

MONTEREY COUNTY PLANNING COMMISSION

Meeting: January 31, 2007	Time: 9:15 AM	Agenda Item No.: 2
Project Description: A report on Planning File No. PLN040720 to review compliance with the Regulations for Bed and Breakfast Facilities, the status of the Condition Compliance Reporting Plan, and associated Code Enforcement activities. Planning File No. PLN040720 was approved in 2005 as a Use Permit and Design Approval to allow the conversion of an existing single family residence to a Bed and Breakfast.		
Project Location: 350 Calle de Los Agrinemsors Road, Carmel Valley		APN: 189-531-004-000
Planning File Number: PLN040720		Name: Williams Tim Arthur Et Al, Property Owner
Plan Area: Carmel Valley Master Plan		Flagged and staked: No
Zoning Designation: "LDR/B-6-D-S" [Low Density Residential with Building Site, Design Control, and Site Plan Review zoning district overlays]		
CEQA Action: Categorically Exempt per Section 15301		
Department: RMA - Planning Department		

RECOMMENDATION:

Staff recommends that the Planning Commission accept the report and

1. Take no further action; or
2. Direct staff to work with the applicant on achieving compliance with the permit conditions; or
3. Set a date for a public hearing on revocation or modification of the permit.

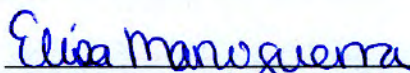
PROJECT OVERVIEW:

See attached Discussion in **Exhibit A**.

OTHER AGENCY INVOLVEMENT:

- ✓ Assessor's Office
- ✓ Carmel Valley Fire Protection District
- ✓ Code Enforcement Division
- ✓ Environmental Health Division
- ✓ Public Works Department
- ✓ Sheriff's Office
- ✓ Treasurer-Tax Collector
- ✓ Water Resources Agency

Note: The decision on this project is appealable to the Monterey County Board of Supervisors.



Elisa Manuguerra, Assistant Planner

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January 18, 2007

cc: Planning Commission Members (10); County Counsel; Carmel Valley Fire Protection District; Public Works Department; Environmental Health Division; Water Resources Agency; Carmel Valley Fire Protection District; Public Works Department; Environmental Health Division; Assessor's Office; Treasurer-Tax Collector; Sheriff's Office; Laura Lawrence, Planning & Building Services Manager; Bill Dunn, Code

Enforcement Branch Chief; Elisa Manuguerra, Project Planner; Cami Pelletier, Code Enforcement Officer; Carol Allen, Hearing Secretary; Kimberly Pearson Williams, Owner; Fred Peters, Owner; Tim Williams, Applicant; Frank & Sandra Dobronte, Applicant; Todd Bessire, Attorney; Carmel Valley Property Owners Association, Neighbors; David Barrish, Citizen; Richard Rosenthal, Citizen/Attorney; Carmel Valley LUAC; File No. PLN040720.

Attachments:

- Exhibit A Discussion
- Exhibit B Condition Compliance Reporting Plan
- Exhibit C Resolution No. 05029 Passed and Adopted June 29, 2005, Revised October 23, 2006
- Exhibit D Recorded Permit Approval Notice (Condition No. 1)
- Exhibit E Recorded Indemnification Agreement (Condition No. 2)
- Exhibit F Environmental Health Division status of Condition No. 5
- Exhibit G Carmel Valley Fire Protection District status of Condition Nos. 6, 7, 8, & 9
- Exhibit H Water Resources Agency memo regarding the Status of Agency Conditions, the Monterey Peninsula Water Management District status of Water Permit, and Water Permit No. 23227 (Condition No. 10)
- Exhibit I Board of Supervisors Resolution and Traffic Impact Fee Agreement (Condition No. 11)
- Exhibit J Chronological List of Reported Events at Las Fuentes Bed and Breakfast as prepared by Code Enforcement
- Exhibit K Information collected regarding Occupancy
- Exhibit L Information collected regarding Affiliation
- Exhibit M Information collected regarding "Events"
- Exhibit N Treasurer - Tax Collector correspondence regarding Transient Occupancy Tax and Assessors Tax Rate Code (Regulation No. 6)
- Exhibit O PC-6673 Richard Merrill Special Permit, Resolution No 88-321
- Exhibit P Site Plan, Floor Plan and Elevations

This report was prepared with assistance by Cami Pelletier, Code Enforcement Officer and Bill Dunn, Code Enforcement Branch Chief and reviewed by Taven Kinison-Brown, Senior Planner and Laura Lawrence, Acting Planning and Building Service Manager.

EXHIBIT A DISCUSSION

Project Background

On June 29, 2005 the Planning Commission approved a Use Permit request for Tim Arthur Williams et al subject to compliance with the Regulations for Bed and Breakfast Facilities as provided at Section 21.64.100 of the Monterey County Zoning Ordinance (Title 21) and 11 conditions of approval. See attached **Exhibit A**, Condition Compliance Reporting Plan, and **Exhibit B**, Resolution No. 05029, Revised October 23, 2006. On October 23, 2006, the conditions of approval were revised to correct an administrative error. Specifically, Condition No. 4 was changed from prohibiting the hosting of outdoor on-site events to prohibiting the hosting of any on-site events accessory to the bed and breakfast facility use. This project received considerable opposition prior to its approval. Since its approval Planning Commissioner Martha Diehl and Code Enforcement have received numerous complaints regarding the activities at 350 Calle de los Agrinemsors Road, Carmel Valley. On December 13, 2006 the Planning Commission requested a report on the status of condition compliance. The complaints received by Code Enforcement have been distilled into five activities. A Chronological List of Reported Events at Las Fuentes Bed and Breakfast can be found at **Exhibit J**. This report aims to integrate the status of the facility's compliance with conditions of approval, applicable regulations, and complaints received.

Compliance with Conditions of Approval

The matrix attached as **Exhibit B** summarizes the Condition Compliance for the Williams Use Permit. Staff finds that the applicant is compliant with the conditions except the following which requires further discussion.

Condition No. 3 – PBD NON-STANDARD - BED AND BREAKFAST FACILITY

“The property owner shall occupy and manage the bed and breakfast facility and shall not be affiliated with hotels or motels operating anywhere in the County of Monterey. No long-term rental of rooms shall be permitted (maximum stay guests shall not exceed 29 consecutive days in a 30-day period.)”

This condition is derived from Section 21.64.100.C.1 and 3 of the Monterey County Zoning Ordinance (Title 21). County staff has collected information questioning compliance with this condition.

Occupancy

- A letter signed by Sandy and Frank Dobrante, dated February 15, 2005 and received March 21, 2005 states, “It is our intention to run a Bed & Breakfast at this location. Mrs. Dobrante and myself will be occupying the property per the requirements of the Monterey County Code.” See **Exhibit K**.
- A website advertising the Las Fuentes Bed and Breakfast (**Exhibit K**) describes the facility, “This magnificently equipped oasis has four heavenly bedrooms in the main house – all with private baths and walk-in-closets. The Carmel Cottage, a separate addition to the main house, accommodates four comfortably. It is available upon special request.” According to County Record habitable structures on the project site include a residence with four bedrooms and a detached Caretaker Unit. Staff assumes the “Carmel Cottage” refers to the Caretaker Unit. See Site Plan at **Exhibit P**.

- A pamphlet entitled, Las Fuentes a Concierge Villa (**Exhibit K**), advertises four guest rooms: The Monaco Master Suite, The Tuscan Room, The Provence Room, and The Lhasa Room, and a separate addition to the main house, The Carmel Cottage as available for rent.
- The California Vacation.com website (**Exhibit K**) advertises, “The Guest Cottage sleeps four comfortably and is available upon special request only.”

Occupancy of Caretaker Unit

In 1998, PC06673/Resolution No. 88-321 (Merrill) approved a single family dwelling and detached Caretaker unit at the subject property. The subject Use Permit (PLN040720) approved the conversion of an existing four bedroom residence into a Bed and Breakfast Facility. The Caretaker unit was approved under the provisions of the Monterey County Zoning Ordinance (known as Title 20 in 1981), adopted August 25, 1981, which does not restrict the use of Caretaker units. However, the Caretaker unit per PC06673 (**Exhibit O**), Condition No. 8 prohibits the Caretaker’s unit from being rented and requires the occupant derive their primary employment on the premises. This condition is consistent with the current zoning ordinance in effect, specifically, Section 21.64.030.C.7 of the Monterey County Zoning Ordinance (Title 21), adopted October 11, 2000. According to the project plans, (**Exhibit P**) the only detached habitable structure on the property is the Caretaker Unit or the “Carmel Cottage” as advertised by Las Fuentes Bed and Breakfast (**Exhibit K**). As approved per PLN040720, the conversion of use to a Bed and Breakfast Facility allows the conversion of use for single family dwelling and does not include the Caretaker’s Unit.

It appears that all of the rooms on the site are available for rent, which includes the four rooms within the main residence and the detached Caretaker’s Unit. At this time, staff requires additional information to determine how the Dobrantes occupy the property and how the advertisements advertising the “Carmel Cottage” for rent complies with Condition No. 8 of PC06673/ Resolution No. 88-321 (Merrill).

Affiliation

- A pamphlet entitled, Las Fuentes a Concierge Villa (**Exhibit L**), advertises “Special Services Available Upon Request” which includes the use of the Bernardus Day Spa.
- Email correspondence from Sandy Dobrante (**Exhibit L**). Staff requested accommodations for four couples (8 persons) and six singles or 14 persons total. Sandy indicates that two of the singles could be accommodated at their affiliated sites, Bernardus Lodge or Quail Lodge Resorts, “We have a wonderful partnership with both resorts and our guests enjoy using their exercise room and tennis courts.”
- Website www.homeaway.com advertises the Carmel Valley Villa as an exclusive villa near Pebble Beach, noting “Special Services Available Upon Request” include the “Use of Quail Lodge Spa” see **Exhibit L**.

Mrs. Dobrante alleges that the Las Fuentes Bed and Breakfast is affiliated with the Bernardus Lodge and Quail Lodge Resorts. Staff requests further information to clarify these “affiliate” relationships and/or how these relationships are associated with Condition 3 and Section 21.64.100.C.1 of the Monterey County Zoning Ordinance (Title 21).

Condition No. 4 - PBDNON-STANDARD - EVENTS

“Hosting of on-site events is prohibited as an accessory use to the bed and breakfast facility.”

County staff has collected information indicating that the Las Fuentes Bed and Breakfast offers the facility for events open to the public. A Chronological List of Reported Events at Las Fuentes

Bed and Breakfast as prepared by Code Enforcement, attached as **Exhibit J**, includes reported events for which no invitations or fliers were obtained. Copies of the information collected are provided at **Exhibit M**.

- An artist reception held November 19 and 20, 2005.
- Staff obtained a flyer at Whole Foods grocery advertising a "Wellness Series" seminar held October 30, 2006 requiring a fee for attendance.
- Private wedding party held June 10, 2006; June 21, 2006 letter from Dale Ellis establishes party as a private affair and not an "event".
- A Bob Malone house concert scheduled for March 4, 2007.
- A culinary demonstration and presentation on wine and food paring scheduled for May 18th and 19th 2007.

Staff finds that a review of the information collected pertaining to "events" held at 350 Calle de Los Agrinensors Road, Carmel Valley indicates non-compliance with Condition No. 4.

Condition No. 10 - WR43 - WATER AVAILABILITY CERTIFICATION

"The applicant shall obtain from the Monterey County Water Resources Agency, proof of water availability on the property, in the form of an approved Monterey Peninsula Water Management District Water Release Form."

According to the Monterey Peninsula Water Management District records, a Permit No. 23227 was issued for the conversion of single family dwelling into a Bed and Breakfast Inn. This permit has not been finalized. Finalization is usually triggered by the Building Permit process. To date, no building permits have been requested for the conversion of use. Therefore, the MPWMD currently assesses this property as a single family dwelling. The Water Resources Agency has cleared this condition because they have fulfilled the responsibility of requiring the applicant submit Water Availability Certification. In order to change the water usage with the MPWMD the applicant should contact that organization and request an inspection. Please refer to **Exhibit H**.

Compliance with Bed and Breakfast Facility Regulations

Section 21.64.100.C of the Monterey County Zoning Ordinance (Title 21) allows a Bed and Breakfast Facility in all districts allowing residential uses subject to obtaining a Use Permit. A Use Permit for a bed and breakfast facility may only be issued if the following has been met:

1. The property owners shall occupy and manage the bed and breakfast facility. The facility shall not be affiliated with hotels or motels operating anywhere in the County of Monterey.
2. No more than ten guest rooms may be allowed in one facility.
3. No long-term rental of rooms shall be permitted. The maximum stay guests shall not exceed 29 consecutive days in a 30-day period.
4. The facility shall provide parking on site at the rate of 1 space per guestroom plus two spaces for the owners.
5. Each bed and breakfast facility may have a maximum of one sign not exceeding 4 square feet in area. Such sign shall be attached to the residence, and shall not be internally illuminated.
6. Such facilities shall be subject to the transient occupancy tax. (Chapter 5.40, Monterey County Code)
7. Any cooking facility must comply with State and County codes.

Staff finds that the applicant is compliant with these regulations except the following which requires further discussion.

21.64.100.C.6 – Transient Occupancy Tax

According to County Records, Assessor's Parcel Number 189-531-004-000 is currently assessed as a 1C use, or a single family dwelling on one site. Correspondence between the Monterey County Treasurer – Tax Collector, attached as **Exhibit N**, indicates that the applicant has been working towards satisfying the Transient Occupancy Tax regulation for Bed and Breakfast facilities. Staff recommends that the applicant work with the Office of the Assessor to ensure that the proper use code be assigned to the property.

Conclusions

Whether or not the applicant is meeting the conditions of approval of PLN040720 is evidenced by the information collected regarding the operation of the Las Fuentes Bed Villa or Bed and Breakfast / Carmel Valley Villa. Specifically, information collected regarding the owners' occupancy of the property as evidenced at **Exhibit K**, affiliation with other resorts in the area as evidenced at **Exhibit L**, and a history of "events" at the property as evidenced at **Exhibit M**. Staff requests clarification of the following:

- How the Dobrantes occupy the property in compliance with Condition No. 3 and can offer all rooms available for rent on the property;
- How the advertisements advertising the "Carmel Cottage" for rent complies with Condition No. 8 of PC06673/ Resolution No. 88-321 (Merrill);
- Clarification on the "affiliate" relationships with Bernardus Lodge and Quail Lodge Resorts and/or how these relationships are associated with Condition No. 3 and Section 21.64.100.C.1 of the Monterey County Zoning Ordinance (Title 21); and
- How the information evidenced at **Exhibit M**, information collected regarding "events", complies with Condition No. 4.

In addition, staff recommends that the applicant work with the Office of the Assessor to ensure that the proper tax use code be assigned to the property and submit proof of the proper tax use code assigned to the Planning Department as evidence of compliance with the Regulations for Bed and Breakfast Facilities.

EXHIBIT B
Monterey County Resource Management Agency
Planning Department
Condition Compliance Reporting Plan

Project Name: Williams Tim Arthur et al
 File No: PLN040720 APN: 189-531-004-000
 Approved by: Planning Commission Date: July 29, 2007

**Monitoring or Reporting refers to projects with an EIR or adopted Mitigated Negative Declaration per Section 21081.6 of the Public Resources Code.*

<i>Permit Cond. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
1.	<p>PBD025 - NOTICE-PERMIT APPROVAL</p> <p>The applicant shall record a notice which states: "A permit (Resolution No. 05029) was approved by the Planning Commission for Assessor's Parcel Number 189-531-004-000 on June 29, 2005. The permit was granted subject to <u>11 conditions</u> of approval which run with the land. A copy of the permit is on file with the Monterey County Planning and Building Inspection Department." Proof of recordation of this notice shall be furnished to the Director of Planning and Building Inspection prior to issuance of building permits or commencement of the use. (Planning and Building Inspection)</p>	Proof of recordation of this notice shall be furnished to PBI.	Owner/ Applicant	Prior to Issuance of building permits	Monterey County Recorder's Office Document No. 2006014611 dated February 16, 2006. See Exhibit D.
2.	<p>PBD016 - INDEMNIFICATION AGREEMENT</p> <p>The property owner agrees as a condition and in consideration of the approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the county for any court costs and attorney's fees which the County may be required by a</p>	Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to PBI.	Owner/ Applicant	Upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, filing of the final map, which-ever occurs first	Monterey County Recorder's Office Document No. 2006014610 dated February 16, 2006. See Exhibit E.

Permit Cond. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
	court to pay as a result of such action. County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, filing of the final map, whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the county harmless. (Planning and Building Inspection)			and as applicable	
3.	PBD NON-STANDARD - BED AND BREAKFAST FACILITY The property owner shall occupy and manage the bed and breakfast facility and shall not be affiliated with hotels or motels operating anywhere in the County of Monterey. No long-term rental of rooms shall be permitted (maximum stay guests shall not exceed 29 consecutive days in a 30-day period.) (Planning and Building Inspection)	Continuous condition requirement of the Monterey County Planning and Building Inspection Department	Owner/ Applicant	Continuous	See Exhibit B - Discussion
4.	PBD NON-STANDARD - EVENTS Hosting of on-site events is prohibited as an accessory use to the bed and breakfast facility. (Planning and Building Inspection)	Continuous condition requirement of the Monterey County Planning and Building Inspection Department	Owner/ Applicant	Continuous	See Exhibit B - Discussion
5.	EHSP01 - All improvements shall comply with the California Uniform Food Facilities Law as approved by the Director (Environmental Health)	Continuous condition requirement of the Monterey County Health Department, Division of Environmental Health	Owner/ Applicant	Continuous	Memo dated January 17, 2006. See Exhibit F.
6.	FIRE011 - ADDRESSES FOR BUILDINGS All buildings shall be issued an address in accordance	Applicant shall incorporate specification into design and	Applicant or owner	Prior to commence-	Phone call to Chief Sydney Reade on

Permit Cond. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
	with Monterey County Ordinance No. 1241. Each occupancy, except accessory buildings, shall have its own permanently posted address. When multiple occupancies exist within a single building, each individual occupancy shall be separately identified by its own address. Letters, numbers and symbols for addresses shall be a minimum of 4-inch height, 1/2-inch stroke, contrasting with the background color of the sign, and shall be Arabic. The sign and numbers shall be reflective and made of a noncombustible material. Address signs shall be placed at each driveway entrance and at each driveway split. Address signs shall be and visible from both directions of travel along the road. In all cases, the address shall be posted at the beginning of construction and shall be maintained thereafter. Address signs along one-way roads shall be visible from both directions of travel. Where multiple addresses are required at a single driveway, they shall be mounted on a single sign. Where a roadway provides access solely to a single commercial occupancy, the address sign shall be placed at the nearest road intersection providing access to that site. Permanent address numbers shall be posted prior to requesting final clearance. (Carmel Valley Fire District)	enumerate as "Fire Dept. Notes" on plans.		ment of use	January 16, 2007. Planner requested written summary of Fire Condition status. See Exhibit G.
		Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to commencement of use	See Exhibit G.
7.	FIRE008 - GATES All gates providing access from a road to a driveway shall be located at least 30 feet from the roadway and shall open to allow a vehicle to stop without obstructing traffic on the road. Gate entrances shall be at least the width of the traffic lane but in no case less than 12 feet wide. Where a one-way road with a single traffic lane provides access to a gated entrance, a 40-foot turning radius shall be used. Where gates are to be locked, the installation of a key box or other acceptable means for immediate access by emergency equipment may be required. (Carmel Valley Fire Protection District)	Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to commencement of use	See Exhibit G.

Permit Cond. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
8.	<p>FIRE025 - SMOKE ALARMS – (SINGLE FAMILY DWELLING) Where a household fire warning system or combination fire/burglar alarm system is installed in lieu of single-station smoke alarms required by the Uniform Building Code the alarm panel shall be required to be placarded as permanent building equipment. (Carmel Valley Fire Protection District)</p>	Applicant shall enumerate as “Fire Dept. Notes” on plans.	Applicant or owner	Prior to commencement of use	See Exhibit G.
		Applicant shall incorporate specification into design and enumerate as “Fire Dept. Notes” on plans.	Applicant or owner	Prior to commencement of use	See Exhibit G.
9.	<p>FIRE007 - DRIVEWAYS Driveways shall not be less than 12 feet wide unobstructed, with an unobstructed vertical clearance of not less than 15 feet. The grade for all driveways shall not exceed 15 percent. Where the grade exceeds 8 percent, a minimum structural roadway surface of 0.17 feet of asphaltic concrete on 0.34 feet of aggregate base shall be required. The driveway surface shall be capable of supporting the imposed load of fire apparatus (22 tons), and be accessible by conventional-drive vehicles, including sedans. For driveways with turns 90 degrees and less, the minimum horizontal inside radius of curvature shall be 25 feet. For driveways with turns greater than 90 degrees, the minimum horizontal inside radius curvature shall be 28 feet. For all driveway turns, an additional surface of 4 feet shall be added. All driveways exceeding 150 feet in length, but less than 800 feet in length, shall provide a turnout near the midpoint of the driveway. Where the driveway exceeds 800 feet, turnouts shall be provided at no greater than 400-foot intervals. Turnouts shall be a minimum of 12 feet wide and 30 feet long with a minimum of 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall long with a minimum 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall be located within 50 feet of the primary building. The minimum turning</p>	Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to commencement of use	See Exhibit G.

<i>Permit Cond. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
	radius for a turnaround shall be 40 feet from the center line of the driveway. If a hammerhead/T is used, the top of the "T" shall be a minimum of 60 feet in length. (Carmel Valley Fire Protection District)				
10.	WR43 - WATER AVAILABILITY CERTIFICATION (Non-Standard Wording) The applicant shall obtain from the Monterey County Water Resources Agency, proof of water availability on the property, in the form of an approved Monterey Peninsula Water Management District Water Release Form. (Water Resources Agency)	Submit the Water Release Form to the Water Resources Agency for review and approval.	Owner/ Applicant	Prior to commencement of use	Water Resources Agency memo regarding the Status of Agency Conditions & Water Management District Permit No. 23227 (expires February 15, 2007 and Requires final inspection). See Exhibit H.
11.	PW0006 – CARMEL VALLEY The Applicant shall pay the Carmel Valley Master Plan Area Traffic Mitigation fee pursuant to the Board of Supervisors Resolution NO. 95-140, adopted September 12, 1995 (Fees are updated annually based on CCI). (Public Works)	Applicant shall pay to PBI the required traffic mitigation fee.	Owner/ Applicant	Prior to Building Permits Issuance	Owner / Applicant entered into a Traffic Impact Fee Agreement with the County of Monterey on January 9, 2007. Monterey County Recorder's Office Document No. 2007002740. See Exhibit I.

EXHIBIT C

REVISED
PLANNING COMMISSION
COUNTY OF MONTEREY, STATE OF CALIFORNIA

REVISED
10-23-2006

RESOLUTION NO. 05029

APN# 189-531-004-000
FINDINGS & DECISION

In the matter of the application of
WILLIAMS TIM ARTHUR ET AL (PLN040720)

Use Permit to allow the conversion of an existing single family residence to a bed and breakfast and Design Approval. The project is located at 350 Calle de Los Agrinemsors Road, Carmel Valley Area. The project came on regularly for hearing before the Planning Commission on June 29, 2005.

WHEREAS: Said Planning Commission, having considered the application and the evidence presented relating thereto;

FINDINGS OF FACT

1. **FINDING: CONSISTENCY** - The Project, as conditioned, is consistent with applicable plans and policies, the Carmel Valley Land Use Plan, and the Monterey County Zoning Ordinance (Title 21), which designates this area as appropriate for a bed and breakfast facility. Specifically, the proposed addition complies with all applicable requirements of Section 21.64.100.

EVIDENCE: (a) PBI staff has reviewed the project as contained in the application and accompanying materials for consistency and conformity with the Carmel Valley Land Area Plan and the Monterey County Zoning Ordinance (Title 21) and have determined that the project is consistent, and conforms with, said Area Plan and Ordinance.
(b) Project planner conducted an on-site to verify that the project on the subject parcel conforms to the plans listed above.
(c) The applicant is proposing a four-room bed and breakfast, which is less than the maximum allowed by code of ten rooms.
(d) The facility shall be owner occupied and managed.
(e) Long-term rental shall be prohibited.
(f) Verification of appropriate State and Local Permits shall be required relating to food preparation.

2. **FINDING: SITE SUITABILITY** - The site is suitable for the use proposed.

EVIDENCE: (a) Planning and Building Inspection, Public Works, Environmental Health, Carmel Valley Fire Protection District, and Water Resources have reviewed the proposal for suitability. Conditions recommended have been incorporated.
(b) Staff conducted an on-site visit to verify that the site is suitable for this use.
(c) The Planning Commission conducted an on-site visit to verify that the site is suitable for this use on June 22, 2005.
(d) Necessary public facilities are available and will be provided.

3. **FINDING: CARMEL VALLEY MASTER PLAN BUILDOUT AND MONITORING SYSTEM** – The proposal is consistent with the Carmel Valley Master Plan Buildout and Monitoring System.
- EVIDENCE:** (a) The last report prepared for the Carmel Valley Property Owners Association by staff, dated August 12, 1998, indicated 140 Visitor Units had been approved 110 Units remaining in the quota.
 (b) Review of Planning and Building Inspection records since 1998 indicate 24 Visit Units have been approved with 86 Units remaining in the quota.
4. **FINDING: CEQA** - The project is exempt from environmental review.
- EVIDENCE:** (a) CEQA Guidelines Section 15301 Class categorically exempts the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing private structures involving negligible or no expansion of use.
 (b) No adverse environmental effects were identified during staff review of the development application or during a site visit.
 (c) No structural changes or significant expansion of use is proposed.
5. **FINDING: HEALTH AND SAFETY** - The establishment, maintenance or operation of the project applied for will, under the circumstances of this particular case, will not be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.
- EVIDENCE:** (a) Preceding findings and supporting evidence.
6. **FINDING: NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision and any other applicable provisions of the County's zoning ordinance. No violations exist on the property. Zoning violation abatement cost, if any, have been paid.
- EVIDENCE:** (a) Staff reviewed Monterey County Planning and Building Inspection Department records and is not aware of any violations existing on subject property.
7. **FINDING: APPEALABILITY** - The decision on this project is appealable to the Board of Supervisors.
- EVIDENCE:** (a) Monterey County Zoning Ordinance Title 21, Chapter 21.80.
8. **FINDING: SEWAGE DISPOSAL AND WATER SUPPLY** – Adequate sewage disposal and water supply facilities exist for the lot.
- EVIDENCE:** (a) Preceding findings and supporting evidence.
9. **FINDING: TRAFFIC CONDITIONS** - The establishment, maintenance or operation of the project applied for will not, under the circumstances of this particular case, adversely impact traffic conditions in the area.
- EVIDENCE:** (a) Preceding findings and supporting evidence.

DECISION

THEREFORE, it is the decision of said Planning Commission that said application be granted as shown on the attached sketch, subject to the attached conditions.

PASSED AND ADOPTED this 29th day of June, 2005 by the following vote:

AYES: Errea, Parsons, Hawkins, Padilla, Vandevere, Sanchez, Diehl, Salazar, Rochester, Wilmot
NOES: None
ABSTAIN: None
ABSENT: None



DALE ELLIS, SECRETARY

Copy of this decision mailed to the applicant on NOV 13 2006

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK OF THE BOARD OF SUPERVISORS ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE AUG 05 2005

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning and Building Inspection Department office in Marina.

2. The construction or use authorized by this permit must start within two years of the date of approval of this permit unless extended by the Director of Planning and Building Inspection pursuant to Section 20.140.100 of the Coastal Implementation Plan.

