

## MONTEREY COUNTY PLANNING COMMISSION

<b>Meeting:</b> April 8, 2009. <b>Time:</b> 9:30 AM	<b>Agenda Item No.:</b> 3
<b>Project Description:</b> Combined Development Permit consists of: 1) A Coastal Development Permit, General Development Plan, and Design Approval to allow the addition of 4,343 square feet to the existing Douglas Hall Administration Building with detached garage; add 7,948 square feet to the existing Casco Residence; relocate the school's main entry off of Forest Lake Road and relocating parking areas for Douglas Hall and Casco Residence; install up to 4 temporary modular units to be utilized as offices and dormitory rooms including 42 temporary parking spaces for administration staff, residents and students during construction; allow the proposed additions to an existing historic structure (Douglas Hall); 2) A Coastal Development Permit to allow the removal of 23 Monterey pines ranging in size from 6 to 29 inches in diameter; grading of 2,200 cubic yards (1,900 cubic yards of cut and 300 cubic yards of fill); 3) A Coastal Development Permit for demolition of an existing 2,973 square foot unsafe structure on the opposite side of Forest Lake Road from the main campus.	
<b>Project Location:</b> 3152 Forest Lake Road, Pebble Beach.	<b>APN:</b> 008-022-003-000, 008-022-020-000, 008-022-023-000, 008-031-002)
<b>Planning File Number:</b> PLN080375	<b>Name:</b> Robert Luis Stevenson School, Property Owner/ Ed DiYanni, Agent
<b>Plan Area:</b> Del Monte Forest Land Use Plan	<b>Flagged and staked:</b> Yes
<b>Zoning Designation:</b> "I C-D" [Institutional Commercial with a Design Control Overlay (Coastal Zone)].	
<b>CEQA Action:</b> Mitigated Negative Declaration, per Section 15070	
<b>Department:</b> RMA - Planning Department	

### RECOMMENDATION:

Staff recommends that the Planning Commission take the following actions:

- 1) Adopt the Mitigated Negative Declaration (**Exhibit F**); and
- 2) Adopt the Mitigation Monitoring and Reporting Program (**Exhibit D**); and
- 3) Approve the proposed General Development Plan and Coastal Development Permits to allow the removal of 23 Monterey pines trees ranging in size from 6 to 29 inches; demolition of an existing 2,973 square foot unsafe structure; and grading subject to the recommended Findings and Evidence (**Exhibit C**) and recommended Conditions of Approval (**Exhibit D**).

### PROJECT OVERVIEW:

The project area is centrally located within Del Monte Forest area and on the southerly border of the Seal Rock Water Shed and is regulated under the Del Monte Forest Land Use Plan (DMF LUP). The Stevenson School campus spans several parcels which are surrounded by residential and recreational land uses. The project site is located on Forest Road in the Spyglass Cypress area just north of the Pebble Beach area. The School proposes to expand the existing Douglas Hall to facilitate the School's Administrative offices in one building and to expand the Casco Residence to replace the dormitory rooms displaced from Douglas Hall. The project includes a General Development Plan and Coastal Development Permit for tree removal and for the demolition of an unsafe structure within the school boundaries. Environmental review was conducted for the project and mitigations are incorporated into the project as conditions of approval.

**See Exhibit B for a detailed discussion.**

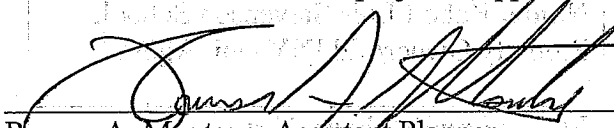
**OTHER AGENCY INVOLVEMENT:** The following checked agencies and departments have reviewed this project:

- ✓ California Coastal Commission
- ✓ Monterey Bay Unified Air Pollution Control District
- ✓ Pebble Beach Community Service District
- ✓ Public Works Department
- ✓ Monterey County Division of Environmental Health Division
- ✓ Monterey County Water Resources Agency
- ✓ Monterey County Sheriffs Office
- ✓ Monterey County Sheriffs Office

Conditions recommended by Planning, Fire, Public Works, and Water Resources Agency have been incorporated into conditions of approval (**Exhibit D**).

The project was referred to the Del Monte Forest Land Use Advisory Committee for review on September 18, 2008. The LUAC voted to recommend approval of the Stevenson School project on a vote of (6-0). (**Exhibit E**)

Note: The decision on this project is appealable to the Board of Supervisors (20.86.030).

  
Ramon A. Montano, Assistant Planner  
(831) 755-5169; [montanor@co.monterey.ca.us](mailto:montanor@co.monterey.ca.us)  
March 31, 2008

Note: The decision on this project is appealable to the Board of Supervisors (20.86.030) and the California Coastal Commission (20.86.080).

cc: Front Counter Copy; Planning Commission Members (10); County Counsel; Pebble Beach Community Service District; Public Works Department; Environmental Health Division; Water Resources Agency; Coastal Commission; Taven Kinison Brown, Planning Services Manager; Ramon A. Montano, Project Planner; Carol Allen; Property Owner, Robert Luis Stevenson School; Ed DiYanni, Agent; Planning File PLN080375

Attachments:	Exhibit A	Project Data Sheet
	Exhibit B	Project Discussion
	Exhibit C	Recommended Findings and Evidence
	Exhibit D	Recommended Conditions of Approval & Mitigation Monitoring and Reporting Plan
	Exhibit E	LUAC Minutes
	Exhibit F	Environmental Document (Mitigated Negative Declaration)
	Exhibit G	Site plan, Grading Plans, Floor Plans, Elevations and Vegetation Plan
	Exhibit H	General Development Plan
	Exhibit I	Vicinity Map

This report was reviewed by Taven Kinison Brown, Planning Services Manager.



# EXHIBIT A

## Project Data Sheet for PLN080375

Project Title:	ROBERT LOUIS STEVENSON SCHOOL	Primary APN:	008-022-020-000
Location:	3152 FOREST LAKE RD PEBBLE BEACH	Coastal Zone:	Yes
Applicable Plan:	Del Monte Forest Land Use Plan	Zoning:	IC INSTITUTE COMMERCIAL
Permit Type:	No Data	Plan Designation:	COMMERCIAL
Environmental Status:	MND	Final Action Deadline (884):	3/1/2009
Advisory Committee:	Del Monte Forest		

### Project Site Data:

Lot Size:	13.5 acres	Coverage Allowed:	40%
Existing Structures (sf):	103,355	Coverage Proposed:	17.85%
Proposed Structures (sf):	12,291	Height Allowed:	35'
Total Sq. Ft.:	12,291	Height Proposed:	25'
		FAR Allowed:	40%
		FAR Proposed:	<40%

### Resource Zones and Reports:

Environmentally Sensitive Habitat:	No	Erosion Hazard Zone:	HIGH
Biological Report #:	090173	Soils Report #:	080671
Forest Management Rpt. #:	080668		
Archaeological Sensitivity Zone:	HIGH	Geologic Hazard Zone:	MOD
Archaeological Report #:	080664	Geologic Report #:	080671
Fire Hazard Zone:	HIGH	Traffic Report #:	080673

### Other Information:

Water Source:	CAL AM	Sewage Disposal (method):	SEWER
Water Dist/Co:	MPWMD	Sewer District Name:	PEBBLE BEAC
Fire District:	PEBBLE BEACH CSD	Grading (cubic yds.):	2,200
Tree Removal:	23 MONTERY PINES		

**EXHIBIT B**  
**DISCUSSION AND BACKGROUND**  
**PLN080375/Stevenson School**

Background & Historic Structures

Historic Context - The Robert Louis Stevenson School (RLSS) was founded in 1952 and has expanded significantly during its 56-year history. Consequently the RLSS developed a Master Plan which the Monterey County Planning Commission approved in 1981 for the build out of Robert Louise Stevenson School. In July 1982, the California Coastal Commission approved development in a series of phased improvements under the RLSS Master Plan. The school has continued to make improvements to the campus in accordance with the scope and phases of the approved master plan.

The Douglas School was created in 1928 as a girl's boarding School and later purchased from the Ricklefs to found the Robert Louis Stevenson School in 1952. Located on the former campus of the Douglas School in Pebble Beach, the School currently utilizes Douglas Hall as its Administration Building. The structure has the potential qualification to be listed on the California Register of Historic Resources. For that reason the additions to Douglas Hall were reviewed by the County of Monterey Historic Resources Review Board and found to be consistent with the Secretary of Interior's Standards for the Treatment of Historic Structures. The standards for rehabilitation have been adhered to for the proposed additions to Douglas Hall and its additions as indicated in the Historical assessment and project plans.

The project also includes the demolition of an existing 2,973 square foot structure referred to as Building 19. Building 19 is located on Forest Lake Road across from the main campus. Based on discussion with County Parks Department the proposed demolition would not require review by the Historic Resources Review Board. A report by *CIRCA: Historic Property Development*, confirmed that due to the condition of the structure and because the structure has undergone several significant changes and alterations resulting in the significant loss of important character defining features. Building 19 retains a very low level of Historic Architectural integrity and does not meet the Monterey County criteria for historic resources.

Project Description

The proposed Combined Development Permit consists of a Coastal Development Permit to permit a General Development Plan (GDP); the GDP identifies allowed uses, hours of operation, number of employees and the parking requirements as required under Title 20. The plan includes guidelines for a sign program, a list of materials and colors to provide context for the school's overall architectural theme as well as a Landscaping Design, Exterior Lighting and designating trash and recycling locations for the campus.

The proposed development if approved will allow the addition of 4,343 square feet to the existing Douglas Hall (Administration Building) and the reconstruction of the existing detached garage. Add 7,948 square feet to the existing Casco Residence; and permanently relocate and redesign the school's main entry on of Forest Lake Road to improve circulation and access to Douglas Hall and Casco Residence as well as relocating parking areas for Douglas and Casco to improve circulation.. During construction work on the Douglas & Casco structures four temporary modular units and 42 temporary parking spaces will be installed and utilized as temporary offices and dormitory rooms for administration staff, residents, and students. The project includes remodeling and additions to existing historic Douglas Hall. Those changes have been designed in accordance with the Secretary of Interior's guidelines for the preservation of historic structures and incorporated into the designs and proposed plans. The proposed improvements were reviewed and approved by the Monterey County Historical Boards as well as the Del Monte Forest Land Use Advisory Committee.



Additionally, a Coastal Development Permit is required for the removal of 23 Monterey pines ranging in size from 6 to 29 inches in diameter. The school currently has an approved Forest Management Plan. However an Addendum to the FMP was prepared for the current project, for continuity with the Master Forest Management Plan. The addendum was found to be consistent with the requirements set forth under the Del Monte Forest Land Use Plan Policies regarding the preservation of forest resources and the long term maintenance of the forest.

The project will require a total of 2,200 cubic yards of grading (1,900 cubic yards of cut and 300 cubic yards of fill).

A Coastal Development Permit will be required to allow the demolition of an existing unsafe structure located on the opposite side of Forest Lake Road. The demolition of the structure, Building 19, was included in the revised Initial Study. No new impacts effecting air quality or the historical context of the Stevenson School campus would result from the demolition of this structure.

