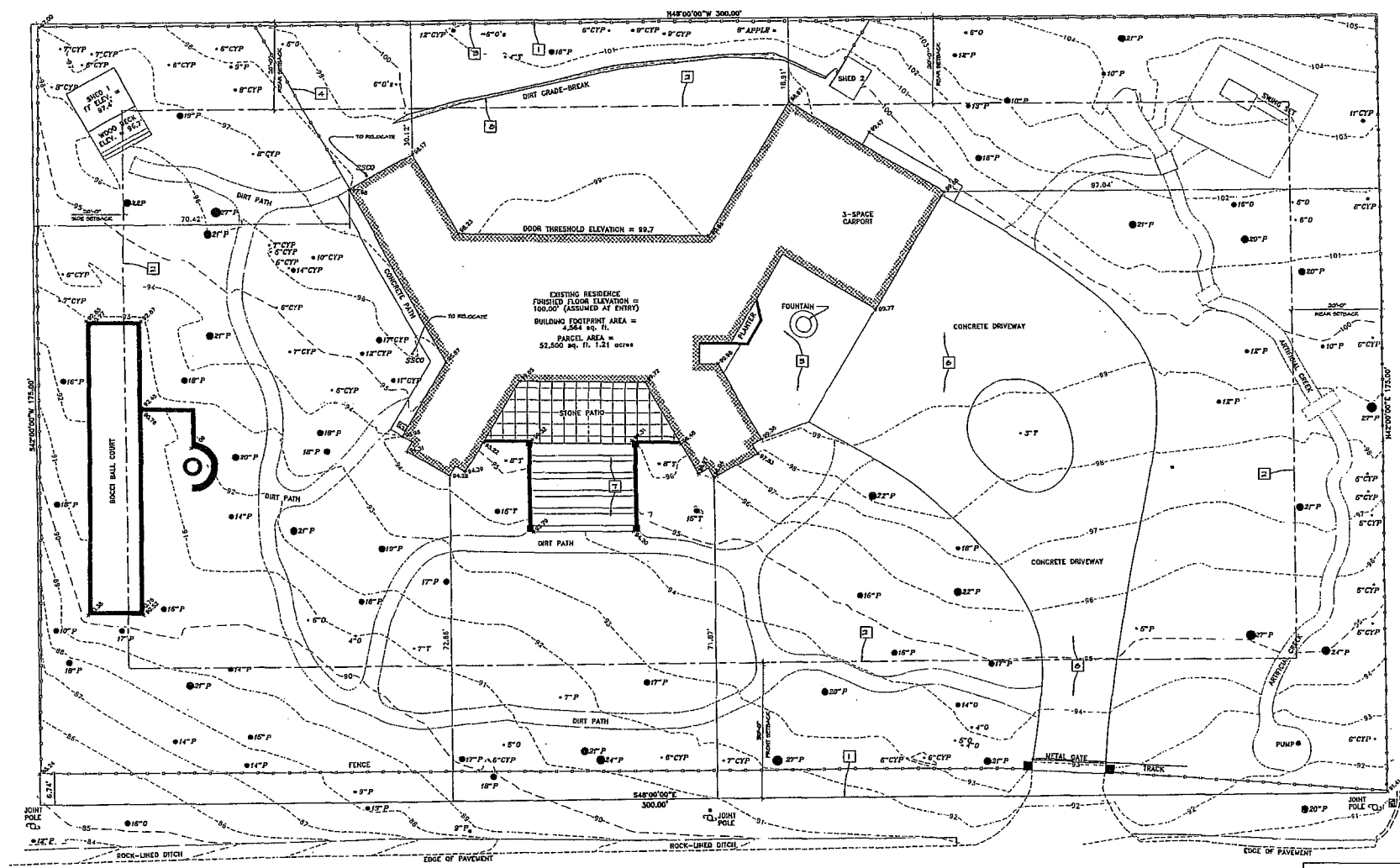
TITLE SHEET

| | |
|------------|----------|
| DATE | 10/26/10 |
| SCALE | N.T.S. |
| DRAWN | DV/GCH |
| JOB NUMBER | 0739 |

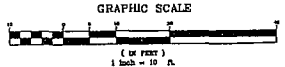
A-0.1
SHEET OF

11-1-107-0303-0313 Colson_A-1-1.dwg 10-25-10 11:42:47 AM

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(E) SITE PLAN
SCALE: 3/32" = 1'-0"



SITE NOTES

- 1 PROPERTY LINE
- 2 BUILDING SETBACK
- 3 FENCE
- 4 FENCE TO BE REMOVED
- 5 ENTRY PAVERS PATIO
- 6 CONCRETE DRIVEWAY
- 7 EXTERIOR STAIRS
- 8 HOOD RETAINING WALL

| REVISION | No. |
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| | |
| | |

CONSULTANT:



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187 GRANT STREET, SUITE 106 PACIFIC GROVE, CA 93950
PHONE (814) 320-0411 FAX (814) 320-0411 WEB: www.ericmiller.com

