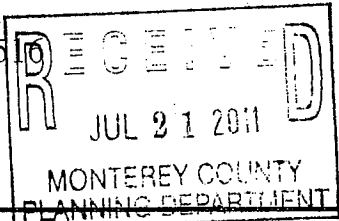


MONTEREY COUNTY RESOURCE MANAGEMENT AGENCY
PLANNING DEPARTMENT168 West Alisal, 2nd Floor, Salinas, CA 93901
Telephone: (83) 755-5025 Fax: (831) 757-9511
<http://www.co.monterey.ca.us/planning>

DESIGN APPROVAL REQUEST FORM

ASSESSOR'S PARCEL NUMBER: 161-081-009-000PROJECT ADDRESS: 68 Paseo de Vaqueros, Salinas CA 93908PROPERTY OWNER: Scott & Micki Johnson

Telephone: _____

Address: P.O. Box 120

Fax: _____

City/State/Zip: Salinas, CA 93902

Email: _____

APPLICANT: _____

Telephone: _____

Address: _____

Fax: _____

City/State/Zip: _____

Email: _____

AGENT: Derek JohnsonTelephone: 831-757-5554Address: P.O. Box 2503Fax: 831-757-2226City/State/Zip: Salinas, CA 93902Email: derek@centralcoastengineers.comMail Notices to: ☒ Owner ☐ Applicant ☐ Agent

(Check only one)

PROJECT DESCRIPTION: (Attach Scope of Work) New Single Family DwellingMATERIALS TO BE USED: Tru Wood Siding, Tru Wood Trim, TimberlineCOLORS TO BE USED: Body = Dunn-Edwards "Serpentine" Trim = Dunn-Edwards "Tan-Plan" Roof = Shingles

You will need a building permit and must comply with the Monterey County Building Ordinance. Additionally, the Zoning Ordinance provides that no building permit be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit.

PROPERTY OWNER/AGENT SIGNATURE: _____

DATE: 7/21/2011

FOR DEPARTMENT USE ONLY

ZONING: LDRGENERAL/AREA PLAN: TORO APADVISORY COMMITTEE: TORO AC

RELATED PERMITS: _____

PLANNER: _____

LUAC REFERRAL: ☐ YES ☐ NODOES THIS CORRECT A VIOLATION? ☐ YES ☒ NOWITHIN ARCH BUFFER ZONE? ☐ YES ☐ NODECISION: ☐ ADMINISTRATIVE ☒ PUBLIC HEARINGLEGAL LOT: San Benancio Village ☒ YES ☐ NO

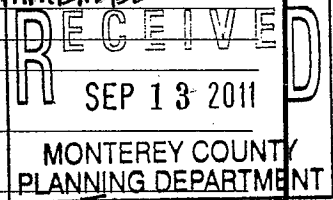
GIVEN OUT BY: _____ DATE: _____

ACCEPTED BY: dh DATE: 07/21/11COMMENTS: Arch. Rpt. required

ADVISORY COMMITTEE RECOMMENDATION

☒ APPROVAL ☐ DENIALFor: 6 Against: 0 Abstain: 0 Absent: 2Was the Applicant Present? ☒ YES ☐ NO

Recommended Changes: _____

APPROVED WITH RECOMMENDATION
SEPTIC TANKSignature: WJDate: 9-12-11APPROPRIATE AUTHORITY: ☐ DIRECTOR OF P & B I ☒ ZONING ADMINISTRATOR ☐ PLANNING COMMISSIONACTION: ☒ APPROVED ☐ DENIEDCONDITIONS: See attached Conditions.APPROVED BY: Jaqueline R. OnciegoDATE: 9/29/11PROCESSED BY: Muhle + medraDATE: 10/13/11COPY TO APPLICANT: ☐ IN PERSON OR ☒ MAILEDDATE: 10/13/11

STATEMENT OF PLANNING SCOPE OF WORK

(COASTAL ONLY)