**Planning and Building Inspection Department
Condition Compliance & Mitigation Monitoring and/or
Reporting Plan**

Project Name: Williams

File No: PLN040720

APNs: 189-531-004-000

Approval by: Planning Commission **Date:** June 29, 2005

**Monitoring or Reporting refers to projects with an EIR or adopted Mitigated Negative Declaration per Section 21081.6 of the Public Resources Code.*

Exhibit C Page 4 of 8 pages

Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
1		<p>PBD025 - NOTICE-PERMIT APPROVAL The applicant shall record a notice which states: "A permit (Resolution 05029) was approved by the Planning Commission for Assessor's Parcel Number 189-531-004-000 on June 29, 2005. The permit was granted subject to <u>11 conditions</u> of approval which run with the land. A copy of the permit is on file with the Monterey County Planning and Building Inspection Department." Proof of recordation of this notice shall be furnished to the Director of Planning and Building Inspection prior to issuance of building permits or commencement of the use. (Planning and Building Inspection)</p>	Proof of recordation of this notice shall be furnished to PBI.	Owner/ Applicant	Prior to Issuance of building permits	
2		<p>PBD016 - INDEMNIFICATION AGREEMENT The property owner agrees as a condition and in consideration of the approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the county for any court costs and</p>	Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to PBI.	Owner/ Applicant	Upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, filing of the final map, which-ever	

Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
		attorney's fees which the County may be required by a court to pay as a result of such action. County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, filing of the final map, whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the county harmless. (Planning and Building Inspection)			occurs first and as applicable	
3		PBDNON-STANDARD - BED AND BREAKFAST FACILITY The property owner shall occupy and manage the bed and breakfast facility and shall not be affiliated with hotels or motels operating anywhere in the County of Monterey. No long-term rental of rooms shall be permitted (maximum stay guests shall not exceed 29 consecutive days in a 30-day period.) (Planning and Building Inspection)	Continuous condition requirement of the Monterey County Planning and Building Inspection Department	Owner/ Applicant	Continuous	
4		PBDNON-STANDARD - EVENTS Hosting of on-site events is prohibited as an accessory use to the bed and breakfast facility. (Planning and Building Inspection)	Continuous condition requirement of the Monterey County Planning and Building Inspection Department	Owner/ Applicant	Continuous	

Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
5		EHSP01 All improvements shall comply with the California Uniform Food Facilities Law as approved by the Director of Environmental Health. (Environmental Health)	Condition requirement of the Monterey County Health Department, Division of Environmental Health	Owner/ Applicant	Prior to commencement of use/Final	
6		FIRE011 - ADDRESSES FOR BUILDINGS All buildings shall be issued an address in accordance with Monterey County Ordinance No. 1241. Each occupancy, except accessory buildings, shall have its own permanently posted address. When multiple occupancies exist within a single building, each individual occupancy shall be separately identified by its own address. Letters, numbers and symbols for addresses shall be a minimum of 4-inch height, 1/2-inch stroke, contrasting with the background color of the sign, and shall be Arabic. The sign and numbers shall be reflective and made of a noncombustible material. Address signs shall be placed at each driveway entrance and at each driveway split. Address signs shall be and visible from both directions of travel along the road. In all cases, the address shall be posted at the beginning of construction and shall be maintained thereafter. Address signs along one-way roads shall be visible from both directions of travel. Where multiple addresses are required at a single driveway, they shall be mounted on a single sign. Where a roadway provides access solely to a single commercial occupancy, the address sign shall be placed at the nearest road intersection providing access to that site. Permanent address numbers shall be posted prior to requesting final clearance. (Carmel Valley Fire District)	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to commencement of use/Final	

Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
7		FIRE008 - GATES All gates providing access from a road to a driveway shall be located at least 30 feet from the roadway and shall open to allow a vehicle to stop without obstructing traffic on the road. Gate entrances shall be at least the width of the traffic lane but in no case less than 12 feet wide. Where a one-way road with a single traffic lane provides access to a gated entrance, a 40-foot turning radius shall be used. Where gates are to be locked, the installation of a key box or other acceptable means for immediate access by emergency equipment may be required. (Carmel Valley Fire Protection District)	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to commencement of use	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to commencement of use	
8		FIRE025 - SMOKE ALARMS – (SINGLE FAMILY DWELLING) Where a household fire warning system or combination fire/burglar alarm system is installed in lieu of single-station smoke alarms required by the Uniform Building Code the alarm panel shall be required to be placarded as permanent building equipment: (Carmel Valley Fire Protection District)	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to commencement of use	
9		FIRE007 - DRIVEWAYS Driveways shall not be less than 12 feet wide unobstructed, with an unobstructed vertical clearance of not less than 15 feet. The grade for all driveways shall not exceed 15 percent. Where the grade exceeds 8 percent, a minimum structural roadway surface of 0.17 feet of asphaltic concrete on 0.34 feet of aggregate base shall be required. The driveway surface shall be capable of supporting the imposed load of fire apparatus (22 tons), and be accessible by conventional-drive vehicles, including sedans. For driveways with turns 90 degrees and less, the minimum horizontal inside radius of curvature shall be 25 feet. For driveways with turns greater than 90 degrees, the minimum horizontal inside radius curvature shall be 28 feet. For all driveway turns, an additional surface of 4 feet shall be added. All	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to commencement of use	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		driveways exceeding 150 feet in length, but less than 800 feet in length, shall provide a turnout near the midpoint of the driveway. Where the driveway exceeds 800 feet, turnouts shall be provided at no greater than 400-foot intervals. Turnouts shall be a minimum of 12 feet wide and 30 feet long with a minimum of 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall long with a minimum 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall be located within 50 feet of the primary building. The minimum turning radius for a turnaround shall be 40 feet from the center line of the driveway. If a hammerhead/T is used, the top of the "T" shall be a minimum of 60 feet in length. (Carmel Valley FPD)	Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to commencement of use	
10		WR43 - WATER AVAILABILITY CERTIFICATION (Non-Standard Wording) The applicant shall obtain from the Monterey County Water Resources Agency, proof of water availability on the property, in the form of an approved Monterey Peninsula Water Management District Water Release Form. (Water Resources Agency)	Submit the Water Release Form to the Water Resources Agency for review and approval.	Owner/ Applicant	Prior to commencement of use	
11		PW0006 – CARMEL VALLEY The Applicant shall pay the Carmel Valley Master Plan Area Traffic Mitigation fee pursuant to the Board of Supervisors Resolution NO. 95-140, adopted September 12, 1995 (Fees are updated annually based on CCI). (Public Works)	Applicant shall pay to PBI the required traffic mitigation fee.	Owner/ Applicant	Prior to Building Permits Issuance	

EXHIBIT D

Stephen L. Vagnini
Monterey County Recorder
Recorded at the request of
Filer

CINTERIM
2/16/2006
9:09:49

**Recording Requested by and
When Recorded, Mail to:**
Monterey County Planning and
Building Inspection Department
168 West Alisal Street, 2nd Floor
Salinas, CA 93901

DOCUMENT: **2006014611**

Titles: 1/ Pages: 3



Fees.... 14.00
Taxes...
Other... 6.00
AMT PAID \$20.00

Space above for Recorder's Use

PERMIT APPROVAL NOTICE

- 1. PROJECT NAME: WILLIAMS TIM ARTHUR ET AL
- 2. APPLICANT(S) NAME: DOBRONTE FRANK P & SANDRA P
- 3. FILE NO: PLN040720
- 4. RESOLUTION NO: 05029
- 5. PRIMARY APN: 189-531-004-000
- 6. PROJECT PLANNER: MURPHY
- 7. LEGAL DESCRIPTION: SEE EXHIBIT "A"

A Permit (PLN040720) was approved by the Monterey County Planning Commission for Assessor's Parcel Number 189-531-004-000 on June 29, 2005 . The permit was granted subject to 11 conditions of approval and 0 on-going mitigation measures which run with the land. A copy of the permit is on file with the Monterey County Planning and Building Inspection Department.

8. OWNER(S) SIGNATURE(S) Frank Dobronte Date: 12/1/2005
Sandy P. Dobronte DATE: 12/1/2005
 _____ DATE: _____

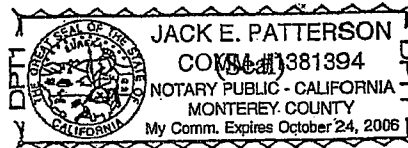
NOTE: OWNER'S SIGNATURE(S) MUST BE ACKNOWLEDGED BEFORE A NOTARY PUBLIC.

STATE OF CALIFORNIA)
COUNTY OF MONTEREY)

On 1 DEC 2005 before me, JACK E. PATTERSON Notary Public, personally appeared SANDY & FRANK DOBRONTE, personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instru-ment and acknowledge me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Signature [Handwritten Signature]



"ANY EXHIBIT(S) MUST BE NO LARGER OR SMALLER THAN 8 1/2" X 11".

LEGAL DESCRIPTION

Real property in the unincorporated area of the County of Monterey, State of California, described as follows:

PARCEL I:

BEGINNING AT A TWO-INCH IRON PIPE STANDING AT THE CORNER COMMON TO SECTIONS 10, 11, 14 AND 15 IN TOWNSHIP 17 SOUTH, RANGE 2 EAST, M.D.B.&M.; THENCE

(1) ALONG AND FOLLOWING THE LINE COMMON TO SECTIONS 10 AND 15, NORTH 89° 10' WEST, 1352.7 FEET TO A ONE-INCH IRON BAR STANDING AT THE SOUTHEASTERLY CORNER OF THAT CERTAIN PARCEL OF LAND CONVEYED TO HENRY H. WEHRANE BY DEED RECORDED MARCH 14, 1935 IN VOLUME 426 OF OFFICIAL RECORDS, AT PAGE 459 THEREIN; THENCE

(2) ALONG AND FOLLOWING THE EASTERLY BOUNDARY OF SAID PARCEL, NORTH 33° 09' EAST (AT 557.94 FEET A 4 X 4 POST, AT 681.16 FEET A 4 X 4 POST) 901.26 FEET TO A 4 X 4 POST; THENCE

(3) LEAVING SAID BOUNDARY LINE SOUTH 85° 05' EAST (AT 387.35 FEET A 4 X 4 POST, AT 782.65 FEET A 4 X 4 POST, AND AT 943.93 FEET A 4 X 4 POST) 973.17 FEET TO THE NORTHWESTERLY BOUNDARY OF A 40 FOOT ROAD RIGHT OF WAY, SAID RIGHT OF WAY DESCRIBED IN DEED FROM GEORGE J. KOCH, ET UX, TO MONTEREY COUNTY, BY DEED DATED OCTOBER 17, 1939 AND RECORDED JANUARY 9, 1941 IN VOLUME 693 OF OFFICIAL RECORDS, AT PAGE 428 THEREIN; THENCE

(4) ALONG AND FOLLOWING THE BOUNDARY OF SAID ROAD RIGHT OF WAY, SOUTH 25° 28' 30" WEST, 94.73 FEET; THENCE

(5) TANGENTIALLY CURVING TO THE RIGHT 72.09 FEET ON THE ARC OF A CURVE THE CENTER OF WHICH BEARS NORTH 64° 31' 30" WEST, 73.00 FEET TO A POINT OF REVERSE CURVATURE; THENCE

(6) TANGENTIALLY CURVING TO THE LEFT, 155.97 FEET ON THE ARC OF A CURVE, THE CENTER OF WHICH BEARS SOUTH 7° 56' 30" EAST, 40.00 FEET DISTANT TO A POINT OF COMPOUND CURVATURE; THENCE

(7) TANGENTIALLY CURVING TO THE LEFT 31.65 FEET ON THE ARC OF A CURVE, THE CENTER WHICH BEARS NORTH 51° 30' 30" WEST, 459.15 FEET TO A POINT OF REVERSE CURVATURE; THENCE

(8) LEAVING THE BOUNDARY OF SAID ROAD RIGHT OF WAY ALONG AND FOLLOWING THE WESTERLY BOUNDARY OF A FIRE TRAIL TANGENTIALLY CURVING TO THE RIGHT 54.40 FEET ON THE ARC OF A CURVE, THE CENTER OF WHICH BEARS SOUTH 55° 27' 30" EAST, 20.00 FEET; THENCE

(9) TANGENTIALLY SOUTH 10° 22' WEST, 1.8 FEET; THENCE

(10) TANGENTIALLY CURVING TO THE LEFT 101.37 FEET ON THE ARC OF A CURVE, THE CENTER OF WHICH BEARS SOUTH 79° 38' EAST, 100.00 FEET DISTANT, TO A POINT OF REVERSE CURVATURE; THENCE

First American Title

(11) TANGENTIALLY CURVING TO THE RIGHT 96.37 FEET ON THE ARC OF A CURVE, THE CENTER OF WHICH BEARS SOUTH 42° 17' WEST, 100.00 FEET; THENCE

(12) TANGENTIALLY SOUTH 7° 30' WEST, 111.74 FEET; THENCE

(13) TANGENTIALLY CURVING TO THE RIGHT 133.98 FEET ON THE ARC OF A CURVE, THE CENTER OF WHICH BEARS NORTH 82° 30' WEST, 104.44 FEET DISTANT, TO A POINT OF A REVERSE CURVATURE; THENCE

(14) TANGENTIALLY CURVING TO THE LEFT 206.74 FEET ON THE ARC OF A CURVE, THE CENTER OF WHICH BEARS SOUTH 9° 00' EAST 60.00 FEET DISTANT, TO THE INTERSECTION OF SAID ROAD LINE WITH THE WESTERLY BOUNDARY OF LOT 330A, AS SAID LOT IS SHOWN ON THAT CERTAIN MAP ENTITLED, ROBLES DEL RIO CARMELO, SUBDIVISION NO. 3, FILED IN VOLUME 3 OF MAPS OF CITIES AND TOWNS, AT PAGE 87 THEREIN, RECORDS OF MONTEREY COUNTY, CALIFORNIA; THENCE

(15) ALONG SAID BOUNDARY OF SAID LOT 330A, SOUTH 00° 50' WEST, 17.70 FEET TO AN IRON PIPE, SAID PIPE BEING THE SOUTHWEST CORNER OF SAID LOT 330A, STANDING ON THE LINE BETWEEN SECTION 11 AND 14, TOWNSHIP 17 SOUTH, RANGE 2 EAST, M.D.B.&M.; THENCE

(16) ALONG SAID SECTION LINE, NORTH 89° 10' WEST, 101.80 FEET TO THE PLACE OF BEGINNING.

PARCEL II:

THAT CERTAIN PARCEL OF LAND SET FORTH IN RESOLUTION NO. 94 - 015, ENTITLED APPROVE SUMMARY ABANDONMENT OF A PORTION OF THE CUL DE SAC AT THE END OF CALLE DE LOS AGRINEMSOR, ROBLES DEL RIO CARMELO, SUBDIVISION, CARMEL VALLEY AREA, AND RECORDED JANUARY 18, 1994 IN REEL 3053, PAGE 1561, OFFICIAL RECORDS, MONTEREY COUNTY.

APN: 189-531-004

END OF DOCUMENT

First American Title

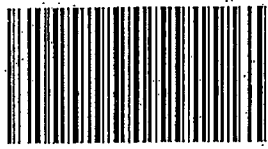
EXHIBIT E

CINTERIM
2/16/2006
9:09:49

Monterey County Recorder
Recorded at the request of
Filer

**Recording Requested by and
When Recorded, Mail To:**
Monterey County Planning and
Building Inspection Department
168 West Alisal, 2nd Floor
Salinas, CA 93901

DOCUMENT: 2006014610



Titles: 1/ Pages: 7
Fees.... 26.00
Taxes...
Other... 10.00
AMT PAID \$36.00

Space above for Recorder's Use

File No: **PLN040720**
Project Title: **Tim Arthur Williams, et al**
Resolution No: **05029**
Applicant Name: **Frank and Sandra Dobronte**
Project Planner: **Annie Murphy**

INDEMNIFICATION AGREEMENT

THIS AGREEMENT, made and entered into by and between the County of Monterey, a political subdivision of the State of California, hereinafter called "County", and **Tim Arthur Williams et al** hereinafter called Owner(s),

WITNESSETH:

WHEREAS, Owner(s) is/are the record owner(s) of the real property described in Exhibit "A" attached hereto and made a part hereof, hereinafter referred to as the subject property; and

WHEREAS, the subject property is located within the boundaries of the **Carmel Valley Master Plan** of Monterey County; and

WHEREAS, pursuant to the Plan and other applicable regulations of Monterey County and the State of California, Owner(s) applied to Monterey County for a Combined Development Permit for the development of the subject property; and

WHEREAS, the Use Permit No. **PLN040720** was granted on June 29, 2005 by the Monterey County Planning Commission pursuant to the Findings contained in Resolution No. **05029** attached hereto as Exhibit "B", and hereby incorporated by reference; and

WHEREAS, Permit No. **PLN040720** was subject to certain conditions including but not limited to the following:

The property owner agrees as a condition and in consideration of the approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the County for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, filing of the final map, whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the County harmless. (Planning and Building Inspection Department)

WHEREAS, Owner(s) has/have elected to comply with the aforesaid condition imposed by Permit No. **PLN040720** so as to enable Owner(s) to undertake the development authorized by the permit,

NOW, THEREFORE, in consideration of the granting of Permit No. **PLN040720** to the Owner(s) by Monterey County, Owner(s), for himself/herself and for his/her heirs, assigns, and successors in interest, covenants and agrees as follows:

1. **INDEMNIFICATION.** The property owner agrees as a condition and in consideration of the approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the County for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, filing of the final map, whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the County harmless. (Planning and Building Inspection Department)

2. **BINDING EFFECT.** This agreement shall bind and inure to the benefit of the respective heirs, personal representatives, successors, and assigns of the parties hereto.

3. **RECORDATION.** Upon execution of this agreement, Owner(s) shall cause recordation thereof with the County Recorder's Office.

4. **NEGOTIATED AGREEMENT.** It is agreed and understood by the parties hereto, that this agreement has been arrived at through negotiations and that neither party is to be deemed the party which prepared this agreement within the meaning of Civil Code Section 1654.

IN WITNESS WHEREOF, the parties hereto have executed this agreement on the day and year set out opposite their respective signatures.

Dated: 12/1/05 Signed: Sandy Dobronte and Frank Dobronte
(Print or Type Name)
Owner(s)

TAW
KPD

Dated: 12/5/05 Signed: x Tr. G. Phil

TIM A. WILLIAMS
(Print or type Name)
x Kimberly P Williams
Kimberly P Williams

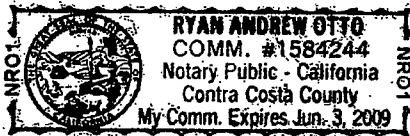
Exhibit E Page 2 of 7 pages Fred L Peters
(Print or type Name)
FRED L PETERS
PRINT OR TYPE NAME

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

State of California }
County of Contra Costa } ss.

On 12/05/05 before me, Ryan Andrew Otto, Notary Public
Date Name and Title of Officer (e.g., "Jane Doe, Notary Public")
personally appeared Tim A. Williams & Kimberly P. Williams
Name(s) of Signer(s)

personally known to me
 proved to me on the basis of satisfactory evidence



to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Ryan Andrew Otto
Signature of Notary Public

OPTIONAL

Though the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.

Description of Attached Document

Title or Type of Document: Indemnification Agreement

Document Date: 12/01/05 Number of Pages: -4-

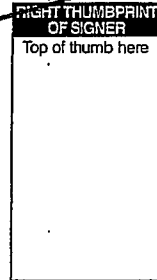
Signer(s) Other Than Named Above: yes

Capacity(ies) Claimed by Signer

Signer's Name: _____

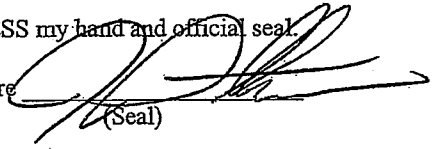
- Individual
- Corporate Officer -- Title(s): _____
- Partner -- Limited General
- Attorney-in-Fact
- Trustee
- Guardian or Conservator
- Other: _____

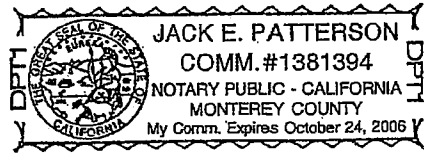
Signer Is Representing: _____



STATE OF CALIFORNIA)
COUNTY OF MONTEREY)

On 1 DEC 2005 before me, JACK E. PATTERSON, Notary Public, personally appeared SANDY DOBRONTE & FRANK DOBRONTE, personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.
Signature  (Seal)



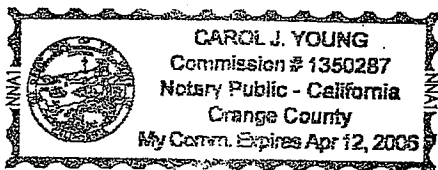
CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

State of California }
 County of Orange } ss.

On 12-12-05, before me, Carol J. Young,
Date Name and Title of Officer (e.g., "Jane Doe, Notary Public")
 personally appeared FRED E. PETERS,
Name(s) of Signer(s)

- personally known to me
- proved to me on the basis of satisfactory evidence

to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



WITNESS my hand and official seal.

Carol J. Young
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.

Description of Attached Document

Title or Type of Document: Indemnification Agreement

Document Date: 12/1/05 Number of Pages: 4

Signer(s) Other Than Named Above: yes

Capacity(ies) Claimed by Signer

- Signer's Name: _____
- Individual
 - Corporate Officer — Title(s): _____
 - Partner — Limited General
 - Attorney in Fact
 - Trustee
 - Guardian or Conservator
 - Other: _____

Signer Is Representing: _____

RIGHT THUMBPRINT OF SIGNER
 Top of thumb here

LEGAL DESCRIPTION

Real property in the unincorporated area of the County of Monterey, State of California,
described as follows:

PARCEL I:

BEGINNING AT A TWO-INCH IRON PIPE STANDING AT THE CORNER COMMON TO SECTIONS 10, 11, 14 AND 15 IN TOWNSHIP 17 SOUTH, RANGE 2 EAST, M.D.B.&M.; THENCE

(1) ALONG AND FOLLOWING THE LINE COMMON TO SECTIONS 10 AND 15, NORTH 89° 10' WEST, 1352.7 FEET TO A ONE-INCH IRON BAR STANDING AT THE SOUTHEASTERLY CORNER OF THAT CERTAIN PARCEL OF LAND CONVEYED TO HENRY H. WEHRANE BY DEED RECORDED MARCH 14, 1935 IN VOLUME 426 OF OFFICIAL RECORDS, AT PAGE 459 THEREIN; THENCE

(2) ALONG AND FOLLOWING THE EASTERLY BOUNDARY OF SAID PARCEL, NORTH 33° 09' EAST (AT 557.94 FEET A 4 X 4 POST, AT 681.16 FEET A 4 X 4 POST) 901.26 FEET TO A 4 X 4 POST; THENCE

(3) LEAVING SAID BOUNDARY LINE SOUTH 85° 05' EAST (AT 387.35 FEET A 4 X 4 POST, AT 782.65 FEET A 4 X 4 POST, AND AT 943.93 FEET A 4 X 4 POST) 973.17 FEET TO THE NORTHWESTERLY BOUNDARY OF A 40 FOOT ROAD RIGHT OF WAY, SAID RIGHT OF WAY DESCRIBED IN DEED FROM GEORGE J. KOCH, ET UX, TO MONTEREY COUNTY, BY DEED DATED OCTOBER 17, 1939 AND RECORDED JANUARY 9, 1941 IN VOLUME 693 OF OFFICIAL RECORDS, AT PAGE 428 THEREIN; THENCE

(4) ALONG AND FOLLOWING THE BOUNDARY OF SAID ROAD RIGHT OF WAY, SOUTH 25° 28' 30" WEST, 94.73 FEET; THENCE

(5) TANGENTIALLY CURVING TO THE RIGHT 72.09 FEET ON THE ARC OF A CURVE THE CENTER OF WHICH BEARS NORTH 64° 31' 30" WEST, 73.00 FEET TO A POINT OF REVERSE CURVATURE; THENCE

(6) TANGENTIALLY CURVING TO THE LEFT, 155.97 FEET ON THE ARC OF A CURVE, THE CENTER OF WHICH BEARS SOUTH 7° 56' 30" EAST, 40.00 FEET DISTANT TO A POINT OF COMPOUND CURVATURE; THENCE

(7) TANGENTIALLY CURVING TO THE LEFT 31.65 FEET ON THE ARC OF A CURVE, THE CENTER WHICH BEARS NORTH 51° 30' 30" WEST, 459.15 FEET TO A POINT OF REVERSE CURVATURE; THENCE

(8) LEAVING THE BOUNDARY OF SAID ROAD RIGHT OF WAY ALONG AND FOLLOWING THE WESTERLY BOUNDARY OF A FIRE TRAIL TANGENTIALLY CURVING TO THE RIGHT 54.40 FEET ON THE ARC OF A CURVE, THE CENTER OF WHICH BEARS SOUTH 55° 27' 30" EAST, 20.00 FEET; THENCE

(9) TANGENTIALLY SOUTH 10° 22' WEST, 1.8 FEET; THENCE

(10) TANGENTIALLY CURVING TO THE LEFT 101.37 FEET ON THE ARC OF A CURVE, THE CENTER OF WHICH BEARS SOUTH 79° 38' EAST, 100.00 FEET DISTANT, TO A POINT OF REVERSE CURVATURE; THENCE

First American Title

(11) TANGENTIALLY CURVING TO THE RIGHT 96.37 FEET ON THE ARC OF A CURVE, THE CENTER OF WHICH BEARS SOUTH 42° 17' WEST, 100.00 FEET; THENCE

(12) TANGENTIALLY SOUTH 7° 30' WEST, 111.74 FEET; THENCE

(13) TANGENTIALLY CURVING TO THE RIGHT 133.98 FEET ON THE ARC OF A CURVE, THE CENTER OF WHICH BEARS NORTH 82° 30' WEST, 104.44 FEET DISTANT, TO A POINT OF A REVERSE CURVATURE; THENCE

(14) TANGENTIALLY CURVING TO THE LEFT 206.74 FEET ON THE ARC OF A CURVE, THE CENTER OF WHICH BEARS SOUTH 9° 00' EAST 60.00 FEET DISTANT, TO THE INTERSECTION OF SAID ROAD LINE WITH THE WESTERLY BOUNDARY OF LOT 330A, AS SAID LOT IS SHOWN ON THAT CERTAIN MAP ENTITLED, ROBLES DEL RIO CARMELO, SUBDIVISION NO. 3, FILED IN VOLUME 3 OF MAPS OF CITIES AND TOWNS, AT PAGE 87 THEREIN, RECORDS OF MONTEREY COUNTY, CALIFORNIA; THENCE

(15) ALONG SAID BOUNDARY OF SAID LOT 330A, SOUTH 00° 50' WEST, 17.70 FEET TO AN IRON PIPE, SAID PIPE BEING THE SOUTHWEST CORNER OF SAID LOT 330A, STANDING ON THE LINE BETWEEN SECTION 11 AND 14, TOWNSHIP 17 SOUTH, RANGE 2 EAST, M.D.B.&M.; THENCE

(16) ALONG SAID SECTION LINE, NORTH 89° 10' WEST, 101.80 FEET TO THE PLACE OF BEGINNING.

PARCEL II:

THAT CERTAIN PARCEL OF LAND SET FORTH IN RESOLUTION NO. 94 - 015, ENTITLED APPROVE SUMMARY ABANDONMENT OF A PORTION OF THE CUL DE SAC AT THE END OF CALLE DE LOS AGRINEMSOR, ROBLES DEL RIO CARMELO, SUBDIVISION, CARMEL VALLEY AREA, AND RECORDED JANUARY 18, 1994 IN REEL 3053, PAGE 1561, OFFICIAL RECORDS, MONTEREY COUNTY.

APN: 189-531-004

END OF DOCUMENT

First American Title

EXHIBIT F



COUNTY OF MONTEREY
HEALTH DEPARTMENT

ENVIRONMENTAL HEALTH DIVISION

MEMORANDUM

JANUARY 17, 2007

To: Elisa Manuguerra, Project Planner
Monterey County Planning Department

From: Patrick Treffry, REHS
Environmental Health Review

Subject: PLN040720 – Williams (Dobronte)

The following condition for the above referenced application is a *continuous condition*. Further requirements are not necessary at this time. Since this is a continuous condition, the applicant / owner is subject to all conditions and requirements regarding CURFFL (California Uniform Retail Food Facilities Law)

Compliance with CURFFL shall be on-going.

<u>CONDITION #</u>	<u>CONDITION</u>	<u>STATUS</u>
5	CURFFL – California Food Law	Continuous

Carmel Valley Fire Protection District

8455 Carmel Valley Road, Carmel California 93923
Phone (831) 624-5907 Fax (831) 625-2941

Fax

To: Elisa From: Chief Reade

Fax: 757 9516 Pages: Cover + 1

Phone: _____ Date: 1/19/07

Re: PLN 040 720 CC: File

Urgent For Review Please Comment Please Reply Please Recycle

• Comments:

Chief Lemos is off duty & was not able to locate the letter yesterday - it has been archived.

Call me if you need more information than this letter.

Chief Reade



Serving Carmel Valley, Mid Carmel Valley and Santa Lucia Preserve



Carmel Valley Fire Protection District

8455 Carmel Valley Road, Carmel California 93923
Phone (831) 624-5907 Fax (831) 625-2941

January 19, 2007

Monterey County Planning & Building Inspection Department
168W. Alisal Street, 2nd Floor
Salinas, CA 93901

RE: PLN 040-720
350 Calle de los Agrimensors
Williams – Bed and Breakfast

This letter is to notify you that the Carmel Valley Fire Protection District has cleared all conditions placed on the above project. The project is in compliance with the District's conditions.

The inspections were done by Division Chief Ron Lemos and he provided your office written notification at the time of compliance over a year ago.

Sidney R. Reade
Sidney R. Reade
Fire Chief



Serving Carmel Valley, Mid Carmel Valley and Santa Lucia Preserve





EXHIBIT H

WATER RESOURCES AGENCY

MEMORANDUM

Monterey County

DATE: 01/18/2007

TO: Elisa Manuguerra, Assistant Planner
FROM: Michael Trapani, Water Resources Technician
SUBJECT: Williams, PC 040720 (APN 189-531-004-000)
RE: Status of Agency Conditions

Cond. No.10: Water Availability Certification

CLEAR Upon review by the MCWRA it is found that this project will result in a net increase of zero acre-feet per year of water and is consistent with Monterey Peninsula Water Management District's Ordinance #70 and Board of Supervisors action dated October 11, 1994. Condition no. 10 is cleared.

THE APPLICANT IS CLEARED FOR ANY NECESSARY GRADING AND/OR BUILDING PERMITS, AND THE APPLICANT IS CLEARED FOR COMMENCEMENT OF USE.

3367

MONTEREY PENINSULA WATER MANAGEMENT DISTRICT RESIDENTIAL WATER RELEASE FORM AND WATER PERMIT APPLICATION

NOTE: When approved and signed by the jurisdictions, this form must be submitted with final and complete construction plans to:
Monterey Peninsula Water Management District Permit Office
5 Harris Court, Bldg. G ~ Monterey, CA 93940 ~ (831) 658-5601 ~ www.mpwmd.dst.ca.us
Completing the Water Release Form & Water Permit Application does not guarantee issuance of a water permit.

