

**Before the Monterey County Zoning Administrator  
In and for the County of Monterey, State of California**

In the matter of the application of:

Buck & Lisa Blackwell, Property Owners (PLN110055)

**RESOLUTION NO. 11-008**

Resolution by the Monterey County Zoning Administrator:

- 1) Categorically Exempt the construction of a single family residence under Section 15303 (a) of the California Environmental Quality Act Guidelines.
- 2) Approving an Administrative permit to demolish an existing 800 square foot one-story single family dwelling and construct a new 750 square-foot one story single family dwelling within an "S" District; Design Approval with colors and materials consisting of light brown trim, beige stucco, and brown & tan earth tone asphalt shingles; and a Variance to allow a reduced front yard setback of approximately 20 feet where a 30 foot setback is required.

[PLN110055, Blackwell, 9 Camp Steffani, Carmel Valley, (APN: 197-091-012-000) Carmel Valley Master Plan Area]

**The Buck & Lisa Blackwell application (PLN110055) came on for public hearing before the Monterey County Zoning Administrator on February 22, 2011. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Zoning Administrator finds and decides as follows:**

**FINDINGS**

**1. FINDING:**                   **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

**EVIDENCE:**   a)   During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:

- The Monterey County 2010 General Plan;
- Carmel Valley Master Plan;
- Chapter 21.14.020, Regulations for Low Density Residential 2.5 acre per unit or the "LDR/2.5" Zoning District of the certified Monterey County Zoning Ordinance (Title 21);
- Chapter 21.45, Regulations for Site Plan Review Zoning Districts of the certified Monterey County Zoning Ordinance (Title 21);
- Chapter 21.44, Regulations for Design Control Zoning Districts of the certified Monterey County Zoning Ordinance (Title 21);
- Chapter 21.64, Regulations for Guesthouses under Section 21.64.020 of the certified Monterey County Zoning Ordinance (Title 21); and
- Section 1805.3.2 of the 2007 California Building Code.

No conflicts were found to exist. No communications were received

- during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
- b) The property is a 6,000 square foot legal lot of record adjacent to the Carmel River floodway fringe. The new residence is proposed in an area of the property which is not visible from Carmel Valley Road or the surrounding properties east of Carmel Valley Road. The property is located at 9 Camp Steffani, Carmel Valley, (Assessor's Parcel Number 197-091-012-000). The parcel is zoned "LDR/2.5-D-S or Low Density Residential 2.5 acres per unit, Site Plan Review & Design Control Zoning Districts.
  - c) The proposed residence will replace an existing residence, similar in size and location, meets the site development standards under the LDR zoning designation with the approval of the front yard setback variance, and will not require any significant site improvements affecting the surrounding resources. Section 21.45.040 allows development of residential structures in an "S" District with an Administrative Permit if it is demonstrated that the proposed structure will not adversely affect or be affected by natural resources or site constraints. Therefore, the proposed residence is an authorized land use for this site.
  - d) The project planner conducted a site inspection on August 17, 2010 to verify that the project on the subject parcel conforms to Policy CV-1.20 of the Carmel Valley Master Plan, that the project as proposed is visually compatible with the character of the valley and immediate surrounding areas.
  - e) The project was not referred to the Carmel Valley Land Use Advisory Committee (LUAC) for review. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors per Resolution No. 08-338, the initial application for this project did not warrant referral to the LUAC because the project was not subject to review by the Zoning Administrator or the Planning Commission. LUAC review was not required in this case because the initial application did not include a variance or any other component that would have warranted review by the Zoning Administrator.
  - f) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project Files PLN100257 and PLN110055.

2. **FINDING:** **SITE SUITABILITY** – The project has been reviewed for site suitability by the following departments and agencies: Planning, Building Services, Monterey County Regional Fire District, Public Works, Environmental Health Bureau, and Water Resources Agency. The site is physically suitable for the use proposed.

**EVIDENCE:** a) There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated from each agency. The entirety of project was determined by the Water Resources Agency to be outside of the Carmel Valley River floodway fringe with the exception of a small area at the southeasterly end of the parcel and therefore conditioned to indicate that the property is located within or partially within a

- floodplain and may be subject to building and/or land use restrictions.
- b) Technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff independently reviewed these reports and concurs with their conclusions. The following reports have been prepared:
    - *“Archaeological Report” (LIB100366) prepared by Susan Morley, Salinas CA, report was prepared May, 2010).*
  - c) The project planner conducted a site inspection on August 17, 2010 to verify that the site is suitable for this use.
  - d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project Files PLN100257 and PLN110055.

3. **FINDING:**

**HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by Planning Department, Building Services Department, Monterey County Regional Fire District, Public Works Department, Environmental Health Bureau and Water Resources Agency. The respective departments/agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
  - b) The Environmental Health Bureau has approved the existing septic system design. However, the existing site is highly constrained. Therefore, Environmental Health has conditioned the project to require the applicant to record a deed notification with the Monterey County Recorder's Office indicating that *“any repair or expansion of the septic system will likely require the installation of an advanced treatment and disposal system in compliance with Monterey County Code Chapter 15.20 or unless otherwise approved by the Director of Environmental Health.”*
  - c) The project planner conducted a site review on August 17, 2010 to verify that the conditions of the site are consistent with the project site on the subject parcel and will conform to the application and plans.
  - d) Preceding findings and supporting evidence for PLN110055.

4. **FINDING:**

**NO VIOLATIONS** - The subject property currently maintains a legal non conforming habitable structure on the subject parcel. The structure is nonconforming to the front setback requirement, minimum distance between structures and has a kitchenette. The property owner has agreed to remove the kitchenette (see Condition #8) which will bring the structure into conformance with regard to requirements for a guesthouse, but will remain nonconforming to setbacks. With approval of the front yard setback variance, the proposed single family residence

complies with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. The property owner has agreed to a condition of approval which will require the removal of the kitchenette within the structure, thereby reforming the habitable structure to a legal guesthouse under Title 21 Section 21.64.020.

- EVIDENCE:**
- a) Staff reviewed Monterey County RMA - Planning Department and Building Services Department Monterey County records and is not aware of any violations existing on subject property.
  - b) Staff conducted a site inspection on August 17, 2010 and researched County records to assess if any violation exists on the subject property.
  - c) There are no other known violations on this parcel.
  - d) The existing single family dwelling is non-conforming as the front setback and the construction of a new single family dwelling will be allowed to maintain a reduced front setback with the approval of the variance.
  - e) A condition of approval has been incorporated into the project to reform the structure in a manner which conforms to the development standards under Section 21.64.020, specifically that the kitchenette be removed from the existing guesthouse structure.
  - f) Zoning violation abatement costs, if any, have been paid and all zoning abatement costs, if any, have been paid.
  - g) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project Files PLN100257 and PLN110055.