#### General Development Plan

The parameters by which the proposed development will occur are outlined in the applicants General Development Plan (GDP). The GDP outlines the specifics of each category listed bellow, please refer to the attached GDP pages 1 through 12 for detail:

- Allowed Uses: This identifies the Sections that the use conforms to under the current Title 20 and the uses intended for Douglas Hall and Casco Residence
- Operations
- Number of employees
- Parking
- Site Development Standards for the areas zoned IC
- Materials and Colors
- Landscape Plans
- Exterior Lighting Plan
- Trash/Recycling

#### CEQA

Monterey County prepared an Initial Study pursuant to CEQA guidelines 15070. The Initial Study is attached to this report as (Exhibit F) and on file in the office of the RMA – Planning Department and is hereby incorporated by reference under (File No. PLN080375). All project changes required to avoid significant effects on the environment have been incorporated into the project and/or are made conditions of approval. The Initial Study identified potentially significant effects relative to Air Quality, Noise, Hazardous Materials, and Biological resources. Substantial evidence supports the conclusion that impacts will be less than significant with the following mitigation incorporated for each of the following issues:

- Air Quality: Mitigation Measure 1 requires a Construction Management Plan,
- Biology: Mitigation Measures 2 through 5 require
  - 2) Tree Replacement
  - 3) Tree and Root Protection
  - 4) Preconstruction Survey for Nesting Birds
  - 5) Native Landscaping
- Hazardous Materials: Mitigation Measures, 6 and 7 require
  - 6) Compliance with the National Emission Standards for Hazardous Air Pollutants (NESHAP)

- 7) Hazardous materials shall be handled and disposed in accordance with local, state, and federal regulations
- Noise: Mitigation Measures 8 & 9 require
  - 8) All construction equipment shall use noise suppressant devices for the muffler/exhaust mechanisms
  - 9) The construction hours of operation shall be between 8am and 5pm, Monday through Friday

#### Site Development Standards

The project is consistent with the following development standards as required by Section 20.21.070 & 20.64.020 of the Monterey County Zoning Ordinance (Title 20) for those areas designated Institutional Commercial:

- Height Allowed height measured from the average natural grade for a main structure is 35 feet. The proposed structures identified in the project plans will not exceed a height of 35 feet. Douglas Hall single story additions will not exceed the existing height of the original structure. The Casco Residence measured from existing grade does not exceed a height of 29.5 feet
- Setbacks The project meets the criteria under the IC development standards for the establishment of setbacks under the proposed General Development Plan. The proposed additions are clearly identified within the Development Plan
- Building Site Coverage The project area consists of four parcels with an area of approximately 13.3 acres or 579,348 square feet. The project area allows for approximately 231,739.2 square feet of structural coverage. The combined structural coverage is approximately 103,355 square feet or 17.85%. The site development standards allow 40% maximum site coverage in the IC zoning District therefore the proposed project does not exceed the maximum allowed coverage

#### Analysis

##### Consistency with Del Monte Forest LUP & the approved Master Development Plan:

The existing Douglass Hall structure pre-dates coastal permits but has had subsequent permitted improvements. Casco Hall was previously permitted by Coastal Development Permits under the authority of the Monterey County Planning Commission. The proposed development is consistent with the requirements set forth under:

- Title 20 of the Coastal Implementation Plan Sections 20.21 Regulations for Institutional Commercial Zoning Districts or "IC"
- Section 20.21.030 requiring a General Development Plan
- 20.21.07020.147.050 Forestry and Soil Resources Development Standards
- 20.147.030 Water and Marine Resources Development Standards
- Viewshed and aesthetics policies found in the Land Use Plan

Additionally, the project is substantially compliant with the Master Plan approved by the California Coastal Commission.

### Architectural Consistency

The proposed addition to Douglas Hall was found to be compatible and architecturally consistent by the Historic Resources Review Board the Del Monte Forest Land Use Advisory Committee reviewed the proposed project and found it to be architecturally consistent and compatible with the main structure and the surrounding campus structures.

### Scenic and Visual Resources

The property is not located in the area identified on the Del Monte Forest Land Use Plan (LUP) Visual Resources Map (Figure 2C of the LUP) and is not visible from Point Lobos or viewing areas from 17 Mile Drive and Vista Points. The policies of the Del Monte Forest LUP direct that placement and design of new development not injure the visual integrity of the area with regard to the public viewshed. Staff conducted a site visit in September of 2008, to assess the potential viewshed impacts of the project from the Point Lobos State Reserve and 17 Mile Drive and Vista Points and found the project was not visible from those vantage points.

### Tree Removal

The Forest Management Plan (FMP) prepared for the school was adopted by the Planning Commission in 1992. The character of the forest as described in the report the pines are abundant and well distributed throughout the development area. An addendum to the original report was prepared by the forester to addresses the condition of the trees in the area of the proposed development. A Forest Management Plan (FMP) is prepared for each new development to address the impacts affecting the forest resources on the school properties. Staff reviewed the current amendment to the FMP and found it to be consistent with the intent and requirements of the Del Monte Forest Land Use Plan (DMF-LUP). The FMP meets the intent to insure the tree removal proposed is the minimum needed to achieve the scope of the proposed development and ensure the continued maintenance and long-term protection of the forest resources.

### Water and Marine Resources Development standards

The project site is located within the Seal Rock Watershed; however parcels with a commercial land use designation are not subject to the coverage limitations under (Section 20.147.030 (b), CIP, Part 5). The project, as proposed complies with the Water and Marine Resources Development standards as determined by the Water Resources Agency of Monterey County. The project as described will not add additional storm-water runoff and therefore will not contribute as a point and non-point source of pollution to the Carmel Bay "Areas of Special Biological Significance."

### Transportation & Circulation

The project as proposed will relocate the school's main entry off of Forest Lake Road to improve the circulation pattern for access to Douglas Hall and Casco Hall from Forest Road. This will include relocating the parking areas for Douglas Hall and Casco Residence. To mitigate the temporary loss of the office and dormitory space during construction, 4 temporary modular units will be used for the temporary offices and dormitory rooms. 42 temporary parking spaces for administration staff, residents, and students will be created during construction. The following improvements have been proposed to enhance safety and circulation:

- Relocation of main entrances;
- Improved access to Douglas Hall and Casco Residence;
- Relocation of parking areas;
- Relocation of drop off and pickup;
- Addition of 12 new spaces.

Additionally because the construction is proposed to be phased, the phasing will further reduce the potential for traffic impacts from construction activities. Therefore no mitigation measures beyond standard conditions of approval will be required.

### Conclusion

The proposed improvement plans and reports were reviewed for consistency with the County of Monterey's Local Coastal Land Use Plan for the Del Monte Forest Area this included the Coastal Implementation Plan requirements for tree removal, watershed issues, aesthetics and architectural consistency with the school's surroundings as well as viewshed issues. The County's Historic Review Board and the Land Use Advisory Committee have reviewed the project and found it to be consistent with the existing visual character of the surrounding neighborhood aesthetic of the surrounding forest. Furthermore the project has been analyzed for potentially significant impacts as a direct result of the development. It has been determined that the project as conditioned will not create any significant impact to the environment of the immediate or surrounding areas of the Del Monte Forest. For these reasons staff is recommending the adoption of the Mitigated Negative Declaration, and approval of the project with conditions as demonstrated through the Findings and Evidence contained in this report and environmental document.

## **EXHIBIT C DRAFT RESOLUTION**

### **Before the Planning Commission in and for the County of Monterey, State of California**

In the matter of the application of:

Robert Luis Stevenson School (PLN080375)

#### **RESOLUTION NO.**

Resolution by the Monterey County Planning Commission:

- 1) Adopt a Mitigated Negative Declaration
- 2) Approving a Combined Development Permit consists of: 1) a Coastal Development Permit, General Development Plan, and Design Approval to allow the addition of 4,343 square feet to the existing Douglas Hall Administration building with detached garage; add 7,948 square feet to the existing Casco Residence; relocate the school's main entry off of Forest Lake Road and relocating parking areas for Douglas Hall and Casco Residence; install up to 4 temporary modular units to be utilized as offices and dormitory rooms including 42 temporary parking spaces for administration staff, residents and students during construction; allow the proposed additions to an existing historic structure (Douglas Hall); 2) a coastal development permit to allow the removal of 23 Monterey pines ranging in size from 6 to 29 inches in diameter; grading of 2,200 cubic yards (1,900 cubic yards of cut and 300 cubic yards of fill); 3) a coastal development permit for demolition of an existing dilapidated structure on the opposite side of forest lake road from the main campus.

(PLN080375, Robert Luis Stevenson School, 3152 Forest Lake Road Pebble Beach, Del Monte Forest Land Use Plan (Assessor's Parcel Numbers 008-022-003-000, 008-022-020-000, 008-022-023-000, and 008-031-002-000).

The Robert Luis Stevenson School application (PLN080375) came on for public hearing before the Monterey County Planning Commission on April 8, 2009. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Planning Commission finds and decides as follows:

## FINDINGS

**1. FINDING: CONSISTENCY** – The project, as described in Condition No. 1 and as conditioned, conforms to the policies, requirements, and standards of the Monterey County General Plan, Del Monte Forest Land Use Plan, and the Monterey County Zoning Ordinance (Title 20), which designates this area as appropriate for development.

**EVIDENCE:** (a) The text, policies, and regulations in the above referenced documents have been evaluated during the course of review of applications.

(b) The property is located at 3152 Forest Lake Road, Pebble Beach Del Monte Forest Land Use Plan. The parcel is zoned Institutional Commercial with Design Control in the Coastal Zone (I C-D (CZ)).

(c) Pursuant to Section 20.44.020, the subject parcel is located in a Design Control Zoning District. Colors and materials proposed will match the existing structure and blend into the surrounding area.

(d) Douglass Hall pre-dates coastal permits but has had subsequent permitted improvements. Casco Residence was previously permitted by Coastal Development Permits under the authority of the Monterey County Planning Commission.

(e) The proposal consists of the following:

1. A General Development Plan request to allow additions to Douglas Hall and the Casco Residence;
2. Improvements to the existing entrance for the Douglass and Casco buildings;
3. Temporarily relocate the main entry and parking areas for Douglass and Casco Residence; install 4 temporary modular units to be utilized as offices and 42 temporary parking spaces for administration staff, residents and students during construction;
4. Allow additions to an existing historic structure (Douglass Hall) as approved by the HRRB;
5. A Coastal Development Permit to allow the removal of 23 Monterey Pines ranging in size from 6 to 29 inches in diameter
6. Grading of 2,200 cubic yards (1,900 cubic yards of cut and 300 cubic yards of fill).

(f) The proposed Combined Development Permit and General Development Plan met the requirements set forth in the site development standards for the Institutional Commercial zoning district. The project site is located within the Seal Rock Watershed; however parcels with a commercial land use

designation are not subject to the coverage limitations under (Section 20.147.030 (b), CIP, Part 5). The project, as proposed complies with the Water and Marine Resources Development standards as determined by the Water Resources Agency of Monterey County. The project is consistent with the site development standards for IC Districts:

- Height Allowed height measured from the average natural grade for a main structure is 35 feet. The proposed additions to Douglas Hall and Casco Residence, including improvements to the driveway entrance for the Douglas and Casco structures. Improvements made to Douglas Hall and Casco Residence does not exceed a height of 35 feet, however Casco Residence includes an architectural feature which will exceed the 35 foot height limit by one foot. This is allowed under the Height and Setback Exceptions 20.62 of Title 20 Coastal Implementation Plan. The feature is a light-well; it will provide natural lighting for the first and second story hall.
  - Height: Allowed height measured from the average natural grade for a main structure is 35 feet. The proposed structures identified in the project plans will not exceed a height of 35 feet. Douglas Hall additions will not exceed the height of the original structure. Casco Residence measured from existing grade approximate height of does not exceed height of 29.5 feet.
  - Setbacks: The project meets the criteria under the IC development standards for the establishment of setbacks under the proposed General Development Plan. The existing structure is centrally located within the project area and the proposed additions are clearly identified within the Development Plan thereby establishing the site development standards for the proposed additions to the existing structures.
  - Building Site Coverage: The project area consists of four parcels with an area of approximately 13.3 acres or 579,348 square feet. The project area allows for approximately 231,739.2 square feet of structural coverage. The combined structural coverage is approximately 103,355 square feet or 17.85%. The site development standards allow 40% maximum site coverage in the IC zoning District therefore the proposed project does not exceed the maximum allowed coverage.
  - Architectural Consistency: The proposed addition to Douglas Hall was found to be compatible and architecturally consistent by the Historic Resources Review Board and the Land Use Advisory Committee. Additionally Casco Residence was reviewed and found to be architecturally consistent and compatible with the main structure.
- (g) Based on information and materials provided, plus Staff site visit conducted in August and September of 2008, to verify that the project on the subject parcel conforms to the plans listed above. Staff finds that this project has no issues relative to archaeological, historic, or biological resources. Proposed development will be located in an existing disturbed area.
- (h) The project was referred to the Del Monte Forest Land Use Advisory Committee for review on September 18, 2008. The LUAC voted to recommend approval of the Stevenson School project on a vote of (6-0). The committee did not express any concerns over the proposed improvements nor made any recommended changes or conditions.