SPACES BELOW MUST BE COMPLETED OR THE APPLICATION MAY NOT BE PROCESSED. (Please print firmly)

1. OWNERSHIP INFORMATION: Name: FRANK AND SANDY DORALONE
 Daytime telephone: 831 236 4405
 Mailing Address: PO Box 200904
CARMEL CA 93922

2. AGENT/REPRESENTATIVE INFORMATION: Name: TOOD BESSIRE
 Daytime telephone: 831 682 0043
 Mailing Address: PO Box 200904
CARMEL CA 93922

3. PROPERTY INFORMATION: What year was the house constructed? NO CHANGE Existing Square-footage _____ Proposed Square-footage _____
 Address: 350 LOS AGUINEMSONS Assessor Parcel Number 189-531-004
 Is a water meter needed? (Circle one) YES NO If yes, how many meters are requested? _____
 Water company serving parcel: CAL-AM

NOTE: Separate water meters are required for each user. In residential uses, separate meters required for all auxiliary housing that includes a kitchen.

4. PROJECT DESCRIPTION (Be thorough and detailed): BED AND BREAKFAST

5. INSTRUCTIONS: Table #1 should list the fixtures on the property as they exist before the project. Table #2 should reflect all fixtures on the property after the project is completed. Only one Master Bath can be designated per residence.

TABLE NO. 1 EXISTING PROPERTY FIXTURE COUNT
(All fixtures before project)

Type of Fixture	Fixtures	Value	Count
Wash Basin - each	<u>8</u>	x 1.0 units =	<u>8</u>
Toilet, ultra-low flow-1.6 gallons-per-flush	<u>8</u>	x 1.7 units =	<u>13.6</u>
Toilet, ultra-low flow-1.0 gallon-per-flush		x 1.3 units =	
Toilet, ultra-low flow-1/2 gallon per flush		x 1.0 units =	
Urinal (1.0) gallon-per-flush		x 1.0 units =	
Urinal (0.5) gallon-per-flush		x 0.5 units =	
Waterless Urinal		x 0.0 units =	
Large bathtub (over 55 gallons capacity to overflow)	<u>1</u>	x 3.0 units =	<u>3.0</u>
Master Bath - Tub with separate shower stall		x 3.0 units =	
Standard bathtub (may have showerhead above)	<u>4</u>	x 2.0 units =	<u>8</u>
Shower, separate stall (one showerhead)		x 2.0 units =	
Shower, (additional head, 2 max per shower)		x 2.0 units =	
Shower system or custom shower		x _____ =	
Kitchen sink and dishwasher	<u>2</u>	x 2.0 units =	<u>4</u>
Dishwasher (each additional)		x 2.0 units =	
Laundry/utility sink (1 only per residential site)	<u>1</u>	x 2.0 units =	<u>2</u>
Washing Machine	<u>2</u>	x 2.0 units =	<u>4</u>
Bidet	<u>1</u>	x 2.0 units =	<u>2</u>
Bar sink	<u>1</u>	x 2.0 units =	<u>2</u>
Entertainment sink		x 1.0 units =	
Vegetable sink	<u>4.0</u>	x 1.0 units =	<u>4.0</u>
Swimming pool (ea. 100 sq. ft. of surface)		x 1.0 units =	
Other _____		x _____ =	
Other _____		x _____ =	
Other _____		x _____ =	
Other _____		x _____ =	

TABLE NO. 2 POST PROJECT FIXTURE COUNT
(All fixtures after project)

Type of Fixture	Fixtures	Value	Count
Wash Basin - each		x 1.0 units =	
Wash Basin 2nd in Master Bath		x 0.0 units =	
Toilet, ultra-low flow-1.6 gallons-per-flush		x 1.7 units =	
Toilet, ultra-low flow-1.0 gallon-per-flush*		x 1.3 units =	
Toilet, ultra-low flow-1/2 gallon per flush*		x 1.0 units =	
Urinal (1.0) gallon-per-flush		x 1.0 units =	
Urinal (0.5) gallon-per-flush		x 0.5 units =	
Waterless Urinal *		x 0.0 units =	
Large bathtub (over 55 gallons capacity to overflow)		x 3.0 units =	
Master Bath - Tub with separate shower stall		x 3.0 units =	
Standard bathtub (may have showerhead above)		x 2.0 units =	
Shower, separate stall (one showerhead)		x 2.0 units =	
Shower, (additional head, 2 max per shower)		x 2.0 units =	
Shower system or custom shower (per specs.)		x _____ =	
Kitchen sink and dishwasher		x 2.0 units =	
Kitchen sink and ULF dishwasher*		x 1.5 units =	
Dishwasher (each additional)		x 2.0 units =	
Laundry/utility sink (1 only per residential site)		x 2.0 units =	
Washing Machine		x 2.0 units =	
ULF Washing Machine-up to 28 gallons per cycle*		x 1.5 units =	
ULF Washing Machine-less than 18 gallons per cycle*		x 1.0 units =	
Bidet		x 2.0 units =	
Bar sink		x 1.0 units =	
Entertainment sink		x 1.0 units =	
Vegetable sink		x 1.0 units =	
Instant Access Hot Water System (fixture credit)		x (.5) units =	
Other _____		x _____ =	

NO CHANGE

(credit for hot water system not available for new houses)

Subtotal proposed fixtures _____
 **Outdoor Water Use: 50% of total interior fixture units (new connection only) _____
 Swimming pool (ea. 100 sq. ft. of surface) _____ x 1.0 units = _____
 PROPOSED FIXTURE UNIT COUNT TOTAL _____

EXISTING FIXTURE UNIT COUNT TOTAL 59.2

In completing the Water Release Form, the undersigned acknowledges that any discrepancy or mistake may cause rejection or delay in processing of the application. Additionally, the undersigned is responsible for accurately accounting for all water fixtures. If the fixture unit count changes without notification to the District, or if a difference in fixtures is documented upon official inspection, water permits for the property may be canceled. In addition, water fixtures installed without a water permit may be cause for interruption of the water service to the site, additional fees and penalties, the imposition of a lien on the property, and deduction of water from the local jurisdiction's allocation. The property owner/applicant is required to notify the District and provide architectural drawings as appropriate for each change in the project made prior to use or occupancy that may affect the project's capacity to use water.

6. I certify, under penalty of perjury, that the information provided on this Water Release Form & Water Permit Application is to my knowledge correct, and the information accurately reflects water use presently planned for this property.

Signature of Owner/Agent: TOOD BESSIRE Date: JANUARY 3, 2005 Location Where Signed: CARMEL
 Name: _____

AUTHORIZATION FOR WATER PERMIT - JURISDICTION USE ONLY

_____ AF Paralta Allocation _____ AF Public Allocation _____ AF Ord. 98 Bathroom
 _____ AF PRE-Paralta _____ No water needed _____ Private Well

NOTES: _____ Authorized by: _____ Date: _____

Manuguerra, Elisa x5179

From: Michael Boles [michael@mpwmd.dst.ca.us]
Sent: Wednesday, January 17, 2007 8:24 AM
To: Manuguerra, Elisa x5179
Subject: Bed & Breakfast, Permit No. 23227, APN; 189-531-004

Hello Eliza,

MPWMD issued Water Permit No. 23227 for a single family dwelling to be converted to a bed and breakfast inn. As of this date the Water Permit has not been finalized and closed. If the said property is now operating as a bed & breakfast, MPWMD should be contacted by the operator for a final Water Permit inspection, to verify compliance with Water Permit No. 23227, APN: 189-531-004.

Michael Boles Conservation Representative

01/17/2007



MONTEREY PENINSULA
WATER MANAGEMENT DISTRICT

5 Harris Court, Building G • P.O. BOX 85
Monterey, CA 93942-0085
(831) 658-5601 FAX (831) 644-9558

MPWMD WATER PERMIT
Issue Date: 02/16/2006
PERMIT #: 23227

Expires: 2/15/2007
Expires one year after date of issue
or at discretion of jurisdiction.
Final Inspection Required
by MPWMD

Applicant: Dobronte, Frank/Sandy

Phone: (831)236-4405

Agent: Todd Bessire

Phone: (831)682-2843

Applicant Mailing Address: 350 Los Agrinemsors
Carmel Valley, CA 93924

Property Address: 350 Los Agrinemsors MONTEREY COUNTY, CA 93924
DEED RESTRICTION APPLIES

Water Company: CAL-AM

Allocation debited: 0.000 AF Lot: AP Number: 189-531-004
Permit Type: REMODEL (Commercial) Number of Proposed Connections: 0

Existing Land Use SFD+CARETAKER
Proposed Land Use B&B + CARETAKER Water Account Number:

Remarks: ORD #60/ULF TOILETS, 2.5GPM SHOWERHEADS, 2.2GPM FAUCETS, WATER
CONSERVATION SIGNAGE REQUIRED IN ALL ROOMS.
CARETAKER UNIT AND SWIMMING POOL MUST BE SUPPLIED
STRICTLY BY PRIVATE WELL.

F E E S

TYPE OF USE	NUMBER	AVERAGE USE IN ACRE-FOET	TOTAL COST PER ACRE-FOOT	CONNECTION CHARGES
Bed and Breakfast	4.0 rooms	X 0.100000	X \$20,948.00 =	8,379.20
SFD	(0.429) AF	X 1.000000	X \$20,948.00 =(8,986.69)
		Connection Charge		0.00
		Permit Processing		350.00
		Other		4.00
		Deed Restriction		36.00
		Recording Fee		29.00
				=====
		TOTAL	---	419.00

I declare under penalty of perjury that the information on this permit, the accompanying application, and any attachments is correct to the best of my knowledge and belief. I have had an opportunity to review the Rules and Regulations of the MPWMD. The undersigned, as property owner or agent thereof, hereby authorizes MPWMD staff to make on-site inspections as deemed necessary to insure the accuracy of this application and compliance with the permit.

Furthermore, by signing this water permit, the undersigned acknowledges the District's right to assess and collect fees and impose fines for added water fixtures or changes in use occurring without amendment of the water permit. Water fixtures added without amendment of the water permit may be subject to a requirement of removal. The current title-holder of the property and/or his agent is responsible to insure completion of a Final Inspection by the MPWMD. Failure to arrange for a final inspection may result in a Notice of Violation record against the property, may subject a future property owner to fees and penalties, or may result in interruption of water service at the si

(continued)



MONTEREY PENINSULA
WATER MANAGEMENT DISTRICT
5 Harris Court, Building G • P.O. BOX 85
Monterey, CA 93942-0085
(831) 658-5601 FAX (831) 644-9558

MPWMD WATER PERMIT
Issue Date: 02/16/2006
PERMIT #: 23227

Expires: 2/15/2007
Expires one year after date of issue
or at discretion of jurisdiction.
Final Inspection Required
by MPWMD

Applicant: Dobronte, Frank/Sandy

Phone: (831) 236-4405

Agent: Todd Bessire

Phone: (831) 682-2843

Property Address: 350 Los Agrinemsors

MONTEREY COUNTY, CA 93924

Signature of Property Owner/Agent

2/16/2006

Date

The Monterey Water Management District issues a permit for the above project. This permit constitutes your receipt for the total fees shown. This permit may be revoked or other penalties imposed upon discovery of any substantial inaccuracy with respect to the above application.

MPWMD Delegated Agent

02/16/2006
Issued

NOTE: This permit does not guarantee service by any water company, public utility, or municipal water agency. This permit may be canceled at the request of the jurisdiction following notice to the property owner.

MONTEREY PENINSULA WATER MANAGEMENT DISTRICT

COMMERCIAL WATER RELEASE FORM AND WATER PERMIT APPLICATION

NOTE: When approved and signed, this form must be submitted with final and complete construction plans, to the Monterey Peninsula Water Management District permit office (831-658-5601), 5 Harris Court, Bldg. G, Monterey. Completing the Water Release Form & Permit Application does not guarantee issuance of a water permit.

ALL SPACES BELOW MUST BE COMPLETED OR THE APPLICATION MAY NOT BE PROCESSED. (Please print firmly).

Property Owner: FRANK AND SANDY DOBSONTE Agent/Representative: TODD BESSIRE
 Name of Business: SAME Mailing Address: P.O. Box 207964
 Business Owner: SAME CARMEL CA 93908
 Owner's Phone: 831 236 4405 Agent's Phone: 831 1082 2843
 Property Address: 350 LOS AGUINEMSOLES Assessor's Parcel Number: 189 - 531 - 004
CARMEL VALLEY 93904 Is a Water Meter Needed? NO If yes, how many? 0

(District law requires each water user to have separate water meters)

Water Company Serving Property: CAL-AM

All properties that modify or add water fixtures on a property within the Monterey Peninsula Water Management District must obtain written authorization from the District prior to taking action. Commercial users that increase square-footage or change uses, as illustrated below, are also required to obtain a water permit. Low water use plumbing fixtures will be required as a condition of most water permits. Applicants not increasing demand according to the table below may be directed by the jurisdiction to obtain a water permit waiver from the District in lieu of a water permit.

DETERMINE THE MOST APPROPRIATE CATEGORY FROM THE FOLLOWING LIST AND COMPLETE THE BLANK SPACES BELOW.

Square Footage of Commercial Space:

GROUP I - Low to Moderate Use

Multiply square footage by 0.00007 to estimate water needs for the following uses:

- Chiropractic
- Family Grocery
- Office
- Storage
- Retail
- Bank
- Church
- General Retail
- General Medical
- Fast Food
- Gym
- Warehouse
- Florist
- Manicure/Pedicure

GROUP II - High Use

Multiply square footage by 0.0002 to estimate water needs for the following uses:

- Bakery
- Deli
- Photographic
- Coffee House
- Intensive Medical
- Sandwich Shop
- Convenience Store
- Dry Cleaner
- Pizza
- Supermarket
- Candy Store
- Veterinary

GROUP III - Miscellaneous Uses

Each Type of Use has a Separate Factor. Multiply an appropriate factor as listed.

Use	Factor	Measurement (each)	Use	Factor (each)	Measurement (each)
Dorm	0.04	room	Restaurant (24hr)	0.038	seat (capacity counted)
Child Care	0.0072	child	Beauty Shop	0.0587	cutting station
Plant Nursery	0.00009	square-foot	Theater	0.0012	seat
Landscaping		Call District	Bar	0.02	seat (capacity counted)
Laundromat	0.2	washer	Restaurant	0.02	seat (capacity counted)
Gas Station	0.0913	# of pumps	Self-Storage	0.00001	square-footage
Meeting Hall	0.00053	square-foot	Spa	0.05	per spa/Jacuzzi
Lux. Hotel	0.21	room	Motel/B&B	0.1	room
Residential Care		Call District	Dental		Call District
Car Wash		Call District	Swimming Pool	0.02	100 square-foot surface area

PLEASE COMPLETE THE FOLLOWING:

Measurement X Factor from Above = Water Capacity

(1) PREVIOUS USE SINGLE FAMILY DWELLING 0.592 ACRE-FEET

(2) PROPOSED USE 4 B&B ROOMS X .1 = .4 ACRE-FEET

SUBTRACT (2) FROM (1) 0.192 CREDIT ACRE-FEET

NOTE: If the result is a positive number, the jurisdiction must authorize water for the difference.

In completing this Water Release Form, the undersigned (as owner or as agent for the property owner) acknowledges that any discrepancy or mistake may cause rejection or delay in processing of the application. Additionally, the applicant is responsible for accurately accounting for the type of commercial use of the business. If the type of use changes without notification to the District, water permits for the property may be canceled. In addition, changes in use or expansions completed without a water permit may be cause for interruption of the water service to the site, additional fees and penalties, the imposition of a lien on the property, and deduction of water from the local jurisdiction's allocation.

I certify, under penalty of perjury, that the information provided on this Water Release Form & Permit Application is to my knowledge correct and the information accurately reflects the changes presently planned for this property.

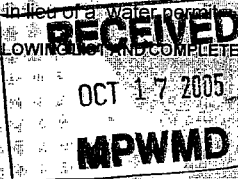
Signature of Owner/Agent

Date

This form expires on the same date as any discretionary

Exhibit H Page 6 of 6 pages in county.

WHITE - MPWMD YELLOW - APPLICANT



OFFICIAL USE ONLY

1. PLAN CHECKED FOR: BUILDING PERMIT DISCRETIONARY

2. JURISDICTION'S FILE NUMBER: PC 04070 SB

3. PLAN CHECK DATE: _____

4. AMOUNT OF WATER DEDUCTION AUTHORIZED: _____ ACRE-FEET

5. ACCOUNT TO BE DEBITED (Please check one): Paratita Allocation Public Credit Account Pre-Paratita Account NO DEBIT AUTHORIZED

6. Date of Authorization: 10/13/05

7. Authorized by: [Signature]

Notes: (See PC 04070 original)

Assistance with completing this form may be obtained from the MPWMD at (831) 658-5601 from 8:00 - 5:00 weekdays.

JANUARY 3, 2005

EXHIBIT I

0600.350

**Before the Board of Supervisors in and for the
County of Monterey, State of California**

- a. Approve a Traffic Impact Fee Agreement with Tim Arthur Williams, et al. in compliance with Condition of Approval No. 11 of Use Permit No. PLN040720, located on Calle de Los Agrinemsors, Carmel Valley area; and)
- b. Authorize the Chair to execute the Traffic Impact Fee Agreement; and)
- c. Direct the Clerk to the Board to submit the Traffic Impact Fee Agreement to the County Recorder for filing.)

Upon motion of Supervisor Smith, seconded by Supervisor Salinas, and carried by those members present, the Board hereby:

- a. Approves a Traffic Impact Fee Agreement with Tim Arthur Williams, et al. in compliance with Condition of Approval No. 11 of Use Permit No. PLN040720, located on Calle de Los Agrinemsors, Carmel Valley Area;
- b. Authorizes the Chair to execute the Traffic Impact Fee Agreement; and
- c. Directs the Clerk to the Board to submit the Traffic Impact Fee Agreement to the Recorder for filing.

PASSED AND ADOPTED on this 9th day of January 2007, by the following vote, to-wit:

AYES Supervisors Armenta, Potter, Salinas, and Smith

NOES: None

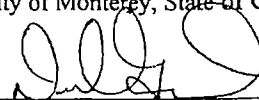
ABSENT: Supervisor Calcagno

I, Lew C. Bauman, Clerk of the Board of Supervisors of the County of Monterey, State of California, hereby certify that the foregoing is a true copy of an original order of said Board of Supervisors duly made and entered in the minutes thereof Minute Book 73, on January 9, 2007.

Dated: January 9, 2007

Lew C. Bauman, Clerk of the Board of Supervisors,
County of Monterey, State of California.

By



Darlene Drain, Deputy

WHEN RECORDED MAIL TO:

Denise Hancock, Clerk to the Board

Clerk to the Board Office, 1st Floor

Monterey County Government Center

Salinas, CA 93901

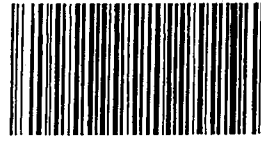
Stephen L. Vagnini
Monterey County Recorder
Recorded at the request of

CRLUCY
1/10/2007
10:06:16

Board of Supervisors

DOCUMENT: **2007002740**

Titles: 1/ Pages: 11



Fees ..
Taxes.
Other. _____
AMT PAID

THIS SPACE FOR RECORDER'S USE ONLY

TRAFFIC IMPACT FEE AGREEMENT

When recorded return to:
Monterey County
Resource Management Agency
Public Works Department
168 West Alisal St. 2nd Floor
Salinas CA 93901

TRAFFIC IMPACT FEE AGREEMENT

This Agreement ^{is} made and entered into by and between the County of Monterey, a political subdivision of the State of California, ("County") and Tim Arthur Williams and Kimberly Pearson Williams, Fred E. Peters, Frank P. Dobronte and Sandy Dobronte (hereinafter "Developers" or "Owners").

WITNESSETH

WHEREAS, Developers are the Owners of certain real property located in Monterey County, California, described in Exhibit A attached hereto and hereby incorporated by this reference (hereinafter referred to as the "property");

WHEREAS, on June 29, 2005, County's Planning Commission approved PLN 040720 (hereinafter referred to as the "project") subject to certain conditions;

WHEREAS, Condition Number 11 of Planning Commission Resolution No 05029 provides as follows:

"The Applicant shall pay the Carmel Valley Master Plan Area Traffic Mitigation Fee pursuant to the Board of Supervisors Resolution No. 95-140 adopted September 12, 1995. (Fees are updated annually based on ^{Construction Cost Index} CCI.)"

WHEREAS, the parties understand and agree that the Traffic Impact Fee for this project shall be an amount equal to that charged for four new hotel/motel units (or a fee to be determined by the Board of Supervisors to be rationally related to the project's impact on Carmel Valley Road) less the fee for one residential Market Rate Unit. Although the Carmel Valley Master Plan Area Traffic Mitigation Fee has no provision for a Bed and Breakfast Use, Owners/Developers hereby acknowledge that for good and valuable consideration for the County's approval of the project, receipt of which is hereby

Negotiated document prepared by Todd Bessire, Esquire

1

acknowledged, the Owners/Developers hereby agree to pay a fee in proportion to the project's impact on Carmel Valley Road. Said fee shall be satisfied with eight (8) installment payments paid over a two (2) year period.

WHEREAS, Owners/Developers desire to enter into this agreement to comply with Condition Number 11 and begin use of the Bed and Breakfast allowed by PLN 04070 approved by Planning Commission Resolution No. 05029.

WHEREAS, Owners/Developers have agreed to the imposition of the foregoing Condition and are ready, willing, and able to comply therewith;

NOW, THEREFORE, for good and valuable consideration receipt of which is hereby acknowledged, the parties agree as follows:

I. AGREEMENT

A. Contribution. Prior to commencement of use, Owners/Developers shall pay the initial installment payment to Monterey County Public Works Department in an amount of \$9,679 (equal to 1/8 of the total traffic impact fee). The first installment of \$9,679 shall be due and payable to the County of Monterey on or before August 15, 2006. Said amount shall be paid every three calendar months and shall be due on or before the 15th of the month until the total traffic impact fee of \$77,432 has been paid.

B. Activation of Use Permit. Upon Owners'/Developers' initial installment payment, Use Permit PLN 040720 set forth in Planning Commission Resolution No. 05029 shall become active and remain active provided all of the installments are timely paid in accordance with paragraph A. Contribution above.

C. Default. The parties understand and agree that any default in payment shall result in a Notice of Violation and become a lien on the property described in Exhibit A. The parties understand and agree that the County shall have the right to collect any and all outstanding amounts due to the County from the property Owners and, any and all successors in interest, upon the property tax bills for the property described in Exhibit A.

D. Release of Obligation. After the above contribution ^{has been} paid in full by the Owners/Developers or any successors in interest, Owners/Developers may ^{request a "Release of Obligation Notice" from the County and} record a "Release of ^{my} Obligation Notice" in substantially similar form to the "Release of Obligation Notice" attached hereto as Exhibit "B." Upon recordation of the "Release of Obligation Notice" Developer shall be fully

released from the obligations of this Agreement.

II. MISCELLANEOUS PROVISIONS

- A. Complete Agreement. This Agreement constitutes the entire agreement between the parties and supersedes all agreements, representations, warranties, statements, promises and understandings, whether oral or written, with respect to the subject matter thereof, and no party hereto shall be bound by or charged with any oral or written agreements, representations, warranties, statements, promises or understanding not specifically set forth in this agreement or the exhibits hereto.
- B. Successors and Assigns. This Agreement shall inure to the benefit of, and shall be binding upon, the Parties and their respective heirs, representatives, administrators, executors, successors, and assigns and shall run with the land described in Exhibit "A."
- C. Amendments. Except as provided in this Agreement, this Agreement may be amended in whole or in part only by a further written agreement executed by all of the parties.
- D. Construction of Agreement. It is agreed by the parties that this Agreement has been arrived at through negotiation and neither party is to be deemed the party, which prepared this Agreement for the purposes of interpreting this Agreement.
- E. Severability. In the event that any provision of this Agreement is found to be invalid or unenforceable, such determination shall not affect the validity and enforceability of any other provision of this Agreement.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement on the last date opposite their respective signatures.

COUNTY OF MONTEREY

Date: 1-9-07

Dave Patten
Chair, Board of Supervisors

DEVELOPERS/OWNERS:

Date: 7/13/06

Tim Arthur Williams and
Tim Arthur Williams and

Date: 7-13-06

Kimberly Pearson Williams
Kimberly Pearson Williams,

Date: _____

Fred E. Peters,

Date: _____

Frank P. Dobronte and

Date: _____

Sandy Dobronte

ATTEST:

APPROVED AS TO FORM
MMP 9-12-06
Office of the County Counsel

Clerk of the Board of Supervisors

By: _____

By: Mary Grace Boy
Deputy
as revised throughout
MGP

APPROVED:

RONALD J. LUNDQUIST, P.E.
DIRECTOR OF PUBLIC WORKS

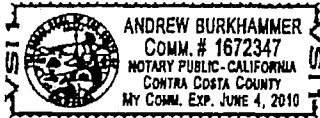
Negotiated document prepared by Todd Bessire, Esquire

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CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

State of California }
County of Contra Costa } ss.

On July 13th 2006 before me, Andrew Burkhammer, Notary Public
Date Name and Title of Officer (e.g., "Jane Doe, Notary Public")
personally appeared Kimberly Pearson Williams & Tim Arthur Williams
Name(s) of Signer(s)



personally known to me
 proved to me on the basis of satisfactory evidence

to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/hers/their authorized capacity(ies), and that by his/hers/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Andrew Burkhammer
Signature of Notary Public

OPTIONAL

Though the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.

Description of Attached Document

Title or Type of Document: _____

Document Date: _____ Number of Pages: _____

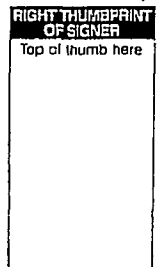
Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer

Signer's Name: _____

- Individual
- Corporate Officer — Title(s): _____
- Partner — Limited General
- Attorney-in-Fact
- Trustee
- Guardian or Conservator
- Other: _____

Signer is Representing: _____



Handwritten notes: TAW, KPW, 4.2, JAW

IN WITNESS WHEREOF, the parties hereto have executed this Agreement on the last date opposite their respective signatures.

COUNTY OF MONTEREY

Date: _____

Chair, Board of Supervisors

DEVELOPERS/OWNERS:

Date: _____

Tim Arthur Williams and

Date: _____

Kimberly Pearson Williams,

Date: June 21, 2006

[Signature]
Fred E. Peters,

Date: June 21, 2006

[Signature]
Frank P. Dobronte and

Date: June 21, 2006

[Signature]
Sandy Dobronte

ATTEST:

APPROVED AS TO FORM

Clerk of the Board of Supervisors

Office of the County Counsel

By: _____

By: _____
Deputy

APPROVED:

RONALD J. LUNDQUIST, P.E.
DIRECTOR OF PUBLIC WORKS

Negotiated document prepared by Todd Bessire Esquire

[Handwritten initials and numbers]
4.3
KAW
JAW
FD
SA

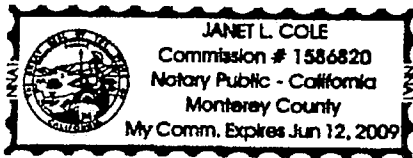
CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

State of California }
County of Monterey } ss.

On June 21, 2006 before me, Janet L. Cole - Notary Public
Date Name and Title of Officer (e.g., "Jane Doe, Notary Public")
personally appeared SANDY DOBRANTE, FRANK P. DOBRANTE, FRED E. PETERS
Name(s) of Signer(s)

personally known to me
 proved to me on the basis of satisfactory evidence

to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that ~~he/she~~/they executed the same in ~~his/her~~/their authorized capacity(ies), and that by ~~his/her~~/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



WITNESS my hand and official seal.

Janet L. Cole
Signature of Notary Public

OPTIONAL

Though the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.