5. **FINDING:** **CEQA (Exempt):** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15303 (a), categorically exempts the construction of a single family residence.
  - b) The project will allow the demolition of an existing structure less than 50 years in age and the construction of a new on single family dwelling in a residential zoning district on a legal lot of record previously developed. The County has determined that the project as proposed meets the site development standards for development.
  - c) No adverse environmental effects were identified during staff review of the development application during a site visit on August 17, 2010.
  - d) See preceding and following findings and supporting evidence.

6. **FINDING:** **VARIANCE (Special Circumstances)** - Because of special circumstances applicable to the subject property, including the size, shape, topography, location of the lot, or the surrounding area, the strict application of development standards in the Monterey County Codes is found to deprive the subject property of privileges enjoyed by other property owners in the vicinity under identical zoning classification.

- EVIDENCE:**
- a) There are several special circumstances applicable to the subject property that supports approval of the front yard setback variance

request. The site contains 6,000 square feet whereas the minimum lot size in the LDR/2.5 District is 2.5 acres/unit or 108,900 square feet/unit. In addition, there is a slope greater than 25% located at the rear of the property which mandates that the house be located towards the front of the lot which is relatively flat. An additional setback is required from the base of the slope in the rear yard pursuant to Section 1805.3.2 of the 2007 California Building Code. The Building Services Department has determined that, in this case, the Building Code requires a minimum of 10 foot setback from the top of the proposed retaining wall at the base if the slope in the rear yard.

- b) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project Files PLN100257 and PLN110055.
- c) The project planner conducted a site inspection on August 17, 2010 to verify the circumstances related to the property.

7. **FINDING:** **VARIANCE (Special Privileges)** - The variance shall not constitute a grant of privileges inconsistent with the limitations upon other property owners in the vicinity and zone in which such property is situated.

**EVIDENCE:** a) The granting of this variance would not award the property a privilege inconsistent with the limitations upon neighboring properties. Due to the size, configuration and topography of the lot, as well as the location of the existing guesthouse that is to remain, there is no alternative location for the proposed residence that would meet the other zoning requirements as well as the setback requirement of Section 1805.3.2 of the 2007 California Building Code.

- b) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project Files PLN100257 and PLN110055.
- c) The project planner conducted a site inspection on August 17, 2010 to identify circumstances related to other property in the vicinity and in the same zoning district.

8. **FINDING:** **VARIANCE (Authorized Use)** – The Variance shall not be granted for a use or activity which is not otherwise expressly authorized by the zone regulation governing the parcel of property.

**EVIDENCE:** a) The property has a zoning designation of LDR/2.5-D-S” [Low Density Residential, 2.5 acres per unit with Design Control, and Site Plan Review Overlays].

- b) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project Files PLN100257 and PLN110055.

9. **FINDING:** The decision on this project is appealable to the Planning Commission.

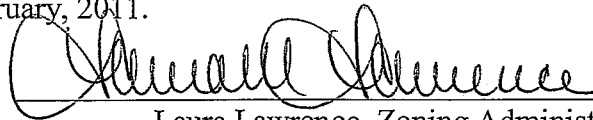
**EVIDENCE:** Sections 21.80.040 A. of the Monterey County (Zoning Ordinance) Title 21.

**DECISION**

**NOW, THEREFORE**, based on the above findings and evidence, the Zoning Administrator does hereby:

- A. Find that the project as proposed qualifies under the California Environmental Quality Act (CEQA) Guidelines Section 15303 (a), which categorically exempts the construction of a single family residence; and
- B. Approve an Administrative permit to demolish an existing 800 square foot one-story single family dwelling and construct a new 750 square-foot one story single family dwelling within an "S" District; Design Approval with colors and materials consisting of light brown trim, beige stucco, and brown & tan earth tone asphalt shingles; and
- C. Approve a Variance to allow a reduced front yard setback of approximately 20 feet where a 30 foot setback is required in general conformance with the attached sketch and subject to the conditions (**Exhibit 1**), both exhibits being attached hereto and incorporated herein by reference.

**PASSED AND ADOPTED** this 22<sup>nd</sup> day of February, 2011.



Laura Lawrence, Zoning Administrator

COPY OF THIS DECISION MAILED TO APPLICANT ON **MAR 01 2011**

THIS APPLICATION IS APPEALABLE TO THE PLANNING COMMISSION

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE SECRETARY OF THE PLANNING COMMISSION ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE

**MAR 11 2011**

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

- 1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning Department and Building Services Department office in Salinas.

- 2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

<b>RESOLUTION 11-008 - EXHIBIT 1</b> <b>Monterey County Resource Management Agency</b> <b>Planning Department</b> <b>Condition Compliance and/or Mitigation Monitoring</b> <b>Reporting Plan</b>	<b>Project Name:</b> <u>Buck &amp; Lisa Blackwell</u> <b>File No:</b> <u>PLN110055</u> <b>APN:</b> <u>APN 161-251-002-000</u> <b>Approved by:</b> <u>Zoning Administrator</u> <b>Date:</b> <u>February 22, 2011</u>
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*\*Monitoring or Reporting refers to projects with an EIR or adopted Mitigated Negative Declaration per Section 21081.6 of the Public Resources Code.*

Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
<b>RMA - Planning Department</b>						
1.		<b>PD001 - SPECIFIC USES ONLY</b> This Administrative Permit, Variance and Design Approval allows the demolition of an existing 800 square foot one-story single family dwelling and construct a new 750 square-foot one story single family dwelling within an "S" District; Design Approval with colors and materials consisting of light brown trim, beige stucco, and brown & tan earth tone asphalt shingles; and a Variance to allow a reduced front yard setback of approximately 20 feet where a 30 foot setback is required. The property is located at 9 Camp Steffani, Carmel Valley, (Assessor's Parcel Number 197-091-012-000) Carmel Valley Master Plan Area. This permit was approved in accordance with County ordinances and land use regulations subject to the following terms and conditions. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. <b>(RMA-Planning Department)</b>	Adhere to conditions and uses specified in the permit.  Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of the RMA - Planning Department.  To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled.	Owner/ Applicant  RMA - Planning  WRA  RMA - Planning	Ongoing unless otherwise stated	

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2.		<b>PD002 - NOTICE-PERMIT APPROVAL</b> The applicant shall record a notice which states: "A permit (Resolution 11-008) was approved by the Zoning Administrator for Assessor's Parcel Number APN 197-091-012-000 on February 22, 2011. The permit was granted subject to 17 conditions of approval which run with the land. A copy of the permit is on file with the Monterey County RMA - Planning Department." <b>(RMA-Planning Department)</b>	Obtain appropriate form from the RMA-Planning Department.  The applicant shall complete the form and furnish proof of recordation of this notice to the RMA - Planning Department.	Owner/ Applicant  RMA- Planning	Prior to issuance of grading and building permits or commencement of use.	
3.		<b>PD032(A) - PERMIT EXPIRATION</b> The permit shall be granted for a time-period of 3 years, to expire on February 22, 2014 unless use of the property or actual construction has begun within this period. <b>(RMA – Planning Department)</b>	The applicant shall obtain a valid grading or building permit and/or commence the authorized use to the satisfaction of the Director of Planning. Any request for extension must be received by the Planning Department at least 30 days prior to the expiration date.	Owner/ Applicant	As stated in the conditions of approval	
4.		<b>PD003(A) – CULTURAL RESOURCES – NEGATIVE ARCHAEOLOGICAL REPORT</b> If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. The Monterey County RMA - Planning Department and a qualified archaeologist (i.e., an archaeologist registered with the Society of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery. <b>(RMA - Planning Department)</b>	Stop work within 50 meters (165 feet) of uncovered resource and contact the Monterey County RMA - Planning Department and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.	Owner/ Applicant / Archaeo- logist	Ongoing	