PLEASE CHECK "YES" OR "NO" FOR ALL BOXES

- | | Yes | No | |
|-----|-------------------------------------|-------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Project is for residential use. |
| 2. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | The project is commercial use. |
| 3. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | The project is for agricultural use. |
| 4. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | The project is for industrial use. |
| 5. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | The project is public or quasi/public. |
| 6. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | The project includes a subdivision/lot line adjustment. |
| 7. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | The project is for cell site, telecom (digital) communication facility/site. |
| 8. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Project includes construction of a new structures. |
| 9. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Project includes enlarging, altering, repairing, moving, improving, or removing an existing structures. If "yes" describe _____ |
| 10. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | The project includes demolition work. If "yes" describe _____ |
| 11. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Project includes replacement and/or repair of (50%) or more of the exterior walls of a structure. |
| 12. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Project includes historical structure or a structure more than fifty (50) years old. |
| 13. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Project includes an accessory structure(s) If "yes" describe _____ |
| 14. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Project includes the placement of a manufactured home, mobile home, modular or prefabricated unit. <input type="checkbox"/> Private property <input type="checkbox"/> Park installation _____ (mobile home park) |
| 15. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Project includes retaining walls, sea wall, riprap. |
| 16. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | The project includes constructing, enlarging, altering, repairing, moving, improving or removing a septic tank/system. |
| 17. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | The project includes constructing, enlarging, altering, repairing, moving, improving or removing a well. |
| 18. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Project is associated with a new or improvements to a water system. _____ water system _____ number of connections. |
| 19. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Project includes removal of trees. If "yes", type _____ size _____ number _____ |
| 20. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Project includes grading, dirt importation, dirt removal, and/or drainage changes. |
| 21. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Project is visible from a public area. (public road, park, slough, beach, trail) |
| 22. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Project is located on a slope/hillside. (30 percent (25 percent-North County) |
| 23. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Project is located within 50 feet of bluff. |
| 24. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Project is located within 100 feet of seasonal or permanent drainage, lake, marsh, ocean, pond, slough, stream, wetlands. If "yes", describe <u>Creek near back property line</u> |
| 25. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Project includes the use of roofing materials that are different in type and/or color from the original materials. If "yes", describe _____ |
| 26. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | The project includes site grading and/or site drainage changes. |
| 27. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | The project includes a historical structure, or a structure older than fifty (50) years. |
| 28. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | The project includes an accessory structure(s). If "yes", describe _____ |
| 29. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Project is change or modification to an approved application. |
| 30. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Project involves or includes an existing or proposed trail or easement. |
| 31. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Project involves new, change or modifications to existing utilities and/or power lines. |

PLEASE DESCRIBE COMPLETELY AND FULLY THE PROJECT YOU ARE APPLYING FOR.
INCLUDE INFORMATION ON ALL QUESTIONS ANSWERED WITH A "YES".

Construct New Single Family Dwelling

I hereby certify that the above information is complete and correct. I certify that I am the property owner or that I am authorized to act on the property owner's behalf.

[Signature]
Signature

7/21/2011
Date



MONTEREY COUNTY GENERAL PLAN POLICY CONSISTENCY/
SCOPE OF WORK CHECKLIST (Inland Only)

To be completed by Applicants

| | |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------|
| PROPERTY OWNER: | APN: 161-081-009-000 |
| LAND USE DESIGNATION: | ADDRESS: 68 Paseo de Vaqueros, Salinas 93908 |
| AREA PLAN: <input type="checkbox"/> Cachagua Area Plan (CACH) <input type="checkbox"/> Carmel Valley Master Plan (CV) <input type="checkbox"/> Central Salinas Valley Area Plan (CSV) <input type="checkbox"/> Fort Ord Master Plan (FOMP) <input type="checkbox"/> Greater Monterey Peninsula Area Plan (GMP) <input type="checkbox"/> Greater Salinas Area Plan (GS) <input type="checkbox"/> North County Area Plan (NC) <input type="checkbox"/> South County Area Plan (SC) <input checked="" type="checkbox"/> Toro Area Plan (T) <input type="checkbox"/> Agriculture & Winery Corridor Plan (AWCP) | PROJECT DESCRIPTION: |