Description of Attached Document

Title or Type of Document: Traffic Impact Fee Agreement

Document Date: _____ Number of Pages: 4

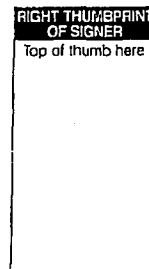
Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer

Signer's Name: _____

- Individual
- Corporate Officer — Title(s): _____
- Partner — Limited General
- Attorney-in-Fact
- Trustee
- Guardian or Conservator
- Other: _____

Signer Is Representing: _____



THW
4.4
KAW
FD

EXHIBIT A

Order Number: 2705-1579408
Page Number: 7

LEGAL DESCRIPTION

Real property in the unincorporated area of the County of Monterey, State of California, described as follows:

PARCEL I:

BEGINNING AT A TWO-INCH IRON PIPE STANDING AT THE CORNER COMMON TO SECTIONS 10, 11, 14 AND 15 IN TOWNSHIP 17 SOUTH, RANGE 2 EAST, M.D.B.&M.; THENCE

(1) ALONG AND FOLLOWING THE LINE COMMON TO SECTIONS 10 AND 15, NORTH 89° 10' WEST, 1352.7 FEET TO A ONE-INCH IRON BAR STANDING AT THE SOUTHEASTERLY CORNER OF THAT CERTAIN PARCEL OF LAND CONVEYED TO HENRY H. WEHRANE BY DEED RECORDED MARCH 14, 1935 IN VOLUME 426 OF OFFICIAL RECORDS, AT PAGE 459 THEREIN; THENCE

(2) ALONG AND FOLLOWING THE EASTERLY BOUNDARY OF SAID PARCEL, NORTH 33° 09' EAST (AT 557.94 FEET A 4 X 4 POST, AT 681.16 FEET A 4 X 4 POST) 901.26 FEET TO A 4 X 4 POST; THENCE

(3) LEAVING SAID BOUNDARY LINE SOUTH 85° 05' EAST (AT 387.35 FEET A 4 X 4 POST, AT 782.65 FEET A 4 X 4 POST, AND AT 943.93 FEET A 4 X 4 POST) 973.17 FEET TO THE NORTH-WESTERLY BOUNDARY OF A 40 FOOT ROAD RIGHT OF WAY, SAID RIGHT OF WAY DESCRIBED IN DEED FROM GEORGE J. KOCH, ET UX, TO MONTEREY COUNTY, BY DEED DATED OCTOBER 17, 1939 AND RECORDED JANUARY 9, 1941 IN VOLUME 693 OF OFFICIAL RECORDS, AT PAGE 428 THEREIN; THENCE

(4) ALONG AND FOLLOWING THE BOUNDARY OF SAID ROAD RIGHT OF WAY, SOUTH 25° 28' 30" WEST, 94.73 FEET; THENCE

(5) TANGENTIALLY CURVING TO THE RIGHT 72.09 FEET ON THE ARC OF A CURVE THE CENTER OF WHICH BEARS NORTH 64° 31' 30" WEST, 73.00 FEET TO A POINT OF REVERSE CURVATURE; THENCE

(6) TANGENTIALLY CURVING TO THE LEFT, 155.97 FEET ON THE ARC OF A CURVE, THE CENTER OF WHICH BEARS SOUTH 7° 56' 30" EAST, 40.00 FEET DISTANT TO A POINT OF COMPOUND CURVATURE; THENCE

(7) TANGENTIALLY CURVING TO THE LEFT 31.65 FEET ON THE ARC OF A CURVE, THE CENTER WHICH BEARS NORTH 51° 30' 30" WEST, 459.15 FEET TO A POINT OF REVERSE CURVATURE; THENCE

(8) LEAVING THE BOUNDARY OF SAID ROAD RIGHT OF WAY ALONG AND FOLLOWING THE WESTERLY BOUNDARY OF A FIRE TRAIL TANGENTIALLY CURVING TO THE RIGHT 54.40 FEET ON THE ARC OF A CURVE, THE CENTER OF WHICH BEARS SOUTH 55° 27' 30" EAST, 20.00 FEET; THENCE

(9) TANGENTIALLY SOUTH 10° 22' WEST, 1.8 FEET; THENCE

(10) TANGENTIALLY CURVING TO THE LEFT 101.37 FEET ON THE ARC OF A CURVE, THE CENTER OF WHICH BEARS SOUTH 79° 38' EAST, 100.00 FEET DISTANT, TO A POINT OF REVERSE CURVATURE; THENCE

First American Title

EXHIBIT A

PAGE 1 OF 2 PAGES

Handwritten signatures and initials:
KRW
mag
TDW
70

(11) TANGENTIALLY CURVING TO THE RIGHT 96.37 FEET ON THE ARC OF A CURVE, THE CENTER OF WHICH BEARS SOUTH 42° 17' WEST, 100.00 FEET; THENCE

(12) TANGENTIALLY SOUTH 7° 30' WEST, 111.74 FEET; THENCE

(13) TANGENTIALLY CURVING TO THE RIGHT 133.98 FEET ON THE ARC OF A CURVE, THE CENTER OF WHICH BEARS NORTH 82° 30' WEST, 104.44 FEET DISTANT, TO A POINT OF A REVERSE CURVATURE; THENCE

(14) TANGENTIALLY CURVING TO THE LEFT 206.74 FEET ON THE ARC OF A CURVE, THE CENTER OF WHICH BEARS SOUTH 9° 00' EAST 60.00 FEET DISTANT, TO THE INTERSECTION OF SAID ROAD LINE WITH THE WESTERLY BOUNDARY OF LOT 330A, AS SAID LOT IS SHOWN ON THAT CERTAIN MAP ENTITLED, ROBLES DEL RIO CARMELO, SUBDIVISION NO. 3, FILED IN VOLUME 3 OF MAPS OF CITIES AND TOWNS, AT PAGE 87 THEREIN, RECORDS OF MONTEREY COUNTY, CALIFORNIA; THENCE


(15) ALONG SAID BOUNDARY OF SAID LOT 330A, SOUTH 00° 50' WEST, 17.70 FEET TO AN IRON PIPE, SAID PIPE BEING THE SOUTHWEST CORNER OF SAID LOT 330A, STANDING ON THE LINE BETWEEN SECTION 11 AND 14, TOWNSHIP 17 SOUTH, RANGE 2 EAST, M.D.B.&M.; THENCE

(16) ALONG SAID SECTION LINE, NORTH 89° 10' WEST, 101.80 FEET TO THE PLACE OF BEGINNING.

PARCEL II:

THAT CERTAIN PARCEL OF LAND SET FORTH IN RESOLUTION NO. 94 - 015, ENTITLED APPROVE SUMMARY ABANDONMENT OF A PORTION OF THE CUL DE SAC AT THE END OF CALLE DE LOS AGRINEMSOR, ROBLES DEL RIO CARMELO, SUBDIVISION, CARMEL VALLEY AREA, AND RECORDED JANUARY 18, 1994 IN REEL 3053, PAGE 1561, OFFICIAL RECORDS, MONTEREY COUNTY.

APN: 189-531-004



First American Title

EXHIBIT A
PAGE 2 OF 2 PAGES *TRW*
TRW *KPW* *max* *SD* *FD*

EXHIBIT B

Recording Requested by and
When Recorded Return to:

(Developer)

(SAMPLE FORM)
(mgp)

RELEASE OF OBLIGATION NOTICE

This Release of Obligation Notice has been recorded by the undersigned for the purpose of releasing the obligations binding the property described in Exhibit "A" with respect to that certain Traffic Impact Fee Agreement on XXXX, at Reel X and Page XX in the *(mgp)* Office of the Recorder for the County of Monterey.

XXXX *(mgp)*

RONALD J. LUNDQUIST, P.E.
PUBLIC WORKS DIRECTOR,
MONTEREY COUNTY RESOURCE MANAGEMENT AGENCY -
PUBLIC WORKS DEPARTMENT

STATE OF CALIFORNIA }

COUNTY OF MONTEREY }

On this _____ day of _____, 200_, before me, the undersigned a Notary Public, personally appeared _____, known to me (or proved to me on the basis of satisfactory evidence) to be the person who executed this instrument as Director, Monterey County Public Works Department, and acknowledge to me that _____ executed it.

WITNESS my hand and official seal

see attached document
Notary Public *(mgp)*

EXHIBIT B
PAGE 1 OF 1 PAGES *KRW TFW*

Negotiated document prepared by Todd Bessire, Esquire

Exhibit I Page 12 of 14 pages *(mgp)*

Stephen L. Vagnini
Monterey County
Recorder

OFFICIALS

01/10/07

10:06:19

Receipt # 557689
Cashier CRLUCY
From Doc # 2007002740
To Doc # 2007002740

Public

2007002740
Fee \$0.00

Total Fee \$0.00
Taxes 0.00
Other 0.00

** TOTAL 0.00

PLEASE KEEP THIS RECEIPT FOR REFERENCE

FEES FOR TRAFFIC IMPROVEMENT PROJECTS: CARMEL VALLEY ROAD

EFFECTIVE JULY 1, 2006 TO JUNE 30, 2007

(Pursuant to Board of Supervisors Resolution 95-410, adopted September 12, 1995)

THE FOLLOWING FEES ARE TO BE COLLECTED PRIOR TO BUILDING PERMIT ISSUANCE

DEVELOPMENT ON EXISTING LOTS OF RECORD (RECORDED PRIOR TO 8/25/92)	CVMP AREA	EXPANDED AREA
Market Rate Unit	\$10,280	\$5,140
Senior Unit	\$5,140	\$2,570
Caretaker Unit	\$10,280	\$5,140
2nd Unit/Apartment	\$10,280	\$5,140
Low/Moderate Income Unit	0	0
DEVELOPMENT ON NEW LOTS OF RECORD (RECORDED AFTER 8/25/92)	CVMP AREA	EXPANDED AREA
Market Rate Unit	\$20,560	\$10,280
Senior Unit	\$10,280	\$5,140
Caretaker Unit	\$20,560	\$10,280
2nd Unit/Apartment	\$20,560	\$10,280
Low/Moderate Income Unit	0	0
COMMERCIAL		
New Hotel/Motel Unit	\$22,359 per room	
Existing Hotel/Motel Expansion	\$10,923 per room	
Commercial Uses	\$5,397 per 1000 sq. ft.	
Service Centers	\$2,699 per 1000 sq. ft.	

- NOTES:
1. Residential: Remodels, additions, guesthouses, and non-habitable accessory structures are exempted from the fee.
 2. For a determination of parcels subject to fee requirements, see the map available at the Monterey County Planning and Building Inspection Department Offices.
 3. Make checks payable to "Monterey County."

EXHIBIT J

**CHRONOLOGICAL LIST OF REPORTED EVENTS AT
LAS FUENTES BED & BREAKFAST
350 CALLE DE LOS AGRINEMSOR, CARMEL VALLEY
APN 189-531-004-000
(CE050491 & CE060208)**

CASE #	DATE OF EVENT	DESCRIPTION OF COMPLAINT	ADDITIONAL INFORMATION
CE050491	Nov. 19 & 20, 2005	Artist's Reception held over a two-day period, flyers advertising event were distributed.	Obtained copy of flyer advertising the reception.
CE060208	June 9, 2006	Delivery trucks (A-1 Rents) going to and from property all day long was causing traffic problems.	This incident is in conjunction with the June 10th activity. See below for details.
CE060208	June 10, 2006	Event (wedding) took place to which there was heavy vehicle traffic, vehicles parked along the roadway, people were bussed to and from the property causing traffic problems and illegal use of public areas in the Carmel Valley Village for parking.	Mrs. Dobronte advised Code Enforcement of the upcoming private wedding several months prior to the occurrence.
CE060208	June 21, 2006	Letter from Dale Ellis establishing June 10 th event as a private wedding party.	
CE060208	Received additional complaint on August 30, 2006	Received report that the entire property rented out for a three week period, including the cottage that is to be occupied by the owners and is not to be rented.	Printed calendar from web-site which only shows the days the facility is fully booked, but gives no particulars.
CE060208	September 6, 2006	Two airbuses were seen driving people to and from the property. It was alleged that some type of event took place.	Mrs. Dobronte e-mailed Dale Ellis and explained that she, as a new member of the Carmel Valley Women's Club, hosted a meeting from 4-6 p.m. to which no money was charged and that she provided transportation to and from the village for approximately 60 people.

CE060208	October 14, 2006	Wedding held at property, Monterey Airbus shuttled people to and from the property, cars parked on the roadside and on neighbor's property at the location of the Dobronte's other home at 196 W. Carmel Valley Road.	
CE060208	October 30, 2006	A "Wellness Series" seminar scheduled for 6:30-8:30 p.m. to which there is a fee for attendance. This was advertised by way of a flyer found at Whole Foods Market in Monterey.	Obtained the flyer which advertised a cost to attend the seminar.
		FOLLOW-UP INFO E-MAIL CONTACTS WITH SANDY DOBRANTE by Bill Dunn	
		Information below describes series of e-mails sent regarding rental of bed and breakfast facility Las Fuentes for a fictitious corporate group.	
CE060208	November 7, 2006 7:55 A.M. E-mail sent to Sandy Dobronte	Information requested for seven day rental booking of entire facility with a note we would provide our own security and catering.	
	November 7, 2006 1:30 P.M. E-mail received from Sandy Dobronte	Indicates they have celebrity chefs available for an evening if desired. Says they can accommodate 8 to 14 guests overnight and can arrange lodging at an affiliate location that also provides our guests a full service spa and exercise room.	
	November 13, 2006 3:12 P.M. Received from Sandy Dobronte	Requesting phone call at 831-659-4080 to discuss February corporate retreat at Las Fuentes.	
	November 16, 2006 7:22 A.M. Sent to Sandy Dobronte	Message sent requesting accommodations for four couples (8) and six (6) singles. Indicated that two of the singles would be OK off site with their affiliate, we asked for particulars on affiliated site and what accommodations on site would be.	
	November 16, 2006 9:24 A.M. Received from Sandy Dobronte	Accommodations described for 12 guests including the use of separate "Carmel Cottage". Recommended that	

		remaining two single guests be placed at Bernardus Lodge or Quail Lodge Resorts. "We have a wonderful partnership with both resorts and our guests enjoy using their exercise room and tennis courts."	
	November 23, 2006 10:14 P.M. Sent to Sandy Dobronte	Withdrew from negotiation saying we would look at a summer date.	
	November 24, 2006 10:54 A.M. Received from Sandy Dobronte	Inquiry from Sandy asking if we would re-set for summer or had we selected a different resort.	
	November 24, 2006 2:04 P.M. Sent to Sandy Dobronte	We told Sandy we had not selected another resort just needed to re-set.	

EXHIBIT K

Las Fuentes

350 Calle de los Agrinemsors • Carmel Valley, CA 93924
831.659.4080 • fax 831.625.8650

February 15, 2005

Re: Application for B&B permit at 350 Calle de los Agrinemsors, Carmel Valley, Ca
93924

To the Monterey County Planning Commission ,

My wife & I, Frank & Sandy Dobronte purchased the property at 350 Calle de los
Agrinemsors, Carmel Valley, Ca 93924. We are listed on the grant deed as owners with
our investors Tim & Kim Williams and Fred Peters. The Grant Deed was filed on
January 14, 2005.

It is our intention to run a Bed & Breakfast at this location. Mrs. Dobronte and myself
will be occupying the property per the requirements of the Monterey County Code.

In keeping with the Bed & Breakfast tradition, we plan to serve breakfast to our guest.

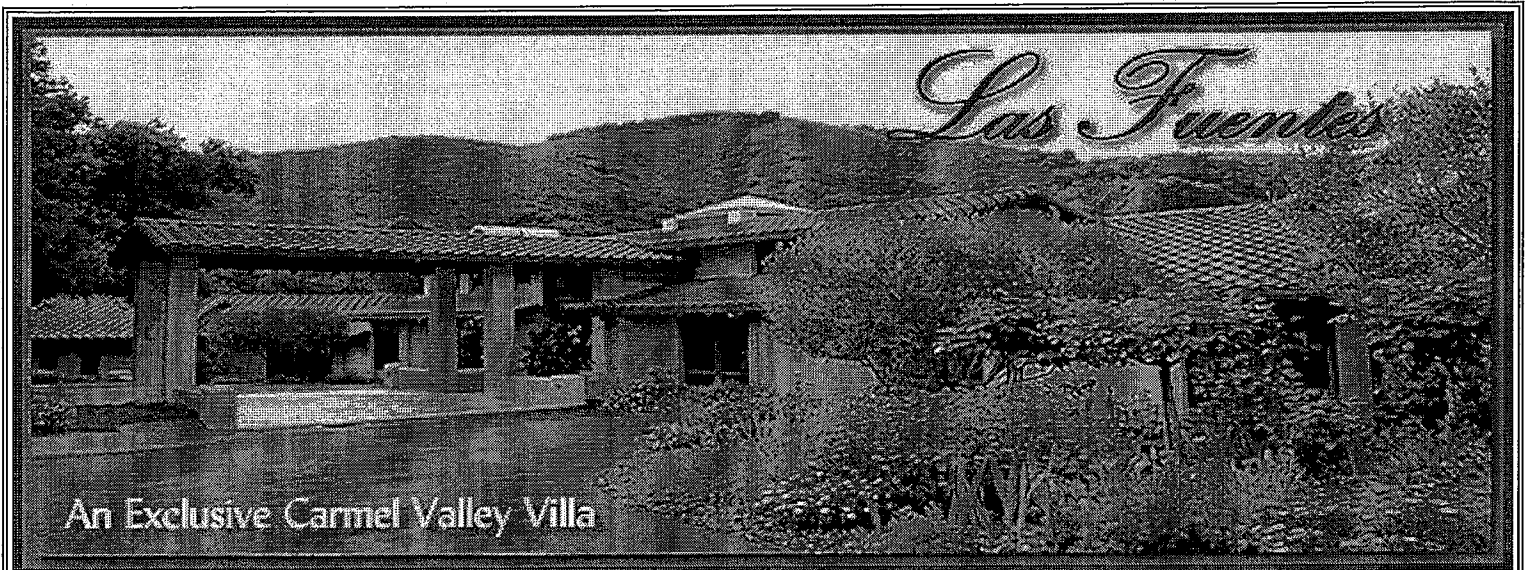
Thank you,


Sandy & Frank Dobronte

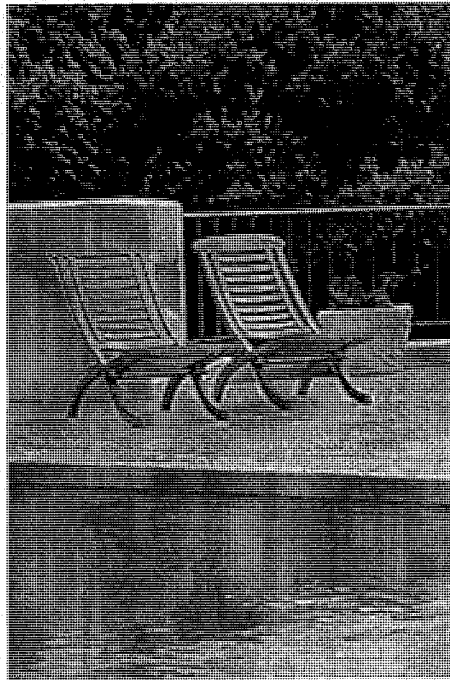
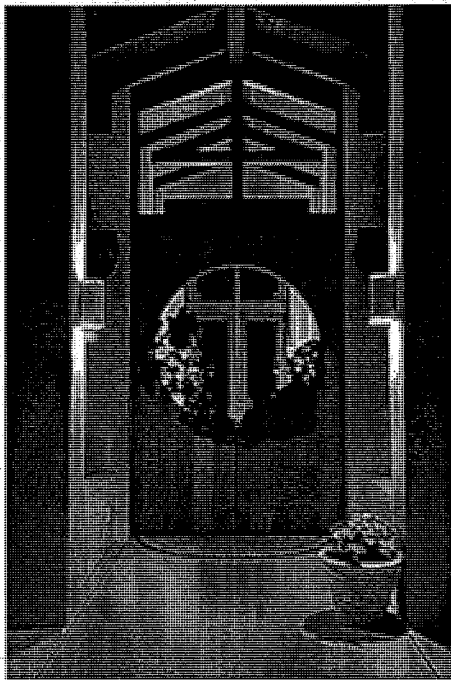
RECEIVED

MAR 21 2005

MONTEREY COUNTY
PLANNING & BUILDING INSPECTION DEPT.



[Home](#) : [Interior Images](#) : [Pool & Gardens](#) : [Guest Comments](#) : [Map & Directions](#)



Experience Las Fuentes, Carmel Valley's Exclusive Concierge Villa, where mornings begin with birdsong and days unfold with a natural rhythm. At this mountain top retreat, the luxury of quiet brings a sense of well being to the close of each day. Las Fuentes is a place to feel deeply at peace — bringing the mind into balance with a sense of the sacred that inhabits the landscape.

Nestled on twenty acres of oak studded preserve, this sanctuary becomes your private

resort. With a passionate commitment to personal service, our concierge will assist you in creating the ultimate retreat. You and your guests will receive warm hospitality and superb attention to detail.

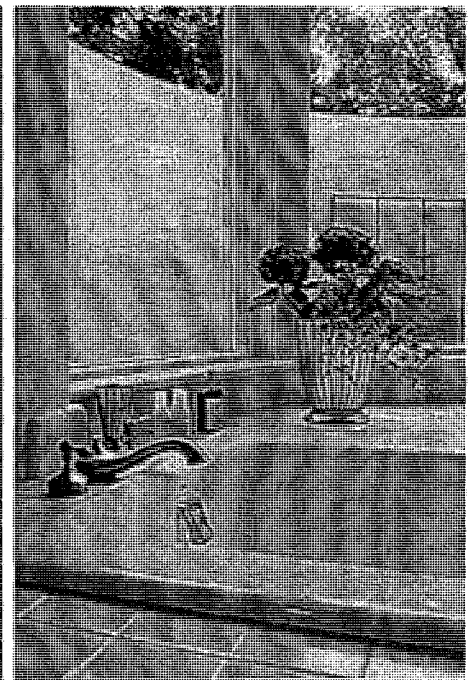
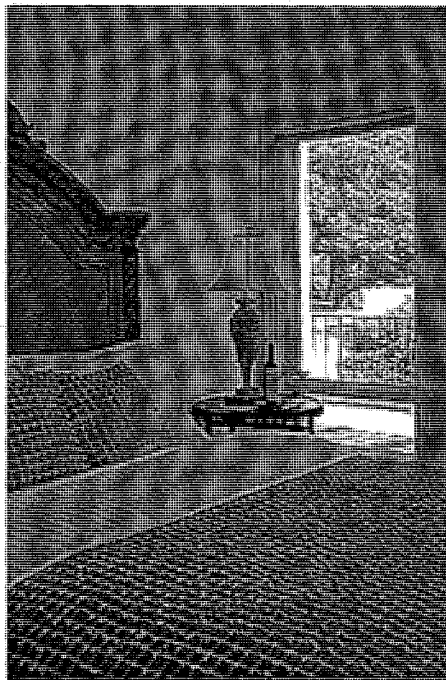
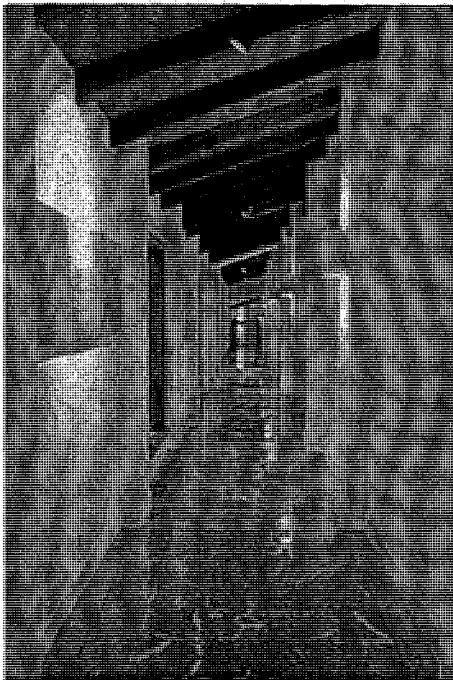


Take a look inside ...

Our guest rooms open onto private garden patios with spectacular vistas of the Carmel Valley preserve. Each elegant room is exquisitely appointed with fine Mediterranean furnishings, captivating original fine art and adorned with seasonal fresh flowers. Our guests enjoy the old world luxuries of crisp Italian linens, natural bath products and robes, goose-down pillows and comforters as well as the latest technology in cable and internet access.

This magnificently equipped oasis has four heavenly bedrooms in the main house - all with private baths and walk-in-closets. The Carmel Cottage, a separate addition to the main house, accommodates four comfortably. It is available upon special request.

Please contact us for more information or to request a brochure. Our rates are as follows: One night - \$3,000; Three nights - \$8,000; Five nights - \$12,500; Weekly - \$15,000.
(Weekends are a two-night minimum. Rates subject to change.)



LAS FUENTES: 350 LOS AGRINEMSOR, CARMEL VALLEY, CA 93924

PH: 831.659.4080 • EMAIL: sandy@carmelvalleyvilla.com

Home : Interior Images : Pool & Gardens : Guest Comments : Map & Directions

Website design and photography: InnLight Marketing

Dear Sandy and Frank,

We certainly enjoyed your tour of Paradise here in Carmel Valley. Our 2 weeks flew by and we loved every minute of every day! The Harper Hide Away report was "right on" in recommending Las Fuentes. We look forward to many more visits with you throughout the years to come.

Sincerely,
Donna and Steve Hicks
Austin, Texas

...

Dear Sandy,

The environment you have created is magical! You have manifested heaven on earth, and you have thought of everything. We have been nurtured in mind, body and spirit

and all of our senses have been satisfied. This is such a special retreat to revitalize, recharge, renew and revisit where we are, where we want to go - what's important and what's next.

I would recommend Las Fuentes retreat to any group who is searching for creativity, teamwork, visioning and designing a wonderful future. When people want a limitless and powerful experience they need to enjoy your unique creation!

Charis Carter-Scott, PhD, Author
Michael Zambrano, Agent

...

Dear Sandy and Frank,

You have embraced and bottled a rare experience—one that goes beyond high expectations.

A recipe tribute to Las Fuentes with retreat:

1 sp. of careful attention to details
1 sp. of aesthetic space to decompress
1 hot cup of nurturing tea
hours of laughter and warm conversations

Remembering that the best recipes have a dash of a special ingredient which is undefined and yields the most amazing gift. Thanks for the unique treat!

Salute with grace y a presto mi amigo!
Melissa Charr, Essence of Mexico

...

Las Fuentes provides the perfect setting for the spiritual inquiry my clients desire. The art, the natural beauty and the tranquility are the perfect complement for breakthrough sessions and the insight that comes from quiet reflection. I highly recommend this villa and its talented proprietor for your next unique meeting or retreat.

Christie Wanson, founder, Sacred Connection and author of "The ABC's of an Extraordinary Life"

...

Sandy,

Thank you so much for opening your beautiful villa for our annual board meeting. Our stay at Las Fuentes was better than we can tell you - it's a spectacular place. As you know we have very high expectations and you exceeded them. Thank you for your caring attention and the wonderful accommodations.

Charles Taenskaetter
131

...

Many thanks for your kindness while at your beautiful villa last evening and today. The entire experience was inviting and compelling. The surroundings are a tonic for the astringency of the soul. Thoreau would have never gone into the woods had he stayed at Las Fuentes.

Added to this is your personal joyful hospitality which is infectious. It was a brief encounter with Las Fuentes, but there are lasting memories I hope to return and some thanks to thank as well for his good demeanor and his helpfulness.

Bob Carter
President, Ketchum

...

Everyone from Stevenson is in agreement that the retreat at Las Fuentes could not have been better. The effort you put into the days, the flexible and comfortable spaces, your guestroom accommodations, the gourmet continental breakfast, our delicious catered luncheon, and the scrumptious apple pie made for an enjoyable yet productive well time spent. Thank you so much!

We would be pleased to recommend Las Fuentes for any group. I hope we will have another opportunity to do at Las Fuentes very soon.

All the best,
Donna Gleason
Robert Louis Stevenson School

Pebble Beach, CA

...

Sandy,

Thanks for your gracious hospitality and the incredible golf and party experience we had - not
bad for a bunch of old guys. We wish you the best in your future endeavors.

Sincere regards,

GJ Dixon

R&B Tour

...

Thank you for a great time at our "Hotel California".

Your Benz Boys From Germany

Mercedes-Benz Corporation

Press Event Mercedes-Benz R-Class

...

This was a weekend we can call a sanctuary of Peace. Las Fuentes felt like we had arrived
home. All warm, cozy yet filled with luscious delights. You provided a wonderful place where
we will have a wonderful memory of our 20th anniversary.

Warmly,

Suzi and Mike Saye

LAS FUENTES: 350 LOS AGRINENSORS, CARMEL VALLEY, CA 93924

PH: 831.659.4080 • EMAIL: sandy@carmelvalleyvilla.com

Amenities for this magnificently equipped property include

- Villa Concierge Wine and Cheese reception
- Gourmet continental breakfast
- 4 spacious sunny bedrooms with private patios
- Heated Pool with attached Jacuzzi
- Daily Housekeeping Service
- Courtesy Transportation to/from the Monterey Airport

Special Services Available Upon Request

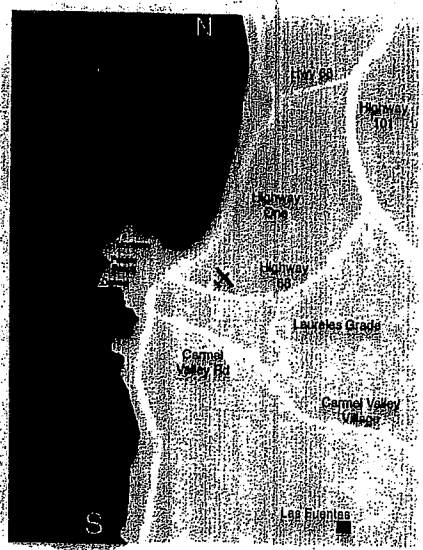
- Use of the Bernardus Day Spa
- Town car with chauffeur
- Personal shopper
- Wine tasting tours
- Private chef
- Artist dinner parties
- Horseback riding
- Special event coordinator
- On-site massage therapy

Tariff for Las Fuentes Villa

One night: \$3,000
 Three nights: \$8,000
 Five nights: \$12,500
 Weekly: \$15,000

Two night minimum on weekends.
 Rates subject to change.

Las Fuentes is located on Calle de los Agrinemsors, 13.5 miles east of Highway 1, in the hills above Carmel Valley Village. The resort is 25 minutes from Monterey Peninsula Airport, 95 minutes south of San Jose, 2 hours south of San Francisco and 330 miles north of Los Angeles. Detailed directions are available by fax or on our website.



Las Fuentes
 A Concierge Villa

Exhibit K Page 2 of 12 pages

RESERVATIONS are confirmed upon receipt of a 50% deposit. Full payment required 60 days prior to arrival. Rates apply for parties up to 10 guests; Additional charge of \$100 per night for each additional guest. Early departure charges apply.