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5.		<b>PD007 - GRADING-WINTER RESTRICTION</b> No land clearing or grading shall occur on the subject parcel between October 15 and April 15 unless authorized by the Director of RMA - Building Services Department. <b>(RMA – Planning Department and Building Services Department)</b>	Obtain authorization from the Director of RMA - Building Services Department to conduct land clearing or grading between October 15 and April 15.	Owner/ Applicant	Ongoing	
6.		<b>PD010 - EROSION CONTROL PLAN AND SCHEDULE</b> The approved development shall incorporate the recommendations of the Erosion Control Plan as reviewed by the Director of RMA – Planning and Director of Building Services. All cut and/or fill slopes exposed during the course of construction be covered, seeded, or otherwise treated to control erosion during the course of construction, subject to the approval of the Director of RMA - Planning and Director of RMA - Building Services. The improvement and grading plans shall include an implementation schedule of measures for the prevention and control of erosion, siltation and dust during and immediately following construction and until erosion control planting becomes established. This program shall be approved by the Director of RMA - Planning and Director of RMA - Building Services. <b>(RMA - Planning Department and RMA - Building Services Department)</b>	An Erosion Control Plan shall be submitted to the RMA - Planning Department and the RMA - Building Services Department prior to issuance of building and grading permits.	Owner/ Applicant	Prior to the issuance of grading and building permits	
			Comply with the recommendations of the Erosion Control Plan during the course of construction until project completion as approved by the Director of RMA - Planning and Director of RMA - Building Services.	Owner/ Applicant	Ongoing	
7.		<b>PDSP001 – NOTICE OF REPORT (NON STANDARD)</b> Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states: "A(n) Archaeological report has been prepared for this parcel by Susan Morley, dated May, 2010 and is on record in the Monterey County RMA - Planning Department , Library No. 100366. All development shall be in accordance with this report." <b>(RMA – Planning Department)</b>	Proof of recordation of this notice shall be furnished to the RMA - Planning Department.	Owner/ Applicant	Prior to final building inspection.	
			Submit proof that all development has been implemented in accordance with the report to the RMA - Planning Department for review and approval.	Owner/ Applicant	Prior to final building inspection.	

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8.		<p><b>PDSPD002 – DEMOLITION OF KITCHEN VERIFICATION (NON STANDARD)</b></p> <p>The applicant shall secure a demolition building permit to remove the existing kitchen and any other internal features not allowed under the development standards for a guesthouse per Section 21.64.020 of the Monterey County Zoning Ordinance. The applicant shall provide evidence to the Director of the RMA confirming that the building permit for said demolition has had a final building permit inspection. <b>(RMA – Planning Department and Building Services Department)</b></p>	1) The applicant shall submit a copy of the final building permit inspection to the Planning Department for record keeping in PLN100257 and PLN110055.	Owner/ Applicant	Prior to final building inspection.	
9.		<p><b>PD019(A) – DEED RESTRICTION – GUESTHOUSE (INLAND)</b></p> <p>The applicant shall record a deed restriction stating the regulations applicable to a Guesthouse as follows:</p> <ul style="list-style-type: none"> <li>• Only one guesthouse shall be allowed per lot.</li> <li>• Detached guesthouses shall be located in close proximity to the principal residence.</li> <li>• Guesthouses shall share the same utilities with the main residence, unless prohibited by public health requirements.</li> <li>• The guesthouse shall not have cooking or kitchen facilities, including but not limited to microwave ovens, hot plates and toaster ovens.</li> <li>• The guesthouse shall have a maximum of six (6) linear feet of counter space, excluding counter space in a bathroom. There shall be a maximum of eight (8) square feet of cabinet space, excluding clothes closets.</li> <li>• The guesthouse shall not exceed 600 square feet of livable floor area.</li> <li>• The guesthouse shall not be separately rented, let or leased from the main residence whether compensation be direct or indirect.</li> <li>• Subsequent subdivisions which divide a main residence from a guesthouse shall be prohibited.</li> <li>• The guesthouse shall be designed in such a manner as</li> </ul>	Submit signed and notarized document to the Director of RMA – Planning Department for review and signature by the County.	Owner/ Applicant	Prior to occupancy or commencement of use	
			Proof of recordation of the document shall be submitted to the RMA – Planning Department.	Owner/ Applicant	Prior to final building inspection.	

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		to be visually consistent and compatible with the main residence on site and other residences in the area. <ul style="list-style-type: none"> <li>The guesthouse height shall not exceed 15 feet nor be more than one story.</li> </ul> <b>(RMA – Planning Department)</b>				
<b>RMA – Public Works Department</b>						
10.		<b>PW0005 – ENCROACHMENT (STD DRIVEWAY)</b> Obtain an encroachment permit from the Department of Public Works and construct a standard driveway connection to Camp Steffani Road. <b>(RMA – Public Works Department)</b>	Applicant shall obtain an encroachment permit from DPW prior to issuance of building permits and complete improvement prior to occupancy or commencement of use. Applicant is responsible to obtain all permits and environmental clearances.	Owner/ Applicant	Prior to occupancy or commencement of use.	
<b>Health Department - Environmental Health Bureau</b>						
11.		<b>EHSP01 – DEED NOTIFICATION – SEPTIC SYSTEM (NON STANDARD CONDITION)</b> This property is highly constrained by steep slopes and over development. The current application (PLN100257 – replacement of an existing home) will better suit the property for septic disposal as additional square footage will be available once the new home is built. However, there is not feasible area on the property for a conventional septic system that meets the standards in Monterey County Code 15.20. The applicant shall record a deed notification with the Monterey County Recorder for parcel 197-091-012-000 indicating that: Any repair or expansion of the septic system will likely require the installation of an advanced treatment and disposal system in compliance with Monterey County Code Chapter 15.20 or unless otherwise approved by the Director of Environmental Health. <b>(Environmental Health)</b>	<ul style="list-style-type: none"> <li>Obtain form from EHB.</li> <li>Record notarized Conditional Wastewater Treatment and Dispersal Deed Notification</li> <li>Submit evidence of recordation to EHB.</li> </ul>	Owner/ Applicant	Prior to final building inspection.	