GENERAL QUESTIONS

(see back of questionnaire for General Plan policy references)

| | |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Type of Development: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Agricultural <input type="checkbox"/> Public or Quasi-Public <input type="checkbox"/> Industrial | |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Does the project include a historical structure or a structure more than fifty (50) years old? |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Does the project include the placement of a manufactured home, mobile home, modular or prefabricated unit? If yes: <input type="checkbox"/> Private property <input type="checkbox"/> Mobile Home Park |
| <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | Does the project involve any kind of change to existing utilities and/or power lines? |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Does the project propose a modification to an approved permit or entitlement? |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Does the project require a lot line adjustment or subdivision of land? |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Does the project include a subdivision creating five or more lots, or new commercial/industrial use that creates intensity equal to or greater than five residences? |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Is the project located within the sphere of influence/MOU of an incorporated area (City)? |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Is the project located within a Community Area? If yes, which area: <input type="checkbox"/> Boronda <input type="checkbox"/> Castroville <input type="checkbox"/> Chualar <input type="checkbox"/> Fort Ord/East Garrison <input type="checkbox"/> Pajaro |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Is the project located within a Rural Area? If yes, which area: <input type="checkbox"/> Bradley <input type="checkbox"/> Lockwood <input type="checkbox"/> Pine Canyon (King City) <input type="checkbox"/> Pleyto <input type="checkbox"/> River Road/Pine Canyon (Salinas) <input type="checkbox"/> San Ardo <input type="checkbox"/> San Lucas |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Is the project located within ¼ mile of a public airport? |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Does the project propose an accessory housing unit? |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Does the project require the removal of native vegetation? |
| <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | Will the project be located within 150 feet of a creek/river/natural drainage or within a floodplain? |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Does the project propose tree removal? If yes, will the project require more than three trees to be removed? <input type="checkbox"/> Yes <input type="checkbox"/> No |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Does the project include grading, dirt importation, dirt removal, and/or natural drainage changes? |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Will the project be connected to an existing individual well or private water system? If yes, does the project include constructing, enlarging, altering, repairing, moving, or removing a well? <input type="checkbox"/> Yes <input type="checkbox"/> No |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Will the project be associated with a new or currently improved water system? |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Does the project include a new or existing wastewater system (e.g. septic)? If yes, does the project include constructing, enlarging, altering, repairing, moving, or removing a septic tank/system? <input type="checkbox"/> Yes <input type="checkbox"/> No |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Does the project propose development on slopes over 25%? |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Does the project propose ridgeline development? |
| <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | Would any portion of the proposed development be visible from a public road, designated vista point, or public park? If yes, is it located on a slope or near the top of a hill? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Does the project include cultivation of land that is currently not cultivated? |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Does the project propose non-agricultural uses adjacent to agricultural uses? |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Is the project located within the winery corridor? If yes, which area? <input type="checkbox"/> Arroyo Seco/River Road <input type="checkbox"/> Metz Road <input type="checkbox"/> Jolon Road |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Does the project propose or require affordable/low-income housing? |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Does the project require a General Plan Amendment? |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Is the project located within a Special Treatment Area? (see back for special treatment area locations) |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Is the project located within a Study Area? If yes, which area: <input type="checkbox"/> Gardiner/Tennis Club <input type="checkbox"/> Espinosa Road <input type="checkbox"/> Spence/Potter/Encinal Road |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Does the project involve or include an existing or proposed trail or easement. |

I, the undersigned, have authority to submit application for a permit on the subject property. I have completed this questionnaire accurately based on the proposed project description and to the best of my ability. I understand that Monterey County may require project changes or some other permit/entitlement if the project is found to be inconsistent with any General Plan policy.