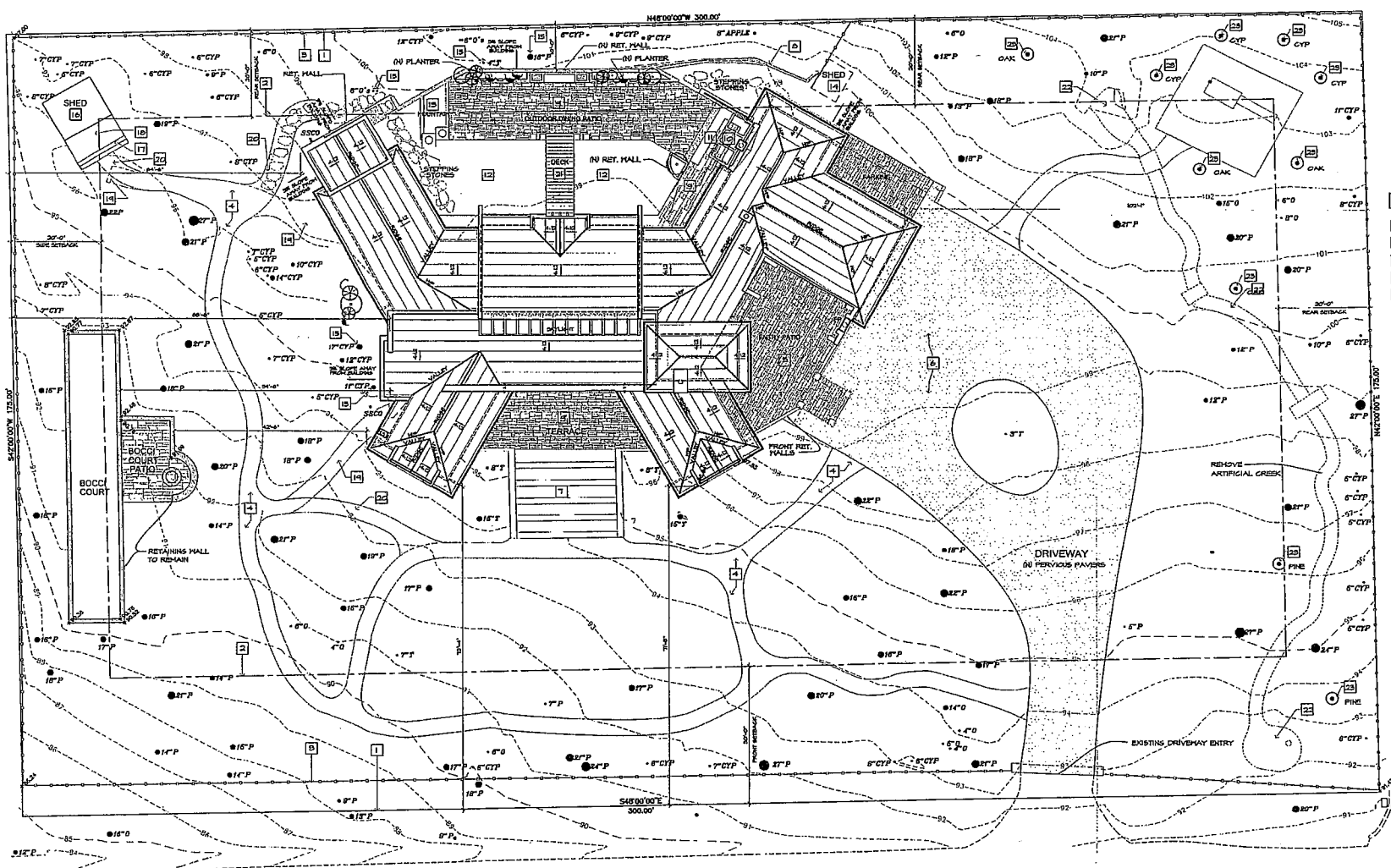
ARCHITECT

(E) SITE PLAN
JOB NAME

Colson Residence
187 GRANT STREET, SUITE 106
PACIFIC GROVE, CA 93950
A.P.N. 008-212-016-000

DATE: 10/26/10
SCALE: 3/32" = 1'-0"
DRAWN: DM/GM
JOB NUMBER: 0793

A-1.1
SHEET OF



Viscaino Road

Grading and Drainage Notes:

1. DURING WINTER SEASON OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15), THE FOLLOWING MEASURES MUST BE TAKEN:
2. DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.
3. ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUFFICIENT TO PREVENT EROSION ON OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL PROPERTIES.
4. RUNOFF FROM THE SITE SHALL BE DETAINED OR FILTERED BY BERMS, VEGETATED FILTER STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE.
5. DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS. (MONTEREY GRADING/EROSION ORD. 2808-16.12.09C)

(N) SITE PLAN
SCALE: 3/32" = 1'-0"

- NOTES**
1. 6 TREES TO BE REMOVED.
THAT (2) CYPRESS, 1" AND 1"
THAT (2) OAK, 6" AND 6"
ONE (1) PINE, 14"
ONE (1) OTHER, 4"
 2. ALL EXISTING LANDSCAPING WILL REMAIN.
 3. NEW LANDSCAPE AREA AT NORTHEAST PATIO.
 4. NEW TREE REPLACEMENT AS SHOWN AT THE EAST AND SOUTHEAST CORNERS OF THE PROPERTY.

- SITE NOTES**
- 1 PROPERTY LINE
 - 2 BUILDING ENVELOPE
 - 3 ED FENCE TO REMAIN
 - 4 ED PATHWALK TO REMAIN
 - 5 ENTRY PAVES PATIO
 - 6 CONCRETE DRIVEWAY TO BE REPLACED BY PERMEABLE PAVES
 - 7 EXTERIOR STAIRS
 - 8 ED HOOD RETAINING WALL
 - 9 BEDS PATIO
 - 10 HOOD TRAILS BY METAL FINISH
 - 11 BEDS AREA
 - 12 LAWN
 - 13 FOUNTAIN
 - 14 SHED TO BE DEMOLISHED
 - 15 TREE TO BE REMOVED
 - 16 ED SHED TO REMAIN
 - 17 ED HOOD STOPS TO REMAIN
 - 18 ED HOOD DECK TO REMAIN
 - 19 ED DIRT PATH TO BE REMOVED
 - 20 DIVERTED DIRT PATH
 - 21 ED HOOD DECK
 - 22 REMOVED PUTTING GREEN
 - 23 5 GALLON TREES REPLACED

| REVISION | No. |
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| | |

CONSULTANT:
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157 GRAND AVENUE 108 PACIFIC GROVE, CA 93950
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ARCHITECT
Colson Residence
1507 Viscaino Rd
Pebble Beach, Ca 95555
A.F.N. 02B-212-014-000

(N) SITE PLAN
JOB NAME:
DATE: 10/26/10
SCALE: 3/32" = 1'-0"
DRAWN: DM/C-JH
JOB NUMBER: 07.55

A-1.2
SHEET OF

2.07 2009/07/31 0:00 AM 157V214-1.dwg 10-26-10 12:23:27 PM
 ALL USE OF THESE DRAWINGS IS LIMITED TO THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY OTHER USE WITHOUT THE WRITTEN PERMISSION OF ERIC MILLER ARCHITECTS, INC. IS STRICTLY PROHIBITED.

GRADING & DRAINAGE NOTES

1. ESTIMATED SITE EARTHWORK QUANTITIES EXCLUDING WORK WITHIN PROPOSED BLDG ENVELOPE

CUT = 86 CUBIC YARDS
 FILL = 30 CUBIC YARDS
 SITE WORK EXPORT = 36 CUBIC YARDS

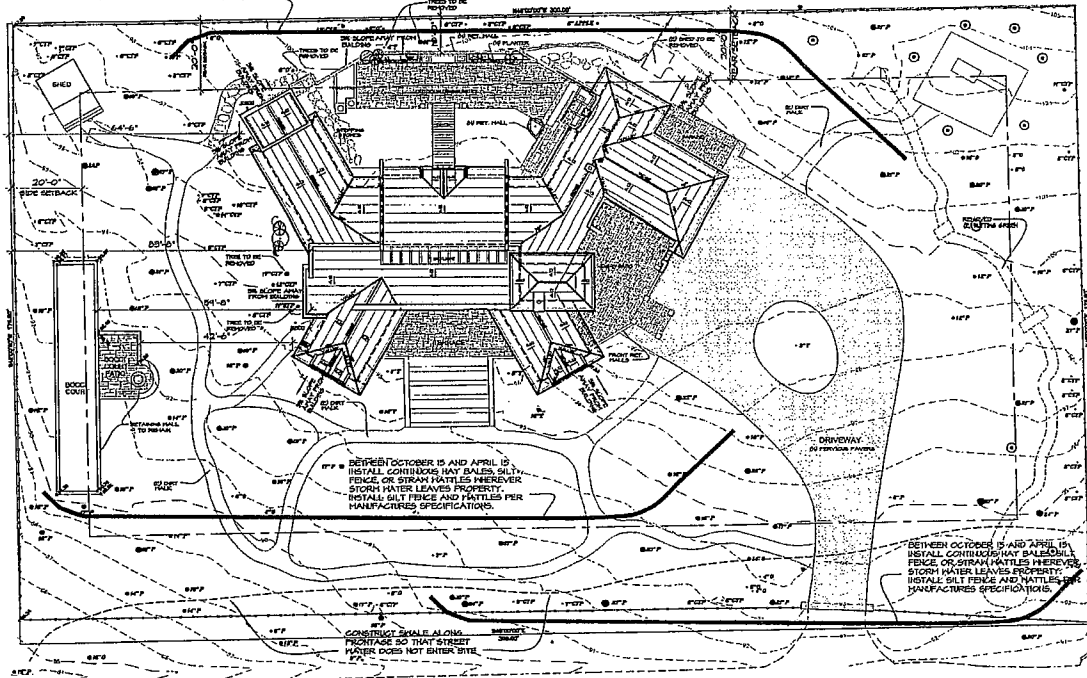
SITE EARTHWORK QUANTITIES ARE GENERAL ESTIMATES ONLY AND DO NOT INCLUDE AREAS WITHIN THE BUILDING ENVELOPE, EARTHWORK QUANTITIES FROM RETAINING WALL, BAGGOTILL, TRENCHES, OR COMPACTION. SOIL SHRINK/SWELL NOT INCLUDED IN THIS ESTIMATE.