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<b>Monterey County Water Resources Agency</b>						
12.		<b>WR22 - FLOODPLAIN RECORDATION</b> The owner shall provide the Water Resources Agency a recorded Floodplain Notice stating: "The property is located within or partially within a floodplain and may be subject to building and/or land use restrictions." <b>(Water Resources Agency)</b>	Submit the recorded floodplain notice to the Water Resources Agency for review and approval. (A copy of the County's standard notice can be obtained at the Water Resources Agency.)	Owner/ Applicant	Prior to final building inspection.	
13.		<b>WR43 - WATER AVAILABILITY CERTIFICATION</b> The applicant shall obtain from the Monterey County Water Resources Agency, proof of water availability on the property, in the form of an approved Monterey Peninsula Water Management District Water Release Form. <b>(Water Resources Agency)</b>	Submit the Water Release Form to the Water Resources Agency for review and approval.	Owner/ Applicant	Prior to issuance of any building permits.	
<b>Monterey County Regional Fire District</b>						
14.		<b>FIRE011 - ADDRESSES FOR BUILDINGS</b> All buildings shall be issued an address in accordance with Monterey County Ordinance No. 1241. Each occupancy, except accessory buildings, shall have its own permanently posted address. When multiple occupancies exist within a single building, each individual occupancy shall be separately identified by its own address. Letters, numbers and symbols for addresses shall be a minimum of 4-inch height, 1/2-inch stroke, contrasting with the background color of the sign, and shall be Arabic. The sign and numbers shall	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	

Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
		<p>be reflective and made of a noncombustible material. Address signs shall be placed at each driveway entrance and at each driveway split. Address signs shall be and visible from both directions of travel along the road. In all cases, the address shall be posted at the beginning of construction and shall be maintained thereafter.</p> <p>Address signs along one-way roads shall be visible from both directions of travel. Where multiple addresses are required at a single driveway, they shall be mounted on a single sign. Where a roadway provides access solely to a single commercial occupancy, the address sign shall be placed at the nearest road intersection providing access to that site. Permanent address numbers shall be posted prior to requesting final clearance. <b>(Monterey County Regional Fire District).</b></p>	Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection.	
15.		<p><b>FIRE022 - FIRE PROTECTION EQUIPMENT &amp; SYSTEMS - FIRE SPRINKLER SYSTEM - (HAZARDOUS CONDITIONS)</b></p> <p>The building(s) and attached garage(s) shall be fully protected with automatic fire sprinkler system(s). Installation shall be in accordance with the applicable NFPA standard. A minimum of four (4) sets of plans for fire sprinkler systems must be submitted by a California licensed C-16 contractor and approved prior to installation. This requirement is not intended to delay issuance of a building permit. A rough sprinkler inspection must be scheduled by the installing contractor completed prior to requesting a framing inspection. Due to substandard access, or other mitigating factors, small bathroom(s) and open attached porches, carports, and similar structures shall be protected with fire sprinklers. <b>(Monterey County Regional Fire District).</b></p>	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	
			Applicant shall schedule fire dept. rough sprinkler inspection	Applicant or owner	Prior to framing inspection	
			Applicant shall schedule fire dept. final sprinkler inspection	Applicant or owner	Prior to final building inspection	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
16.		<b>FIRE020 - DEFENSIBLE SPACE REQUIREMENTS (HAZARDOUS CONDITIONS)</b> Manage combustible vegetation within a minimum of 30 feet of structures (or to the property line). Limb trees 6 feet up from ground. Remove limbs within 10 feet of chimneys. Additional fire protection or firebreaks approved by the Reviewing Authority may be required to provide reasonable fire safety. Environmentally sensitive areas may require alternative fire protection, to be determined by Reviewing Authority and the Director of Planning and Building Inspection. <b>(Monterey County Regional Fire District)</b>	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	
17.		<b>FIRE028 - ROOF CONSTRUCTION - (CARMEL VALLEY FPD)</b> All new structures, and all existing structures receiving new roofing over 50 percent or more of the existing roof surface within a one-year period, shall require a minimum of ICBO Class A roof construction. <b>(Monterey County Regional Fire District)</b>	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	
			Applicant shall schedule fire dept. rough sprinkler inspection	Applicant or owner	Prior to framing inspection	
			Applicant shall schedule fire dept. final sprinkler inspection	Applicant or owner	Prior to final building inspection	

END OF CONDITIONS

**GENERAL**

- The drawings reflect Design services rendered to providing information necessary to apply for Building Permits from the County of Monterey. The plans do not, and are not intended to describe the building project requirements and in detail. It is the responsibility of the minimum amount of information normally required by the County of Monterey Building Department for building permit.
- All information and specifications on the plans shall be the responsibility of and supplied by the Owner, including, but not limited to, fixtures and exterior loads, finishes, door type, cabinet types, finish hardware, lighting and plumbing fixtures, and coordination of work with the selected Contractor and/or Subcontractor.
- The scope of work derivation of an existing single family residence and the construction of a new 750 SF, 1 story residence.
- Prior to the start of construction, the applicant/owner shall provide the location of a State of California Licensed Surveyor's or Civil Engineer's reference datum (marked prior to any grading) that shall be used to establish indicated elevations on submitted Plans and shall remain in place undisturbed throughout the entire construction work on this permit.
- The Contractor shall verify all connections, elevations and site conditions and become completely familiar with scope of work prior to starting construction. The Owner shall be notified of any omissions or discrepancies in the drawings or notes prior to the starting of construction.
- All dimensions are pre-construction over scale shown on plans. Specific notes and details take precedence over general notes and typical details.
- All work shall conform to 2007 California Building Code, 2007 California Plumbing, Mechanical and Electrical Codes and Title 24 regulations, 2005 California Energy Code.
- All hoists used in connection with any construction activities shall be equipped with a safety device and a certified steel erector.

**ARCHITECTURAL NOTES**

- Self-sealing gaskets for emergency egress from sleeping rooms shall not exceed 1/2 inch above finished floor.
- The minimum size of emergency egress door shall be 2'0" at 5'0" or by one story residence. The minimum net clear opening height shall be 3'4" and the minimum net clear opening width shall be 2'0". The minimum clear opening dimensions shall be a result from non-representation of the opening.
- Emergency egress and rescue openings shall be operational from the inside of the room without the use of keys or tools.
- Emergency egress doors shall be self-closing doors with minimum threshold height of 1/2 inch.
- Egress doors that are part of the fire-rated assembly shall have landings not more than 1/2 inch above their level, provided that the door does not swing open at the landing.
- All egress doors and windows shall be completely unobstructed.
- All egress doors in areas where egress is required shall be marked with a "P" for "Push" or "PULL" for "Pull".
- Common area doors shall be self-closing doors with minimum threshold height of 1/2 inch.
- Clearance over doors shall be minimum 2'0" (finished) above the ceiling and have a 1/4 inch clearance. Egress doors shall be marked with a "P" for "Push" or "PULL" for "Pull".
- Clearance over doors shall be minimum 2'0" (finished) above the ceiling and have a 1/4 inch clearance. Egress doors shall be marked with a "P" for "Push" or "PULL" for "Pull".