CANCELLATIONS POLICY
 Ten weeks: 50% refund plus applicable taxes
 Five weeks: 25% refund plus applicable taxes

Las Fuentes
 A Concierge Villa

350 Calle De Los Agrinemsors
 Carmel Valley, CA 93924
 831.659.4080 • www.carmelvalleyvilla.com
 Photography by Tom Oneal & Frank Marshall
 Flowers by Mi Piaci

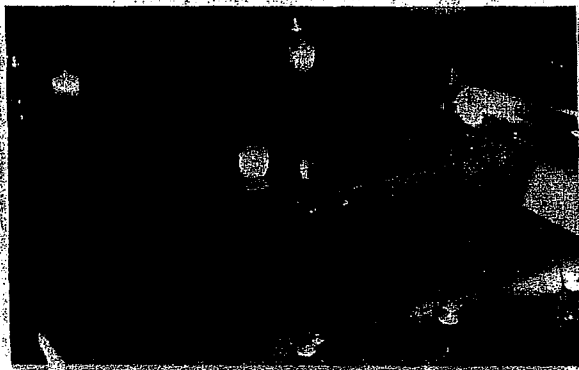
Guest Rooms

Our spacious sun drenched rooms open onto private garden patios with spectacular vistas of the Carmel Valley Preserve. Each elegant room is exquisitely appointed with fine Mediterranean furnishings, captivating original art and adorned with seasonal fresh flowers. Our guests enjoy the old world luxuries of crisp Italian linens, natural bath products and robes, goose down pillows and comforters, as well the latest technology in cable and internet access.

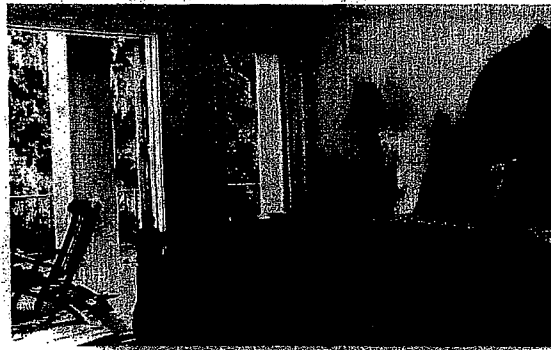
This magnificently equipped oasis has four heavenly bedrooms in the main house, all with private baths and walk in closets. The Carmel Cottage, a separate addition to the main house, accommodates four comfortably and is available upon special request.



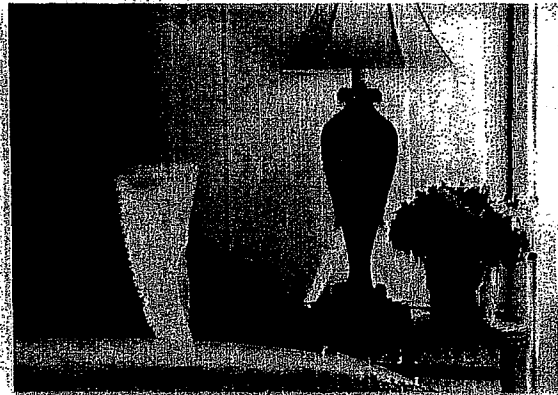
The Monaco Master Suite has a magnificent leather and mahogany king bed, his and her bathrooms with jacuzzi and adjoining study complete with fireplace and queen sleeper sofa. Sip afternoon tea while relaxing on your spacious patio that overlooks the heated pool with views of the Sierra Madre canyon.



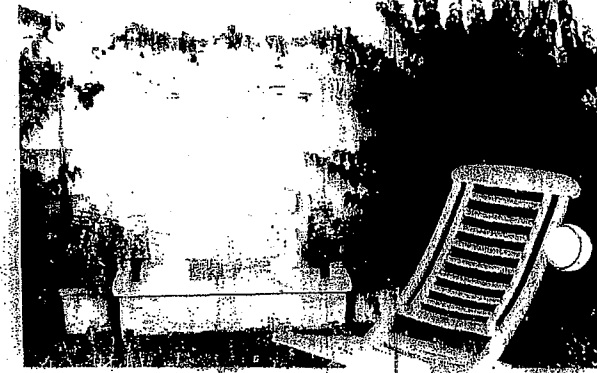
The Tuscany Room with the warmth of Italy welcomes you with an elegant marble and carved wood Queen bed ensconced with opulent Italian linens. Rich textures invite you to relax and breathe the freshness of the valley air. Start your beautiful day with cup of Verona blend and warm pastry while enjoying the solitude of your private terrace.



The Provence Room is reminiscent of southern France overlooking the rose garden and surrounding pastoral hillside. Take pleasure in understated elegance—original oil paintings of the region and a marble and wood carved queen bed with a silk duvet. Charming French doors open to a warm private patio where you can relax with your favorite pinot noir and a good book.

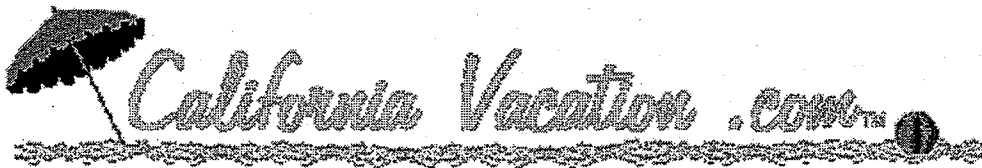


The Lhasa Room with its enlightened luxury takes you to the serene and mystical lands of the Himalayas. Capturing the essence of simplicity, this retreat room has two exquisite teak beds, and a Tibetan alter desk for journaling. Discover the moment in your private meditation garden while the sounds of cascading water soothes your mind, body and spirit.



The Carmel Cottage is secluded in a world of its own. The essence of time fades away with the visionary paintings that grace the walls by world-renowned artist Harold Hitchcock. Separate from the main house, this charming cottage, complete with a full kitchen and breakfast nook, is perfect for your extended family. The wood burning stove and armoire in the living room create a warm ambience as the evening falls. Then retire to the old world charm of the bedroom with its romantic canopy king bed, hand carved from oak, and its marble topped night stands.





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Monterey Bay California Vacations Features

Carmel Valley Villa

Villa w/ 5 Bedrooms - 6 1/2 Bathrooms - Sleeps 10-14 w/ Pool Jacuzzi



More Photos Of This Vacation Rental Below!!!!

Property Owner/Manager

Name: Sandy Dobronte
Phone: 831-659-4080 / 831-659-4394

[Click Here To Send Email](#)

Property Description

Experience Las Fuentes, Carmel Valley's exclusive villa, where mornings begin with birdsong and days unfold with a natural rhythm. At our mountaintop retreat, the luxury of quiet brings a sense of well being to the close of each day. Las Fuentes is a place to feel deeply at peace, bring the mind into balance with a sense of the sacred that inhabits the landscape.

Nestled on twenty acres of oak studded preserve this sanctuary becomes your private resort. With attention to every detail you you will enjoy a unique luxurious experience.

Our spacious rooms open onto private garden patios with spectacular vistas of the Carmel Valley Preserve.

Property Amenities

This gated property includes 3 fireplaces, Mediterranean furnishings, captivating original fine art, baby grand piano, pool table, wireless internet access, phones, flat screen and cable TV, VCR, extensive music system, full kitchen, sub-zero refrigerator,

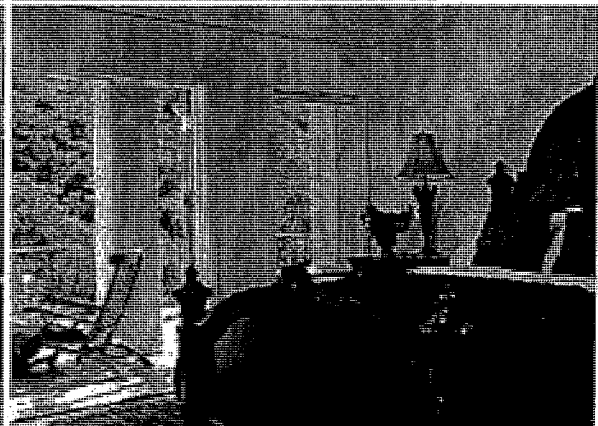
microwave and convection oven, coffee maker, dishwasher, cooking utensils, Italian linens and bathrobes, washer and dryer, jetted tub and bath, 3 car garage, gas BBQ, heated pool and spa, down comforters and pillows.

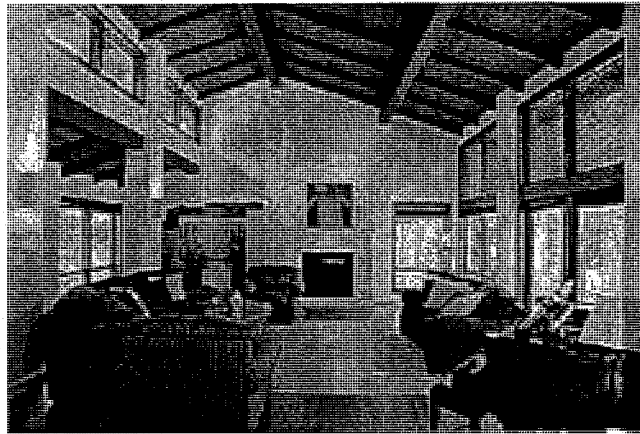
Activities and Attractions

Valley wine tours, golf at Quail Lodge or Pebble Beach, hiking, biking, tennis and horseback riding, fitness center and day spas, wildlife viewing, exceptional restaurants and shopping, cinemas, museums, excellent sightseeing, swimming, surfing, sailing, and for those seeking enlightenment... meditating!

Property Rates

* We have rates available on a per night or a per week basis which includes the main house. The Guest Cottage sleeps four comfortably and is available upon special request only. A continental breakfast and concierge or housekeeping service is also available upon special request.





Monterey Bay California Vacations

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EXHIBIT L**Manuguerra, Elisa x5179**

From: William Dunn [REDACTED]
Sent: Friday, November 24, 2006 2:04 PM
To: Sandy Dobronte
Subject: RE: Early Year 2007 Rental

Just a reschedule, we do not find anything that can compete with what is a very lovely property with the seclusion and obvious amenities. The website is great and your response most appreciated we have not selected another site. Thanks, Monaghan.

Sandy Dobronte <sfdobronte@redshift.com> wrote:

Dear Monaghan,

We hope you had a wonderful holiday as well. Thank you for considering Las Fuentes for your February retreat. Did you select a different resort here on the Monterey Peninsula or are you actually hoping to reschedule sometime this summer? Just curious!

Warm regards,

Sandy

From: William Dunn [REDACTED]
Sent: Thursday, November 23, 2006 10:14 PM
To: Sandy Dobronte
Subject: RE: Early Year 2007 Rental

Sandy,

We will have to get back to you later in the year, possibly looking for a summer date, but I thank you for your quick responses. Have a great holiday season and I will keep you in mind for a future booking.

Thanks,

Monaghan

Sandy Dobronte <sfdobronte@redshift.com> wrote:

Dear Monaghan,

Please call me at 831-659-4080 to discuss your February corporate retreat at Las Fuentes!

Sincerely,
Sandy D

From: William Dunn [REDACTED]
Sent: Tuesday, November 07, 2006 7:55 AM
To: sandy@carmelvalleyvilla.com
Subject: Early Year 2007 Rental

Sandy,

A friend in Texas suggested that I contact you about holding a retreat for a group of folks from our firm. I hear the climactic conditions in your area in February are really great. I am trying to determine the maximum number of my staff I could schedule into your property.

I am looking at a full week of seven days and we may have some folks from the local area in during the day as guests but not part of the retreat. Is it possible to rent the entire facility for that week so we can maximize the numbers who will attend.

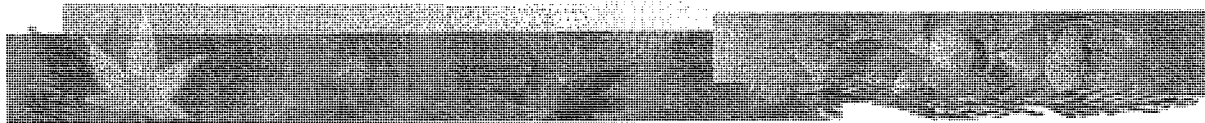
Please describe the accommodations and project some numbers for me. We would provide our own catering and security services if that is OK.

Thank you for your time and have a wonderful day.

Monaghan

Manuguerra, Elisa x5179

From: Sandy Dobronte [sfdobronte@redshift.com]
Sent: Tuesday, November 07, 2006 1:30 PM
To: [REDACTED]
Subject: Las Fuentes Villa



Dear Monaghan,

Thank you for considering Las Fuentes, our concierge villa , for your corporate retreat in February.

It is true, our climate in Carmel Valley is quite lovely that time of year, so please thank your friend for

the wonderful recommendation!

As the concierge, I will be happy to help you plan a great corporate retreat. We also have great

celebrity Chefs available here on the Monterey Peninsula if you would like to have us cater dinner one

evening. Our baby grand piano is available to add ambiance to your evening.

We can accommodate 8 to 14 over-nights guests if some of them are couples; and there is plenty of room for

additional day guests. If more guest rooms are needed, we are minutes away from affiliate lodging that

also provides our guests a full service spa and exercise room. We do have massage therapy available here on

property. If you plan to play golf we can help with the reservations if you wish.

You might enjoy visiting my website if you haven't done so already-
www.carmelvalleyvilla.com

it will give you an over all feeling of the rooms and gardens. Although the photos are

Exhibit L Page 3 of 14 pages

01/17/2007

beautiful they can not

compare to the actual experience of being here. Please take a few moments and read some of our

guests comments- as they say it better than I do!

Please feel free to contact me at your earliest convenience with any questions or comments you may have.-

our rates are going up as of January 2007. I will gladly honor our 2006 weekly tariff if you book

your retreat within the next few weeks!

Warm regards,

Sandy Dobronte

Manuguerra, Elisa x5179

From: William Dunn [REDACTED]
Sent: Thursday, November 16, 2006 7:22 AM
To: Sandy Dobronte
Subject: RE: Early Year 2007 Rental

Hi Sandy,

Sorry have been out of the country for the past few days, pleased to find your e-mail. I think we have finally hammered out who wants to go who needs to go and all those things. We anticipate four couples and six singles. Two of the singles would be ok off site if that can be arranged with your affiliate. Can you provide me with particulars on the affiliated site and what the accommodations for the on site staff would be?

Looking forward to hearing from you and by the way when we make the final decision as to the date I will have my assistant call you and complete the arrangements.

Regards,

Monaghan

Sandy Dobronte <sfdobronte@redshift.com> wrote:

Dear Monaghan,

Please call me at 831-659-4080 to discuss your February corporate retreat at Las Fuentes!

Sincerely,
Sandy D

From: William Dunn [REDACTED]
Sent: Tuesday, November 07, 2006 7:55 AM
To: sandy@carmelvalleyvilla.com
Subject: Early Year 2007 Rental

Sandy,

A friend in Texas suggested that I contact you about holding a retreat for a group of folks from our firm. I hear the climactic conditions in your area in February are really great. I am trying to determine the maximum number of my staff I could schedule into your property.

I am looking at a full week of seven days and we may have some folks

from the local area in during the day as guests but not part of the retreat. Is it possible to rent the entire facility for that week so we can maximize the numbers who will attend.

Please describe the accommodations and project some numbers for me. We would provide our own catering and security services if that is OK.

Thank you for your time and have a wonderful day.

Monaghan

Manuguerra, Elisa x5179

From: Sandy Dobronte [sfdobronte@redshift.com]
Sent: Thursday, November 16, 2006 9:24 AM
To: 'William Dunn'
Subject: Accommodations at Las Fuentes



Dear Monaghan,

It was nice to hear from you again. I do hope your trip was a fun and successful one.

We will be able to accommodate your four couples very comfortably. We need to discuss the sleeping

arrangements for your six single guests; so let's take a look at the layout of our villa.

Our accommodations at Las Fuentes are indeed heavenly—each bed is made with hand pressed Italian

linens and the pillows of your choice. (I just love having a pillow menu!)

The **Monaco Suite** has a king bed with his and her baths, and an adjoining study with a fireplace and

very comfy queen sleeper sofa.

Our **Tuscany** and **Provence** rooms both have queen beds and private baths. The **Lhasa** room has two full

beds and private bath. The separate **Carmel Cottage** is charming with a king bed and queen sleeper sofa

in the living room.

Two of your single guests will be very comfortable on the sleeper sofas—I place an additional therapeutic

mattress on each and make them with the same fine linens. If two of your other guests are comfortable

sharing our **Lhasa** room they will enjoy the private meditation garden and fountain.

That would accommodate your 4 couples and 4 of your single guests.

I would recommend placing your 2 other guests at the Bernardus or Quail Lodge.

We have a wonderful partnership with both resorts and our guests enjoy using their exercise room and

tennis courts. I will be happy to discuss both options with your assistant at your earliest convenience.

I have a tentative reservation for the week of February 5- 12, 2007. I expect my client to confirm later this

afternoon. All other weeks in February are still available at this time. Please let me know as soon as

possible which week works best for you and your guests.

Please call me today at 831-659-4080 with any questions you may have.

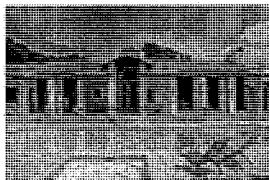
I am looking forward to helping your plan a wonderful retreat in February.

Warm regards,

Sandy

Add to My Favorites
Send to a Friend

Exclusive Carmel Valley Villa near Pebble Beach — Property 147504



Summary of the villa, 4 bedrooms, sleeps 14

Property type: villa, 7000 sq. ft.

Location type: near the ocean, village

Highlights: Jacuzzi, Terrace, Air-Conditioning
View all features

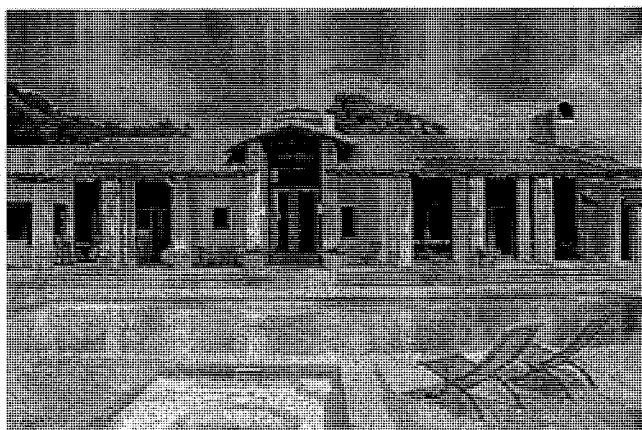
Rental Rate: \$9,500 - \$15,000 per property per Week

Stayed here? Review this listing!

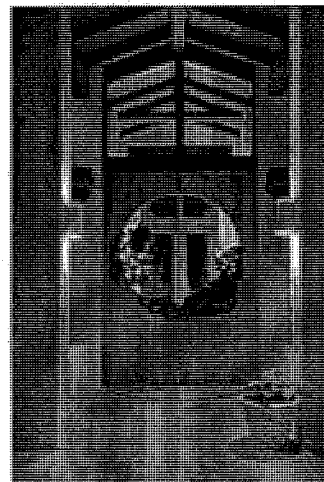
Call Sandy
831-659-4080
(international + 831-659-4080)

Email Owner

Rates | Availability



The villa with heated pool and jacuzzi



Welcome to Las Fuentes



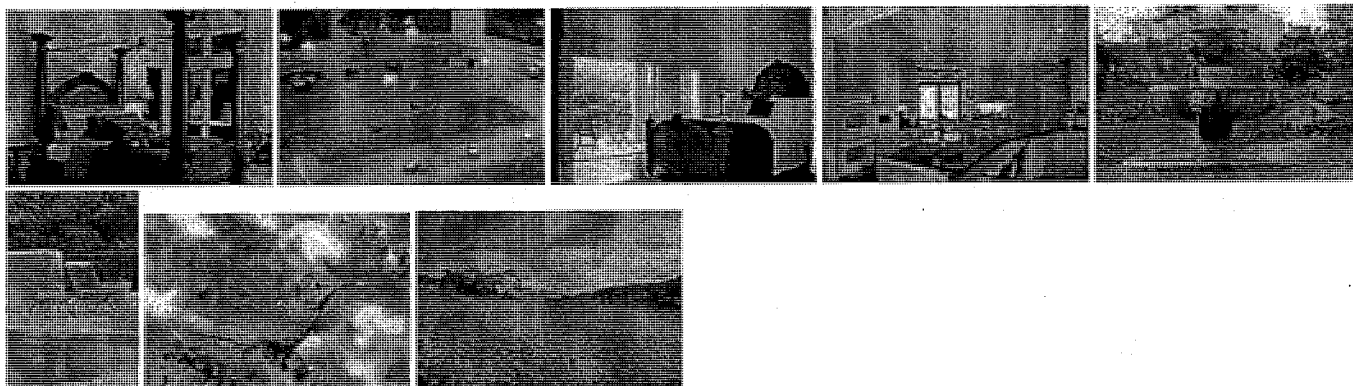
Formal Living Room with Baby Grand Piano.



A place for celebration.....

Extra photos

World USA California Central Coast California Carmel Valley Vacation Rentals



Exclusive Carmel Valley Villa near Pebble Beach


Las Fuentes, our concierge villa, is located in the sunny, peaceful hills of Carmel Valley. Our spacious sun-drenched rooms open up to spectacular views of the pool, gardens and surrounding oak preserve. Exquisite Mediterranean furnishings, fine art, and fresh flowers adorn the villa. Our Monaco suite with king bed and his and her bathrooms is complete with the adjoining fireplace room. Three additional bedrooms with queen beds and Italian linens, offer private baths, walk in-closets and views of the pool and rose garden. A gourmet kitchen awaits guest chefs as well as the baby grand piano for a special celebration! Our concierge is available to help plan your perfect family holiday or corporate retreat. Sunny Carmel Valley, with its rich artistic and cultural legacy, offers endless opportunities for recreation, entertainment, wine tasting and great restaurants. We are located close to champion golf courses only 25 minutes away from Pebble Beach and Carmel-by-the-Sea.

Location

Nearest beach: Beach at 12.0 Miles

Nearest airport: Monterey Airport at 15 Miles

Las Fuentes is located in the sunny hills of Carmel Valley on the Monterey Peninsula. Just 25 minutes away from Pebble Beach and Carmel by the Sea, this area offers champion golf courses, fabulous restaurants, shopping and fine art galleries. The Monterey Peninsula is rich in its historical and artistic culture. Activities such as wine tasting tours, horseback riding and hiking are a few of the many available. Las Fuentes is perfect for corporate meetings and team building retreats. Many families have enjoyed celebrating special occasions such as birthdays and anniversaries..

 marks the location of the property.

Rental Rates

Rental Basis: per property

Quoted In: US Dollars

Approximate equivalent in:

Name of Period	Dates		Rates			Midweek per night	Extra night	Monthly	Minimum Stay
	Begins	Ends	Weekly	Weekend	Weekend per night				
Peak	Jun 15 2007 -	Oct 31 2008	\$15,000	\$6,000	\$3,000	\$2,500	\$2,000	\$48,000	1 Night

Payment is usually accepted in the quoted currency unless the currency and the amount is specifically agreed in advance with the owner / advertiser.

Currently we are offering our special Winter and Holiday rates. Three nights at the villa for \$ 4,800. for up to 8 guests.

Mid-week housekeeping is included.

Please call to find out more information regarding our mid week special rates.

Fees Tax Rate: 10.5%

Accommodation and Amenities**Property Type:**

villa

Bedrooms:

4 bedrooms, sleeps maximum of 14 people

*Bedroom 2 - 1 Queen**Bedroom 3 - 1 Queen**Bedroom 4 - 2 Double**Bedroom 5 - 1 King**Cottage - 1 King, 1 Sleep Sofa /Futon*

Our Monaco Suite has a magnificent mahogany king bed, his and her baths with jetted tub and an adjoining fireplace room with queen sleeper sofa. The Tuscany and Provence rooms, both with queen beds, are appointed with Mediterranean furnishings, fine art, fresh seasonal flowers with views of the pool and rose gardens. Our Lhasa room with its enlightened luxury captures the essence of simplicity with two teak full beds and a private meditation garden. The Carmel Cottage is elegant yet quaint with a full kitchen, king bed, living room, with wood burning stove and LCD TV.

Bathrooms:

6.0 bathrooms , 2 Half Bathrooms

*Bathroom 1 - Bidet, Jetted Tub, Toilet**Bathroom 2 - Toilet, Shower**Bathroom 3 - Shower, Toilet**Bathroom 4 - Toilet, Shower**Bathroom 5 - Toilet, Shower**Bathroom 6 - Combination Tub/Shower, Toilet**Bathroom 7 - Toilet**Bathroom 8 - Toilet***Location Type:**

near the ocean

village

Theme:

luxury

away from it all

General:

	air-conditioning central heating telephone Laundry-Soap Local-Maps Security-System Hair-Dryer fax towels provided Filtered-Water linens provided Toilet-Paper jacuzzi Paper-Towels private chef	chauffeur accept credit card Activities-Guide Cold-Water-Dispenser concierge Whirlpool Local-Activities-Guide Firewood Ceiling-Fans hot tub Soaps-Basic staff Restaurant-Dining-Guide Bottled-Water Shampoo
Kitchen:	freezer microwave refrigerator toaster Stove-Top-Burners Ice-Maker Coffee-Grinder cooking utensils iron & board washing machine	Spices grill kitchenette dish washer oven coffee maker clothes dryer Refrigerator-Mini-Size Blender Lobster-Pot
Living Room:	fireplace	comfy seating for 14 people
Dining:	dining room	eating for 12 people
Entertainment:	Piano Game-Room Books Video-Library VCR Books-Kids Music-Library stereo system	satellite or cable cd Pool-Table Books-Adult Games-Adults TV radio DVD
Internet access:	wireless broadband computer available	internet access
Communication / Internet:	Computer-PC	
Outside:	balcony parking garage Outdoor-Grill-Gas Patio-Stone/Concrete 6 garden chairs	car Unscreened-Porch/Lanai barbecue terrace Gated-Community 8 beach chairs
Swimming pools:	private pool	heated pool
Suitability:	children welcome long term renters welcome non smoking only	suitable for elderly or infirm wheelchair accessible low allergen environment

Local Activities:	swimming fishing roller blading tennis cycling paragliding mountain biking walking	sailing wind-surfing surfing antiquing horseback riding scuba diving or snorkeling golf
Pool / Spa:	Outdoor-Hot-Tub	Spa/Whirlpool
Onsite Services:	Housekeeper-Optional	
Onsite Equipment:	Backpack Beach-Towels Cooler-Large	Beach-Chairs Automobile-Optional
Attractions:	Laundromat Equestrian-Events Forests Babysitting Marina ATM/Bank Bay/Sound Churches Museums	Playground Recreation-Center Hospital Library Fitness-Center Autumn-Foliage Cinemas Groceries
Leisure Activities:	Live-Theater DeepSea-Fishing Sound/Bay-Fishing Pier-Fishing Whale-Watching Sight-Seeing	Beachcombing Snorkelling Outlet-Shopping Surf-Fishing Hiking Bird-Watching
Nearby Activities:	Golf-Privileges-Optional	
Nearby Services:	Medical-Services Massage-Therapist	Babysitting
Nearby Attraction / Facility:	Restaurants Scenic-Drives	Winery-Tours
Notes: :	Special Services Available Upon Request -Daily Maid Service -Private Chef - <u>Use of Quail Lodge Spa</u> -Town Car with Chauffeur -Personal Shopper -Wine tasting tours -Artist dinner parties -Horseback riding -Private Party Coordinator -On site massage therapy -Pool Heated April thru October. If you wish to have the pool heated during winter months this option is available	

Further details

Our spacious sun drenched rooms open onto private garden patios with spectacular vistas of the Carmel Valley preserve. Each elegant room is exquisitely appointed with Mediterranean furnishing, captivating original art and seasonal fresh flowers. Our guests enjoy the old world luxuries of crisp Italian linens and robes, goose down pillows and comforters, as well as the latest technology in cable and internet services.

This magnificently equipped oasis has four heavenly bedrooms in the main villa, all with private baths, and walk-in-closets. The Carmel Cottage, a separate addition to the main house, accommodates four comfortably and is available upon special request only.



Other Activities Wine tasting and art gallery tours

Owner Contact and Booking Information

Call Sandy
831-659-4080
(International + 831-659-4080)

For further information and to book this property, contact the owner, Sandy
Please reference HomeAway.com property 147504

831 659-4080 (Please call 9 pm - 5 pm PST)

By Email: **Email Owner**
(Please check availability before emailing, see above)

Click for help on Dialing Internationally

Language(s) Spoken: English

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presents

what you didn't know about SUGARS & CARBOHYDRATES

What really makes you fat

Understanding Low-Fat

How sugars and carbohydrates are used by the body

The role of sugar and carbohydrates in high cholesterol

High Vitality options for you to sample and learn how to incorporate into your life



featuring Matt Samuelson

Matt Samuelson is one of the leading high vitality food chefs in the world. He has extensive knowledge of local *wild* and domestic high vitality foods. Matt has taught and catered retreats all over the world including Bali, Costa Rica, Peru & Hawaii. You will get to experience the artistic and creative dimensions that Matt infuses into whole, high vitality food education and preparation!

Join Matt for a dynamic evening of inspiring insights & satiating sensations for your palate

Monday, October 30th

6:30-8:30 p.m.