- EXCESS MATERIAL IF ANY MAY BE DISPERSED ON-SITE AT A LOCATION DIRECTED BY THE SOILS ENGINEER IF ALLOWED BY PLANNING DEPT.
- GROUND ADJACENT TO BUILDINGS SHALL SLOPE A MINIMUM OF 5% AWAY FROM THE BUILDING FOR A MINIMUM OF TEN FEET
- ALL EARTHWORK, COMPACTION, CUT, FILL, AND SUBGRADE PREPARATION SHALL CONFORM TO THE SOILS REPORT AND ALL SUBSEQUENT RECOMMENDATIONS. SOILS ENGINEER SHALL BE NOTIFIED AT LEAST FOUR WORKING DAYS PRIOR TO ANY SITE CLEARING AND GRADING OPERATIONS IN ORDER TO OBSERVE THE STRIPPING AND DISPOSAL OF UNSUITABLE MATERIAL AND TO COORDINATE THE WORK WITH THE GRADING CONTRACTOR.
- IF DURING THE COURSE OF CONSTRUCTION, CULTURAL, HISTORICAL, OR ARCHAEOLOGICAL RESOURCES ARE UNCOVERED AT THE SITE, WORK SHALL BE IMMEDIATELY HALTED WITHIN 150 FEET OF THE FIND. THE PACIFIC GROVE PLANNING AND BUILDING INSPECTION DEPARTMENT SHALL BE NOTIFIED. NO WORK SHALL TAKE PLACE WITHIN 150 FEET OF THE FIND UNTIL IT CAN BE EVALUATED BY A QUALIFIED PROFESSIONAL ARCHAEOLOGIST.
- PRIOR TO FINALIZING OF GRADING, THE CONTRACTOR SHALL REVISIT THE SITE WITH THE ENGINEER AND COMPLY WITH HIS REQUESTS FOR ANY MINOR GRADE CHANGES.
- ALL CUT AND FILL SLOPES SHALL BE 2H : 1V OR FLATTER UNLESS OTHERWISE PERMITTED BY THE SOILS ENGINEER.
- ALL STORM DRAIN PIPES SHALL BE SCHED. 40 PVC, UNLESS LARGER SIZES ARE CALLED FOR ON PLANS. ALL JOINTS TO BE GLEED AND WATER-TIGHT. PROVIDE 1" MIN. COVER WHERE POSSIBLE AND 2% MIN. SLOPE UNLESS OTHERWISE NOTED. SANDFILL AND COMPACT PIPE TRENCHES PER SOILS ENGINEER.
- ALL CATCH BASINS TO BE BY CHESTNUT CONCRETE PRODUCTS, INC. ALL GRATES TO BE TRAFFIC BEARING IN DRIVEWAY AND OTHER POTENTIAL TRAFFIC AREAS. PROVIDE 4" MIN. CONC. BELOW BIRTH OF PRECAST SECTION. ALTERNATE CATCH BASIN DESIGN BY ARCHITECT MAY BE USED IF APPROVED BY ENGINEER.

GENERAL NOTES

- ALL WORK SHALL CONFORM TO SOILS REPORT BY THE SOILS ENGINEER
- ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE MONTEREY COUNTY EROSION CONTROL ORDINANCE #2200. ALL GRADING SHALL CONFORM TO MONTEREY COUNTY ORDINANCE #2205
- ALL WORK SHALL BE IN CONFORMANCE WITH THE STANDARD SPECIFICATIONS AND STANDARD DETAILS, LATEST EDITION, OF THE COUNTY OF MONTEREY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SATISFACTORY COMPLETION OF ALL SITE EARTHWORK IN ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS. THIS WORK SHALL BE OBSERVED AND TESTED BY A REPRESENTATIVE OF THE SOILS ENGINEER. NO DEVIATION FROM THE SPECIFICATIONS SOILS AND CIVIL ENGINEER.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR PERSONS AND CONDITIONS AT THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO NORMAL WORK HOURS.
- THE CONTRACTOR SHALL, UPON BECOMING AWARE OF SURFACE AND/OR SUBSURFACE CONDITIONS DIFFERING FROM THOSE DISCLOSED BY THE ORIGINAL SOIL INVESTIGATION, PROMPTLY NOTIFY THE SOILS ENGINEER PRIOR TO CONTINUING TO WORK IN THAT AREA.
- ANY SOILS OR OTHER MATERIALS WHICH ARE DISTURBED SHALL BE ADEQUATELY WATERED DURING AND AFTER CONSTRUCTION OPERATIONS TO PREVENT DUST FROM BECOMING AIRBORNE IN ACCORDANCE WITH LOCAL DUST CONTROL ORDINANCES.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ANY UNDERGROUND UTILITIES ON THE PROJECT SITE PRIOR TO EARTHWORK OPERATIONS.
- ANY DISCREPANCIES OR OMISSIONS FOUND IN THESE PLANS SHALL BE REFERRED TO THE DESIGN ENGINEER IMMEDIATELY. THE ENGINEER WILL CLARIFY DISCREPANCIES OR OMISSIONS, IN WRITING, WITHIN A REASONABLE TIME.
- IF THE SURROUNDING STREETS ARE SUBJECT TO DIRT TRACKING FROM THE CONSTRUCTION SITE, DIRT FROM GRADING OPERATIONS SHALL BE SWEEPED FROM THE STREET PRIOR TO RAINFALL AND DAILY WHEN ACCUMULATION OCCURS.
- ALL TREES TO BE PROTECTED FROM DAMAGE PER MONTEREY COUNTY STANDARDS.

BETWEEN OCTOBER 15 AND APRIL 15
 INSTALL CONTINUOUS HAY BALES, SILT
 FENCE, OR STRAW HATTLES PEREVER
 STORM WATER LEAVES PROPERTY.
 INSTALL SILT FENCE AND HATTLES PER
 MANUFACTURER SPECIFICATIONS.



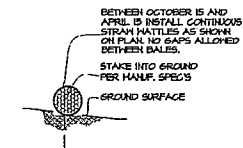
Viscaino Road

DURING THE COURSE OF CONSTRUCTION
 ANY DIRT, RAO, OR DEBRIS DEPOSITED
 IN THE ROAD ADJACENT TO THE PROJECT
 SITE SHALL BE CLEANED IMMEDIATELY

EROSION-SEDIMENT CONTROL NOTES

1. ALL EROSION CONTROL MEASURES SHALL CONFORM WITH THE MONTEREY COUNTY EROSION CONTROL ORDINANCE #2200. ALL GRADING SHALL CONFORM TO MONTEREY COUNTY ORDINANCE

- SOIL DISTURBANCE SHALL BE MINIMIZED TO THE MAXIMUM EXTENT POSSIBLE. ALL DISTURBED AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
- VEGETATION REMOVAL BETWEEN OCTOBER 15 AND APRIL 15 SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN TEN (10) DAYS. DURING THIS PERIOD, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PREVENT EROSION OF FRESHLY GRADED AREAS DURING CONSTRUCTION AND UNTIL SUCH TIME AS PERMANENT DRAINAGE AND EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- REMOVAL BETWEEN OCTOBER 15 AND APRIL 15 SHALL NOT PRECEDE SUBSEQUENT GRADING OR CONSTRUCTION ACTIVITIES BY MORE THAN TEN (10) DAYS. DURING THIS PERIOD, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE. BETWEEN OCTOBER 15 AND APRIL 15, DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY HYDROSEEDING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION AS APPROVED BY THE CITY OF PACIFIC GROVE. EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
- IF ANY DISTURBED AREAS ARE NOT PROTECTED BY EROSION CONTROL MEASURES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THESE AREAS. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.



HAY/WATTLE BALES SHALL BE INSPECTED NEARLY
 AND REPAIRED OR REPLACED AS NECESSARY.
 HAY/WATTLE BALES SHALL BE IN PLACE DURING CONSTRUCTION AND SHALL BE PLACED
 HERE SHOWN ON PLANS TO PREVENT SILT OR SEDIMENT FROM
 LEAVING THE PROJECT SITE.
 WATER SHALL BE CHANNELLED SO AS TO PASS THROUGH
 HAY/WATTLE BALE BARRIER PRIOR TO LEAVING SITE.