**EXTERIOR FINISH MATERIAL SPECIFICATIONS**

- The minimum requirements for exterior finish materials: 3 coats, minimum, 2 layers of Grade 3 prior coat wood over the existing wood wrap.
- The exterior finish materials shall be of a minimum of 1/2 inch thickness and shall be installed per local Fire District requirements. Packaging for roofing materials shall bear the manufacturer's and approved testing agency's label for load protection.

**TITLE 24 ENERGY REQUIREMENTS**

- The contractor is to provide the owner and the County Building Division with a copy of the CF-IR Final Inspection Certificate at the time of final inspection.
  - Developer or owner shall verify the Impaired CF-IR Form.
  - Impaired CF-IR Form (CF-IR Form) shall have a check mark next to the area of failure. Such deficiencies shall have a check mark or check box covering the entire opening or area.
- PRE-FABRICATED FIREPLACE REQUIREMENTS**
- Provide on site an approved listing number and manufacturer's installation instructions for factory-built chimneys and replace for field inspection.
  - The chimney shall have a minimum 2" separation excepted between combustible framing.
  - The chimney shall have a 1/4" air space.
- MECHANICAL REQUIREMENTS:**
- Provide certification for FAU (listing by ICCDO or other agency). Provide manufacturer's installation guide for field inspection.
  - A furnace installed on an attic shall:
    - be located not greater than 20 feet from the attic access.
    - have minimum 2'0" unobstructed level working space in front of the FAU.
    - have a continuous solid walkway at least 24 inches wide from access to furnace.
    - have a permanent electric outlet and a lighting fixture controlled by a switch located at the attic access should be provided at or near the furnace.
    - provide a means of egress (e.g. toggle switch) adjacent to and in sight from the equipment served.
  - Provide a service receptacle: A 120-V service receptacles shall be located within 25 feet of, and on the same level as, the equipment for maintenance. This receptacle is not to connect to the means of egress.
  - Vertical terminals shall terminate not less than 4 feet below 4 feet horizontally from, and not less than 1 foot above a door, an operable window or grating set into a building.
  - Exception: Vent terminals of electric appliances with inputs of 50,000 Btu/h or less at least 9 inches from opening. Appliances with inputs exceeding 50,000 Btu/h, but not exceeding 65,000 Btu/h shall require 12 inches vent terminal clearance. The bottom of the vent terminals shall be at least 12 inches above grade.
  - Venting systems shall terminate at least 3 feet above an outside or make-up-air inlet located within 10 feet.
- PLUMBING REQUIREMENTS:**
- A 70-mph high non-absorbent wall material in showers and approved alternative wall material to shower enclosure is required.
  - Venting for relief fixtures (ventilator fans) shall be designed per section 909.0 of the 2007 California Plumbing Code.

**Geotechnical Site Preparation Recommendations**

For those items not directly addressed, it is recommended that earthwork be performed in accordance with the following:

**Preparation:**  
Site preparation will consist of clearing and grubbing any existing structures and deleterious materials from the site, and the earthwork required to shape the site to receive the intended improvements. In accordance with the recommended grading specifications and the recommendations as provided above.

**General Fill:**  
General fill shall be placed only on approved surfaces, as engineered fill, and shall be compacted to 95% Relative Density. Native soils accepted for fill or subgrade aggregate fill may be used for fill purposes provided aggregate larger than 6 inches are removed.

**Imported Materials:**  
Materials imported for fill purposes shall be classified as: SAND, group symbol SW, SP, SC or SM, as given in ASTM 2487, "The Classification of Soils For Engineering Purposes." In all cases the portion finer than the No. 200 sieve shall not contain any graying expansive clays. All soils selected for fill purposes must be approved by the Soils Engineer prior to placement.

**Pavement Grades:**  
All pavement grades shall be of uniform thickness, density and moisture prior to placement of the next grade. Flexure of each or all grades shall not exceed Q25 inches in 5 feet under an axial load of 18.5 kip.

**Aggregate:**  
Base Course: All aggregates used for specified base courses, shall be humped in a manner which prevents segregation and non-uniformity of gradation.

**Structural Backfill:**  
Trench, wall and structural backfill shall be placed only on approved surfaces, as engineered fill, and shall be compacted to 95% Relative Density. Materials imported for backfill purposes shall have a Sand Equivalent of not less than 30 and shall be classified as Clean Sands, as designated in "The Classification of Soils For Engineering Purposes" (ASTM 2487).

**Compaction:**  
All re-compacted soils and/or engineered fill shall be placed at a minimum 90% Relative Density at the value required for that portion of the work. All pavement sections should be compacted to a minimum of 95% Relative Density.

**Moisture:**  
During compaction moisture content of native soils should be that consistent with the moisture relative to 95% Relative Density and in no case should these materials be placed at less than 3 percent above the specific optimum moisture content for the soil in question. The engineer may elect to accept high moisture compacted soils provided the materials are at 95% Relative Density at that moisture content.

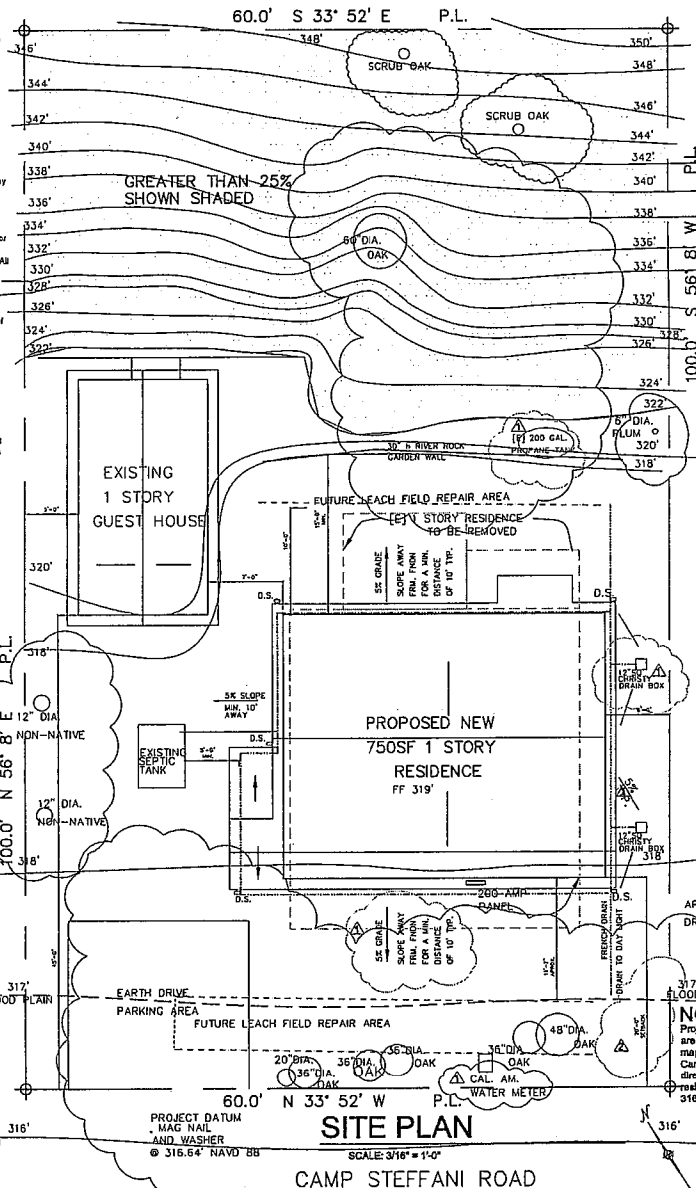
**Tests:**  
All materials placed should be tested in accordance with the Compaction Control Test: "Density of Soil In-Place by Sand Cone Method" (ASTM D-1556), "Moisture-Density Relationship of Soils" (ASTM D-1557), and "Density of Soil In-Place by Nuclear Method" (ASTM D-2922).