Pre-registration: \$25 Day of Event: \$30

Carmel Valley, CA

DIRECTIONS: www.CarmelValleyVilla.com

Space is limited, please RSVP

Contact Matt: (831) 661-2611

the alchemy of high vitality living is revealed to you!

Nov. 19 & 20, 2005

Phase Four

Final Premier Exhibitions

Celebrating

Two Galleries Emerging Artists

Old Power

Old Power

Jack Storms

David Motesky

Artist Receptions

Saturday, November 19th 2-6 pm

Sunday, November 20th 1-4 pm

Presented by

Dobronite Fine Art

Las Fuentes Villa

20000 Lakeside Lane, Assinippi
Farm, Waller, CT

8600 Bayview #116, 02149

www.dobronite.com

MONTEREY COUNTY
RESOURCE MANAGEMENT AGENCY



BUILDING SERVICES DEPARTMENT, Dale Ellis, Interim Director

168 W. Alisal St., 2nd Floor
Salinas, CA 93901

(831) 755-5025
FAX (831) 757-9516

June 21, 2006

[REDACTED]

I looked into the June 10th event at Las Fuentes. It was a private wedding party for friends of the Dobrontes. It had all the trappings of a large, but private and very legal, party. We have recognized over the years an owner's right to private parties as being accessory and incidental to their use of their property. By coincidence, one of our senior staff was a guest at the event. They advised me, based on their personal knowledge of the people involved in the wedding that it was a private party and not an "event."

I will be contacting the Dobrontes again, especially in regard to their advertisement of the "Carmel Cottage."


Section 21.74.060 of Title 21 addresses revocation of a Use Permit. It states:

"A. Where one or more of the conditions of a Use Permit have not been, or are not being complied with, or when a Use Permit was granted on the basis of false material information, written or oral, given willfully or negligently by the applicant, the Appropriate Authority may revoke or modify the Use Permit following public hearing pursuant to Chapter 21.78 of this Title.

B. An appeal may be taken from such revocation or modification in the same manner as described in Chapter 21.80."

Given that there is no authority for us to withdraw the Use Permit. Revocation would require action by the Planning Commission at a scheduled public hearing. Where the difficulty will lie is in providing evidence that the Dobrontes are not in compliance. Conversations reported second hand are not evidence, but they do help keep the radar up and running. Anything that you can provide that is clear (like an exchange of correspondence) in its intent and content would help.

Should you have any questions please feel free to contact me at (831) 755-5191 or by email at ellisd@co.monterey.ca.us.

Sincerely,

Dale Ellis, AICP
Interim Director
Building Services Department

Cc: Bill Dunn

DATE	NAME	VENUE	LOCATION	TIME
12/11/18	Linda Bergman	Golden State Theatre	Waltham MA	8:00
12/11/18	Wendy Casper	Uptown	Waltham MA	8:00
12/11/18	Christina Casper	Uptown	Waltham MA	8:00
12/11/18	Deanna Finnegan	Sunset Center	Cambridge MA	8:00
12/11/18	Wills Taylor	Golden State Theatre	Waltham MA	8:00
12/11/18	Robert Taylor	Golden State Theatre	Waltham MA	8:00
12/11/18	Annika	House of Musical Arts	Essex MA	8:00
12/11/18	John Taylor	Montsey Lake	Waltham MA	8:00
12/11/18	Steve Taylor, Christina Casper and Anna Bergman	Waltham Waltham Waltham	Waltham MA	8:00
12/11/18	Samuel Taylor	Waltham MA	Waltham MA	8:00



Upcoming Shows

Fri Jan 26, 2007

8:00
The Mint
Los Angeles, CA
www.themintla.com, with full band, Candace Devine splits the bill

Tues Jan 30

7:30
Makor Center
New York, NY
WFUV's "Under the Radar" series hosted by John Platt,
www.makor.org

Fri Feb 16

8:00
Galaxy Concert Theatre
Santa Ana, CA
www.galaxytheatre.com, Opening for Beausoleil, tickets only \$10 if you get 'em through me. Go to the "contact" page and send me an email!

Sat Feb 17

8:00
Dizzy's
San Diego, CA
www.dizzyssandiego.com

Thurs March 1, 2007

8:00
The Center for the Arts
Grass Valley, CA
www.thecenterforthearts.org

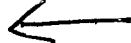
Fri March 2, 2007

7:00
Comma Concerts
Carson City, NV
www.carsontahoemusic.com - new location!

Sun March 4, 2007

TBA
House Concert at Las Fuentes
Carmel Valley, CA
www.carmelvalleyvilla.com, more info soon!

Bob Malone, Concert



Thurs March 15, 2007

8:00
Mississippi Studios
Portland, OR
www.mississippistudios.com

Thurs March 29, 2007

8:00
Riverside Theatre
Parramatta (Sydney), Australia
www.riversideparramatta.com.au, split bill with Australian piano great Jan Preston

Wed April 4, 2007

8:00
Mackay Entertainment Centre
Mackay, Australia
www.mackayentertainment.com.au, split bill with Australian piano great Jan Preston

Thurs April 19, 2007
Christchurch International Jazz Festival
Christchurch, New Zealand
www.jazzfestchristchurch.com

Fri April 27, 2007
8:00pm
Godfrey Daniels
Bethlehem, PA
www.godfreydaniels.org

Sat April 28, 2007
7:30pm
The Barns at Wolf Trap
Vienna, VA
www.wolf-trap.org, opening for *The Bobs*

Sat Aug 4, 2007
7:00pm
Saturday Nights at Minden Village
Minden, NV
Outdoor concert with full band!
www.carsontahoemusic.com/mindenvillage.html

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MONTEREY BAY AQUARIUM

www.montereybayaquarium.org



Cooking for Solutions - Event Pricing & Packages

May 18-19, 2007

Event Prices

VIP Reception with Mary Sue Milliken, Susan Feniger and John Cleese

\$225 general public/\$180 aquarium member
(includes admission to Friday's Cooking for Solutions gala)

Cooking for Solutions Gala

\$115 general public/\$95 aquarium member

Celebrity Chef Cooking Demonstrations

\$75 general public/\$60 aquarium member

Farm and Vineyard Tours

Tours 1 through 5
Each \$185 general; \$150 aquarium member
(Tax-deductible portion: \$100 general/\$65 aquarium members)

Deluxe Tour with Mary Sue Milliken, Susan Feniger and John Cleese

\$625 general public/\$500 aquarium member
(Tax-deductible portion: \$575 general/\$425 aquarium members)

Reception with Mary Sue Milliken and Susan Feniger and Sustainable Seafood Challenge

\$115 general public/\$95 aquarium members

Event Packages

Cooking For Solutions Gala/Cooking Demonstrations

\$155 general public/\$125 aquarium member

VIP Reception or Sustainable Seafood Challenge/ Cooking For Solutions Gala/Cooking Demonstrations

\$255 general public/\$205 aquarium members

Cooking For Solutions Gala/Food and Wine Adventures (Tours 1-5)

\$275 general public/\$225 aquarium member

VIP Reception or Sustainable Seafood Challenge/ Cooking For Solutions Gala/Food and Wine Adventures (Tours 1-5)

\$350 general public/\$280 aquarium member

- [Event Information](#)
- [Schedule of Events](#)
- [Meet the Chefs](#)
- [Get Their Books](#)
- [Participating Restaurants & Wineries](#)
- [Event Pricing & Packages](#)
- [Photo Gallery of Events](#)

Reservations & Tickets

(866) 963-9644 (toll-free)
(831) 647-6886
Press 5 for Special Events

Questions?
Call (831) 644-7561

Background Information

Watch a [Cooking for Solutions video](#) of past gala and cooking demonstrations to see why this is an event not to be missed



Cooking for Solutions connects individual buying decisions to the health of the oceans and the soil. All events support our [Seafood Watch](#) program, which helps consumers make choices that will assure with abundant ocean w

Monterey Bay Aquarium, 886 Cannery Row, Monterey, CA 93940 Tel: (831) 648-4800
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aquarium. Mary Sue Milliken and Susan Feniger will sign copies of *Too Hot Tamales* and *Mesa Mexicana* during the eve includes souvenir wineglass and take-home recipes from all of our participating chefs.



Celebrity Chef Cooking Demonstrations

May 19, Sat., 8:30 a.m. to 11:30 a.m.

Auditorium

\$75 general public/\$60 aquarium members

Join celebrity chefs Sam Choy (Sam Choy' Diamond Head Restaurant, Honolulu) Jim Dodge (Appétit Management Company, Palo Alto) and Elena Hernandez (Academia de Artes Culinari: Panama City, Panama) for demonstrations of sustainable recipes in the auditorium. Includes continental breakfast, take-home recipes by all the chefs.

E



Food & Wine Adventures

May 19, Sat., 9:30 a.m. to 3:30 p.m.

Begin and end at aquarium

Tour limit: 25 people per tour

\$185 general public/\$150 aquarium members

(Tax-deductible: \$100 general public/\$65 aquarium members)

Six of our celebrity chefs, along with actor/writer John Cleese, will lead memorable small-group experiences. They'll talk about the connection between sustainable farming and wine growing restoring healthy soil and oceans. Price includes transportation and a gourmet lunch.

E

Tour 1: The Marriage of Food and Wine

Sponsored by The Lodge at Pebble Beach

Join John Ash (Fetzer Vineyards, Sonoma County) and the executive chef of The Lodge at Pebble Beach as they unravel the mystery of harmonious pairings of food and wine. Piercing through analytical ponderings and intimidating jargon, they'll help you expand your comfort zone as they take the fear out of wine. You'll discover new delights through their "aroma challenge" and have an opportunity to take home fabulous prizes. Then John will lead you through a food and wine pairing in which you'll taste several wines with foods and learn how they interact and affect each other. Includes lunch created by The Lodge at Pebble Beach, with premium wines by Fetzer and Bonterra Vineyards.



Tour 2: Seafood Experience

Sponsored by Estancia

Join celebrity chef Michael Cimarrusti (Providence, Los Angeles) and Wendy Brodie (Art of Food, Carmel Highlands) for a tour of Monterey's commercial wharf, including the aquaculture operation of Monterey Bay Abalone Co. They'll offer tips about how to select the freshest seafood, and a Seafood Watch staff member from the aquarium will share information about choosing sustainable seafood. You'll then head south to Wendy's home in the Carmel Highlands where Michael and Wendy will prepare and serve a gourmet lunch in her demonstration kitchen with sweeping views of forest and ocean. Premium wines provided by Estancia.



Tour 3: Carmel Valley Experience

Sponsored by Earthbound Farm

Join celebrity chef Allen Susser (Chef Allen's, Florida) and Earthbound Farm co-founder Myra Goodman for this exceptional day. First you'll enjoy a rare opportunity to explore the exclusive Tehama Golf Club, created by Clint Eastwood on a mountain ridge overlooking Carmel Valley. You'll learn how Tehama integrated development with land preservation efforts, water conservation and preservation of native habitats, and along the way you'll enjoy hors d'oeuvres prepared by Tehama Executive Chef Don McPherson. Then you'll continue on to Earthbound Farm, and tour its picturesque organic farm nestled in Carmel Valley. Afterward, you'll enjoy a fabulous organic lunch with Chef Allen and Myra Goodman, provided



Earthbound Farm's Organic Kitchen and accompanied by premium wines from Benziger Family Winery. Winemaker Rodrigue share the winery's story and discuss its organic and biodynamic winegrowing practices. At the end of the day, you'll take an autographed copy of Myra's new cookbook, *Food to Live By: The Earthbound Farm Organic Cookbook*.

Tour 4: Esalen Adventure

Sponsored by Esalen

Join celebrity chef Charles Phan (The Slanted Door, San Francisco) as you explore the grounds and rich organic gardens at world-renowned Esalen Institute in Big Sur. You'll learn how Esalen created and nourishes extensive organic gardens that supply flowers and produce for the 27-acre human potential center. You'll tour the Esalen kitchen with Matt Glazer, director of food service operations, and learn about other approaches the Institute takes to integrate gently with the landscape. The day will include a cooking demonstration by Charles Phan, and a gourmet picnic lunch prepared by the Esalen kitchen, served up in a picturesque setting. You'll enjoy premium wines from Grgich Hills, all created with social responsibility in mind, and get the story behind the wines from Ivo Jeramaz, vice president of vineyards and production for the winery.

Esalen



Tour 5: Elkhorn Slough Experience

Sponsored by Delaware North Companies

Join special guest celebrity chef Jesse Cool as you tour the wetlands and sustainable ranchlands around Elkhorn Slough—the largest wetland between the Bay Area and Southern California. You'll get an introduction to the abundant wildlife and successful habitat restoration efforts at the slough from staff with Elkhorn Slough Foundation, then learn how ALBA—the Agriculture and Land-Based Training Association—is giving farmworkers and aspiring growers an opportunity to raise and sell crops, in harmony with sensitive habitat, on two nearby organic farms. You'll tour the century-old ranch house at Porter Ranch, where you'll enjoy a scrumptious organic lunch catered by executive chef Colin Moody, Delaware North Parks & Resorts at Asilomar, including premium wines from Sokol-Blosser Winery. You'll meet president and founder Susan Sokol-Blosser, and learn how the winery creates sustainable wines of world class quality that express the distinctive flavors of its hillside vineyards.

ALBA



Deluxe Tour with Mary Sue Milliken, Susan Feniger and John Cleese

Sponsored by Whole Foods

10 a.m. to 3:30 p.m.

Deluxe tour limit: 40 people

\$625 general public/\$500 aquarium members

(Tax-deductible portion: \$550 general public/
\$425 aquarium members)

WHOLE FOODS



Join John Cleese and honored chefs Mary Sue Milliken and Susan Feniger for a truly fabulous day. We'll bring you to Las Fuentes, a majestic private villa overlooking Carmel Valley, where you'll tour the grounds before settling down for appetizers and the day's highlight: a culinary demonstration and lively presentation on wine and food pairing featuring John, Mary Sue and Susan. As part of the experience, you'll enjoy a gourmet picnic lunch catered by Whole Foods Monterey, paired with premium sustainable wines provided by Sonoma-Cutrer Vineyards and Jekel Vineyards.



Reception with Mary Sue Milliken and Susan Feniger and Sustainable Seafood Challenge

May 19, Sat., 5:30 p.m. to 7:30 p.m.

Monterey Plaza Hotel

\$115 general public/\$95 aquarium members

Join us at the elegant Monterey Plaza Hotel as four of our celebrated chefs race the clock to tasty (and sustainable) seafood dishes while Mary Sue Milliken and Susan Feniger offer lively commentary. This year's challenge features Keith Froggett, Alexandra Guarnaschelli, Douglas and local celebrity chef Tim Wood of Bernardus Lodge. You'll enjoy wine and abundant hors d'oeuvres and will take home an autographed copy of *Mesa Mexicana*.

E

Sustainable Seafood Information Fair

May 19, Sat., 10 a.m. to 4 p.m.

Aquarium galleries

Included with regular aquarium admission

Learn more about sustainable seafood, organic agriculture and sustainable winemaking at information booths as you visit the aquarium galleries. Demonstrations by celebrated chefs, and we'll offer tastes of sustainable wild-caught Alaska salmon, etc.

E



E

Event Packages

Cooking For Solutions Gala/Cooking Demonstrations

\$155 general public/\$125 aquarium member

VIP Reception or Sustainable Seafood Challenge/ Cooking For Solutions Gala/Cooking Demonstrations

\$255 general public/\$205 aquarium members

Cooking For Solutions Gala/Food and Wine Adventures (Tours 1-5)

\$275 general public/\$225 aquarium member

VIP Reception or Sustainable Seafood Challenge/ Cooking For Solutions Gala/Food and Wine Adventures (Tours 1-5)

\$350 general public/\$280 aquarium member

Cooking for Solutions Meet the Chefs

Monterey Bay Aquarium, 886 Cannery Row, Monterey, CA 93940 Tel: (831) 648-4800
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MONTEREY COUNTY



TREASURER—TAX COLLECTOR

Louis G. Solton, Treasurer - Tax Collector
Mary A. Zeeb, Assistant Treasurer - Tax Collector

Treasury Division
P.O. Box 1992
Salinas, CA 93902
(831) 755-5015
Fax (831) 424-6536

Tax Collector Division
P.O. Box 891
Salinas, CA 93902
(831) 755-5057
(831) 647-7857
(831) 385-8357
Fax (831) 759-6623
taxcollector@co.monterey.ca.us

Revenue Division
P.O. Box 717
Salinas, CA 93902
(831) 755-5042
Fax (831) 755-5835

October 25, 2006

Las Fuentes
350 Los Agrinemsors
Carmel Valley, CA 93924

Subject: Transient Occupancy Tax

Dear Las Fuentes,

It has recently come to our attention that you have been operating a lodging business in the unincorporated area of Monterey County.

A review of our records indicated that you have not registered and collected Transient Occupancy Taxes as required by Chapter 5.40 of the Monterey County Code. To be in compliance with the local governing ordinance you must register and collect the ten and a half percent tax on the nightly room rental for all rentals under 30 days.

In accordance with provisions of Monterey County Ordinance Chapter 5.40, we request that you submit the items below to this office within 15 days:

- A completed Transient Occupancy Tax Registration Form.
- Completed and signed Transient Occupancy Quarterly Tax Returns for the past three years.
- A written explanation of why you failed to register and collect the Transient Occupancy Tax.

If you have been paying the Transient Occupancy Tax through a property manager for the past three years and have documentation, you may submit appropriate documentation instead of the items above.

Upon receipt of this information, this office shall review your documentation and you will be notified in writing of amounts due, if any. If we require additional information to make a determination, you will also be advised in writing.

Please review and complete the attached Registration Form and return it to us in ten days. A copy of the Monterey County Transient Occupancy Tax Ordinance Chapter 5.40 is also enclosed for your review.

Please contact Scott Walker of my staff if you have any questions, his direct line is (831) 755-5317.

Sincerely,


LOUIS G. SOLTON
MONTEREY COUNTY TREASURER-TAX COLLECTOR

Las Fuentes Villa

350 Calle de los Agrinensors, Carmel Valley, CA 93924
831.659.4590 fax 831.625.8650

November 2, 2006

Scott Walker
Monterey County Treasury Tax Collector
P.O. Box 891
Salinas, Ca 93902-0891

Dear Mr. Walker,

It was a pleasure speaking with you yesterday. Thank you for clarifying the Monterey County Transient tax payments for our property. It is now clear that I should send payments quarterly for the Monterey County Transient Tax to your department and not the State Board of Equalization. I had not received instructions from the Planning Commission regarding the tax and we thought they were to be paid through the State Board of Equalization. We were in fact preparing our SBE taxes and were planning to add them in when we received your package. Since we only received the package last week it was not until November 1st that we realized they were due on October 31, 2006. We immediately called you for direction on this matter. We would appreciate it if you would wave the penalties for this period.

Las Fuentes, our concierge villa did not open until August 15th, 2006 due to the long wait to obtain our Bed and Breakfast permit. Enclosed are the documents from the County showing our first payment for road fees on August 15th. This was our final condition for the Planning Commission to activate our permit.

Our first "transient guests" came to stay at Las Fuentes in September and since then I have been charging the 10.5% occupancy tax. Hopefully, you did receive my check for \$918.75 that I mailed to you November 1st which reflects the amount due to your department from Las Fuentes for your second quarter. My bookkeeper and I both thought it was the 3rd quarter. Thank you for making that clear to me. I will send the tax payment for the 3rd quarter when they are due.

Please contact me with any further question you may have. Again, thank you for your assistance in clearing up this matter.

Sincerely,



Sandy Dobronte/ Owner
Las Fuentes Villa

POST THIS CERTIFICATE IN A CONSPICUOUS PLACE ON THE PREMISES
COUNTY OF MONTEREY
TRANSIENT OCCUPANCY REGISTRATION CERTIFICATE
ORDINANCE NUMBER 1404

CERTIFICATE NO.
275
REFER TO ABOVE CERTIFICATE
NUMBER IN ALL CORRESPONDENCE.

DATE November 2, 2006 ~~XXXX~~

THIS TRANSIENT OCCUPANCY REGISTRATION CERTIFICATE SIGNIFIES THAT THE PERSON NAMED ON THE FACE HEREOF HAS FULFILLED THE REQUIREMENTS OF THE UNIFORM TRANSIENT OCCUPANCY TAX ORDINANCE BY REGISTERING WITH THE TAX COLLECTOR FOR THE PURPOSE OF COLLECTING FROM TRANSIENTS THE TRANSIENT OCCUPANCY TAX AND REMITTING SAID TAX TO THE TAX COLLECTOR. THIS CERTIFICATE DOES NOT AUTHORIZE ANY PERSON TO CONDUCT ANY UNLAWFUL BUSINESS OR CONDUCT ANY LAWFUL BUSINESS IN AN UNLAWFUL MANNER, NOR TO OPERATE A HOTEL WITHOUT STRICTLY COMPLYING WITH ALL LOCAL APPLICABLE LAWS, INCLUDING BUT NOT LIMITED TO THOSE REQUIRING A PERMIT FROM ANY BOARD, COMMISSION, DEPARTMENT OR OFFICE OF THIS COUNTY. THIS CERTIFICATE DOES NOT CONSTITUTE A PERMIT. THIS CERTIFICATE BECOMES VOID UPON ANY CHANGE OF OWNERSHIP OR LOCATION WHATSOEVER. NOTIFY THE TAX COLLECTOR IMMEDIATELY UPON ANY CHANGE.

THE BELOW LISTED BUSINESS IS HEREBY AUTHORIZED PURSUANT TO ORDINANCE #1404, MONTEREY COUNTY, TO COLLECT THE TRANSIENT OCCUPANCY TAX IMPOSED THEREBY FOR TRANSMITTAL TO THE COUNTY TAX COLLECTOR:

LAS FUENTES VILLA
350 CALLE DE LOS AGRINEMSOR
CARMEL VALLEY, CA 93924

LOUIS G. SOLTON - TREASURER/TAX COLLECTOR

BY

Scott A. Walker

DEPUTY
Scott A. Walker
Management Analyst II 117-167

EXHIBIT O

PC-6673

PLANNING COMMISSION
COUNTY OF MONTEREY, STATE OF CALIFORNIA

RESOLUTION NO. 88-321

A.P.# 189-531-01

FINDINGS AND DECISION

In the matter of the application of Richard Merrill (PC-6673) for a Special Permit in accordance with Section 3 of Ordinance No. 3168, an interim ordinance of the County of Monterey, to allow single family dwelling and caretakers quarters (not infilling), located on Lot 1 of Sub B of Parcel 7, Assessor's Map Rancho Los Laureles, Upper Carmel Valley area, fronting on and westerly of Calle De Los Agrinemsors, came on regularly for hearing before the Planning Commission on September 28, 1988.

Said Planning Commission, having considered the application and the evidence presented relating thereto hereby makes the following finding(s)

FINDINGS OF FACT

1. Finding: The proposed project is consistent with the Carmel Valley Master Plan and the Monterey County General Plan policies.
- Evidence: The site is designated "Low Density Residential, 2.5 Acres per Unit." The application materials have been reviewed against the visual policies and development policies of the Carmel Valley Master Plan and the County General Plan. Field review by Planning and Building Inspection Staff (September 1, 1988) determined the application is consistent. Applicable policies from the Carmel Valley Master Plan and their corresponding conditions of approval are:

Policy #		Condition #
3.1.1.1 (CV)	Soils Report	11
3.1.1.2 (CV)	Erosion Control	5, 20
3.1.15 (CV)	" "	" "
3.1.1.3 (CV)	Soils Protection	" 6
3.1.5 (CV)	" "	" "
3.2.3.1 (CV)	Livestock Mgmt	20
7.2.1.2 (CV)	Landscaping Reqmts	1
7.2.1.3 (CV)	Plants Integrated	1
7.2.2.1 (CV)	Appropriate Plants	1
7.2.2.2 (CV)	Native Plants	1
7.2.2.5 (CV)	Forest Mgmt Plan	10
12.2.6.1 (CV)	Archaeologic Survy	Results: Neg.
12.1.8.1 (CV)	" "	" "
17.4.1.2 (CV)	Fire Protectn Dist	12 thru 19
17.4.13 (CV)	Chimney Screens	16
17.4.15 (CV)	Fire Retard. Matrls	12
26.1.26 (CV)	Visually Compatible	7
26.1.29 (CV)	Design Control	Apprvd w/ Pmt.
26.1.31 (CV)	Colors Compatible	7
26.1.32 (CV)	Min. Views Affected	Apprvd w/ Pmt.
35.1.3 (CV)	Drainage Control	5

2. Finding: The project conforms to the "U" zoning on the property.
- Evidence: A single family dwelling and caretaker's quarters are permitted uses in this zone district. The proposed dwellings has been designed and located to balance the aesthetic needs of the area with the development requirements of the proposed improvements. The site has been reviewed in the

field by Planning and Building Inspection Staff for visibility from public viewing areas. The site will not be visible from public viewing areas. The design of the improvements is compatible with other residences in the area. The siting of the residences on the building site and the suggested color scheme will minimize the visual impacts of the dwellings to off-site private views. The caretaker's unit is justifiable in this case because the site is remote from other residential areas, there has been a history of trespass on the property as evidenced by motorcycle trails and trash dumping, considerable expense and effort will be needed for maintenance of the property and grounds and assistance for fire protection and security is necessary.

3. Finding: The site is suitable for the proposed project.
Evidence: There are no significant environmental constraints which would restrict development on the property as indicated by the Planning and Building Inspection staff site visit to the property and a study of available records in the Planning and Building Inspection library. Erosion and drainage control measures will be required during and following construction of the project to minimize potential erosion impacts.
4. Finding: The proposed project will not have a significant effect on the environment.
Evidence: The initial study prepared by Planning and Building Inspection staff 9/2/88 identifies no significant effects resulting from the development of this property. Potential effects that can be mitigated to acceptable include drainage, erosion, oak woodland habitat, and fire hazards. Traffic generated by the proposed improvements will be approximately 14 trips per day upon completion of the two dwellings representing an insignificant number of vehicle trips to area roads.
5. Finding: The project complies with the requirements of Ordinance No. 3336 (Urgency Ordinance Implementing the Carmel Valley Master Plan Policies) and does not constitute infilling of an established subdivision..
Evidence: This application for a Special Permit has been filed in accordance with Chapter 18.48.030 (A) of the Monterey County Code (Ordinance No. 3336). A field visit by Planning and Building Inspection Staff verified the site is not part of an established subdivision and is adjacent to large open space areas.
6. Finding: The establishment, maintenance, or operation of the use or building applied for will not under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.
Evidence: As evidenced in items 1 through 5 listed above.

DECISION

THEREFORE, it is the decision of said Planning Commission that said application be granted as shown on the attached sketch, subject to the following conditions:

- 1a. At least three weeks prior to occupancy, two copies of a landscaping plan shall be submitted to the Director of Planning and Building Inspection for approval. The landscaping plan shall be in sufficient detail to identify the location, specie, and size of the proposed landscaping materials and shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Planning and Building Inspection Department.
- 1b. Oak trees removed for development of the project shall be replaced on a 1:1 basis according to the recommendations of the Merrill Forest Management Plan (Planning and Building Inspection Library No. 33.04.09). The pamphlet entitled The Look of the Monterey Peninsula Landscape shall be consulted for landscaping and revegetation of disturbed soils.
2. That all landscaped areas and/or fences shall be continuously maintained by the applicant and all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.
3. That all exterior lighting shall be unobtrusive, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The location, type, and wattage must be approved by the Director of Planning and Building Inspection.
4. That the location, type, and size of all antennas, towers and similar appurtenances be approved by the Director of Planning and Building Inspection.
5. That all cut and/or fill slopes exposed during the course of construction be covered, seeded, or otherwise treated to control erosion during the course of construction, subject to the approval of the Director of Planning and Building Inspection. A drainage control plan shall regulate stormwater run-off from impervious surfaces and be approved by the Director of Planning and Building Inspection. Required grading shall be finished to blend with the natural contours by avoiding abrupt changes in grade and rounding off sharp angles along the sides of cut and fill slopes. Grading plans for each development phase will be reviewed by the Director of Planning and Building Inspection prior to the issuance of building permits determining the maximum area disturbed which can be developed in one construction season thereby minimizing potential erosion effects to off-site properties.
6. That all grading should be completed prior to the rainy season (November through April), unless authorized by the Director of Planning and Building Inspection for this period under provisions of the Erosion Control Ordinance.
7. The exterior colors shall be subject to the approval of the Director of Planning and Building Inspection.

8. That the caretaker's unit not be rented and the resident(s) of the unit derive their primary employment on the premises.
9. If a water tank or tanks are constructed on the premises, their location and color (an earth tone color to blend into the surrounding area) shall be subject to the approval of the Director of Planning and Building Inspection prior to the issuance of building permits. The tank site shall be landscaped according to a landscape plan approved by the Director of Planning and Building Inspection.
10. That the recommendations of the Merrill Forest Management Plan (Monterey County Planning and Building Inspection Library No. 33.04.09) be incorporated into the project approval, including the care, maintenance and management of the oak woodland prescribed in said plan.
11. That the recommendations of the Jacobs, Raas and Associates soils report of June 16, 1987 be incorporated into the design of the proposed improvements.
12. Any Class A listed roof complying with Section 3203(e), Fire Retardant Roofs, of the UBC shall be required.
13. A screen shall be required over all exterior attic openings. The screen shall be constructed of nonflammable material with openings of not more than 1/4 inch in size.
14. The driveway shall be 12 feet wide with 16 feet total clearance and able to support the imposed loads of fire vehicles (22 tons) and shall be provided with a surface so as to provide all-weather driving capabilities.
15. The driveway shall have an unobstructed vertical clearance of 13 feet, 6 inches for its entire width and length, including turnouts.
16. Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. House numbers shall be posted when construction begins subject to the approval of the Fire Protection District.
17. All deadend roadways/driveways in excess of 150 feet in length shall provide for the turning around of fire apparatus subject to the approval of the Fire Protection District.
18. Smoke detectors shall be required for the entire building and located as required in Section 1210 (a) of the UBC.
19. All flammable vegetation or other combustible growth shall at all times maintain a clear distance of 30 feet on each side from all structures. This shall not apply to single specimens of trees, ornamental shrubbery or similar plants used as ground covers. Additional fire protection or firebreaks may be required because of extra hazardous conditions.
20. Each chimney shall be equipped and maintained with an approved spark arrester constructed of noncombustible material, with openings not larger than 1/2 inch mesh screens.
21. An automatic fire extinguishing system shall be installed in both the caretaker's quarters and the main house.