(A) STRAW WATTLE SECTION

NTS
 SILT FENCE OR HAY/WATTLE BALE BARRIER SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS.

| REVISION | No. |
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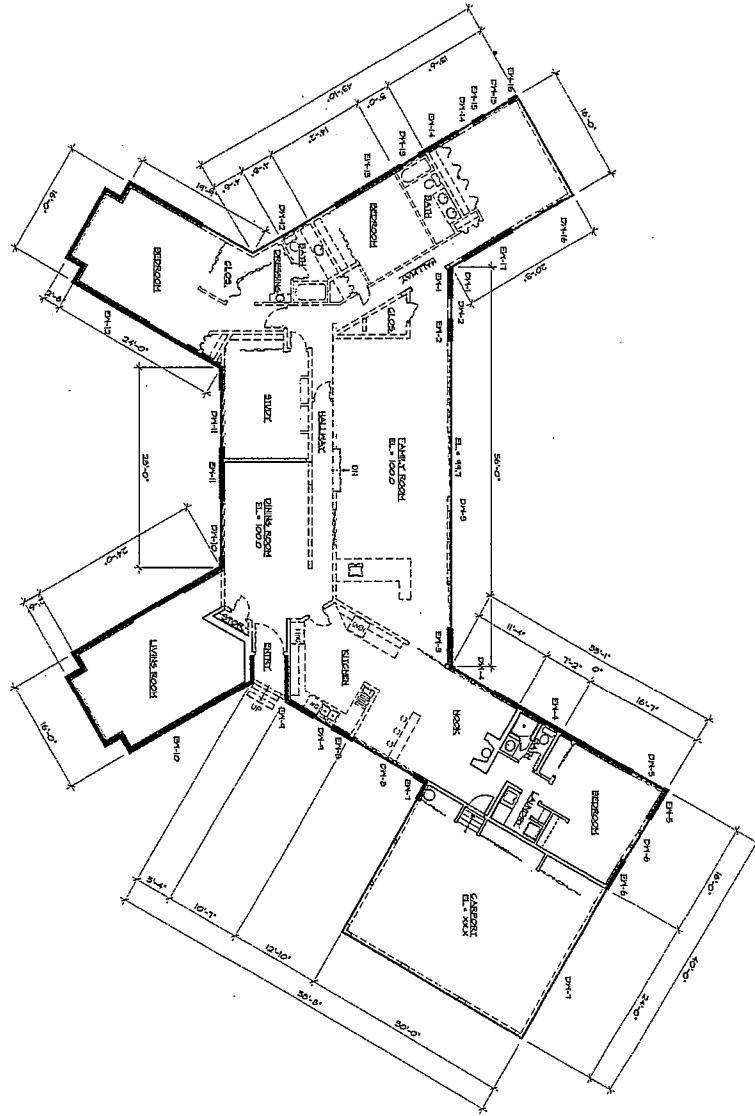
CONSULTANT:

ERIC MILLER ARCHITECTS, INC.
 157 GRAND ST. #108 PACIFIC GROVE, CA 93950
 PHONE (805) 439-1111 FAX (805) 439-1112 WEB: WWW.ERICMILLERARCHITECTS.COM

ARCHITECT

EROSION CONTROL, GRADING & DRAINAGE PLAN
 10/15/10
 SCALE: 1/8"=1'-0"
 DRAWN: CAD
 JOB NUMBER: 07.95
 Colson Residence
 1507 Viscaino Rd
 Pacific Beach, Ca 92105
 A.P.N. CCB-212-011-000

A-1.3
 SHEET OF



EXISTING and DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

LEGEND:

- WALL TO BE DEMOLISHED
- - - - WALL TO REMAIN
- - - - WALL TO BE REPAIR
- - - - WALL TO BE REPAIR - 2048 LIT
- - - - WALL TO BE REPAIR - 2513 LIT
- - - - WALL TO BE REPAIR - 448 LIT
- - - - WALL TO BE REPAIR - 2048 LIT
- - - - WALL TO BE REPAIR - 2513 LIT
- - - - WALL TO BE REPAIR - 448 LIT
- - - - WALL TO BE REPAIR - 2048 LIT
- - - - WALL TO BE REPAIR - 2513 LIT
- - - - WALL TO BE REPAIR - 448 LIT

WALL TO BE DEMOLISHED - 2048 LIT
WALL TO REMAIN - 2513 LIT
WALL TO BE REPAIR - 448 LIT

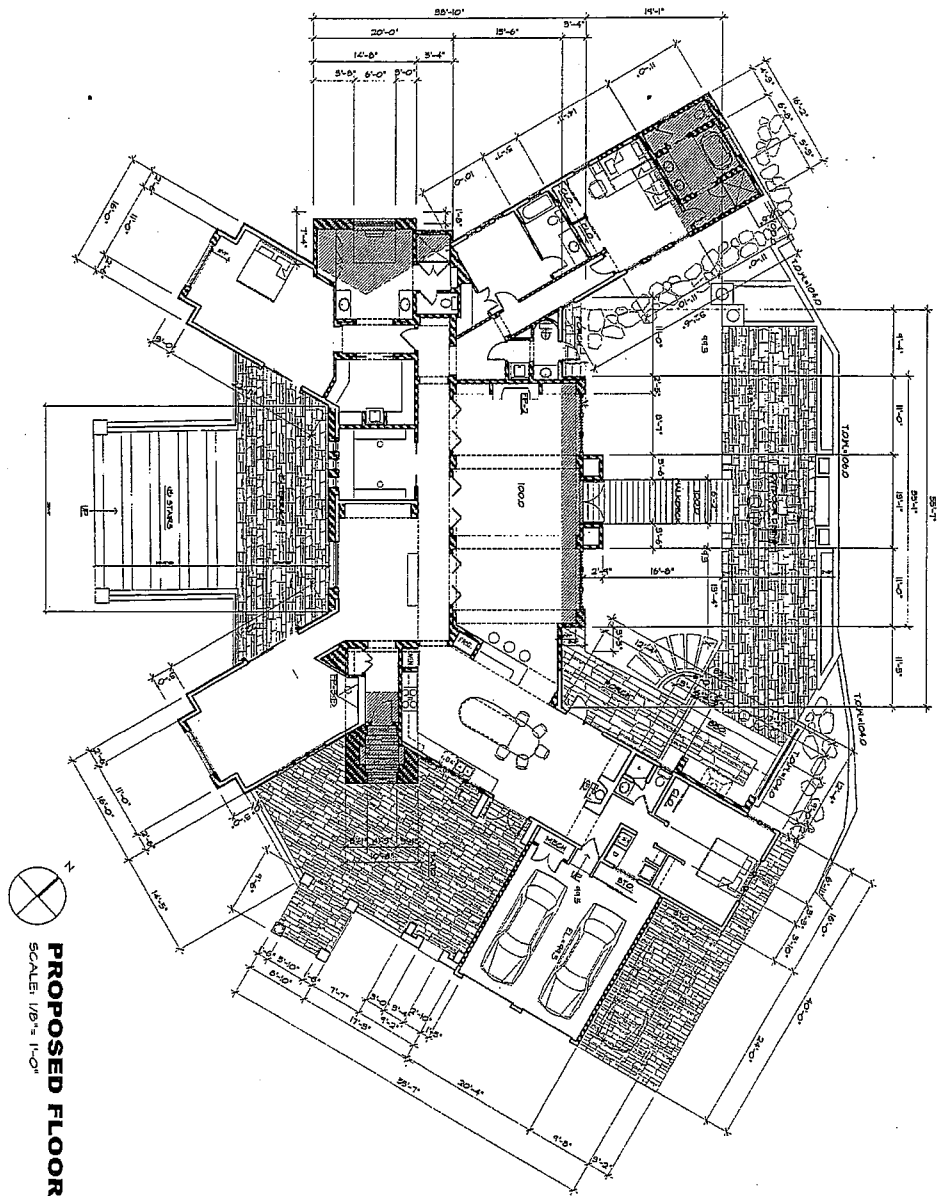
A-2.0
SHEET OF

(E) FLOOR and DEMOLITION PLAN
JOB NAME: Colson Residence
15071 Viscaino Rd
Pebble Beach, Ca 94953
A.P.N. 008-212-019-000