**Deleterious Materials:**  
Materials containing an excess of 5% (by weight) of vegetable or other deleterious matter may be utilized in areas of landscaping or other non-structural fills. Deleterious materials include all (1) vegetable and non-vegetal material, and all non-crystalline stone, rubble and/or milled material of greater than 6 inches.

**Over-Excavations:**  
Over-excavations should include the foundation and pavement envelopes. Such excavation should extend beyond edge of development a minimum of 5 feet and an imaginary line extending away at a slope of 45 degrees from the edge of development. The process shall include the complete removal of the required soils and subsequent placement of approved fill. After removal of the soils to the required depth, the base of the excavation shall be inspected and approved by the Soils Engineer or his representative prior to further soils processing or placement. Based on this inspection other recommendations may be made.

**Native Trees:**  
Native trees located close to the construction site shall be protected from inadvertent damage from construction equipment by wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip line or the retained base. Said protection shall be demonstrated in the form of photos prior to the issuance of building permits subject to the approval of the Director of Planning and Building Inspection, (Planning and Building Inspection)

- All trees within 20 feet of grading activities shall be protected.
- No native trees shall be removed.



**INDEX**

A.1	PROJECT INFO/SPECIFICATIONS/SITE PLAN
A.1-1	SEDIMENTATION/EROSION/WUI REQUIREMENTS
A.2	FIRST FLOOR PLAN / SECTION
A.3	ELEVATIONS
T.1	TITLE 24 ENERGY CALCULATION
S.1	FOUNDATION PLAN / DETAILS
S.2	ROOF FRAMING PLAN / DETAILS

**PROJECT INFORMATION**

FLOOR AREA		S.F.
SINGLE STORY RESIDENCE	750.00	
MISCELLANEOUS STRUCTURE	590.00	

LOT COVERAGE		S.F.
EXISTING & PROPOSED STRUCTURE	1,250.00	
EXISTING DRIVEWAYS	290.00	
PROPOSED DRIVEWAYS	0.00	
<b>TOTAL</b>	<b>1,640.00</b>	
<b>LOT AREA</b>	<b>6,000.00</b>	
<b>COVERAGE %</b>	<b>27.3%</b>	

**Occupancy Group:** R-3

**Construction Type:** V-B

**STORIES:** 1

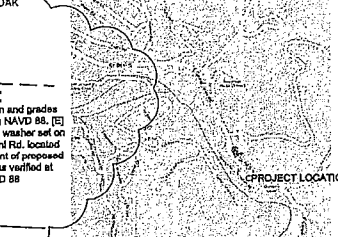
**ENERGY METHOD:** Microspac V6.01

**SPRINKLER SYSTEM:** [REDACTED]

**GEOTECH REPORT:** n/a

**CODE EDITIONS:** 2007 California Building Code, 2007 California Plumbing, Mechanical and Electrical Codes, Title 24 CCR, 2005 California Energy Code.

**OWNER:**  
Buck and Lisa Blackwell  
19 Camp Steffani Road  
Carmel Valley CA 93924  
Phone: (831) 921-7898



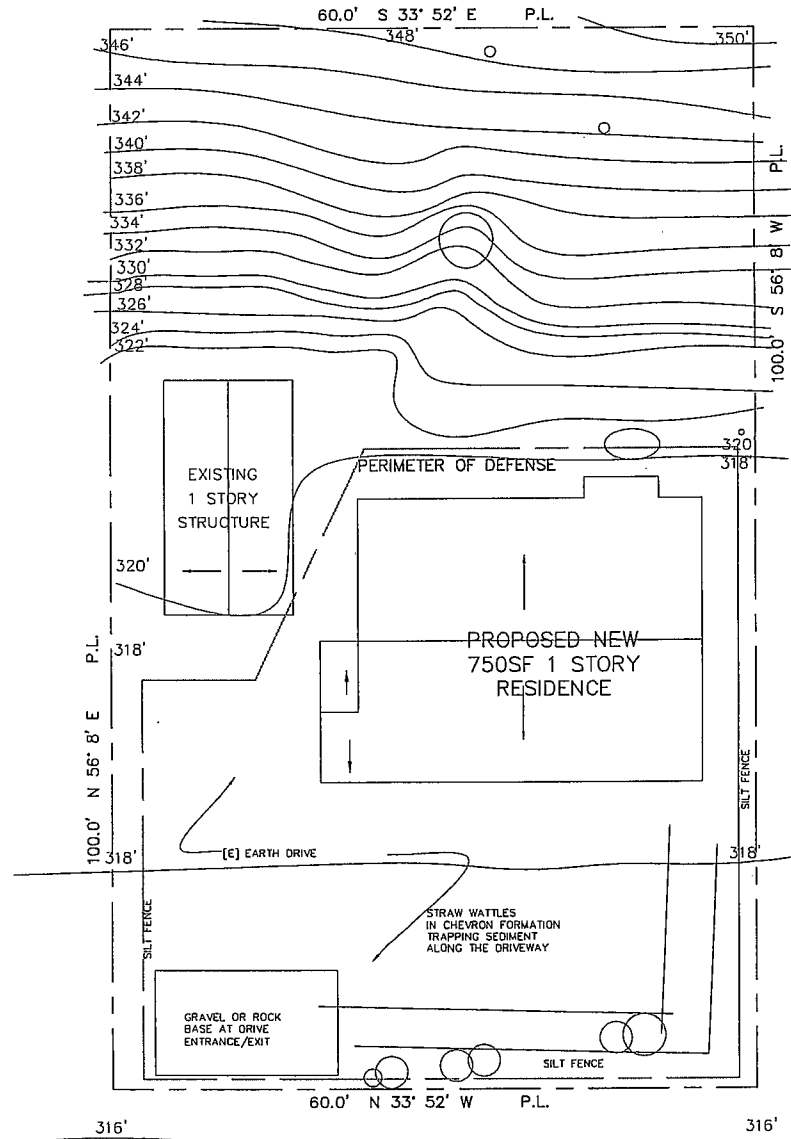
REVISIONS	BY
01-12-11	WJ
02-24-11	WJ

**PATTERSON AND ASSOCIATES**  
ENGINEERING AND DESIGN SERVICES  
17955 BERTA CANYON RD.  
SALINAS, CA 93907  
Ph: (831) 809-7469