22. Water availability shall be provided from a conventional water system or by an individual water storage facility on the property itself.
23. A fire hydrant shall be provided and connected to a water supply capable of delivering the required fire flow and shall be accessible to the fire department apparatus by the roadway meeting the requirements of the fire department.
24. Prior to establishing livestock, livestock barns, paddocks or corral facilities on the property, a open space management plan shall be submitted for review and approval by the Director of Planning and Building Inspection. Said plan shall, at minimum, address the following: the maximum number of animals (including but not limited to horses, cattle, goats, other hooved animals) allowed on the property; grazing practises including rotating grazable land areas and the frequency of rotation; vegetation protection; erosion control; drainage control; water conservation measures and fire/fuel management zones and objectives.

PASSED AND ADOPTED this 28th day of September, 1988, by the following vote:

AYES: Calcagno, Glau, Jimenez, Moore, Reaves

NOES: Stallard

ABSENT: Evans, Orrett, Riddle



ROBERT SLIMMON, JR.
SECRETARY OF THE PLANNING COMMISSION

Copy of this decision mailed to applicant on October 13, 1988.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK OF THE BOARD OF SUPERVISORS ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE OCTOBER 23, 1988.

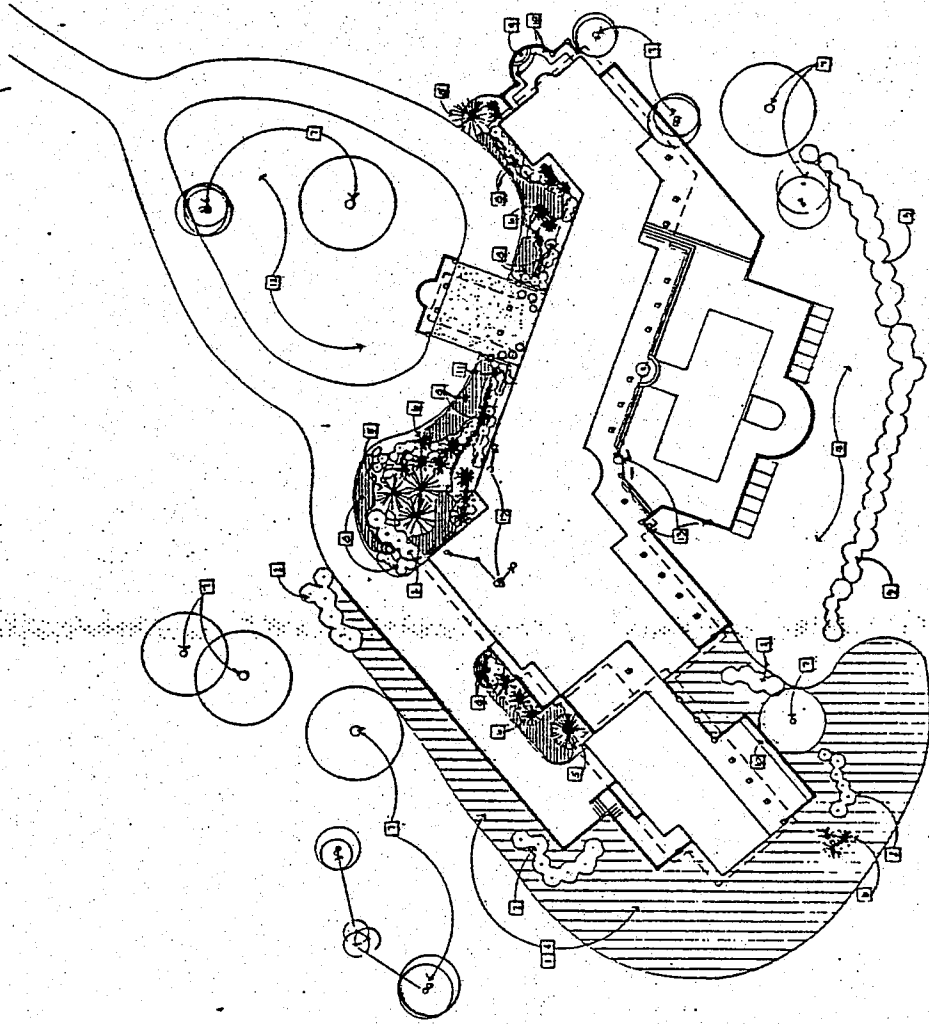
NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning and Building Inspection Department office in Monterey.

2. This permit expires one year after the above date of granting thereof unless construction or use is started within this period.

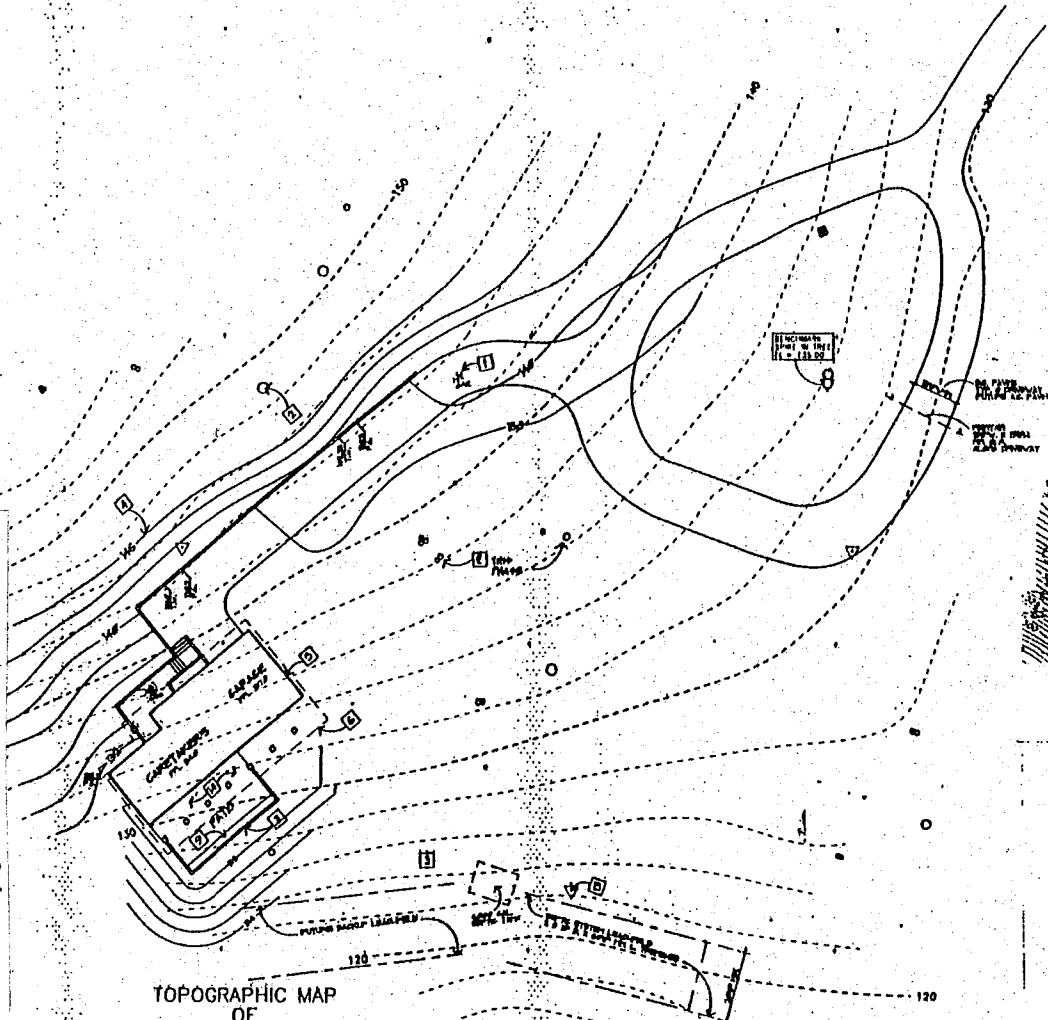


DENNIS HODGIN ARCHITECTS
 CLARENCE, ILL. AND PEORIA, ILL. OFFICES
 1000 WEST 10TH STREET, SUITE 100
 PEORIA, ILL. 61604-1000
 314-243-1111
 314-243-1112
 314-243-1113
 314-243-1114
 314-243-1115
 314-243-1116
 314-243-1117
 314-243-1118
 314-243-1119
 314-243-1120
 314-243-1121
 314-243-1122
 314-243-1123
 314-243-1124
 314-243-1125
 314-243-1126
 314-243-1127
 314-243-1128
 314-243-1129
 314-243-1130

- PLANT LIST AND KEYNOTES**
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 - 100. [Symbol] [Plant Name]

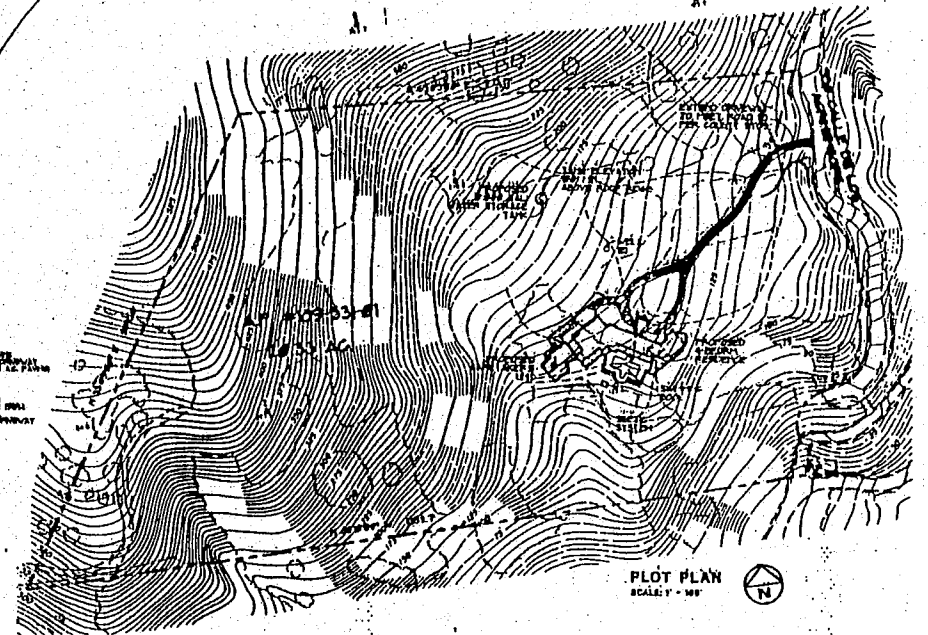
LANDSCAPE PLAN
 SCALE 1/8" = 1'-0"

Minimal (Per. 6/6/01)



TOPOGRAPHIC MAP
OF
PORTION OF PARCEL 7
RANCHO LOS LAURELES
MONTEREY COUNTY, CALIFORNIA
FOR
RICHARD MERRILL
TRANSFERRED FROM SURVEY BY MERRILL ENGINEERS, INC.
S/O 11/15 1987

PARTIAL SITE PLAN -
PHASE I ONLY
SCALE 1/8" = 1'-0"



PLOT PLAN
SCALE 1" = 80'

EROSION CONTROL

1. No lot grading on slopes over 20%.
2. Roof runoff to gutters and downspouts, downspouts to be connected to underground drainage pipes and led away from the structure.
3. A lined ditch should be placed behind the retaining wall with the runoff channelled to the curb below the house. Place riprap or broken concrete at the ditch's point.
4. All paved areas should have a gradient to prevent ponding of water. Gradients must be away from the structure.
5. a) All disturbed slopes not entirely grass for construction will be seeded with erosion control seed mix of Pinks Seeds, Turf Annual Fescue and Blue Fescue at a rate of 10 pounds per acre (or other approved seed mixture).
b) Ammonium phosphate fertilizer, 10-10-0, will be applied at a rate of 100 pounds per acre.
c) Straw which will be applied in a 1 inch layer after seeding on slopes over 20%.
6. Straw bales will be placed at base of slope to retain sediment from graded areas. Maintenance will occur as

EXHIBIT O - SITE PLAN (PHASE I ONLY)

- 1. 24' x 120' DR
- 2. 24' x 120' DR
- 3. 24' x 120' DR
- 4. 24' x 120' DR
- 5. 24' x 120' DR
- 6. 24' x 120' DR
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- 13. 24' x 120' DR
- 14. 24' x 120' DR
- 15. 24' x 120' DR
- 16. 24' x 120' DR
- 17. 24' x 120' DR
- 18. 24' x 120' DR
- 19. 24' x 120' DR
- 20. 24' x 120' DR

DENNIS HODGIN
AIA
ARCHITECTS

CARROLL HILL PROFESSIONAL CENTER
3330 HOLMAN HWY SUITE 210
MONTEREY, CA 93940 408/999-3414

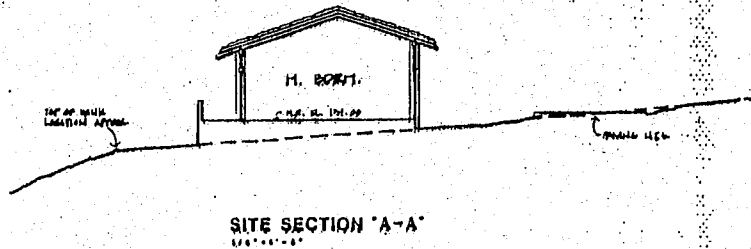
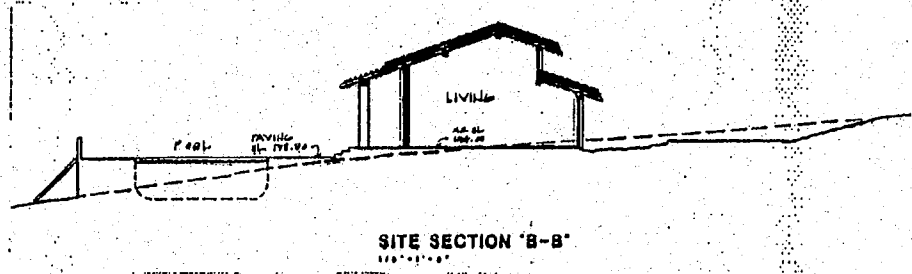
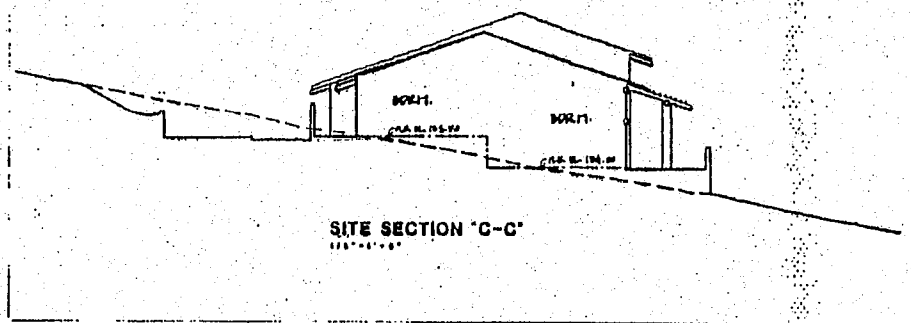
MERRILL RESIDENCE
330 CALLE DE LOS ANDES 2015
CARROLL VALLEY, CA 93930-9101

DATE 6/15/03
SCALE NOTED
DRAWN JCH
BY MERRILL

GRADING PLAN
PHASE I

REVISED: 8-26-18

Merrill (PC-6673)



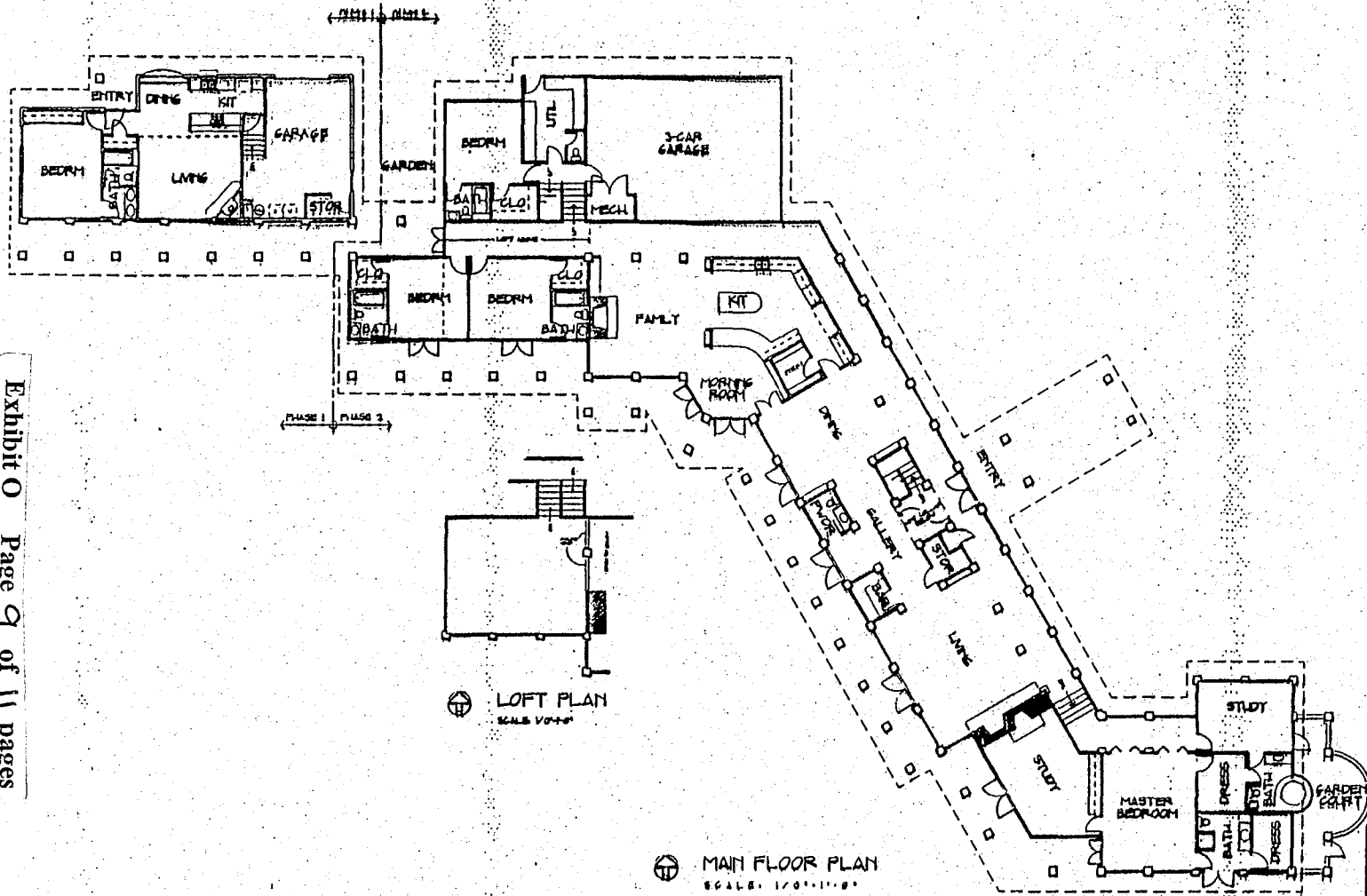
**DENNIS
HODGIN
AIA
ARCHITECTS**

CARROLL HILL PROFESSIONAL CENTER
25848 HOLMAN HWY. SUITE 100
DOWNEY, CA 92640 408/992-2333

DATE: 12/11/08	BY: [Signature]
SCALE: NOTED	DATE: [Signature]
PROJECT: MERRILL RESIDENCE	DATE: [Signature]
300 CALLE DE LOS ANGELES SORS CARROLL VALLEY, CA 92621-0101	DATE: [Signature]
BY: DENNIS HODGIN	DATE: [Signature]

SITE SECTIONS **4**
OF 3 SHEETS

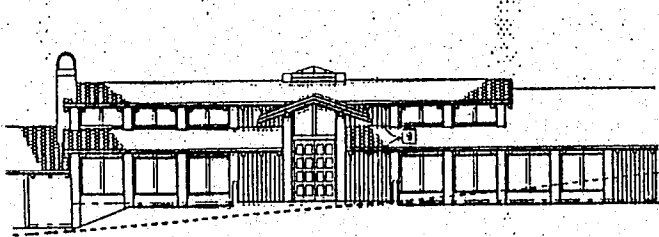
Merrill (for table 5)



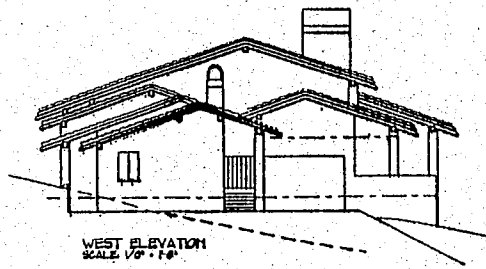
DENNIS HODGIN AIA ARCHITECTS
 CANCEL HILL PROFESSIONAL CENTER
 23045 HICKMAN HWY. SUITE 150
 MONTREY, CA 95040 408/939-3433

PROJECT NO.	DATE
100	7/11/00
CLIENT	DATE TITLED
MERRILL RESIDENCE	1/1/00
308 CALLE DE LOS AGUAFUEOS CANCEL VALLEY, AP 907-201P CANCEL VALLEY, GUATEMALA	DATE
	1/1/00
DESIGNED BY	DATE
D. MERRILL	1/1/00
FLOOR PLAN	
2	
OF 3 SHEETS	

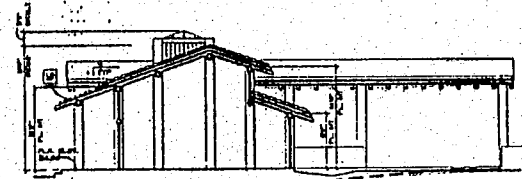
Merrill (PC-106-1)



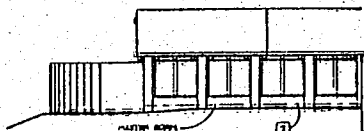
NORTH ELEVATION (CENTER)
SCALE 1/8" = 1'-0"



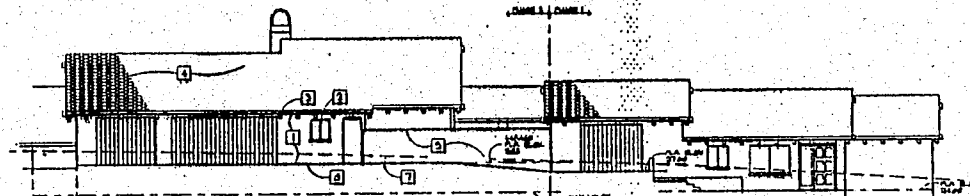
WEST ELEVATION
SCALE 1/8" = 1'-0"



SECTION OF LIVING ROOM
SCALE 1/8" = 1'-0"



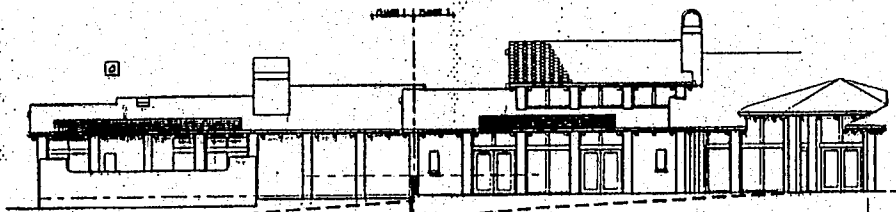
NORTH-EAST - MASTER BEDRM
SCALE 1/8" = 1'-0"



NORTH-EAST ELEVATION
SCALE 1/8" = 1'-0"

ALL MATERIAL & DETAIL DESIGNATIONS
SHOWN ON THIS ELEVATION ARE TYP. UNLESS

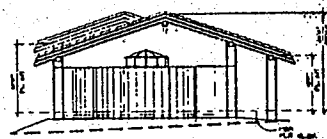
- EXTERIOR & INTERIOR ELEVATIONS**
- 1 SAND FINISH ON EX. PLACES OF BALCONY RAILINGS
 - 2 CLAY BRICK, 1000 SOFT REDDISH
 - 3 VENEER BRICK & STONE, BRICK
 - 4 MAINTENANCE FREE STONE
 - 5 GIP. PLASTER ON GYM. HALL OR PLASTER
 - 6 STONE TILES WITH LITHUM OR BROWN MARBLE FLOOR
 - 7 STONE (G) & MARBLE
 - 8 FLOOR MARBLE & MARBLE
 - 9 VENEER BRICK
 - 10 VENEER BRICK



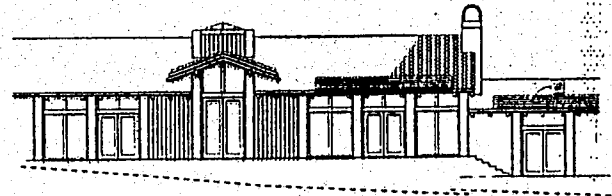
SOUTH-EAST - CARETAKER'S
SCALE 1/8" = 1'-0"



SOUTH-EAST ELEVATION
SCALE 1/8" = 1'-0"



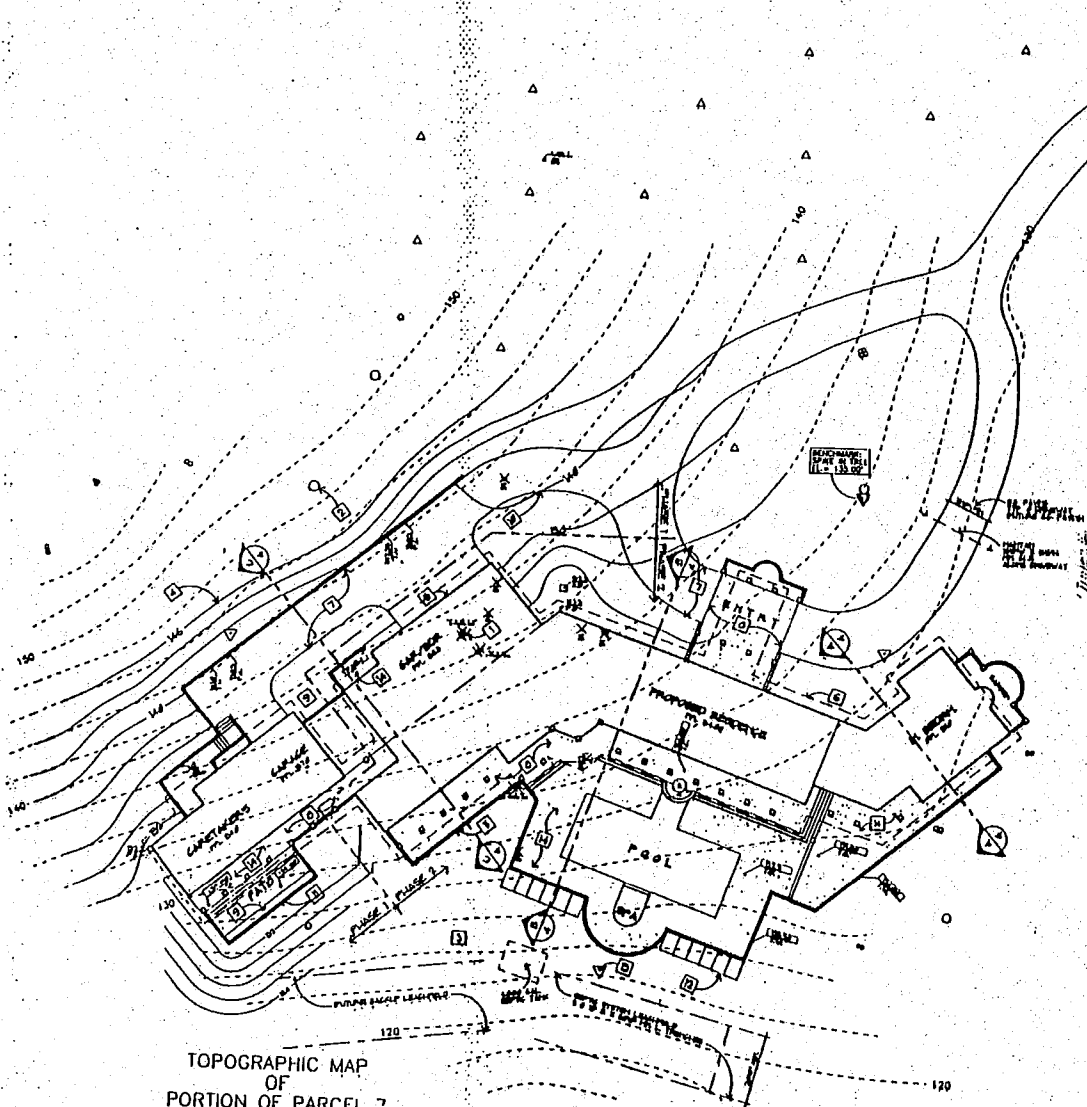
EAST ELEVATION
SCALE 1/8" = 1'-0"