ARCHITECT
ERIC MILLER ARCHITECTS, INC.
157 GRAND st/ste 108 PACIFIC GROVE, CA 93950
PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com



CONSULTANT:

| REVISION | NO. |
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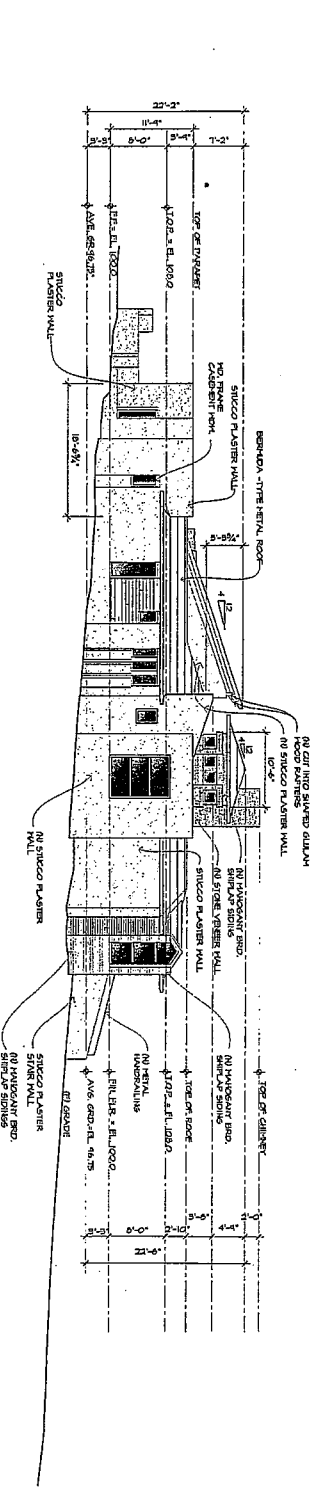


PROPOSED FLOOR PLAN
SCALE: 1/8" = 1'-0"

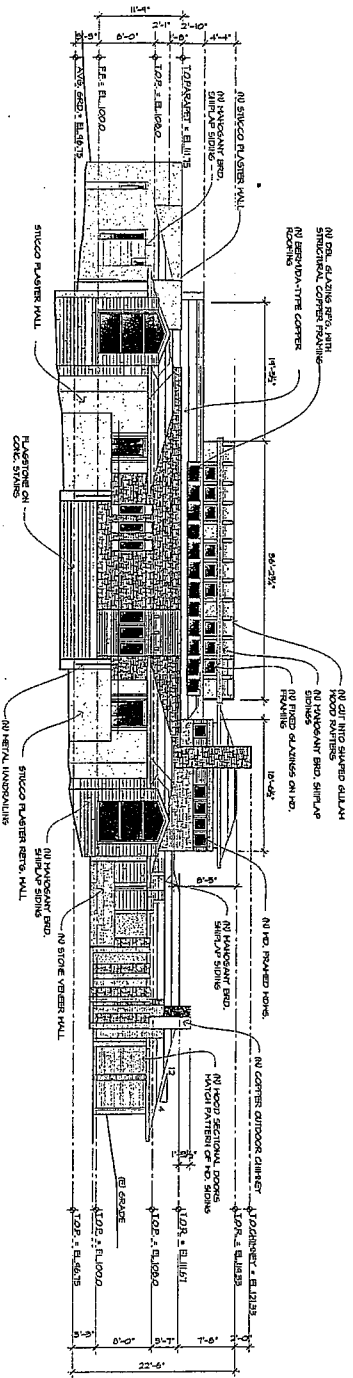
LEGEND:

| | |
|---|--------------|
|  | NEW ADDITION |
|  | EXISTING |

| | | | | |
|---------------------------|---|---|--------------------|----------------------------|
| <p>A-2.2 SHEET OF</p> | <p>PROPOSED FLOOR PLAN</p> <p>DATE: 10/24/10 SCALE: 1/8" = 1'-0" DRAWN: CH JOB NUMBER: 0733</p> | <p>ARCHITECT:</p> <p>ERIC MILLER ARCHITECTS, INC.</p> <p>157 GRAND suite 108 PACIFIC GROVE, CA 93950 PHONE (831) 372-6410 • FAX (831) 372-7840 • WEB: www.ericmillersinc.com</p> | <p>CONSULTANT:</p> | <p>REVISION</p> <p>No.</p> |
| | <p>JOB NAME:</p> <p>Colson Residence 1501 Viscalina Rd Pebble Beach, Ca 93953 A.P.N. 005-212-014-000</p> | <p>ERIC MILLER ARCHITECTS, INC. logo</p> | | |
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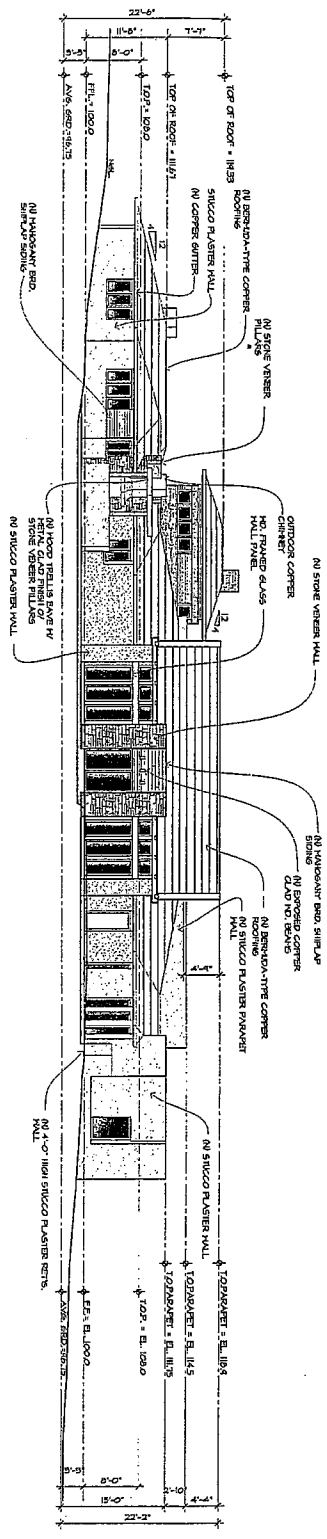
NORTHWEST ELEVATION
SCALE: 1/8" = 1'-0"



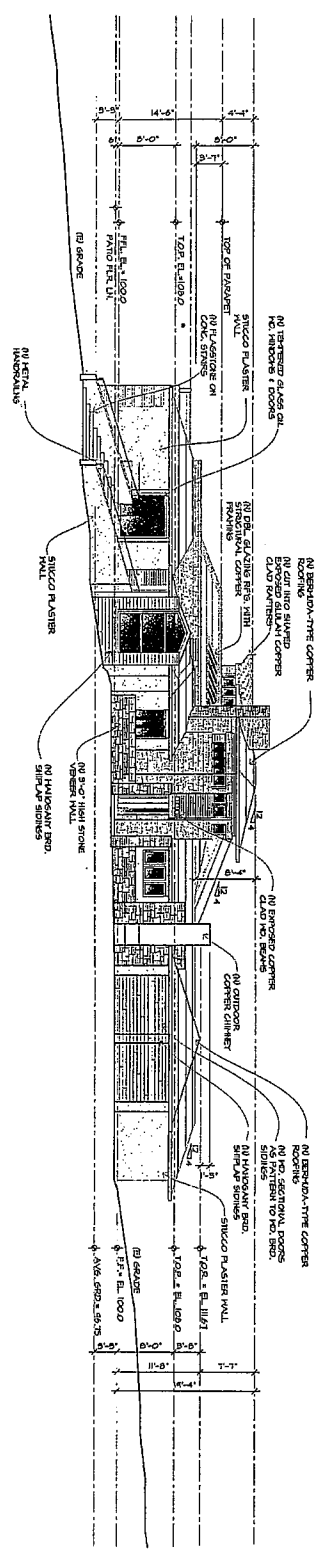
SOUTHWEST ELEVATION
SCALE: 1/8" = 1'-0"