**PROJECT FOR:** BLACKWELL RESIDENCE  
89 Camp Steffani Road  
Carmel Valley, CA 93924  
APR 11 10:50 AM '11

**DATE:** 09-20-10  
**DRAWN BY:** D.T.  
**CHECKED BY:** W.C.



**SEDIMENTATION AND EROSION CONTROL PLAN**

SCALE: 3/16" = 1'-0"

**DUST CONTROL:**

1. All material excavated or graded shall be sufficiently watered to prevent excessive amounts of dust. Watering shall occur at least twice daily with complete coverage, preferably in late morning and after work is finished for the day.
2. All clearing, grading, earth moving, or excavation activities shall cease during periods of high winds (i.e. greater than 20 mph averaged over one hour) so as to prevent excessive amounts of dust.
3. All material transported off-site shall be either sufficiently watered or securely covered to prevent excessive amounts of dust.
4. The area disturbed by clearing, grading, earth moving, or excavation operations shall be minimized so as to prevent excessive amounts of dust.
5. Permanent dust control measures such as re-vegetation and landscaping shall be implemented.
6. All disturbed areas are to be seeded to minimize erosion, unless permanent landscaping is installed concurrently with construction. Vegetation should be well established prior to final inspection.

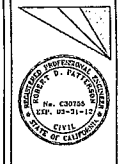
**EROSION CONTROL:**

1. During winter operations (between October 15 and April 15), the following measures must be taken:
  - Disturbed surfaces not involved in the immediate operations must be protected by mulching and/or other effective means of soil protection.
  - All roads and driveways shall have drainage facilities sufficient to prevent erosion on or adjacent to the roadway or on the downhill properties.
  - Runoff from the site shall be detained or filtered by berms, vegetated filter strips, and/or catch basins to prevent the escape of sediment from the site.
  - Drainage control measures shall be maintained and in place at the end of each day and continuously throughout the life of the project during winter operations.
2. Management practices installed must ensure that soils, sediment and debris do not leave the construction site.
3. Disturbed soil surfaces shall be protected and stabilized by seeding and covering with straw mulch (1" thick min.) placement of straw mats and blankets, or other methods deemed necessary. Vegetation must be established prior to rains to be considered effective erosion control.
4. If construction occurs during wet season, the project boundary and any areas of concentrated runoff shall be protected by silt fence placement.
5. Necessary measures shall be taken to prevent soil and mud tracking onto the street when vehicles leave the construction site.
6. All necessary measures shall be taken to prevent offsite runoff, including street runoff, from entering the construction site.



REVISIONS	BY

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**ENGINEERING AND DESIGN SERVICES**  
 17953 BERTA CANYON RD.  
 SALINAS, CA. 93907  
 Ph: (831) 809-7469



PROJECT FOR:  
**BLACKWELL RESIDENCE**  
 88 Camp Street Road  
 Carmel Valley, CA 93921  
 APN # 187-001-012-000

DATE: 09-28-10  
 DRAWN BY: O.T.  
 CHECKED BY: W.C.

A.1-1



REVISIONS	BY

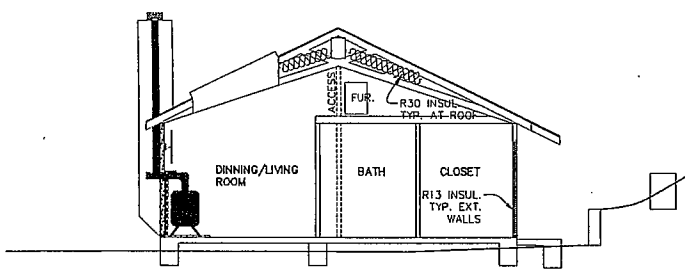
PATTERSON AND ASSOCIATES  
 ENGINEERING AND DESIGN SERVICES  
 17953 BERTA CANYON RD.  
 SALINAS, CA. 93807  
 Ph: (831) 809-7489



PROJECT FOR: **BLACKWELL RESIDENCE**  
 89 Camp Stanford Road  
 Carmel Valley, CA. 93924  
 APN # 187-061-012-000

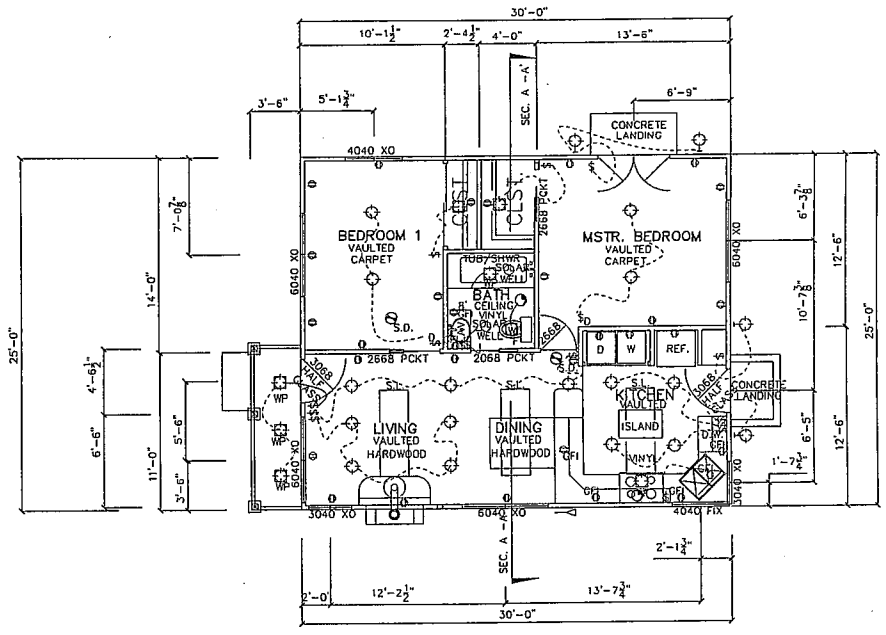
DATE: 00-10-10  
 DRAWN BY: C.T.  
 CHECKED BY: W.C.

A2



**SECTION A - A'**

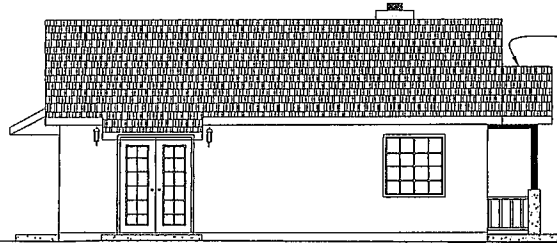
SCALE: 1/4" = 1'-0"



**FLOOR PLAN**

SCALE: 1/4" = 1'-0"

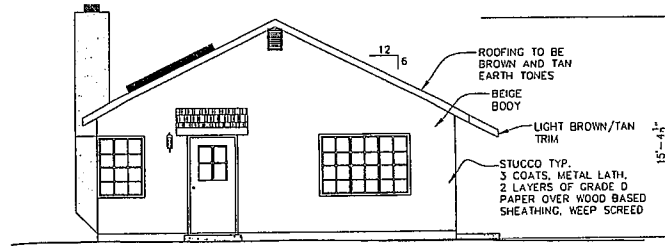




50 YR ELK ASPHALT SHINGLES  
 NOTE: The roof material's fire-resistance classification (Type A or B) for all roofing materials per local Fire District requirements. Packaging for roofing materials shall bear the manufacturer's and approved testing agency's labels for field inspection.