SOUTH ELEVATION (CENTER)
SCALE 1/8" = 1'-0"

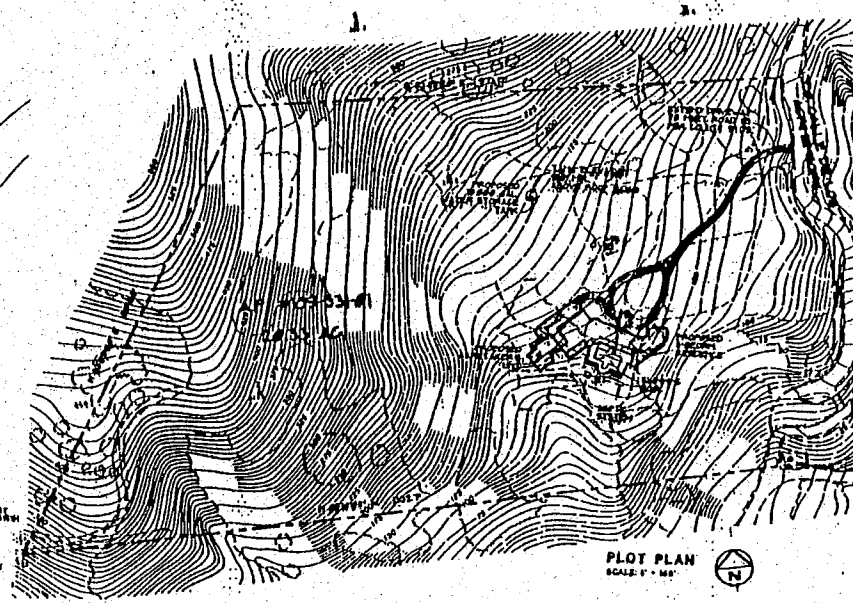
DENNIS HOOGIN ARCHITECTS	
CANDOR HILL PROFESSIONAL CENTER 2324 N. HOOGAN HWY. SUITE 200 MCKENZIE CA 92542 408/285-1511	
MERRILL RESIDENCE	
DATE: 7/1/68	SHEET: 10
120 CALLE DE LOS COMPTONERS CANCEL VALLEY - J.P. 929-2301	DATE: 1-2-68
EXTERIOR ELEVATIONS	
3 OF 3 SHEETS	

Merrill (PC-6673)

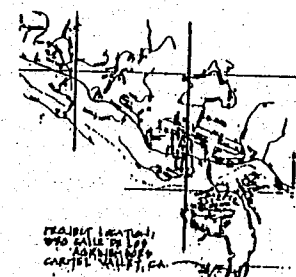


TOPOGRAPHIC MAP
OF
PORTION OF PARCEL 7
RANCHO LOS LAURELES
MONTEREY COUNTY, CALIFORNIA
FOR
RICHARD MERRILL
TRANSCRIED FROM SURVEY BY NEAL ENGINEERS, INC.
NO. 11138 1-1-67, 1967

SITE PLAN
SCALE 1/8" = 1'-0"



PLOT PLAN
SCALE 1/4" = 1'-0"



VICINITY MAP

FOREST MANAGEMENT NOTES
 O - EXISTING OAK STUMPS TO BE RETAINED.
 X - OAK STUMPS TO BE REMOVED.
 Δ - REPLACEMENT OAK PLANT LOCATION.
 SIGNED 1-7-88 J. MERRILL
 DATE 1-7-88-88

- EXTENDED SITE PLAN
- 1 2000 GSI TO BE REMOVED
 - 2 2000 GSI TO BE REMOVED
 - 3 2000 GSI TO BE REMOVED
 - 4 2000 GSI TO BE REMOVED
 - 5 2000 GSI TO BE REMOVED
 - 6 2000 GSI TO BE REMOVED
 - 7 2000 GSI TO BE REMOVED
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 - 14 2000 GSI TO BE REMOVED
 - 15 2000 GSI TO BE REMOVED
 - 16 2000 GSI TO BE REMOVED

DENNIS HODGINS ARCHITECTS
 AIA ARCHITECTS
 CARMEL HILL PROFESSIONAL CENTER
 2300 HOLMAN RD SUITE 210
 CARMEL, CA 95008 408/888-2414
 FAX 408/888-2414

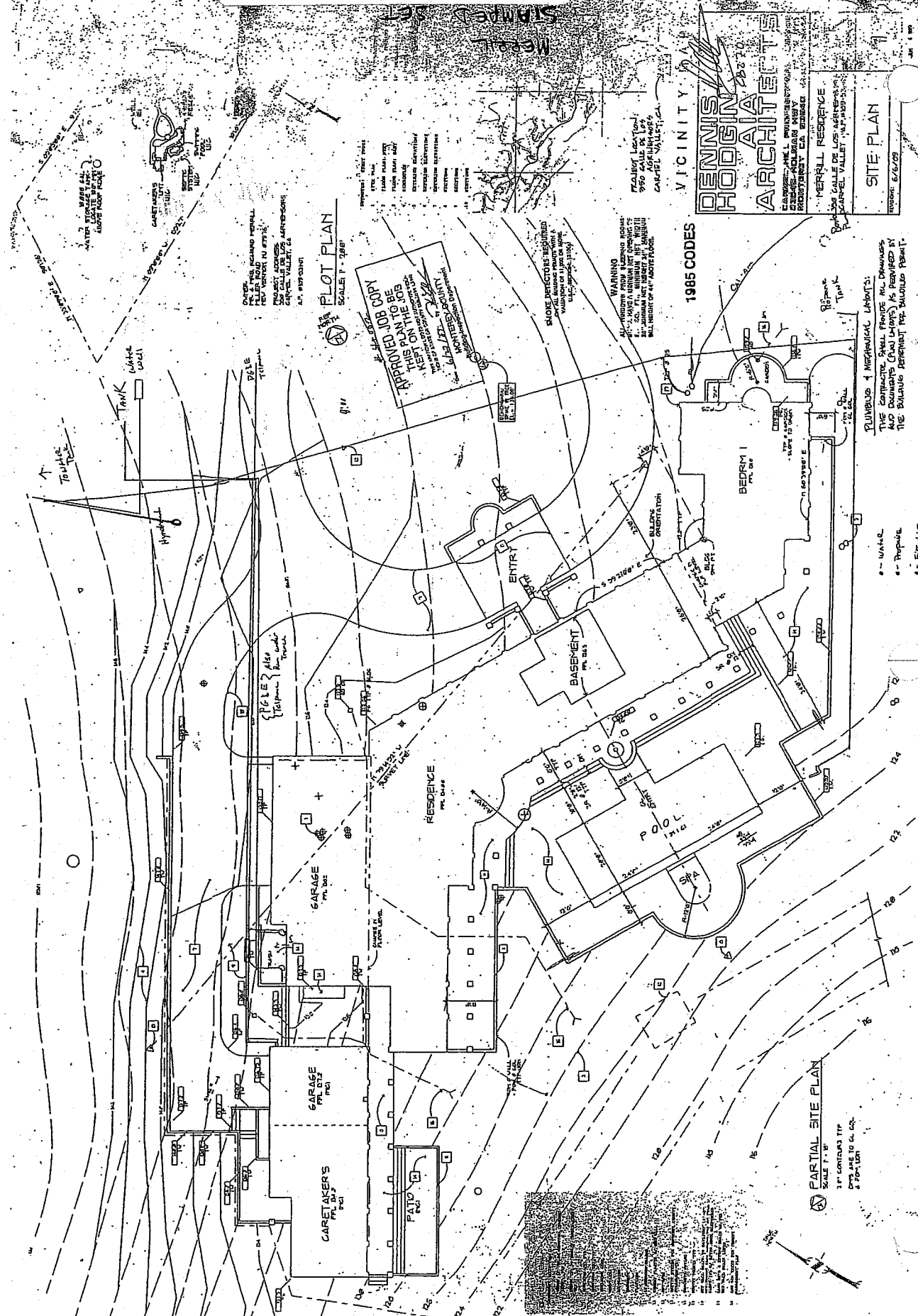
MERRILL RESIDENCE	DATE 1/11/88
100 CALLE DE LOS AGRIADORES	DATE 1/11/88
CARMEL VALLEY, CA 95008	DATE 1/11/88
SITE PLAN	1
OF 5 SHEETS	

REVISED 1-21-88

Merrill (PL 1673)

350 Calle de los Agrinensors

EXHIBIT P



PLANT PLAN
SCALE 1" = 20'

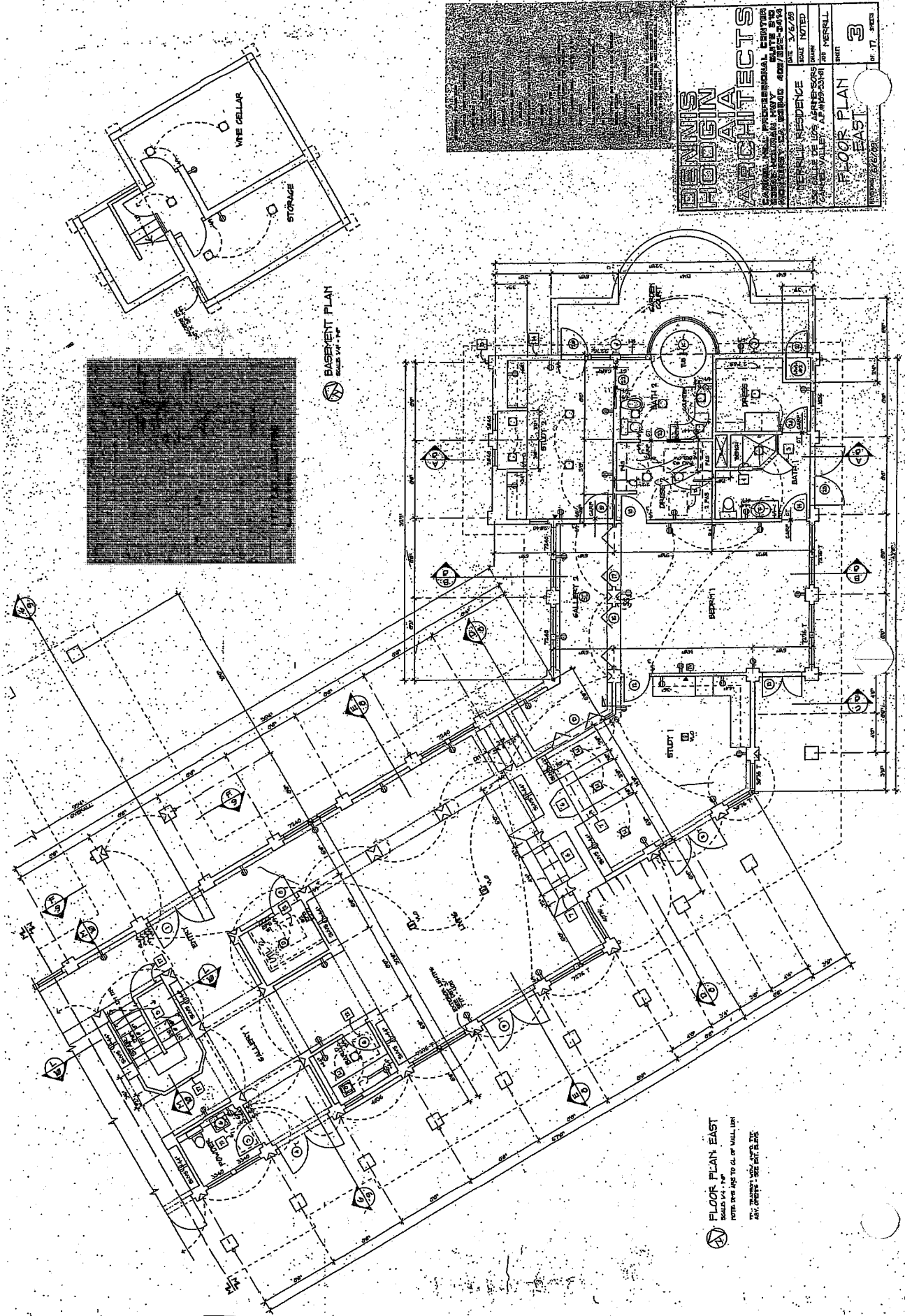
APPROVED JOB COPY
THIS PLAN IS TO BE KEPT ON THE JOB SITE AT ALL TIMES. ANY CHANGES MUST BE APPROVED BY THE ARCHITECT.

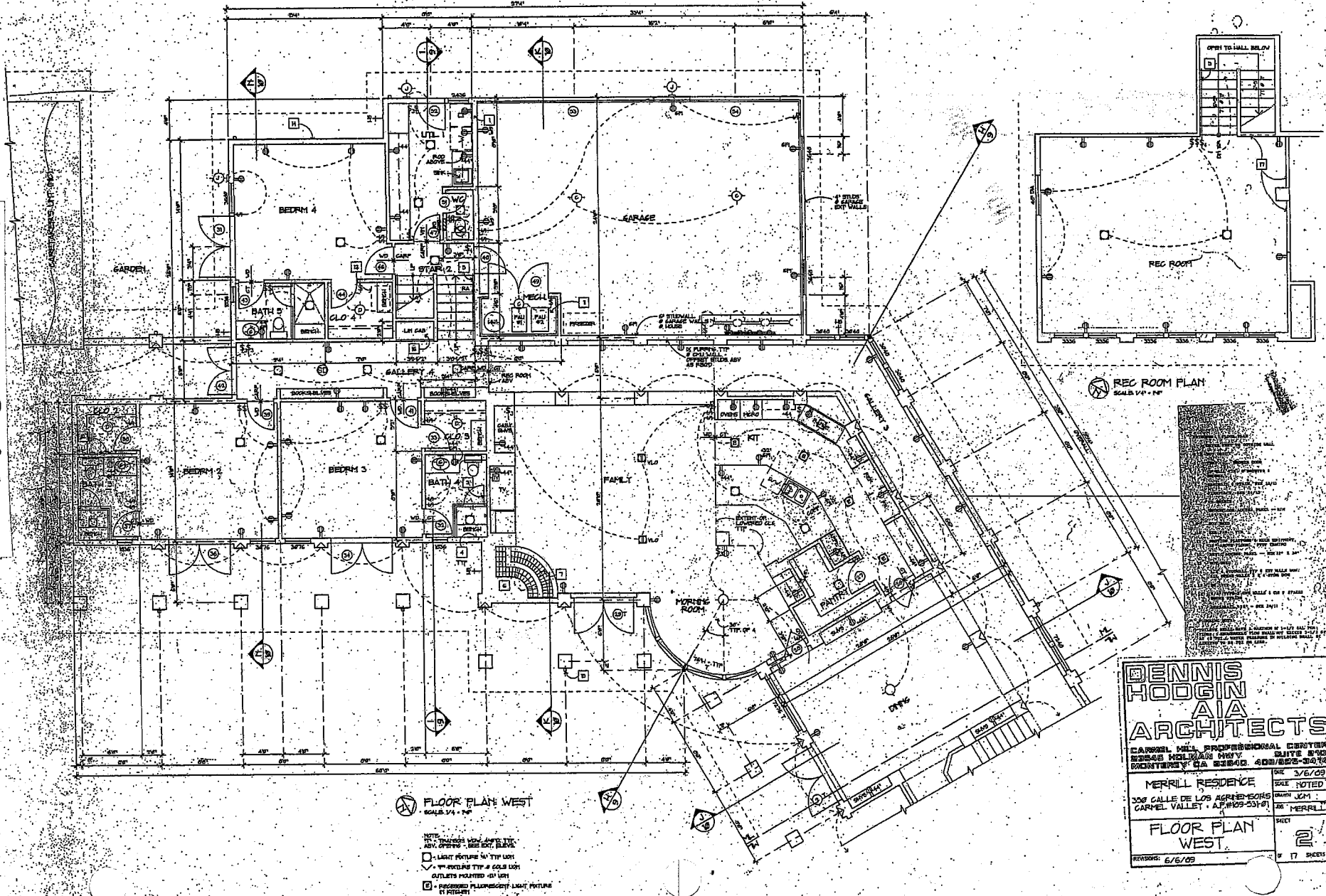
DENNIS HODGINS ARCHITECTS
 1000 S. GARDEN AVENUE, SUITE 100
 GARDEN VALLEY, CALIFORNIA 92645
 TEL: (714) 441-1111
 FAX: (714) 441-1112

MERRILL RESIDENCE
 350 CALLE DE LOS AGRINENSORS
 GARDEN VALLEY, CALIFORNIA 92645
 PROJECT NO. 92-001
 DATE: 6/16/09

SITE PLAN

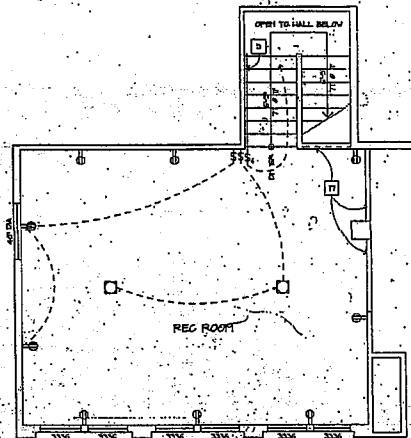
PARTIAL SITE PLAN
 SCALE 1" = 10'
 3" CONTIGUOUS TYP.
 DRAWN BY: J. G. CO.
 5/28/10





FLOOR PLAN WEST
SCALE: 1/4" = 1'-0"

- NOTE:
 1. ALL DIMENSIONS UNLESS OTHERWISE NOTED.
 2. ALL FINISHES UNLESS OTHERWISE NOTED.
 3. ALL LIGHT FIXTURES TO BE 12" DIA. UNLESS OTHERWISE NOTED.
 4. ALL SWITCHES TO BE 12" DIA. UNLESS OTHERWISE NOTED.
 5. ALL OUTLETS TO BE 12" DIA. UNLESS OTHERWISE NOTED.
 6. ALL RECESSED FLOUORESCENT LIGHT FIXTURES TO BE 12" DIA.



REC ROOM PLAN
SCALE: 1/4" = 1'-0"

REVISIONS

NO.	DATE	DESCRIPTION
1	3/16/09	ISSUED FOR PERMITS
2	3/16/09	ISSUED FOR PERMITS
3	3/16/09	ISSUED FOR PERMITS
4	3/16/09	ISSUED FOR PERMITS
5	3/16/09	ISSUED FOR PERMITS
6	3/16/09	ISSUED FOR PERMITS
7	3/16/09	ISSUED FOR PERMITS
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12	3/16/09	ISSUED FOR PERMITS
13	3/16/09	ISSUED FOR PERMITS
14	3/16/09	ISSUED FOR PERMITS
15	3/16/09	ISSUED FOR PERMITS
16	3/16/09	ISSUED FOR PERMITS
17	3/16/09	ISSUED FOR PERMITS

DENNIS HODGIN AIA ARCHITECTS
 CARMEL VALLEY PROFESSIONAL CENTER
 20000 HOLLYMAN HWY
 CARMEL VALLEY, CA 95008-4000
 TEL: 831/925-3400
 FAX: 831/925-3400
 WWW: DENNIS-HODGIN.COM

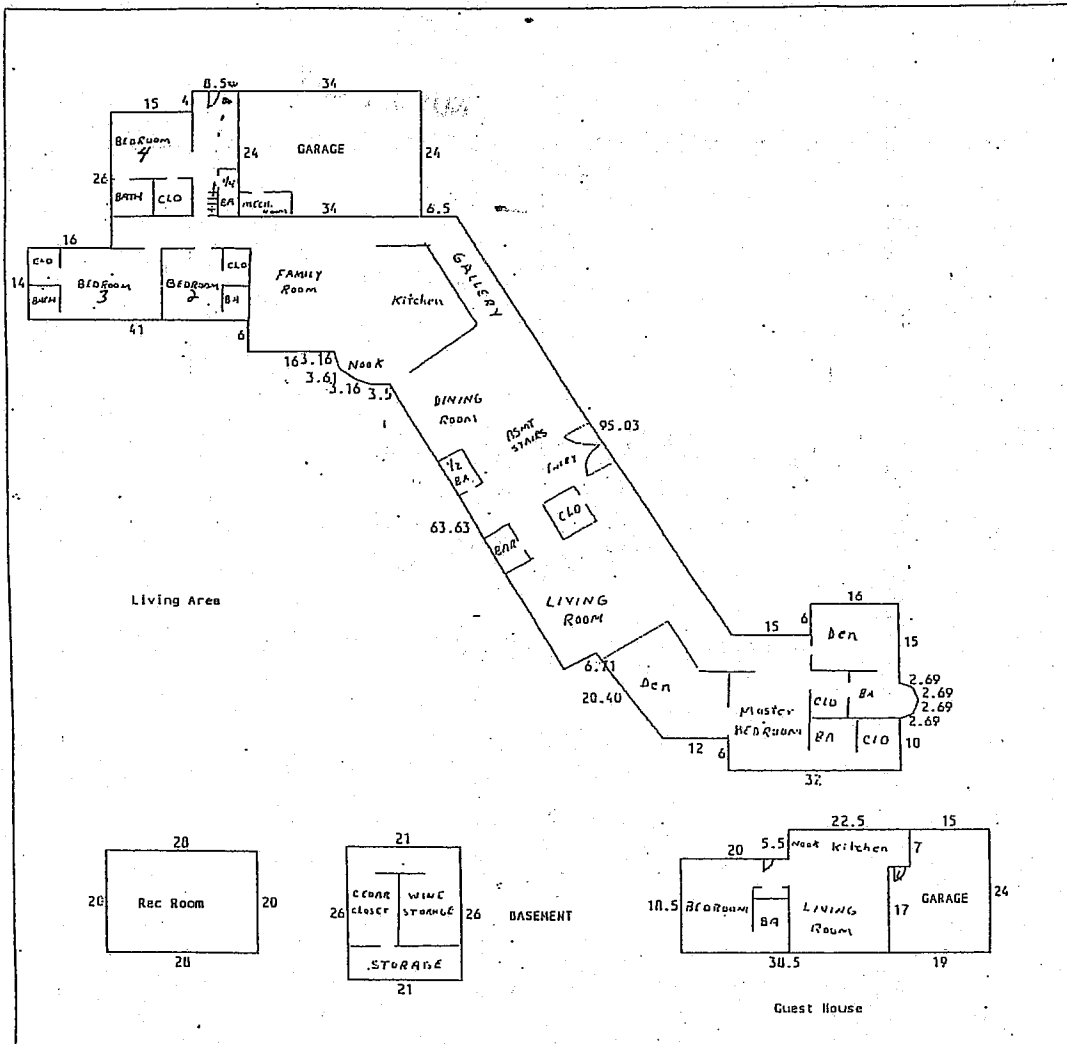
MERRILL RESIDENCE
 330 CALLE DE LOS ACEVEDOS
 CARMEL VALLEY, CA 95009-5310

FLOOR PLAN WEST

DATE: 3/16/09
 SCALE: NOTED
 DRAWN: JCM
 CHECKED: MERRILL
 SHEET: 17 OF 17 SHEETS

REVISIONS: 6/16/09

Borrower/Client Merrill
 Property Address 350 Calle De Los Agrimensores
 City Carmel Valley County Monterey State Ca Zip Code 93924
 Lender B of A



The interior walls are depicted in their approximate location and are not drawn to scale.

Living Area	Total	BASEMENT	Rec Room
4 x 8.5 = 34	5691.37 SF	26 x 21 = 546 SF	20 x 20 = 560 SF
20 x 23.5 = 470		24 x 34 = 816 SF	Guest House
6 x 65.08 = 395.29			
14 x 88.16 = 1234.17			
6 x 53.43 = 320.57			
3 x 39.75 = 119.25			
2 x 39.32 = 78.64			
1 x 37.26 = 37.26			
40.5 x 33.60 = 1633.39			
6 x 16 = 96			
3.5 x 64.76 = 226.67			
3 x 3.07 = 11.62			
5.5 x 54 = 297			
1 x 52.09 = 52.09			
2.5 x 53.36 = 133.41			
2.5 x 51.55 = 128.86			
1 x 48.52 = 48.52			
4 x 45.45 = 181.82			
6 x 32 = 192			
		7 x 15 = 105	
		17 x 19 = 323	
		<u>428 SF</u>	

"THIS APPRAISAL REPORT WAS PREPARED SOLELY FOR THE INTERNAL USE OF BANK OF AMERICA. THIS COPY IS PROVIDED TO THE APPLICANT FOR INFORMATIONAL PURPOSES ONLY AND IS NOT TO BE RELIED UPON BY ANY PARTY AS A REPRESENTATION OR WARRANTY OF THE VALUE OR CONDITION OF ANY PROPERTY."

Richard C. Merrill

TAX CODE AREA

COUNTY OF MONTEREY
ASSESSOR'S MAP
BOOK 189 PAGE 53

THIS PLAT IS INSERTED AS A MATTER OF INFORMATION ONLY, AND WHILE THE SAME IS COMPILED FROM INFORMATION WHICH WE BELIEVE TO BE CORRECT, NO LIABILITY IS ASSUMED BY THIS COMPANY AS TO THE CORRECTNESS OF SAID INFORMATION.

41

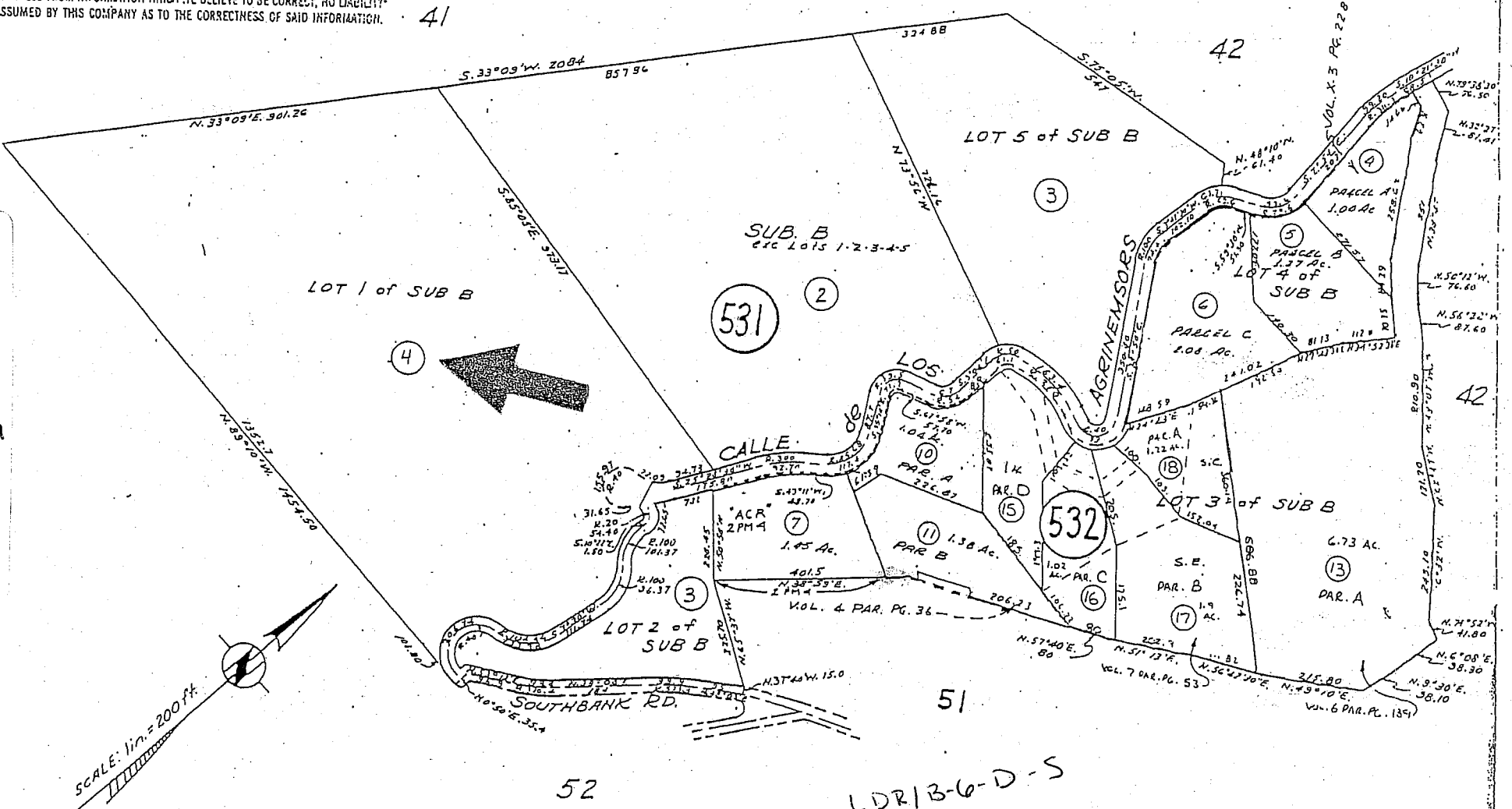


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LDR13-6-D-5

RO. LOS LAURELES - ASSRS. MAP
SUB. B PARCEL 7

CARMEL VALLEY AREA



APPLICANT: WILLIAMS

APN: 189-531-004-000

FILE # PLN040720



300' Limit



2500' Limit



City Limits



PLANNER: SCHMIDT