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|-------------------------------|---------------------|---|-------------|-----------|
| A-3.3 SHEET OF 0733 | DATE: 10/28/10 | ARCHITECT: ERIC MILLER ARCHITECTS, INC. | CONSULTANT: | REVISION: |
| | SCALE: 1/8" = 1'-0" | PROJECT: Colson Residence | | NO. |
| JOB NAME: Colson Residence | | 157 GRAND suite 106 PACIFIC GROVE, CA 93950 | | |
| ADDRESS: 1507 Viscaño Rd | | PHONE (801) 372-6410 • FAX (811) 372-7840 • WEB: www.ericmillerarchitects.com | | |
| CITY: Pebble Beach, Ca 93955 | | | | |
| STATE: A.P.N. 008-212-014-000 | | | | |

THE USE OF THESE DRAWINGS AND INFORMATION IS SOLELY REFERRED TO THE ORIGINAL FILE # ON THE DATE OF PRINTING. THEREAFTER, ANY CORRECTIONS OR REVISIONS TO THESE DRAWINGS SHALL BE MADE BY THE ARCHITECT. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THESE DRAWINGS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION OBTAINED FROM ANY SOURCE OTHER THAN THAT PROVIDED BY THE ARCHITECT.



NORTHEAST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTHEAST ELEVATION
SCALE: 1/8" = 1'-0"

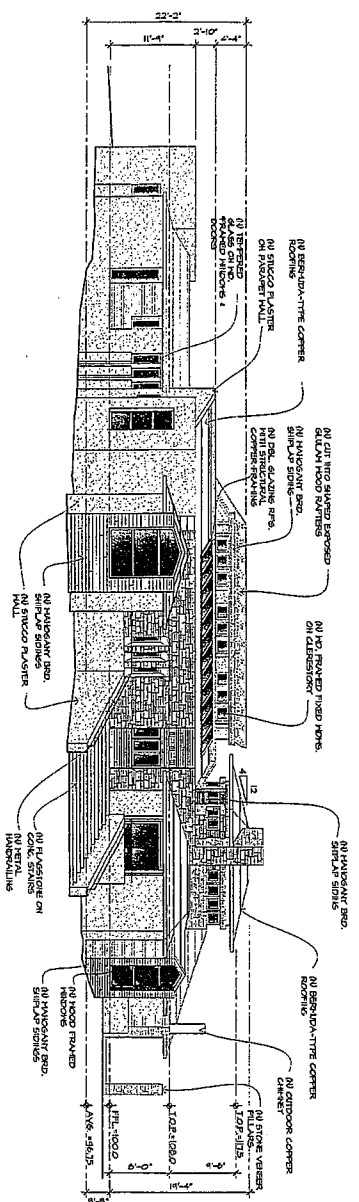
A-3.4
SHEET OF

| ELEVATIONS | |
|------------|--------------|
| DATE: | 10/26/10 |
| SCALE: | 1/8" = 1'-0" |
| DRAWN: | CLV/CCR |
| CHECKED: | OT/ES |
| DATE: | 10/26/10 |
| SCALE: | 1/8" = 1'-0" |
| DRAWN: | CLV/CCR |
| CHECKED: | OT/ES |

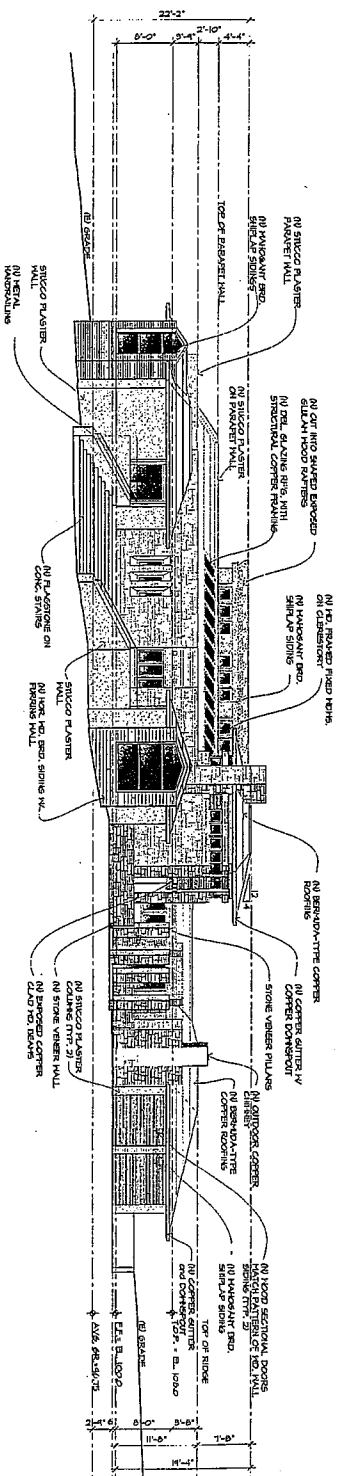
ARCHITECT
ERIC MILLER ARCHITECTS, INC.
 157 GRAND SUITE 106 PACIFIC GROVE, CA 93955
 PHONE (831) 372-0419 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

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| CONSULTANT: |
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WEST ELEVATION
SCALE: 1/8" = 1'-0"



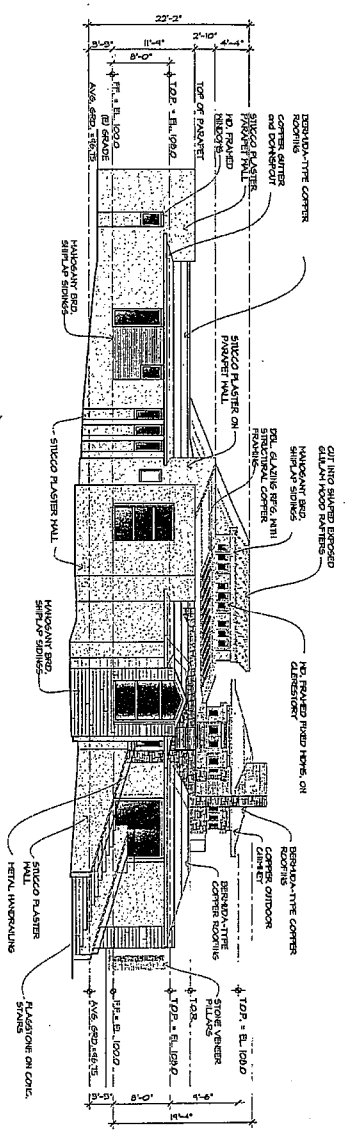
SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

| ELEVATIONS | |
|------------|------------------|
| JOB NO. | Colson Residence |
| DATE | 10/26/10 |
| SCALE | 1/8" = 1'-0" |
| DRAWN BY | CM |
| CHECKED BY | CM |
| JOB NUMBER | 0725 |
| DATE | 10/26/10 |
| SCALE | 1/8" = 1'-0" |
| DRAWN BY | CM |
| CHECKED BY | CM |
| JOB NUMBER | 0725 |