Signature

Date

7/21/2011

Print Name:

Derek Johnson

| Staff Use Only | | |
|----------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------|
| BASED ON REVIEW OF THE PROJECT DESCRIPTION PROPOSED, THE PROJECT IS: | <input type="checkbox"/> CONSISTENT WITH THE 2010 MONTEREY COUNTY GENERAL PLAN <input type="checkbox"/> INCONSISTENT WITH THE 2010 MONTEREY COUNTY GENERAL PLAN | |
| NOTES / COMMENTS: | | |
| PLANNER: | PLANNING TEAM: | DATE: |

| POLICY REFERENCE BASED ON TOPIC | |
|----------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| GENERAL PLAN AMENDMENT | LU-1.7, LU-2.18, LU-2.19, LU-2.21, LU-2.23, LU-2.24, LU-2.27, LU-2.29, LU-6.5, LU-9.6 thru LU-9.8, GS-1.11, CSV-1.4, PS-3.1, OS-5.20, OS-8.6, |
| WITHIN CITY SPHERE OF INFLUENCE OR MEMORANDUM OF UNDERSTANDING | LU-2.14 THRU LU-2.19, AG-1.12, GS-1.14 |
| COMMUNITY AREAS | LU-1.8, LU-1.19, LU-2.3, LU-2.10 thru LU-2.12, LU-2.20 thru LU-2.27, LU-2.29, LU-9.5, C-1.1, OS-3.6, OS-5.17, OS-8.6, OS-9.2, OS-10.10, T-1.7, AWCP-3.4A, NC-1.5, GS-1.1, GS-1.13, AG-1.3, AG-1.4,PS-1.1, PS-1.2, PS-3.1, PS-4.13, PS-5.1, PS-8.2, PS-11.14, S-2.5, S-5.17, S-6.4, S-6.5, |
| RURAL CENTERS | LU-1.8, LU-1.19, LU-2.3, LU-2.11, LU-2.12, LU-2.26 thru LU-2.32,OS-5.17, OS-9.2, OS-10.10, T-1.7, T-1.8, AWCP-3.4A, NC-1.5, GS-1.13, AG-1.3, PS-1.1, PS-1.2, PS-3.1, PS-4.13, PS-5.1, PS-8.2, S-5.17, S-6.5, |
| SPECIAL TREATMENT AREAS (see Special Treatment area locations below) | T-1.4, T-1.8, GS-1.1 thru GS-1.3, GS-1.10, GS-1.12, GMP-1.6 thru GMP-1.9, CSV-1.1, CSV-1.3, CSV-1.5 thru CSV-1.7, CV-1.22, CV-1.23, CV-1.25, CV-1.27, CACH-1.5, |
| STUDY AREAS | GS-1.7, GS-1.11, CSV-1.4, CV-1.26 |
| WINERY CORRIDOR | AG-4.1 thru AG-4.5, AWCP |
| DEVELOPMENT OUTSIDE COMMUNITY AREAS OR RURAL CENTERS | LU-1.19, S-2.7, OS-3.6 |