- (i) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN080375.

**2. FINDING: SITE SUITABILITY** – The site is physically suitable for the use proposed.

**EVIDENCE:** (a) The project has been reviewed for site suitability by the following departments and agencies: RMA - Planning Department, Pebble Beach Community Services District, Public Works, Environmental Health Division, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended by the Pebble Beach Community Services District have been incorporated.

- (b) Technical reports by outside archaeological, Historical, Traffic Engineer, Biological, and Forest management consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use or improvements proposed as designed, conditioned and mitigated. Although the project is located within a high archaeological area, the results from the report were negative. However, a condition has been incorporated to require stop work, if during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site. (Condition #4) County staff concurs. The following reports have been prepared:

- "Preliminary Archaeological Reconnaissance" (LIB080665) (LIB08021) prepared by Archaeological Consulting, Salinas CA, February 27, 1992.
- "Forest Management Plan" (LIB080668) prepared by Huge E. Smith Urban Forestry Consulting Carmel, CA February 12, 1992. addendum prepared by Staub Forestry Environmental Consulting (LIB080007) and supplemental update (LIB080623), dated March 30, 2007 & September 17, 2008.
- "Geological Report & Geotechnical Investigation" (LIB080671) prepared by Moore Twining & Associates Inc., dated July 15, 2008.
- "Historical Resource Study" (LIB080673) prepared by Page & Turnbull Inc. dated July 30, 2008
- "Stevenson upper School Parking and Traffic Study" (LIB080667), prepared by Higgins Associates, Civil & Traffic Engineers, dated August 1, 2008.
- "Biological Resource Assessment for the Robert Louis Stevenson School" (LIB090173) prepared by Zander Associates Environmental Consultants, dated June 26, 2008.
- "General Development Plan for the Casco and Douglas Hall additions and alterations with improvements to the main entry into the School property" (PLN080672). Prepared by applicant for the County of Monterey, dated July 30, 2008.

- (c) Staff conducted a site visits in August and September of 2008, to verify that the site is suitable for this use.

- (d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County Resource Management Agency –

Planning Department for the proposed development found in Project File PLN080375.

**3. FINDING: TREE REMOVAL** – The subject project under the amended Forest Management Plan minimizes tree removal in accordance with the applicable goals and policies of the Del Monte Forest Land Use Plan and Coastal Implementation Plan (Part 5).

- EVIDENCE:**
- (a) The project includes a Forest Management Plan (FMP) as required under the Del Monte Forest Land Use Plan (Section 20.147.050 B. CIP) and an amended FMP per (Section 20.147.050 C. CIP)
  - (b) When reviewing requests for tree removal, environmental considerations shall include review of forest plant associations, native soil cover, aesthetic values, as well as maintenance of the overall health of the stand (Policy #31 & 32 of the Del Monte Forest LUP and 20.147.050. D (1 & 2).
  - (c) Forest Management Plan prepared by Huge E. Smith Urban Forestry Consulting Carmel, CA February 12, 1992. Addendum prepared by Staub Forestry Environmental Consulting and supplemental update dated March 30, 2007 & September 17, 2008, contained in Project File PLN080375.
  - (d) Section 20.147.050.D.7 of the Monterey County Coastal Implementation Plan, Part 5, states that a Notice of Report will be recorded indicating that a Forest Management Plan was prepared for the site. A standard condition of approval has been incorporated into the projects conditions of approval (Condition #6).
  - (e) Based on the information submitted in the amended FMP staff determined that removal of the trees, stated in the report and visual observation by staff with regard the condition of trees to be removed for pest and structural problems. Removal of the trees identified in the FMP will not involve a risk of adverse environmental impacts as provided under the DMF LUP and the current FMP.

**4. FINDING: CEQA** – On the basis of the whole record before the Monterey County Standard Subdivision Committee, there is no substantial evidence that the proposed project as designed, conditioned, and mitigated, will have a significant effect on the environment. The Mitigated Negative Declaration reflects the independent judgment and analysis of the County.

- EVIDENCE:**
- (a) The proposed project is subject to environmental review due to the potential for significant environmental effects pursuant to CEQA Guidelines Section 15070 (Decision to Prepare a Negative or Mitigated Negative Declaration).
  - (b) Potentially adverse environmental effects were identified during staff review of the development application.
  - (c) Monterey County prepared an Initial Study pursuant to CEQA. The Initial Study is on file in the office of the RMA – Planning Department and is hereby incorporated by reference (File No. PLN080375). All project changes required to avoid significant effects on the environment have been incorporated into the project and/or are made conditions of approval. The Initial Study identified potentially significant effects relative to Air Quality, Noise and biological resources. Substantial evidence supports the conclusion that impacts will be less than significant with mitigation incorporated for these issues.



- (d) The Mitigated Negative Declaration was circulated for public review two times from December 31, 2008 to January 30, 2009. and during March 1, 2009 to March 30, 2009
- (e) The Monterey County Resource Management Agency – Planning Department, located at 168 W. Alisal Street, 2<sup>nd</sup> Floor, Salinas, CA, 93901, is the custodian of documents and other materials that constitute the record of proceedings upon which the decision to adopt the Mitigated Negative Declaration is based.
- (f) A Mitigation Monitoring and Reporting Program (MMRP) has been prepared and is designed to ensure compliance with conditions and that mitigation measures are monitored and reported during project implementation. The applicant must enter into an “Agreement to Implement a Mitigation Monitoring and Reporting Program” as a condition of project approval.
- (g) For purposes of implementing Section 753.5 of Title 14, California Code of Regulations, the project may cause changes to the resources listed under Section 753.5. Therefore, payment of the Fish and Game fee is required.
- (h) Evidence that has been received and considered includes the application, plans, materials, and technical reports, which are listed under Section IX (References) of the Initial Study and contained in project file PLN080375.
- (i) To mitigate the physical impacts to a less than significant level the following brief summary of the mitigation measures is proposed:
  - Air Quality: Mitigation Measure 1 requires a Construction Management Plan,
  - Biology: Mitigation Measures 2 through 5 require
    - 2) Tree Replacement
    - 3) Tree and Root Protection
    - 4) Preconstruction Survey for Nesting Birds
    - 5) Native Landscaping
  - Hazardous Materials: Mitigation Measures, 6 and 7 require
    - 6) Compliance with the National Emission Standards for Hazardous Air Pollutants (NESHAP)
    - 7) Hazardous materials shall be handled and disposed in accordance with local, state, and federal regulations
  - Noise: Mitigation Measures 8 & 9 require
    - 8) All construction equipment shall use noise suppressant devices for the muffler/exhaust mechanisms
    - 9) The construction hours of operation shall be between 8am and 5pm, Monday through Friday
- (j) The project planner conducted a site visit in August and September of 2008 to verify that the site is suitable for this use.
- (d) No adverse environmental effects were identified during staff review of the development application during a site visit in August and September of 2008
- (e) See finding number 1, 2, 4, and supporting evidence.

**5. FINDING: NO VIOLATIONS** - The subject property complies with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property. Zoning violation abatement costs, if any, have been paid.

**EVIDENCE:** (a) Staff reviewed Monterey County RMA - Planning Department and Building Services Department Monterey County records and is not aware of any violations existing on subject property.

**6. FINDING: PUBLIC ACCESS:** The project is in conformance with the public access and public recreation policies of the Coastal Act and Local Coastal Program, and does not interfere with any form of historic public use or trust rights. No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.70.050.B.4.c of the Monterey County Coastal Implementation Plan, can be demonstrated.

**EVIDENCE:** (a) The subject property is not described as an area where the Local Coastal Program requires access.

(b) The subject property is not indicated as part of any designated trails or shoreline access as shown in Figure 15, the Recreational Facilities Map, and Figure 16, the Shoreline Access Map, of the Del Monte Forest Area Land Use Plan.

(c) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.

**7. FINDING: HEALTH AND SAFETY -** The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

**EVIDENCE:** See Findings #1, #2, #3 and #4 and supporting evidence.

**8. FINDING: APPEALABILITY -** The decision on this project is appealable to the Board of Supervisors and the California Coastal Commission.

**EVIDENCE:** (a) Sections 20.86.020 and 20.86.030 of the Monterey County Zoning Ordinance (Title 20).

(b) In accordance with Section 20.86.080 of the Monterey County Zoning Ordinance (Title 20) the project may be appealed to the California Coastal Commission because the project is located between the sea and the first through public road paralleling the sea and includes the granting of a conditional use.

**EXHIBIT D**

**Monterey County Resources Management Agency Planning  
Department  
Condition Compliance and Mitigation Monitoring Reporting  
Plan**

**Project Name:** Robert Luis Stevenson School

**File No:** PLN080375 **APNs:** 008-022-003-000, 008-022-020 000,  
008-022-023-000

**Approved by:** Planning Commission **Date:** April 8, 2009

*\*Monitoring or Reporting refers to projects with an EIR or adopted Mitigated Negative Declaration per Section 21081.6 of the Public Resources Code.*

Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions To be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
1.		<p><b>PD001 - SPECIFIC USES ONLY</b>                      This Combined Development permit (PLN080375) allows                      1) A Coastal Development Permit, General Development                      Plan, and Design Approval to allow the addition of 4,343                      square feet to the existing Douglas Hall Administration                      Building with detached garage; add 7,948 square feet to                      the existing Casco Residence; relocate the School's main                      entry off of Forest Lake Road and relocating parking                      areas for Douglas Hall and Casco Residence; install up to                      4 temporary modular units to be utilized as offices and                      dormitory rooms including 42 temporary parking spaces                      for administration staff, residents and students during                      construction; allow the proposed additions to an existing                      historic structure (Douglas Hall); 2) A Coastal                      Development Permit to allow the removal of 23                      Monterey pines ranging in size from 6 to 29 inches in                      diameter; grading of 2,200 cubic yards (1,900 cubic                      yards of cut and 300 cubic yards of fill); 3) A Coastal                      Development Permit for demolition of an existing 2,973                      square foot unsafe structure on the opposite side of Forest                      Lake Road from the main campus. The property is                      located at 3152 Forest Lake Road Pebble Beach,                      (Assessor's Parcel Numbers 008-022-003-000, 008-022-                      020-000, 008-022-023-000) centrally located within the                      Pebble Beach area within the Del Monte Forest Land Use                      Plan area, Coastal Zone. This permit was approved in                      accordance with County ordinances and land use                      regulations subject to the following terms and conditions.                      Neither the uses nor the construction allowed by this permit                      shall commence unless and until all of the conditions of</p>	<p>Adhere to conditions and uses                      specified in the permit.</p>	<p>Subdivider/                      Owner/                      Applicant/</p>	<p>Ongoing                      unless                      otherwise                      stated</p>	

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		<p>this permit are met to the satisfaction of the Director of the RMA - Planning Department. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning Department)</p>				
2.		<p><b>PD002 - NOTICE-PERMIT APPROVAL</b>  The applicant shall record a notice which states: A Combined Development Permit and General Development Plan (Resolution _____) was approved by the <b>Planning Commission</b> for (Assessor's Parcel Numbers 008-022-003-000, 008-022-020-000, 008-022-023-000) on April 8, 2009. The Combined Development Permit and General Development was granted subject to <b>43</b> conditions of approval and <b>9</b> mitigation measures which run with the land. A copy of the permit is on file with the Monterey County RMA - Planning Department." Proof of recordation of this notice shall be furnished to the Director of the RMA - Planning Department prior to issuance of building permits or commencement of the use. (RMA - Planning Department)</p>	<p>Proof of recordation of this notice shall be furnished to the RMA - Planning Department.</p>	<p>Owner/ Applicant</p>	<p>Prior to the issuance of grading and building permits or commencement of use.</p>	