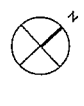
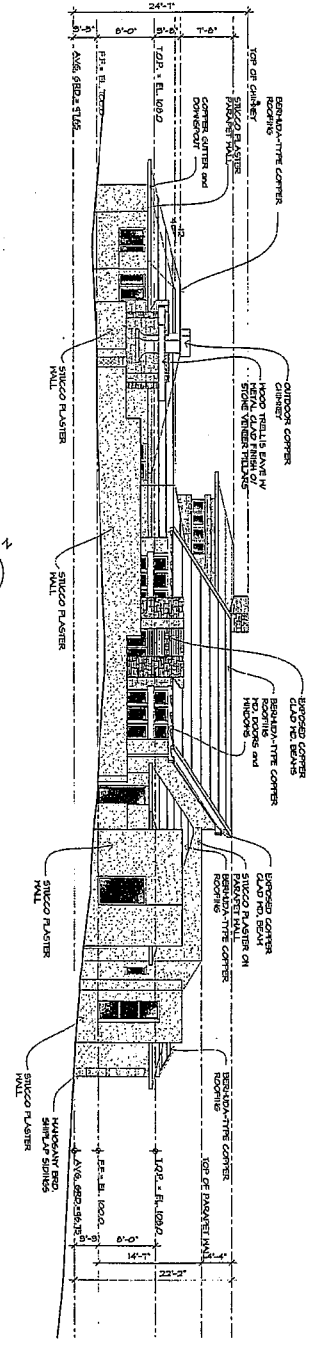
ARCHITECT
ERIC MILLER ARCHITECTS, INC.
 157 GRAND SUITE 106 PACIFIC GROVE, CA 93950
 PHONE (831) 572-0410 • FAX (831) 572-7840 • WEB: www.ericmillerarchitects.com

| CONSULTANT: | |
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| REVISION | No. |
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A-3.5
SHEET 5 OF 5

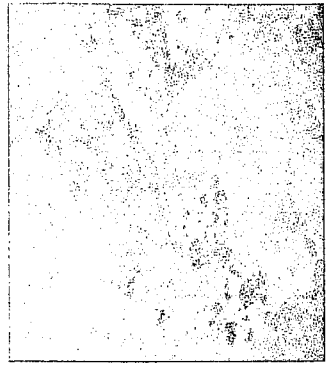


NORTHWEST ELEVATION
SCALE: 1/8" = 1'-0"

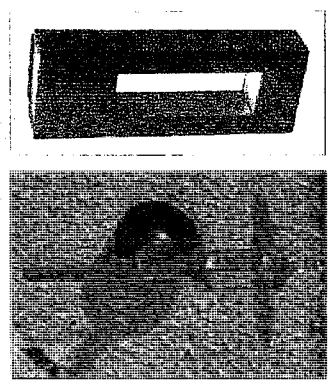


NORTH ELEVATION
SCALE: 1/8" = 1'-0"

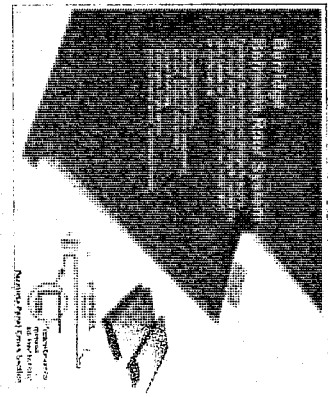
| | | | | | | |
|--------------|-------------------|-----------------------|---|---|--------------|-----------------|
| A-3.6 | ELEVATIONS | | ARCHITECT ERIC MILLER ARCHITECTS, INC. 157 GRAND suite 108 PACIFIC GROVE, CA 93950 PHONE (831) 372-0410 • FAX (831) 372-7840 • WEB: www.ericmlrarchitects.com | CONSULTANT: | | REVISION No. |
| | DATE 10/26/10 | SCALE 1/8" = 1'-0" | | JOB NAME Colson Residence 1507 Viscardo Rd Pebble Beach, CA 93453 A.P.N. 008-212-019-000 | DRWING CM | |



10 KALE PATIO STONE



7 EXTERIOR WALL SCNCE



4 ROOFING MATERIAL



1 STAINED CONCRETE



11 TRENCH DRAIN

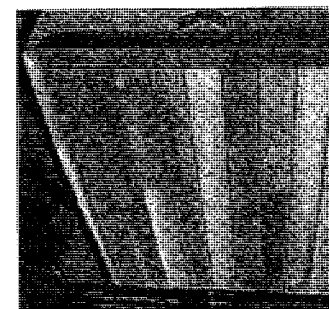


8 PATH & BOLLARD LIGHTS

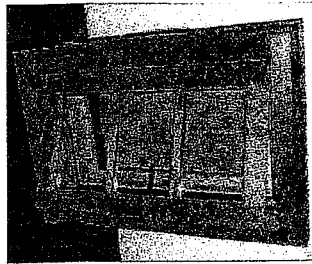


5 STONE PATTERN SAMPLE

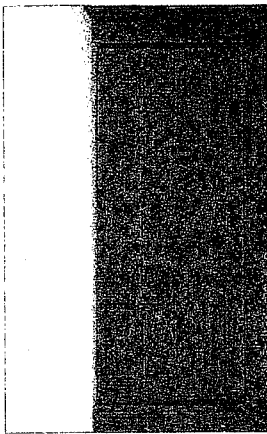
SAMPLE TO DETAIL STONE PATTERN ONLY.
STONE VENEER MATERIAL SHUT FACE TO BE USED.
SEE INSTRUCTIONS SHEET 8/1/11



2 WOOD SIDING & TRIM



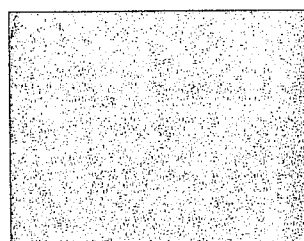
12 MAHOGANY WINDOWS



9 GARAGE DOOR SAMPLE



6 STONE VENEER MATERIAL
TRAVERTINE SPLIT FACE



3 STUCCO

A-7.1
SHEET 0

| | |
|-------|--------------|
| DATE | 02/26/10 |
| SCALE | 1/4" = 1'-0" |
| DATE | 02/26/10 |
| DATE | 02/26/10 |
| DATE | 02/26/10 |