**NORTH ELEVATION**

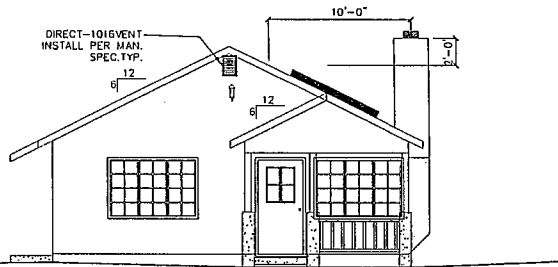
SCALE: 1/4" = 1'-0"



ROOFING TO BE BROWN AND TAN EARTH TONES  
 BEIGE BODY  
 LIGHT BROWN/TAN TRIM  
 STUCCO TYP.  
 3 COATS, METAL LATH,  
 2 LAYERS OF GRADE 0 PAPER OVER WOOD BASED SHEATHING, WEEP SCREED

**WEST ELEVATION**

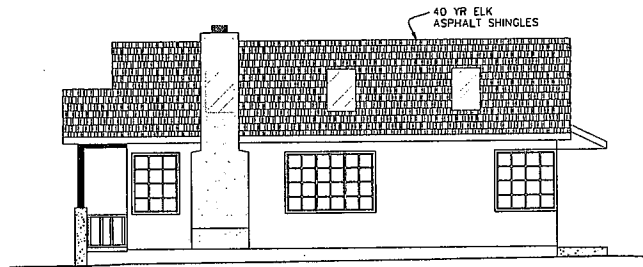
SCALE: 1/4" = 1'-0"



DIRECT-1016 VENT  
 INSTALL PER MAN.  
 SPEC. TYP.

**EAST ELEVATION**

SCALE: 1/4" = 1'-0"



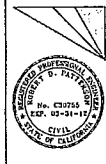
40 YR ELK ASPHALT SHINGLES

**SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"

REVISIONS	BY

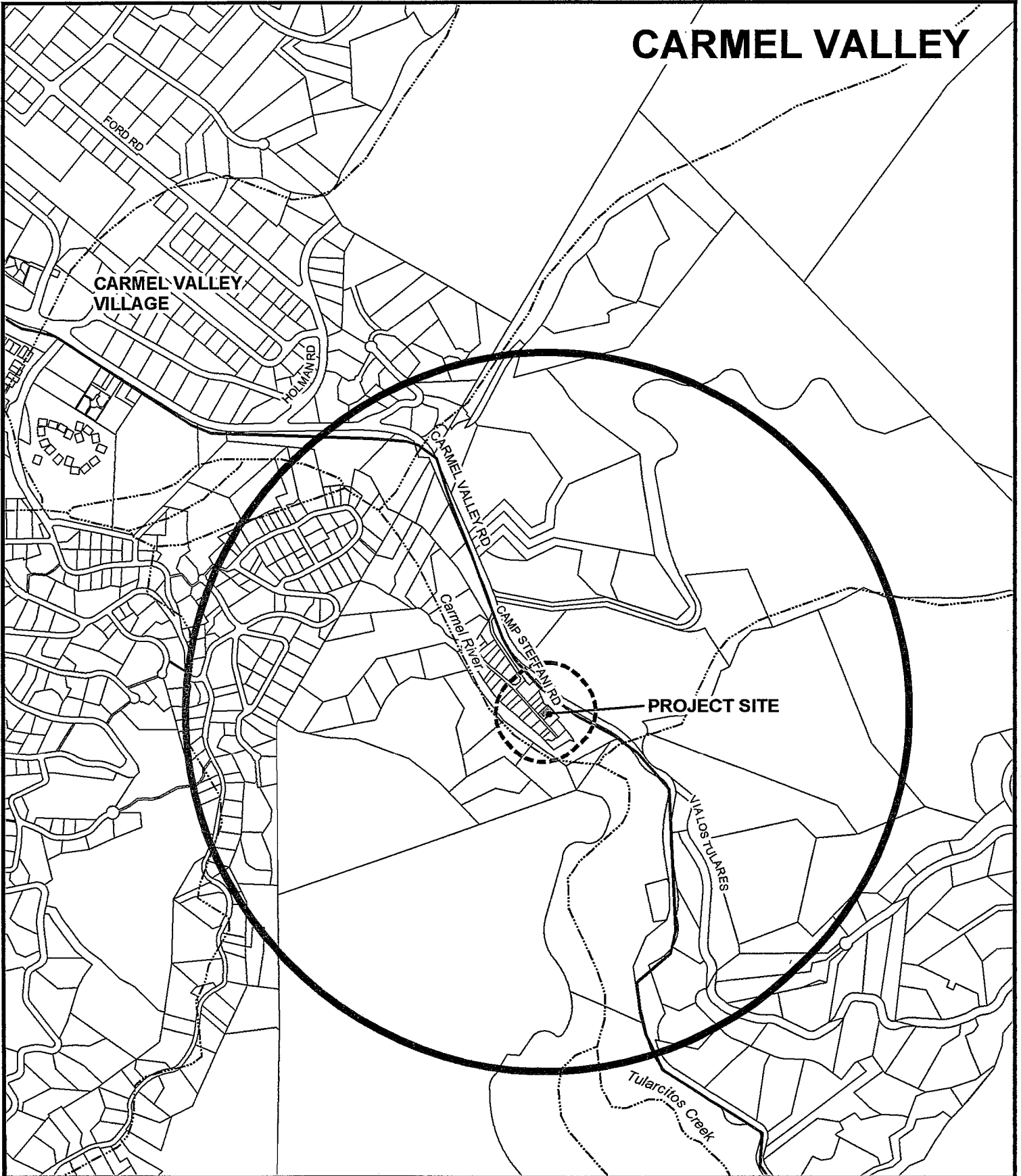
**PATTERSON AND ASSOCIATES**  
 ENGINEERING AND DESIGN SERVICES  
 17953 BERTA CANYON RD.  
 SALINAS, CA 93907  
 PH: (831) 809-7469



PROJECT FOR  
**BLACKWELL RESIDENCE**  
 80 Camp Stafford Road  
 Carmel Valley, CA 93924  
 APN # 197-061-512-000

DATE: 06-10-10  
 DRAWN BY: O.T.  
 CHECKED BY: W.C.

# CARMEL VALLEY



APPLICANT: BLACKWELL

APN: 197-091-012-000

FILE # PLN100257

 Water  2500' Limit  300' Limit  City Limits