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3.		<p><b>PD004 - INDEMNIFICATION AGREEMENT</b></p> <p>The property owner agrees as a condition and in consideration of the approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the county for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, filing of the final map, whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action, or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify, or hold the county harmless. (RMA - Planning Department)</p>	<p>Submit signed and notarized Indemnification Agreement to the Director of RMA – Planning Department for review and signature by the County.</p> <p>Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to the RMA – Planning Department.</p>	Owner/ Applicant	Upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, filing of the final/parcel map, whichever occurs first and as applicable	

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4.		<p><b>PD003(A) – CULTURAL RESOURCES – NEGATIVE ARCHAEOLOGICAL REPORT</b></p> <p>If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. The Monterey County RMA - Planning Department and a qualified archaeologist (i.e., an archaeologist registered with the Society of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery. <b>(RMA - Planning Department)</b></p>	<p>Stop work within 50 meters (165 feet) of uncovered resource and contact the Monterey County RMA - Planning Department and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.</p>	<p>Owner/ Applicant/ Archaeo- logist</p>	<p>Ongoing</p>	

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5.		<p><b>PD005 - FISH AND GAME FEE-NEG DEC/EIR</b>  Pursuant to the State Public Resources Code § 753.5, State Fish and Game Code, and California Code of Regulations, the applicant shall pay a fee, to be collected by the County, within five (5) working days of project approval. This fee shall be paid before the Notice of Determination is filed. If the fee is not paid within five (5) working days, the project shall not be operative, vested or final until the filing fees are paid. <b>(RMA - Planning Department)</b></p>	<p>The applicant shall submit a check, payable to the <i>County of Monterey</i>, to the Director of the RMA - Planning Department.</p>	<p>Owner/ Applicant</p>	<p>Within 5 working days of project approval.</p>	
6.		<p><b>PD006 - MITIGATION MONITORING PROGRAM</b>  The applicant shall enter into an agreement with the County to implement a Mitigation Monitoring and/or Reporting Plan in accordance with Section 21081.6 of the California Public Resources Code and Section 15097 of Title 14, Chapter 3 of the California Code of Regulations. Compliance with the fee schedule adopted by the Board of Supervisors for mitigation monitoring shall be required and payment made to the County of Monterey at the time the property owner submits the signed mitigation monitoring agreement. <b>(RMA - Planning Department)</b></p>	<ol style="list-style-type: none"> <li>1) Enter into agreement with the County to implement a Mitigation Monitoring Program.</li> <li>2) Fees shall be submitted at the time the property owner submits the signed mitigation monitoring agreement.</li> </ol>	<p>Owner/ Applicant</p>	<p>Within 60 days after project approval or prior to the issuance of grading and building permits, whichever occurs first.</p>	

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7.		<p><b>PD016 – NOTICE OF REPORT</b>  Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder for each of the following reports which states: “Preliminary Archaeological Reconnaissance” (LIB080665) (LIB08021) prepared by Archaeological Consulting, Salinas CA, February 27, 1992.</p> <ul style="list-style-type: none"> <li>- “Forest Management Plan” (LIB080668) prepared by Huge E. Smith Urban Forestry Consulting Carmel, CA February 12, 1992. Addendum prepared by Staub Forestry Environmental Consulting (LIB080007) and supplemental update (LIB080623), dated March 30, 2007 &amp; September 17, 2008.</li> <li>- “Geological Report &amp; Geotechnical Investigation”(LIB080671) prepared by Moore Twining &amp; Associates Inc., dated July 15, 2008.</li> <li>- “Historical Resource Study”(LIB080673) prepared by Page &amp; Turnbull Inc. dated July 30, 2008</li> <li>- “Stevenson upper School Parking and Traffic Study”(LIB080667, prepared by Higgins Associates, Civil &amp; Traffic Engineers, dated August 1, 2008.</li> <li>- “Biological Resource Assessment for the Robert Louis Stevenson School” (LIB090173) prepared by Zander Associates Environmental Consultants, dated June 26, 2008.</li> <li>- “General Development Plan for the Casco and Douglas Hall additions and alterations with improvements to the main entry into the School property”(PLN080672). Prepared by applicant for the County of Monterey, dated July 30, 2008. (RMA – Planning Department)</li> </ul>	<p>Proof of recordation of this notice shall be furnished to the RMA - Planning Department.</p>	<p>Owner/ Applicant</p>	<p>Prior to the issuance of grading and building permits.</p>	
8.		<p><b>PD009 - GEOTECHNICAL CERTIFICATION</b>  Prior to final inspection, the geotechnical consultant shall provide certification that all development has been constructed in accordance with the geotechnical report. (RMA – Planning Department and Building Services Department)</p>	<p>Submit certification by the geotechnical consultant to the RMA – Building Services Department showing project’s compliance with the geotechnical report.</p>	<p>Owner/ Applicant/ Geotechnical Consultant</p>	<p>Prior to final inspection</p>	



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9.		<b>PD011 – TREE AND ROOT PROTECTION</b> Trees which are located close to the construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by a certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of the RMA – Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by a certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. <b>(RMA - Planning Department)</b>	Submit evidence of tree protection to the RMA - Planning Department for review and approval.	Owner/ Applicant	Prior to the issuance of grading and/or building permits	
			Submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.	Owner/ Applicant/ Arborist	During Construction	
			Submit photos of the trees on the property to the RMA – Planning Department after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.	Owner/ Applicant	Prior to final inspection	
10.		<b>PD014(A) – LIGHTING – EXTERIOR LIGHTING PLAN</b> All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The applicant shall submit 3 copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations, Title 24, Part 6. The exterior lighting plan shall be subject to approval by the Director of the RMA - Planning Department, prior to the issuance of building permits. <b>(RMA – Planning Department)</b>	Submit three copies of the lighting plans to the RMA - Planning Department for review and approval. Approved lighting plans shall be incorporated into final building plans.	Owner/ Applicant	Prior to the issuance of building permits.	
			The lighting shall be installed and maintained in accordance with the approved plan.	Owner/ Applicant	Prior to Occupancy/ Ongoing	

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11.		<p><b>PD012(E) - LANDSCAPE PLAN AND MAINTENANCE - MONTEREY PENINSULA WATER MANAGEMENT DISTRICT (OTHER THAN SINGLE FAMILY DWELLING)</b></p> <p>The site shall be landscaped. Prior to issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of the RMA - Planning Department. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping and shall include an irrigation plan. The landscaping shall be installed and inspected prior to occupancy. All landscaped areas and/or fences shall be continuously maintained by the applicant and all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. <b>(RMA – Planning Department)</b></p>	<p>Submit landscape plans and contractor's estimate to the RMA - Planning Department for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable.</p>	<p>Owner/ Applicant/ Licensed Landscape Contractor/ Licensed Landscape Architect</p>	<p>Prior to issuance of Building Permits</p>	
			<p>Submit one (1) set landscape plans of approved by the RMA – Planning Department, Maximum Applied Water Allowance (MAWA) calculation, and a completed “Non-Residential Water Release Form and Water Permit Application” to the Monterey Peninsula Water Management District for review and approval.</p>	<p>Owner/ Applicant/ Licensed Landscape Contractor/ Licensed Landscape Architect</p>	<p>Prior to issuance of Building Permits</p>	
			<p>Submit an approved water permit from the MPWMD to the RMA – Building Permit</p>	<p>Owner/ Applicant/ Licensed Landscape Contractor</p>	<p>Prior to issuance of Building Permits</p>	
			<p>The landscaping shall be installed and inspected.</p>	<p>Owner/ Applicant/ Licensed Landscape Contractor/ Licensed Landscape Architect</p>	<p>Prior to Occupancy</p>	
			<p>All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.</p>	<p>Owner/ Applicant</p>	<p>Ongoing</p>	

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<b>Public Works</b>						
12.		<p><b>PW0007 – PARKING STD</b>            The parking shall meet the standards of the Zoning Ordinance and be approved by the Director of Public Works and the Director of Planning and Building Inspection. <b>(Public Works)</b></p>	<p>Applicant's engineer or architect shall prepare a parking plan for review and approval.</p>	<p>Owner/ Applicant/ Engineer</p>	<p>Prior to Building/ Grading Permits Issuance</p>	
13.		<p><b>PWSP001 –NON STANDARD – CONSTRUCTION MANAGEMENT PLAN</b>            The applicant shall submit a Construction Management Plan (CMP) to the RMA-Planning Department and the Department of Public Works for review and approval. The CMP shall include measures to minimize traffic impacts during each phased portion of the project and during all construction/grading activities. The applicant shall provide the following information: Duration of the construction, hours of operation, an estimate of the number of truck trips that will be generated, truck routes, number of construction workers, parking areas for both equipment and workers, and locations of truck staging areas. The CMP shall include the listed requirements stated in mitigation measure number 1 of the adopted environmental document. Approved measures included in the CMP shall be implemented by the applicant during the construction/grading phase of the project. <b>(Public Works)</b></p>	<p>Prior to issuance of Grading Permits or Building Permits, applicant shall submit a Construction Management Plan (CMP) to the RMA-Planning Department and the Department of Public Works for review and approval</p>	<p>Owner/ Applicant/ Engineer</p>	<p>Prior to Building/ Grading Permits Issuance</p>	

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<b>Water Resources Agency</b>						
14.		<p><b>WR40 - WATER CONSERVATION MEASURES</b>            The applicant shall comply with Ordinance No. 3932, or as subsequently amended, of the Monterey County Water Resources Agency pertaining to mandatory water conservation regulations. The regulations for new construction require, but are not limited to:</p> <p>a. All toilets shall be ultra-low flush toilets with a maximum tank size or flush capacity of 1.6 gallons, all shower heads shall have a maximum flow capacity of 2.5 gallons per minute, and all hot water faucets that have more than ten feet of pipe between the faucet and the hot water heater serving such faucet shall be equipped with a hot water recirculating system.</p> <p>b. Landscape plans shall apply xeriscape principles, including such techniques and materials as native or low water use plants and low precipitation sprinkler heads, bubblers, drip irrigation systems and timing devices.  <b>(Water Resources Agency)</b></p>	Compliance to be verified by building inspector at final inspection.	Owner/ Applicant	Prior to final building inspection/occupancy	
15.		<p><b>WR43 - WATER AVAILABILITY CERTIFICATION</b>            The applicant shall obtain from the Monterey County Water Resources Agency, proof of water availability on the property, in the form of an approved Monterey Peninsula Water Management District Water Release Form. <b>(Water Resources Agency)</b></p>	Submit the Water Release Form to the Water Resources Agency for review and approval.	Owner/ Applicant	Prior to issuance of any building permits	
16.		<p><b>WRSP001 -NON STANDARD - DRAINAGE PLAN</b>            The applicant shall provide the Water Resources Agency a drainage plan prepared by a registered civil engineer or architect addressing on-site and off-site impacts, to include oil-grease/water separators for the paved parking areas. Drainage improvements shall be constructed in accordance with plans approved by the Water Resources Agency. <b>(Water Resources Agency)</b></p>	Submit 3 copies of the drainage plan to the Water Resources Agency for review and approval.	Owner/ Applicant	Prior to issuance of Grading and/or Building Permits	WRA

Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions To be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
<b>Department of Environmental Health</b>						
17.		<b>EH38 - SEPARATE RECYCLABLES</b> All persons shall separate all recyclables from other solid waste generated at their premises and shall place such recyclables into a different approved container to facilitate segregation at a solid waste facility (MCC 10.41.020.B). <b>(Environmental Health)</b>	Submit a plan to the Division of Environmental Health for review and approval.	Owner/ Applicant	Prior to issuance of building permits/ Continuous condition	
<b>Parks Department</b>						
18.		<b>PKS001 – HISTORICAL</b> If a project is proposed where a designated historical resource is present, it shall be referred to the Historic Resources Review Board (HRRB) for review and comment. <b>(Parks Department)</b>	None	Owner/ Applicant	Ongoing	
<b>Pebble Beach Community Service District</b>						
19.		<b>FIRE001 - ROAD ACCESS</b> Access roads shall be required for every building when any portion of the exterior wall of the first story is located more than 150 feet from fire department access. All roads shall be constructed to provide a minimum of two nine-foot traffic lanes with an unobstructed vertical clearance of not less than 15 feet. The roadway surface shall provide unobstructed access to conventional drive vehicles including sedans and fire apparatus and shall be an all-weather surface designed to support the imposed load of fire apparatus (22 tons). Each road shall have an approved name. <b>(Pebble Beach Community Service District)</b>	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	
			Applicant shall schedule fire dept. clearance inspection for each phase of development.	Applicant or owner	Prior to final building inspection	

Permit Cond. Number	Mftig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions To be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
20.		<p><b>FIRE010 -ROAD SIGNS</b></p> <p>All newly constructed or approved roads and streets shall be designated by names or numbers, posted on signs clearly visible and legible from the roadway. Size of letters, numbers and symbols for street and road signs shall be a minimum 4-inch letter height, ½-inch stroke, and shall be a color that is reflective and clearly contrasts with the background color of the sign. All numerals shall be Arabic. Street and road signs shall be non-combustible and shall be visible and legible from both directions of vehicle travel for a distance of at least 100 feet. Height, visibility, legibility, and orientation of street and road signs shall be meet the provisions of Monterey County Ordinance No. 1241. This section does not require any entity to rename or renumber existing roads or streets, nor shall a roadway providing access only to a single commercial or industrial occupancy require naming or numbering. Signs required under this section identifying intersecting roads, streets and private lanes shall be placed at the intersection of those roads, streets and/or private lanes. Signs identifying traffic access or flow limitations (i.e., weight or vertical clearance limitations, dead-end road, one-way road or single lane conditions, etc.) shall be placed: (a) at the intersection preceding the traffic access limitation; and (b) not more than 100 feet before such traffic access limitation. Road, street and private lane signs required by this article shall be installed prior to final acceptance of road improvements by the Reviewing Fire Authority. .  <b>(Pebble Beach Community Service District)</b></p>	<p>Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on improvement plans.</p>	Applicant or owner	Prior to issuance of grading and/or building permit.	
			<p>Applicant shall schedule fire dept. clearance inspection for each phase of development.</p>	Applicant or owner	Prior to final building inspection	

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21.		<p><b>FIRE011 - ADDRESSES FOR BUILDINGS</b></p> <p>All buildings shall be issued an address in accordance with Monterey County Ordinance No. 1241. Each occupancy, except accessory buildings, shall have its own permanently posted address. When multiple occupancies exist within a single building, each individual occupancy shall be separately identified by its own address. Letters, numbers and symbols for addresses shall be a minimum of 4-inch height, 1/2-inch stroke, contrasting with the background color of the sign, and shall be Arabic. The sign and numbers shall be reflective and made of a noncombustible material. Address signs shall be placed at each driveway entrance and at each driveway split. Address signs shall be and visible from both directions of travel along the road. In all cases, the address shall be posted at the beginning of construction and shall be maintained thereafter. Address signs along one-way roads shall be visible from both directions of travel. Where multiple addresses are required at a single driveway, they shall be mounted on a single sign. Where a roadway provides access solely to a single commercial occupancy, the address sign shall be placed at the nearest road intersection providing access to that site. Permanent address numbers shall be posted prior to requesting final clearance. <b>(Pebble Beach Community Service District)</b></p>	<p>Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.</p>	<p>Applicant or owner</p>	<p>Prior to issuance of building permit.</p>	
			<p>Applicant shall schedule fire dept. clearance inspection</p>	<p>Applicant or owner</p>	<p>Prior to final building inspection</p>	



Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions To be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
22.		<b>FIRE015 - FIRE HYDRANTS/FIRE VALVES</b> A fire hydrant or fire valve is required. The hydrant or fire valve shall be 18 inches above grade, 8 feet from flammable vegetation, no closer than 4 feet nor further than 12 feet from a roadway, and in a location where fire apparatus using it will not block the roadway. The hydrant serving any building shall be not less than 50 feet and not more than 1000 feet by road from the building it is to serve. Minimum hydrant standards shall include a brass head and valve with at least one 2 1/2 inch National Hose outlet supplied by a minimum 4 inch main and riser. More restrictive hydrant requirements may be applied by the Reviewing Authority. Each hydrant/valve shall be identified with a reflectorized blue marker, with minimum dimensions of 3 inches, located on the driveway address sign, non-combustible post or fire hydrant riser. If used, the post shall be within 3 feet of the hydrant/valve, with the blue marker not less than 3 feet or greater than 5 feet above the ground, visible from the driveway. On paved roads or driveways, reflectorized blue markers shall be permitted to be installed in accordance with the State Fire Marshal's Guidelines for Fire Hydrant Markings along State Highways and Freeways, May 1988. <b>(Pebble Beach Community Service District)</b>	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	
23.		<b>FIRE020 - DEFENSIBLE SPACE REQUIREMENTS (HAZARDOUS CONDITIONS)</b> Remove combustible vegetation from within a minimum of ___ feet of structures. Limb trees 6 feet up from ground. Remove limbs within 10 feet of chimneys. Additional fire protection or firebreaks approved by the Reviewing Authority may be required to provide reasonable fire safety. Environmentally sensitive areas may require alternative fire protection, to be determined by Reviewing Authority and the Director of Planning and Building Inspection. <b>(Pebble Beach Community Service District)</b>	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	



Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions To be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
24.		<b>FIRE021 - FIRE PROTECTION EQUIPMENT &amp; SYSTEMS - FIRE SPRINKLER SYSTEM (STANDARD)</b> The building(s) and attached garage(s) shall be fully protected with automatic fire sprinkler system(s). Installation shall be in accordance with the applicable NFPA standard. A minimum of four (4) sets of plans for fire sprinkler systems must be submitted by a California licensed C-16 contractor and approved prior to installation. This requirement is not intended to delay issuance of a building permit. A rough sprinkler inspection must be scheduled by the installing contractor and completed prior to requesting a framing inspection. <b>(Pebble Beach Community Service District)</b>	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	
			Applicant shall schedule fire dept. rough sprinkler inspection	Applicant or owner	Prior to framing inspection	
			Applicant shall schedule fire dept. final sprinkler inspection	Applicant or owner	Prior to final building inspection	
25.		<b>FIRE023 - FIRE ALARM SYSTEM - (COMMERCIAL)</b> The building(s) shall be fully protected with an approved central station, proprietary station, or remote station automatic fire alarm system as defined by NFPA Standard 72. Plans and specifications for the fire alarm system shall be submitted by a California licensed C-10 contractor and approved prior to requesting a rough sprinkler or framing inspection. <b>(Pebble Beach Community Service District)</b>	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	
			Applicant shall submit fire alarm plans and obtain approval.	Applicant or owner	Prior to rough sprinkler or framing inspection	
			Applicant shall schedule fire alarm system acceptance test.	Applicant or owner	Prior to final building inspection	
26.		<b>FIRE029 - ROOF CONSTRUCTION - (CYPRESS FPD &amp; PEBBLE BEACH CSD)</b> All new structures, and all existing structures receiving new roofing over 25 percent or more of the existing roof surface within a one-year period, shall require a minimum of ICBO Class A roof construction. <b>(Pebble Beach Community Service District)</b>	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	

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27.		<p><b>FIRE030 – OTHER NON STANDARD CONDITION - (PEBBLE BEACH CSD)</b> The project shall meet the required code sections as stated bellow, incorporate specification into design, and enumerate as “Fire Dept. Notes” on plans.</p> <p>CFC Chapter 5 sections 501.1 thru 501.4, sections 503,505,506,508 and 510 were discussed with School officials. The Fire Apparatus Access Roads and Fire Protection Water Supply will need to be completed prior to the demolition of the buildings being renovated/remodeled.</p> <p>CFC Chapter 14 and all requirements listed there in will be adhered too, during the various phases of the renovation/remodel of Stevenson School.</p> <p>CFC appendix B,C,D and M will also be required and where provisions in the appendices conflict with other sections of the code appendix M will prevail unless otherwise directed by the fire code official assigned to this jurisdiction.</p> <p>CHBC Chapter 8-4 will be required as it pertains to all phases of the renovation/remodel of Douglass Hall.</p> <p>The installation of Modular units to house staff and or residents/students will need Fire code official field inspection prior to the allowance of staff and or residents/students to occupy said Modular units.</p> <p>On page C3.01 of the Entitlement set of drawings the items listed below will need to be relocated to meet Fire Departments needs.</p> <ul style="list-style-type: none"> <li>(1) 8” Fire Service Point of Connection</li> <li>(2) 8” Gate Valve</li> <li>(3) Check Valve in Vault, Post Indicator Valve, Fire Department Connection</li> <li>(4) 6” Fire Service Point of Connection</li> </ul>	<p>Applicant shall comply with CFC, incorporate specification into design, and enumerate as “Fire Dept. Notes” on plans.</p>	<p>Applicant or owner</p>	<p>Prior to issuance of grading and/or building permit.</p>	

Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions To be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
28		<b>PD032 - PERMIT TIME/YEAR &amp; DATE</b> The permit shall be granted for a period of four years, to expire on April 8, 2013. (RMA – Planning Department)	None	Owner/ Applicant	As stated in the conditions of approval	
<b>Mitigations</b>						
29.	MM1	<p><b>Mitigation Measure #1:</b> In order to minimize short-term construction emissions, the project shall implement the following MBUAPCD-recommended mitigation measures during grading and construction activities. The applicant shall submit a construction management plan to the county for review prior to the beginning of construction. The plan shall designate a construction contractor monitor for all grading and construction activities on a daily basis to ensure that these measures are implemented.</p> <ul style="list-style-type: none"> <li>• Prior to issuance of grading permits, the applicant shall incorporate a “Fugitive Dust Control” note on the grading plans that includes, but is not limited to, the measures set forth in Mitigation Measure #1. During grading operations, the contractor shall obtain any required Air District permits, and conduct all grading and construction activities as required by the Air District.</li> <li>• Limit grading to 8.1 acres per day, and grading and excavation to 2.2 acres per day;</li> <li>• Water all active construction areas at least twice daily. Frequency should be based on the type of operation, soil and wind exposure;</li> <li>• Prohibit all grading activities during periods of high wind (over 15 mph);</li> </ul>	Prior to issuance of Grading Permits or Building Permits, applicant shall submit a Construction Management Plan (CMP) to the RMA-Planning Department and the Department of Public Works for review and approval	Owner/ Applicant/ Engineer	Prior to issuance of grading and/or building permit.	