MATERIAL SAMPLE

03 VOL
Colson Residence
 1501 Vischoff Rd
 Pebble Beach, Ca 95055
 A.P.N. 008-212-09-000

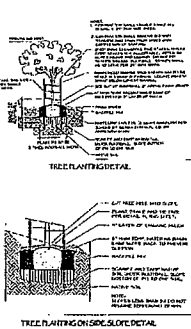
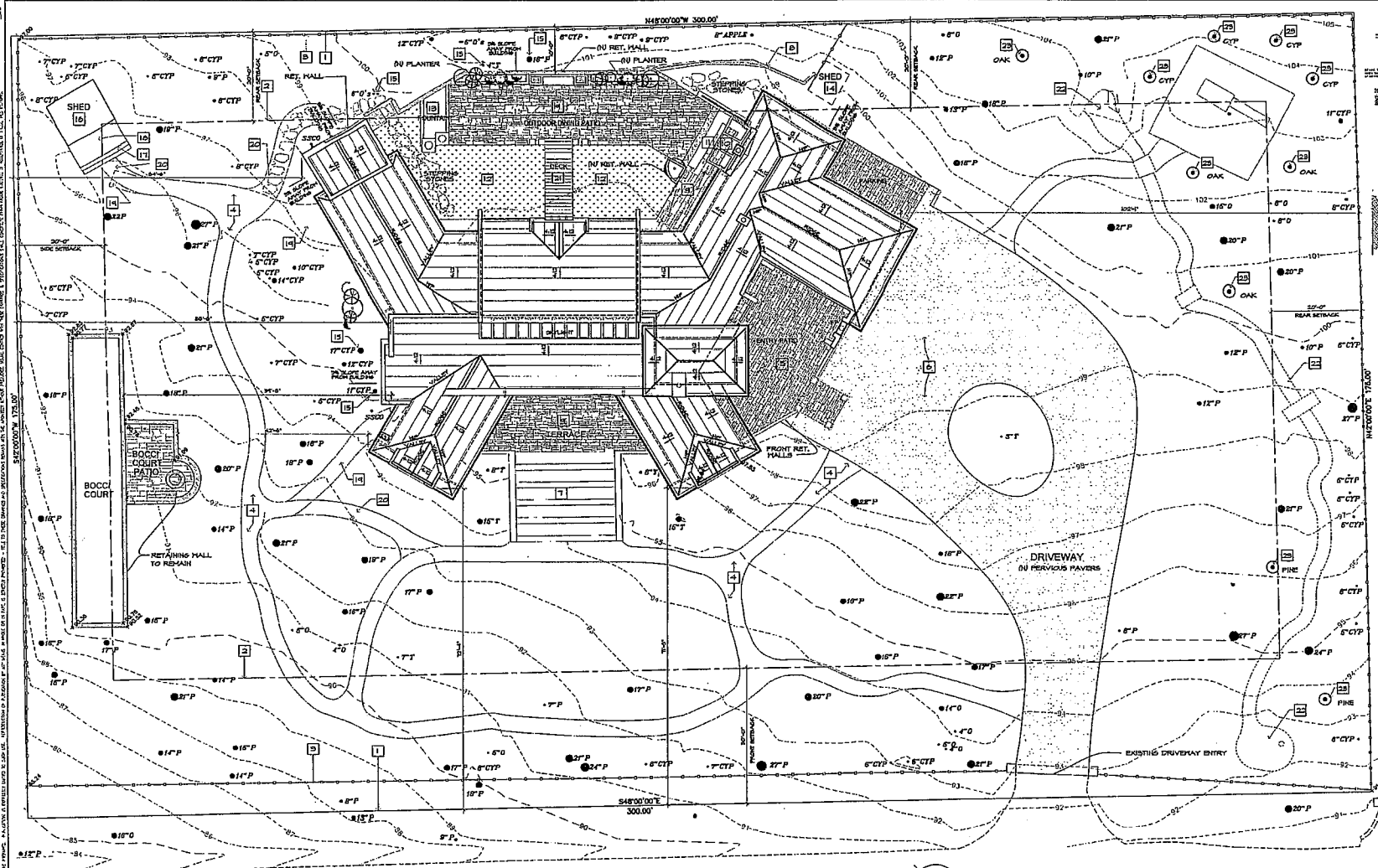
ARCHITECT

ERIC MILLER ARCHITECTS, INC.

157 GRAND AVE. SUITE 108 PACIFIC GROVE, CA 93950
 PHONE (831) 372-6410 • FAX (831) 372-7840 • WEB: www.ericmillerarchitects.com

CONSULTANT:

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| REVISION | NO. |
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SITE NOTES

- 1 PROPERTY LINE
- 2 BULBAS ENVELOPE
- 3 FENCE TO REMAIN
- 4 WALKWAY TO REMAIN
- 5 ENTRY PAVERS PATIO
- 6 CONCRETE DRIVEWAY TO BE REPLACED BY PORCELAIN PAVERS
- 7 EXTERIOR STAIRS
- 8 HOOD RETAINING WALL
- 9 BBQ PATIO
- 10 HOOD TRILLS W/ METAL FINISH
- 11 BBQ AREA
- 12 LAWN
- 13 FOUNTAIN
- 14 SHED TO BE DEMOLISHED
- 15 TREES TO BE REMOVED
- 16 TO BE DEMOLISHED
- 17 HOOD STEPS TO REMAIN
- 18 HOOD DECK TO REMAIN
- 19 DRIFT PATH TO BE REPAIRED
- 20 DIVERTED DRIFT PATH
- 21 HOOD DECK
- 22 REMOVED PLANTING GREEN
- 23 9' ALLOW HEM TREE REPLACEMENT

Viscaino Road LANDSCAPING PLAN
SCALE: 3/32" = 1'-0"

GRADING AND DRAINAGE NOTES:

DURING WINTER SEASON OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15), THE FOLLOWING MEASURES MUST BE TAKEN:

DISTURBED SURFACES NOT INVOLVED IN THE IMMEDIATE OPERATIONS MUST BE PROTECTED BY MULCHING AND/OR OTHER EFFECTIVE MEANS OF SOIL PROTECTION.

ALL ROADS AND DRIVEWAYS SHALL HAVE DRAINAGE FACILITIES SUITABLE TO PREVENT DISCHARGE OR ADJACENT TO THE ROADWAY OR ON THE DOWNHILL.

REPORT FROM THE SITE SHALL BE OBTAINED OR PROVIDED BY BROWN VEGETATED TRIPLOID, AND/OR SATCH BASINS TO PREVENT THE ESCAPE OF DESSERT FROM THE SITE.

DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS. (WINTER GRADING/SECTION ORD. 2008-0112-040)

PLANTING NOTES:

1. Plant quantities are for contractor convenience only. Contractor is responsible for actual plant quantities and shall be verified from the planting plan. To meet the planting requirements, contractor may need to order in excess of 10% extra plants.
2. Contractor to notify landscape designer in the event of plant unavailability immediately.
3. Conditions permitting, the retention of water in planting pits for more than 1 hour shall be corrected by the contractor.
4. All plant material shall match specification per species and comply with ANSI Z601 "Standard for Nursery Stock", and shall be inspected by landscape designer.
5. Plant materials may be adjusted in the field as directed by landscape designer at no extra cost to owner.
6. Contractor shall erect tree protection barriers around existing trees to be saved on site, creating a tree protection zone, contractor shall be responsible for damage to existing trees.
7. Contractor shall provide an allowance of \$5,000 for additional material.
8. All plants to be planted with 10 organic amendment added to the soil and a well-balanced, slow release fertilizer broadcasted with mulchings.
9. Top dress all planter areas with 2" of 1/2" radium or 1/4" bark dressing free of oil dirt, sticks, dust or debris. Provide a 1 pH sample and source to Landscape Designer prior to ordering.
10. Erosion control blankets to be applied to all slope areas according to manufacturers specifications.
11. All trees to be staked with two lodgepole stakes 10" x 2" a bottom board and chain ties, or with guy wires as necessary.

NOTES

1. 6 TREES TO BE REMOVED.
2. TWO (2) CYPRESS @ 11" AND 11"
3. ONE (1) OAK @ 6" AND 6"
4. ONE (1) PINE @ 16"
5. ONE (1) OTHER @ 4"
6. ALL EXISTING LANDSCAPING WILL REMAIN
7. NEW LANDSCAPE AREA AT NORTHEAST PATIO
8. NEW HEM TREE REPLACEMENT AS SHOWN AT THE EAST AND SOUTHEAST CORNER OF THE PROPERTY.

| REVISION | No. |
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CONSULTANT:

ARCHITECT:

ERIC MILLER ARCHITECTS, INC.
157 GRAND CANYON PACIFIC GROVE, CA 93950
PHONE (831) 372-6410 • FAX (831) 372-7940 • WEB: www.ericmillerarchitects.com

LANDSCAPING PLAN

JOB NAME: **Colson Residence**
15071 Viscaino Rd
Pebble Beach, CA 94953
A.P.N. 008-212-019-000

DATE: 10/26/10
SCALE: 3/32" = 1'-0"
DRAWN: DM
JOB NUMBER: 0758

L-1
SHEET OF

DEL MONTE FOREST



APPLICANT: COLSON

APN: 008-212-019-000

FILE # PLN100178

Water   2500' Limit  300' Limit  City Limits