| DEVELOPMENT ON SLOPES OVER 25% | LU-9.5, OS-3.5, OS-3.6, OS-3.9, S-1.2, CV-2.9, CV-6.2, CV-6.4, CV-6.5, FOMP-A-6, GMP-4.1, GS-1.1, GS-3.1, NC-1.3, NC-3.9, NC-3.10, T-3.6 |
| RIDGELINE DEVELOPMENT | OS-1.3 thru OS-1.6 |
| CONVERSION TO AGRICULTURE | OS-3.5, OS-5.22, AG-1.6, AG-1.7, AG-1.12, AG-2.9, AG-3.3NC-3.10, NC-3.11, CV-6.2, CV-6.4, |
| ROUTINE AND ON-GOING AG ACTIVITIES | AG-3.1 thru AG-3.3 |
| NON-AG ADJACENT TO AG USES | LU-1.5, LU-2.8, AG-1.2, AG-2.8, CV-6.1, GS-1.1, T-1.8 |
| AGRICULTURE (F, PG, & RG) | LU-3.1, LU-3.2, 6.0 – AGRICULTURE ELEMENT |
| FARM WORKER HOUSING | AG-1.6 |
| AG EMPLOYEE HOUSING | AG-1.7 |
| AG SUPPORT FACILITIES | AG-2.1 thru AG-2.9 |
| RURAL RESIDENTIAL (LDR, RDR, & RC) | LU-2.34 thru LU-2.37 |
| URBAN RESIDENTIAL (HDR & MDR) | LU-2.33 |
| COMMERCIAL (LC, HC, & VPO) | LU-4.1 thru LU-4.8, ED-2.3, ED-4.2 |
| INDUSTRIAL (AI, LI, & HI) | LU-5.1 thru LU-5.9, ED-2.3, ED-4.2 |
| PUBLIC / QUASI PUBLIC (PQP) | LU-6.1 thru LU-6.5 |
| AFFORDABLE HOUSING | LU-1.19, LU-2.11 thru LU-2.13, LU-2.23, LU-2.28, T-1.7, T-1.8, NC-1.5, GS-1.13, GMP-1.9, FOMP-H-1.1, FOMP-C.3, CV-1.6, CV-1.27 |
| ACCESSORY HOUSING UNIT | LU-2.10, CV-1.6, GS-1.13, NC-1.5, T-1.7, PS-1.1 |
| SUBDIVISION | LU-1.7, LU-9.3 thru LU-9.5, AG-1.3, NC-1.5, AWCP-3.5.A, T-1.5, T-1.7, GS-1.13, CV-1.6, CV-1.7, PS-1.1, PS-3.2, PS-3.9, PS-3.19, PS-4.9, PS-4.13, PS-11.10, S-1.7, S-2.7, S-4.10, S-4.27, S-6.7, OS-1.5, OS-1.10, OS-6.5, OS-7.5, OS-8.4, |
| LOT LINE ADJUSTMENT | LU-1.14 thru LU-1.16 |
| OFF-SITE ADVERTISING | LU-1.10 |
| EXTERIOR LIGHTING | LU-1.13 |
| LANDSCAPING | OS-5.6, OS-5.14 |
| TREE REMOVAL | OS-5.9, OS-5.10, OS-5.25, PS-12.10, CACH-3.4, CV-3.11, FOMP-C-1, FOMP-C-2.1 thru FOMP-C-2.5, GMP-3.3, GMP-3.5, GS-1.5, GS-1.8, GS-3.3, NC-3.4, T-3.7. |
| CIRCULATION (e.g. roads, transportation) | Chapter 2.0 |