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		<ul style="list-style-type: none"> <li>• Apply chemical soil stabilizers on inactive construction areas (disturbed lands within construction projects that are unused for at least four consecutive days);</li> <li>• Apply non-toxic binders (e.g., latex acrylic copolymer) to exposed areas after cut and fill operations and hydroseed areas;</li> <li>• Cover all trucks hauling soil, sand, and other loose materials or require all trucks to maintain at least 2 feet of freeboard;</li> <li>• Enclose, cover, water twice daily, or apply non-toxic soil binders to exposed stockpiles, such as dirt, sand, etc;</li> <li>• Cover inactive storage piles;</li> <li>• Sweep streets daily, with water sweepers, if visible soil materials are carried onto adjacent public streets;</li> <li>• Install sandbags or other erosion control measures to prevent silt runoff to public roadways;</li> <li>• Install wheel washers at the entrance to construction sites for all exiting trucks;</li> <li>• All weather paved roads at construction sites;</li> <li>• Construction equipment shall not be left idling for periods longer than 5 minutes when not in use; and</li> <li>• Post a publicly visible sign which specifies the telephone number and person to contact regarding emissions-related complaints. This person shall respond to complaints and take corrective action within 48 hours. The phone number of the Monterey Bay Unified Air Pollution Control District shall be visible to ensure compliance with Rule 402 (Nuisance).</li> </ul>				

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30.	MM2	<p><b>Mitigation Measure #2: Tree Replacement.</b> The Monterey Pines trees that would be removed as a result of the project shall be replaced at a minimum 1:1 ratio. Replacement plantings shall be from locally-collected coast seed stock and shall be shown on landscaping plans. A Forester, Arborist, or landscape contractor shall be retained to monitor the acquisition and installation of all trees to be replaced on the property in accordance with the amended FMP.</p>	<p>A Forester, Arborist, or landscape contractor shall be retained to monitor the acquisition and installation of all trees to be replaced on the property in accordance with the amended FMP documentation confirming compliance with the FMP shall be submitted to the RMA – Planning Department.</p>	<p>Applicant or owner/ Forester/ Landscape Contractor</p>	<p>Prior to final building inspection</p>	
31.	MM2a	<p><b>Monitoring Action #2a:</b> Prior to occupancy clearance, the Monterey Pine trees shall be replaced at a minimum 1:1 ratio.</p>	<p>The applicant shall submit proof of replacement plantings (e.g. photos of replacement trees in place) to the Monterey County RMA – Planning Department.</p>	<p>Applicant or owner/ Forester/ Arborist</p>	<p>Prior to occupancy or final of building permits</p>	

Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions To be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
32.	MM3	<p><b>Mitigation Measure #3: Tree and Root Protection.</b> Indirect impacts to on-site trees shall be avoided the maximum extent feasible through avoidance of the critical root zone. This shall be accomplished through adherence to the measures listed in the Forest Management Plan (FMP) Addendum, including the following means:</p> <ul style="list-style-type: none"> <li>a. Fenced tree protection zones (TPZs) shall be installed and maintained as designated and approved by a qualified forester/arborist and per specifications in the FMP Addendum for the project to minimize impacts to critical rooting zones. Mulching to depth with wood chips or similar to prevent soil compaction of rooting areas shall follow the specifications in the FMP Addendum for the project.</li> <li>b. Roots at the limits of grading next to TPZs shall be severed following the specifications in the FMP Addendum for the project for prior watering, clean cutting, and maintenance watering and covering.</li> <li>c. Special Treatment Areas for entry and parking areas shown on the grading plans shall use On-Grade methods as outlined in the FMP Addendum for the project to protect tree rooting zones.</li> <li>d. Trenching for underground services and irrigation shall avoid</li> </ul>	A Forester, Arborist, applicant shall submit proof of adherence to the measures listed in the Forest Management Plan (FMP) (e.g. photos of replacement trees in place) to the Monterey County RMA – Planning	Applicant or owner/ Forester/ Arborist	Prior to issuance of grading or building permits	

Permit Cond. Number	Mittg. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions To be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
		<p>critical root zones to the maximum feasible extent or brought to the attention of a qualified forester/arborist to prescribe appropriate measures such as tunneling under, bridging over, preconstruction root severing, surface placement covered with mulch, etc. to minimize adverse impacts within the zone.</p> <p>e. Monitoring inspections shall occur once prior to commencement of grading and demolition to confirm that appropriate protections are in place and at least twice weekly during initial site clearing and demolition to assess continued compliance.</p> <p>f. Contractors and subcontractors shall be supplied with the Tree Care during Construction list of protection measures in the FMP Addendum for the project.</p> <p>g. Contractors and sub-contractors shall be supplied with a copy of the Tree Preservation Specifications contained in the Tree Resource Evaluation before entering the construction site.</p>				

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33.	MM3a	<p><b>Monitoring Action #3a:</b> Prior to the start of construction, a qualified Forester or Arborist shall be retained to identify trees which would be potentially impacted by construction. The Forester or Arborist shall ensure that protective fencing is installed, and shall monitor construction during earth disturbing activities within the critical root zone of Monterey Pines and oak trees to ensure compliance with the above listed measures. The applicant shall submit a report to the Resource Management Agency – Planning Department, from a qualified Forester or Arborist, describing how the measures were implemented and describing impacts, if any to retained trees from construction activities. A subsequent Coastal Development Permit may be required if impacts resulting in tree mortality are incurred from construction activities.</p>	<p>The Forester or Arborist shall ensure that protective fencing is installed, and shall monitor construction during earth disturbing activities within the critical root zone of Monterey Pines and oak trees to ensure compliance with the above listed measures. The applicant shall submit a report to the Resource Management Agency – Planning Department</p>	<p>Applicant or owner/ Forester/ Arborist</p>	<p>Ongoing until final of building permits</p>	



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34.	MM4	<p><b>Mitigation Measure #4: Preconstruction Survey for Nesting Birds.</b> The following mitigation is required in order minimize potentially adverse impacts to native resident special status nesting avian species:</p> <ul style="list-style-type: none"> <li>• A pre-construction survey for special status nesting avian species (and other species protected under the Migratory Bird Act) shall be conducted by a qualified biologist at least two weeks prior to tree removal or initiation of construction activities that occur during the nesting/breeding season of native bird species (March 1 through August 15).</li> <li>• If nesting birds are not found, no further action would be necessary.</li> </ul> <p>If a nesting bird or an active nest is found, construction within 200 feet of the nest site, or an appropriate construction buffer established in consultation with the California Department of Fish and Game, should be postponed until after the bird has fledged (or the nest appears to be inactive).</p>	<p>Submit A pre-construction survey for special status nesting avian species (and other species protected under the Migratory Bird Act) shall be conducted by a qualified biologist at least two weeks prior to tree removal or initiation of construction activities that occur during the nesting/breeding season of native bird species (March 1 through August 15). to the Director of RMA – Planning Department for review and approval</p> <p>If a nesting bird or an active nest is found, construction within 200 feet of the nest site, a plan to create a construction buffer for the nesting bird(s) shall be submitted to the RMA – Planning Department.</p>	Owner/ Applicant	two weeks prior to tree removal or initiation of construction activities that occur during the nesting/breeding season of native bird species (March 1 through August 15)	
35.	MM4a	<p><b>Monitoring Action #4a:</b> At least two weeks prior to tree removal or initiation of construction activities that occur during the nesting/breeding season of native bird species (March 1 through August 15), a qualified biologist shall be retained to conduct nesting bird surveys and establish adequate protection fencing limits if necessary. Proof and results of the survey shall be submitted to the Resources Management Agency – Planning Department for review and approval.</p>	<p>At least two weeks prior to tree removal or initiation of construction activities that occur during nesting/breeding season of native bird species (March 1 through August 15), a qualified biologist shall conduct nesting bird surveys. Proof and results of the survey shall be submitted to the Resources Management Agency – Planning Department for review and approval.</p>	Owner/ Applicant/	Ongoing or until final of building permits	

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36.	MM5	<p><b>Mitigation Measure #5: Native Landscaping.</b> A Landscape Plan shall be prepared for the proposed project and shall include the proposed tree replacement planting locations and removal of the following invasive species currently located within the limits of construction: Blackwood acacias (<i>Acacia melanoxylon</i>), yellow wattle acacias (<i>Acacia longifolia</i>), ice plant (<i>Carpobrotus edulis</i>), and kikuyu grass (<i>Pennisetum clandestinum</i>).</p>	<p>Submit landscape plans and contractor's estimate to the RMA - Planning Department for review and approval.</p>	<p>Owner/ Applicant/ Licensed Landscape Contractor/ Licensed Landscape Architect</p>	<p>Prior to issuance of Building Permits</p>	
37.	MM5a	<p><b>Monitoring Action #5a:</b> The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of the Resources Management Agency – Planning Department. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, either landscaping shall be installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County Resources Management Agency – Planning Department. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.</p>	<p>Submit landscape plans and contractor's estimate to the RMA - Planning Department for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable.</p>	<p>Owner/ Applicant/ Licensed Landscape Contractor/ Licensed Landscape Architect</p>	<p>Prior to issuance of Building Permits</p>	

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38.	MM6	<p><b>Mitigation Measure #6.</b> Prior to demolition or the remodeling of existing structures., The structure shall be sampled as part of an asbestos survey in compliance with the National Emission Standards for Hazardous Air Pollutants (NESHAP). If asbestos is found, asbestos-related work, including demolition, involving 100 square feet or more of asbestos containing materials (ACMs) shall be performed by a licensed asbestos abatement contractor under the supervision of a certified asbestos consultant and asbestos shall be removed and disposed of in compliance with applicable State laws. Regardless of whether asbestos is identified in any building, prior to demolition the Air Pollution Control District (APCD) shall be notified and an APCD Notification of Demolition and Renovation Checklist shall be submitted to both APCD and the RMA – Planning Department.</p>	<p>The applicant will submit proof, prior to demolition, proof that the Air Pollution Control District (APCD) has been notified and an APCD Notification of Demolition and Renovation Checklist shall be submitted to both APCD and the RMA – Planning Department.</p>	<p>Owner/ Applicant/</p>	<p>Prior to issuance of Building Permits</p>	
39.	MM6a	<p><b>Monitoring Action #6a:</b> Prior to demolition, the applicant shall retain a qualified asbestos abatement contractor to conduct an asbestos survey and remove any asbestos in compliance with applicable state laws.</p>	<p>The applicant will submit proof, prior to demolition, proof that a qualified asbestos abatement contractor to conduct an asbestos survey and remove any asbestos in compliance with applicable state laws to the RMA – Planning Department.</p>	<p>Owner/ Applicant/</p>	<p>Prior to issuance of Building Permits</p>	

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40.	MM7	<p><b>Mitigation Measure #7.</b> If, during demolition of any portion of the existing structure (s) on-site, paint is separated from the building material (e.g. chemically or physically), the paint waste shall be evaluated independently from the building material by a qualified hazardous materials inspector to determine its proper management. All hazardous materials shall be handled and disposed in accordance with local, state and federal regulations. According to the Department of Toxic Substances Control (DTSC), if paint is not removed from the building material during demolition (and is not chipping or peeling), the material can be disposed of as construction debris (a non-hazardous waste). The landfill operator shall be contacted prior to disposal of building material debris to determine any specific requirements the landfill may have regarding the disposal of lead-based paint materials. The disposal of demolition debris shall comply with any such requirements.</p>	<p>The applicant will submit proof to the RMA – Planning Department that all hazardous materials found prior to or during construction have been evaluated independently from the building material by a qualified hazardous materials inspector to determine its proper management. All hazardous materials shall be handled and disposed in accordance with local, state, and federal regulations.</p>	Owner/ Applicant/	Ongoing or until final of building permits	
41.	MM7a	<p><b>Monitoring Action #7a:</b> Should paint be separated from building materials during demolition, the applicant shall retain a qualified hazardous materials inspector to determine its proper management.</p>	<p>Submit proof to the RMA – Planning Department that all hazardous materials found prior to or during construction have been handled and disposed in accordance with local, state, and federal regulations.</p>	Owner/ Applicant/	Ongoing or until final of building permits	

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42.	MM8	<b>Mitigation Measure #8</b> All construction equipment shall use noise suppressant devices for the muffler/exhaust mechanisms.	Submit to the RMA-Planning Department and the Department of Public Works for review and approval verification that a designated construction contractor monitor for all, grading and construction activities on a daily basis. The monitor noise suppression devices requirements shall be incorporated into the Construction Management Plan (CMP) for implementation.	Owner/ Applicant/	ongoing	
43.	MM9	<b>Mitigation Measure #9</b> The hours of operation for construction activities shall be between 8am and 5pm, Monday through Friday.	The designated construction contractor monitor shall monitor compliance with restriction on hours of operations for construction activities.	Owner/ Applicant/	ongoing	

END OF CONDITIONS & MITIGATIONS

# EXHIBIT E

## Action by Land Use Advisory Committee Project Referral Sheet

Monterey County Planning Department  
168 W Alisal St 2<sup>nd</sup> Floor  
Salinas CA 93901  
(831) 755-5025

**Advisory Committee: Del Monte Forest**

Please submit your recommendations for this application by Thursday, September 18, 2008

**Project Title:** ROBERT LOUIS STEVENSON SCHOOL

**File Number:** PLN080375

**File Type:** PC

**Planner:** RAMON MONTANO

**Location:** 3152 FOREST LAKE RD PEBBLE BEACH

**Project Description:** STEVENSON SCHOOL EXPANSION & REMODEL PLN080375. THE PROPOSAL CONSISTS OF A GENERAL DEVELOPMENT PLAN AND DESIGN APPROVAL REQUEST TO ALLOW THE ADDITION OF 4,343 SQUARE FEET TO THE EXISTING DOUGLASS HALL ADMINISTRATION BUILDING; ADD 7,948 SQUARE FEET TO THE EXISTING CASCO DORMITORY; RELOCATE THE MAIN ENTRY AND PARKING AREAS FOR DOUGLASS HALL AND CASCO DORMITORY; INSTALL 4 TEMPORARY MODULAR UNITS TO BE UTILIZED AS OFFICES FOR ADMINISTRATION STAFF AND RESIDENTS FOR STUDENTS DURING CONSTRUCTION; ALLOW THE PROPOSED ADDITIONS TO AN EXISTING HISTORIC STRUCTURE (DOUGLASS HALL); A COASTAL DEVELOPMENT PERMIT TO ALLOW THE REMOVAL OF 71 MONTEREY PINES RANGING IN SIZE FROM 6 TO 24 INCHES IN DIAMETER, AND GRADING OF 2,200 CUBIC YARDS (1,900 CUBIC YARDS OF CUT AND 300 CUBIC YARDS OF FILL.) THE PROPERTY IS LOCATED AT 3152 FOREST LAKE ROAD PEBBLE BEACH, (ASSESSOR'S PARCEL NUMBERS 008-022-003-000, 008-022-020-000, 008-022-023-000) CENTRALLY LOCATED WITHIN THE PEBBLE BEACH AREA INSIDE THE DEL MONTE FOREST LAND USE PLAN AREA, COASTAL ZONE

Was the Owner/Applicant/Representative Present? Yes  No

**PUBLIC COMMENT:** John Tormey, a neighbor to the project, addressed to the architect and member of school staff several questions regarding long range plans regarding student parking. He was advised that the long range plan was not part of the current project but would be included in future project(s). Mr. Tormey concluded that he was satisfied with the project.

**AREAS OF CONCERN** (e.g. traffic, neighborhood compatibility, visual impact, etc.):

[PLN88375 ROBERT LOUIS STEVENSON SCHOOL]

RECOMMENDED CHANGES/CONDITIONS (e.g. reduce scale, relocate on property, reduce lighting, etc.):

None

ADDITIONAL LUAC COMMENTS:

Immediately prior to the meeting, there was a site visit conducted by the architect and school staff members.

RECOMMENDATION (e.g. recommend approval; recommend denial; recommend continuance):

Recommend approval

CONCUR WITH RECOMMENDATION:

AYES: DeLay, Dewar, Verbanec, Lietzke, Gertrou, Caner

NOES: None

ABSENT: Connors

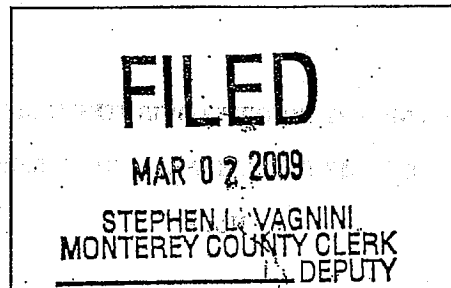
ABSTAIN: None

MEETING ADJOURNED AT: See following pages

PREPARED BY: \_\_\_\_\_

County of Monterey, State of California  
**MITIGATED NEGATIVE  
DECLARATION**

Exhibit F



**Project Title:** ROBERT LOUIS STEVENSON SCHOOL  
**File Number:** PLN080375  
**Owner:** ROBERT LOUIS STEVENSON SCHOOL  
3152 FOREST LAKE RD  
PEBBLE BEACH CA 93953

**Project Location:** 3152 FOREST LAKE RD PEBBLE BEACH  
**Primary APN:** 008-022-020-000-M  
**Project Planner:** RAMON MONTANO  
**Permit Type:** Misc

**Project Description:** COMBINED DEVELOPMENT PERMIT CONSISTS OF: 1) A COASTAL DEVELOPMENT PERMIT, GENERAL DEVELOPMENT PLAN, AND DESIGN APPROVAL TO ALLOW THE ADDITION OF 4,343 SQUARE FEET TO THE EXISTING DOUGLAS HALL ADMINISTRATION BUILDING WITH DETACHED GARAGE; ADD 7,948 SQUARE FEET TO THE EXISTING CASCO DORMITORY; RELOCATE THE SCHOOLS MAIN ENTRY OFF OF FOREST LAKE ROAD AND RELOCATING PARKING AREAS FOR DOUGLAS HALL AND CASCO DORMITORY; INSTALL UP TO 4 TEMPORARY MODULAR UNITS TO BE UTILIZED AS OFFICES AND DORMITORY ROOMS INCLUDING 42 TEMPORARY PARKING SPACES FOR ADMINISTRATION STAFF, RESIDENTS AND STUDENTS DURING CONSTRUCTION; ALLOW THE PROPOSED ADDITIONS TO AN EXISTING HISTORIC STRUCTURE (DOUGLAS HALL); 2) A COASTAL DEVELOPMENT PERMIT TO ALLOW THE REMOVAL OF 23 MONTEREY PINES RANGING IN SIZE FROM 6 TO 29 INCHES IN DIAMETER; GRADING OF 2,200 CUBIC YARDS (1,900 CUBIC YARDS OF CUT AND 300 CUBIC YARDS OF FILL); 3) A COASTAL DEVELOPMENT PERMIT FOR DEMOLITION OF AN EXISTING DILAPIDATED STRUCTURE ON THE OPPOSITE SIDE OF FOREST LAKE ROAD FROM THE MAIN CAMPUS. THE STEVENSON SCHOOL IS LOCATED AT 3152 FOREST LAKE ROAD PEBBLE BEACH, (ASSESSOR'S PARCEL NUMBERS 008-022-003-000, 008-022-020-000, 008-022-023-000, AND 008-031-002 CENTRALLY LOCATED WITHIN THE PEBBLE BEACH AREA WITHIN THE DEL MONTE FOREST LAND USE PLAN AREA, COASTAL ZONE

THIS PROPOSED PROJECT WILL NOT HAVE A SIGNIFICANT EFFECT ON THE ENVIRONMENT AS IT HAS BEEN FOUND:

- a) That said project will not have the potential to significantly degrade the quality of the environment.
- b) That said project will have no significant impact on long-term environmental goals.
- c) That said project will have no significant cumulative effect upon the environment.
- d) That said project will not cause substantial adverse effects on human beings, either directly or indirectly.

Decision Making Body (check one):

- Planning Commission
- Zoning Administrator
- Board of Supervisors

- Subdivision Committee
- Chief of Planning Services
- Other: \_\_\_\_\_

Responsible Agency: County of Monterey  
Review Period Begins: 03/01/2009  
Review Period Ends: 03/30/2009

Further information, including a copy of the application and Initial Study are available at the Monterey County Planning & Building Inspection Department, 168 West Alisal St, 2nd Floor, Salinas, CA (831) 755-5025



# MONTEREY COUNTY

RESOURCE MANAGEMENT AGENCY - PLANNING DEPARTMENT  
168 WEST ALISAL, 2<sup>ND</sup> FLOOR, SALINAS, CA 93901  
(831) 755-5025 FAX: (831) 757-9516



## NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION MONTEREY COUNTY PLANNING COMMISSION

NOTICE IS HEREBY GIVEN that the Monterey County Resource Management Agency - Planning Department has prepared a draft Mitigated Negative Declaration, pursuant to the requirements of CEQA, for a Use Permit (PLN080375). The property is located at 3152 Forest Lake Road Pebble Beach, (Assessor's Parcel Numbers 008-022-003-000, 008-022-020-000, 008-022-023-000 and 008-031-002) the project is centrally located within the Pebble Beach area within the Del Monte Forest Land Use Plan area, Coastal Zone (see description below). The project involves a Combined Development Permit consists of a Coastal Development Permit, General Development Plan, and Design Approval to allow the addition of 4,343 square feet to the existing Douglas Hall Administration Building with detached garage; add 7,948 square feet to the existing Casco Dormitory; relocate the Schools main entry off of Forest Lake Road and relocating parking areas for Douglas Hall and Casco Dormitory; install up to 4 temporary modular units to be utilized as offices and dormitory rooms including 42 temporary parking spaces for administration staff, residents and students during construction; allow the proposed additions to an existing historic structure (Douglas Hall); a Coastal Development Permit to allow the removal of 23 Monterey pines ranging in size from 6 to 29 inches in diameter; grading of 2,200 cubic yards (1,900 cubic yards of cut and 300 cubic yards of fill); and a Coastal Development Permit for demolition of an existing dilapidated structure on the opposite side of Forest Lake Road from the main campus. The property is located at 3152 Forest Lake Road Pebble Beach, (Assessor's Parcel Numbers 008-022-003-000, 008-022-020-000, 008-022-023-000, and 008-031-002 centrally located within the Pebble Beach area within the Del Monte Forest Land Use Plan area, Coastal Zone. The **Mitigated Negative Declaration** and Initial Study, as well as referenced documents, are available for review at the Monterey County Resource Management Agency - Planning Department, 168 West Alisal, 2<sup>nd</sup> Floor, Salinas, California. The **Planning Commission** will consider this proposal at a meeting on **April 8, 2009 at 9:00 a.m.** in the Monterey County Board of Supervisors Chambers, 168 West Alisal, 2<sup>nd</sup> Floor, Salinas, California. Written comments on this Negative Declaration will be accepted from **March 1, 2009 to March 30, 2009**. Comments can also be made during the public hearing.