| SPECIAL TREATMENT AREAS | |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <ul style="list-style-type: none"> Syndicate Camp (CACH) Carmel Valley Ranch (CV) Condon/Chuhach Property (CV) Rancho San Carlos (CV/GMP) Rancho Canada Village (CV) Spence/Potter/Encinal Roads (CSV/GS) Old Misi3n School (CSV) Lohr (CSV) Miller’s Lodge (CSV) | <ul style="list-style-type: none"> Paraiso Hot Springs (CSV) White Rock Club (GMP) San Clemente Rancho (GMP) Jefferson (GMP) Butterfly Village (GS) Highway 68/Foster Road (GS) Greco (T) Mohsin/Samoske (T) |

RESOLUTION 11-041 - EXHIBIT B
Monterey County Resource Management Agency
Planning Department
Condition Compliance Plan

Project Name: JOHNSON

File No: PLN110411

APNs: 161-081-009-000

Approved by: Zoning Administrator

Date: September 29, 2011

**Monitoring or Reporting refers to projects with an EIR or adopted Mitigated Negative Declaration per Section 21081.6 of the Public Resources Code.*

| <i>Permit Cond. Number</i> | <i>Mitig. Number</i> | <i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i> | <i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i> | <i>Responsible Party for Compliance</i> | <i>Timing</i> | <i>Verification of Compliance (name/date)</i> |
|------------------------------------|--------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------|------------------------------------------|-----------------------------------------------------------|
| RMA – Planning Department | | | | | | |
| 1. | | <p>PD001 - SPECIFIC USES ONLY</p> <p>This Design Approval (PLN110411) allows a new 2,454 square foot one-story single family dwelling with a 602 square foot attached garage, a 240 square foot covered entry porch, and a 160 square foot covered rear porch. Materials and colors: exterior TruWood siding (Dunn Edwards green/DE5502), TruWood trim (Dunn Edwards Tan Plan/DE6137), roofing (Timberline 40 year composition shingles/shakewood color), wood decking, off-white vinyl windows, and Country LedgeStone cultured stone accents/Carmel color). The property is located at 68 Paseo De Vaqueros (Assessor's Parcel Number 161-081-009-000), Toro Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the following terms and conditions. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of the RMA - Planning Department. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is</p> | Adhere to conditions and uses specified in the permit. | Owner/ Applicant | Ongoing unless otherwise stated | |

| <i>Permit Cond. Number</i> | <i>Mitig. Number</i> | <i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i> | <i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i> | <i>Responsible Party for Compliance</i> | <i>Timing</i> | <i>Verification of Compliance (name/date)</i> |
|------------------------------------|--------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------|------------------------------------------------|-----------------------------------------------------------|
| | | allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning Department) | | | | |
| 2. | | PD003(A) – CULTURAL RESOURCES – NEGATIVE ARCHAEOLOGICAL REPORT If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. The Monterey County RMA - Planning Department and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery. (RMA - Planning Department) | Stop work within 50 meters (165 feet) of uncovered resource and contact the Monterey County RMA - Planning Department and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery. | Owner/ Applicant/ Archaeo- logist | Ongoing | |
| 3. | | PD012(F) - LANDSCAPE PLAN AND MAINTENANCE (SINGLE FAMILY DWELLING ONLY) The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of the RMA - Planning Department. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an | Submit landscape plans and contractor's estimate to the RMA - Planning Department for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. | Owner/ Applicant/ Licensed Landscape Contractor/ Licensed Landscape Architect | Prior to issuance of Building Permits | |
| | | | Landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County | Owner/ Applicant/ Licensed | Prior to Occupancy | |

| <i>Permit Cond. Number</i> | <i>Mitig. Number</i> | <i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i> | <i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i> | <i>Responsible Party for Compliance</i> | <i>Timing</i> | <i>Verification of Compliance (name/date)</i> |
|------------------------------------|--------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------|--------------------------------------------|-----------------------------------------------------------|
| | | | for that cost estimate shall be submitted to the Monterey County RMA - Planning Department. | Landscape Contractor/ Licensed Landscape Architect | | |
| | | | All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. | Owner/ Applicant | Ongoing | |
| 4. | | PD014(A) – LIGHTING – EXTERIOR LIGHTING PLAN All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The applicant shall submit 3 copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations, Title 24, Part 6. The exterior lighting plan shall be subject to approval by the Director of the RMA - Planning Department, prior to the issuance of building permits. (RMA – Planning Department) | Submit three copies of the lighting plans to the RMA - Planning Department for review and approval. Approved lighting plans shall be incorporated into final building plans. | Owner/ Applicant | Prior to the issuance of building permits. | |
| | | | The lighting shall be installed and maintained in accordance with the approved plan. | Owner/ Applicant | Prior to Occupancy /Ongoing | |
| | | | Proof of recordation of the document shall be submitted to the RMA – Planning Department. | Owner/ Applicant | Prior to occupancy or commencement of use | |
| 5. | | PD035 - UTILITIES - UNDERGROUND All new utility and distribution lines shall be placed underground. (RMA - Planning Department; Public Works) | Install and maintain utility and distribution lines underground. | Owner/ Applicant | Ongoing | |

END OF CONDITIONS

Rev. 12/10/2010