**Project Description:** COMBINED DEVELOPMENT PERMIT CONSISTS OF: 1) A COASTAL DEVELOPMENT PERMIT, GENERAL DEVELOPMENT PLAN, AND DESIGN APPROVAL TO ALLOW THE ADDITION OF 4,343 SQUARE FEET TO THE EXISTING DOUGLAS HALL ADMINISTRATION BUILDING WITH DETACHED GARAGE; ADD 7,948 SQUARE FEET TO THE EXISTING CASCO DORMITORY; RELOCATE THE SCHOOLS MAIN ENTRY OFF OF FOREST LAKE ROAD AND RELOCATING PARKING AREAS FOR DOUGLAS HALL AND CASCO DORMITORY; INSTALL UP TO 4 TEMPORARY MODULAR UNITS TO BE UTILIZED AS OFFICES AND DORMITORY ROOMS INCLUDING 42 TEMPORARY PARKING SPACES FOR ADMINISTRATION STAFF, RESIDENTS AND STUDENTS DURING CONSTRUCTION; ALLOW THE PROPOSED ADDITIONS TO AN EXISTING HISTORIC STRUCTURE (DOUGLAS HALL); 2) A COASTAL DEVELOPMENT PERMIT TO ALLOW THE REMOVAL OF 23 MONTEREY PINES RANGING IN SIZE FROM 6 TO 29 INCHES IN DIAMETER; GRADING OF 2,200 CUBIC YARDS (1,900 CUBIC YARDS OF CUT AND 300 CUBIC YARDS OF FILL);

3) A COASTAL DEVELOPMENT PERMIT FOR DEMOLITION OF AN EXISTING DILAPIDATED STRUCTURE ON THE OPPOSITE SIDE OF FOREST LAKE ROAD FROM THE MAIN CAMPUS. THE STEVENSON SCHOOL IS LOCATED AT 3152 FOREST LAKE ROAD PEBBLE BEACH, (ASSESSOR'S PARCEL NUMBERS 008-022-003-000, 008-022-020-000, 008-022-023-000, AND 008-031-002 CENTRALLY LOCATED WITHIN THE PEBBLE BEACH AREA WITHIN THE DEL MONTE FOREST LAND USE PLAN AREA, COASTAL ZONE

We welcome your comments during the **30-day public review period**. You may submit your comments in hard copy to the name and address above. The Department also accepts comments via e-mail or facsimile but requests that you follow these instructions to ensure that the Department has received your comments. To submit your comments by e-mail, please send a complete document including all attachments to:

**[CEQAcomments@co.monterey.ca.us](mailto:CEQAcomments@co.monterey.ca.us)**

An e-mailed document should contain the name of the person or entity submitting the comments and contact information such as phone number, mailing address and/or e-mail address and include any and all attachments referenced in the e-mail. To ensure a complete and accurate record, we request that you also provide a follow-up hard copy to the name and address listed above. If you do not wish to send a follow-up hard copy, then please send a second e-mail requesting confirmation of receipt of comments with enough information to confirm that the entire document was received. If you do not receive e-mail confirmation of receipt of comments, then please submit a hard copy of your comments to ensure inclusion in the environmental record or contact the Department to ensure the Department has received your comments.

Facsimile (fax) copies will be accepted with a cover page describing the extent (e.g. number of pages) being transmitted. A faxed document must contain a signature and all attachments referenced therein. Faxed document should be sent to the contact noted above at (831) 757-9516. To ensure a complete and accurate record, we request that you also provide a follow-up hard copy to the name and address listed above. If you do not wish to send a follow-up hard copy, then please contact the Department to confirm that the entire document was received.

**For reviewing agencies:** The Resource Management Agency – Planning Department requests that you review the enclosed materials and provide any appropriate comments related to your agency's area of responsibility. The space below may be used to indicate that your agency has no comments or to state brief comments. In compliance with Section 15097 of the CEQA Guidelines, please provide a draft mitigation monitoring or reporting program for mitigation measures proposed by your agency. This program should include specific performance objectives for mitigation measures identified (CEQA Section 21081.6(c)). Also inform this Department if a fee needs to be collected in order to fund the mitigation monitoring or reporting by your agency and how that language should be incorporated into the mitigation measure.

All written comments on the Initial Study should be addressed to:

County of Monterey  
Resource Management Agency – Planning Department  
Attn: Mike Novo, Interim Director of Planning  
168 West Alisal, 2<sup>nd</sup> Floor

Salinas, CA 93901

Re: ; Robert Louis Stevenson School File Number PLN080375

From: Agency Name: Monterey County  
Contact Person: Ramon A. Montano  
Phone Number: (831) 755-5169

- No Comments provided
- Comments noted below
- Comments provided in separate letter

COMMENTS: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**DISTRIBUTION**

1. State Clearinghouse (15 copies)—include Notice of Completion
2. California Coastal Commission
3. County Clerk's Office
4. Monterey Bay Unified Air Pollution Control District
5. Monterey County Water Resources Agency
6. Monterey County Public Works Department
7. Monterey County Division of Environmental Health
8. Monterey County Sheriff's Office
9. DiYanni agent for the Stevenson School Del Monte Forest
10. Property Owners within 300 feet (Notice of Intent only)

# MONTEREY COUNTY

RESOURCE MANAGEMENT AGENCY

PLANNING DEPARTMENT

168 WEST ALISAL ST., 2<sup>nd</sup> FLOOR, SALINAS, CA 93901

PHONE: (831) 755-5025 FAX: (831) 757-9516



## INITIAL STUDY MITIGATED NEGATIVE DECLARATION

### I. BACKGROUND INFORMATION

**Project Title:** Stevenson School

**File No.:** PLN080375

**Project Location:** 3152 Forest Lake Road Pebble Beach

**Name of Property Owner:** Robert Louis Stevenson School

**Name of Applicant:** Edward DiYanni Chief Financial Officer

**Assessor's Parcel Number(s):** 008-022-003-000 / 008-022-020-000 / 008-022-023-000 / 008-031-002

**Acreage of Property:** Project site 3.3 acres

**General Plan Designation:** Institutional Commercial

**Zoning District:** IC-D (CZ) (Institutional Commercial Design Control District Coastal Zone)

**Lead Agency:** Monterey County Resource Management Agency – Planning Department

**Prepared By:** Ramon A. Montano

**Date Prepared:** Prepared February 27, 2009 for Recirculation

**Contact Person:** Ramon A. Montano, Assistant Planner

**Phone Number/Email:** (831) 755-5169; [montanor@co.monterey.ca.us](mailto:montanor@co.monterey.ca.us)

## **II. DESCRIPTION OF PROJECT AND ENVIRONMENTAL SETTING**

### **A. Forward:**

This is the second circulation of the Stevenson School Initial Study and proposed Mitigated Negative Declaration for the School's Expansion and Remodel Project. It became apparent upon further review by County Staff and comments made by the applicant that clarification to the Project Description is required. This document reflects those changes in the Project Description, namely identifying a Coastal Development Permit as the principal entitlement requested, in conjunction with a General Development Plan and a Design Approval. Revision to mitigation measures agreed to by the applicant have also been incorporated.

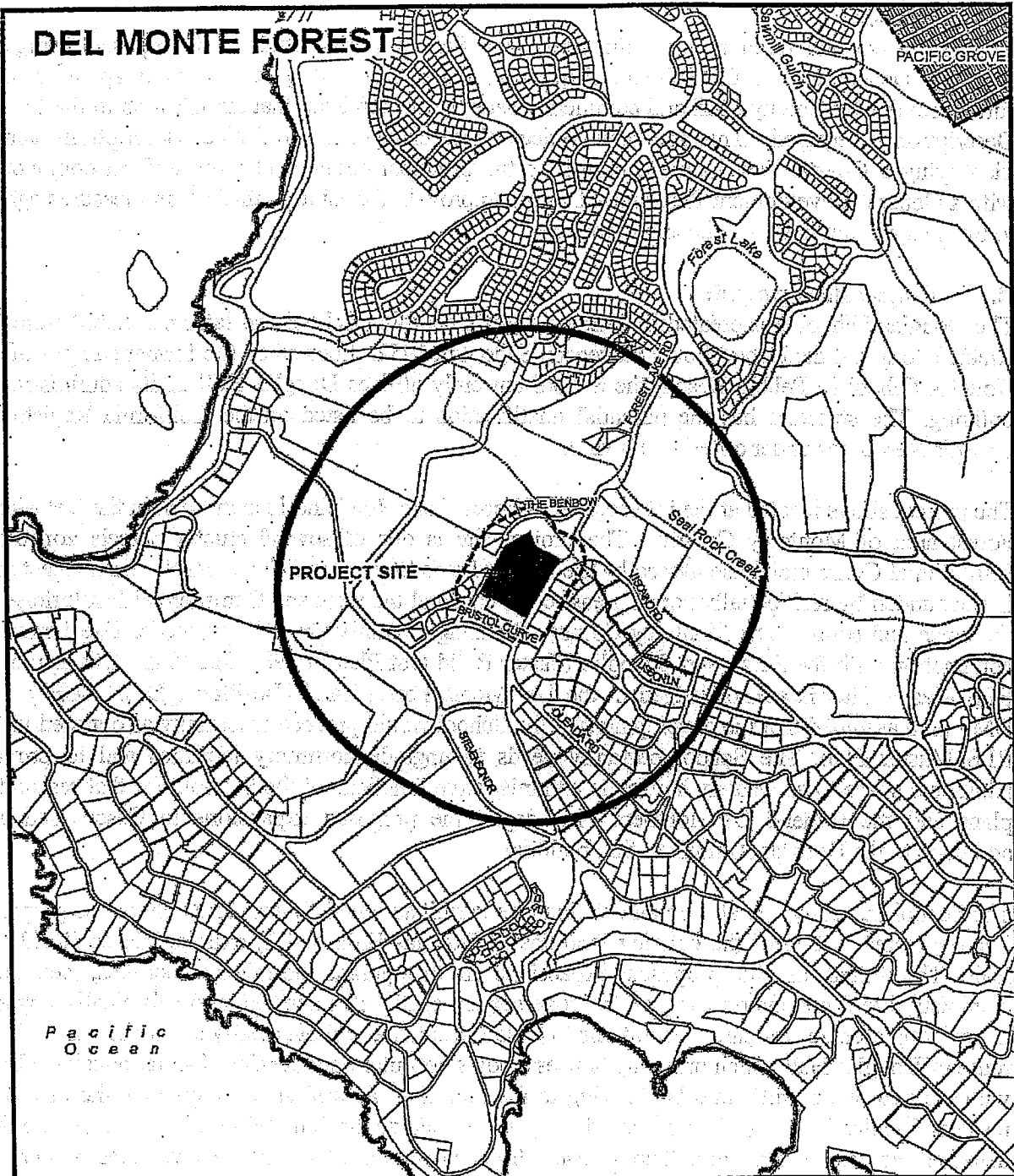
### **B. Project Background:**

The Douglas School was created in 1928 as a girl's boarding School and later purchased from the Ricklefs to found the Robert Louis Stevenson School in 1952. Located on the former campus of the Douglas School in Pebble Beach, the School currently utilizes Douglas Hall as its administration building. The structure has the potential qualification to be listed on the California Register of Historic Resources under criteria number 3.

The project site is located at the intersection of Forest Lake Road and Lisbon Lane in the Del Monte Forest area of Monterey County. The project site is one of several cluster parcels zoned for Institutional Commercial use owned by the Robert Louis Stevenson School (RLS). The project area is surrounded by residentially zoned areas to the east and the west and Commercial Institutional to the north and south. The Monterey County Planning Commission (PC) granted a Use Permit in conjunction with the Stevenson School's Master Build Out Plan in 1981 and 1982. The approved RLS Master Plan is acknowledged in the Del Monte Forest Land Use Plan ("DMF LUP"). The DMF plan assumed that the development of the School would proceed essentially as outlined in the RLS Master Plan. The School currently needs to upgrade dormitory facilities and to provide additional space to adequately house the administrative functions of the School. For that reason the plans and the General Development Plan depict the proposed expansions to Casco Hall and additions to the Douglas Administration building.

The School currently operates on an existing Use Permit as stated above. The School has proposed improvements to two of the existing facilities 1) Douglas Hall, and 2) existing Casco Residence Hall. The intent of the proposed expansions is to upgrade dormitory facilities, centralize administrative functions on campus, improve current spatial deficiencies, and seismically upgrade the existing archaic structures. Additions to Casco Residence will eventually allow the remodel and reuse of Douglas Hall which presently houses a boy's dormitory and resident faculty housing. Casco with the new wing will add a boy's wing to the dormitory as well as accommodate the displaced resident Faculty Housing. The proposed project will include the demolition of a 2, 973 square foot detached accessory structure. The Coastal Implementation Plan Title 20 requires a General Development Plan for the proposed project to outline the physical expansion of the existing facilities as well as consider circulation and transportation improvements. Although the School has a Use Permit from the Planning Commission for the future expansion of the School, as indicated in the approved Master Plan. No General Development Plan was created for the RLS Master Plan therefore this document and the plan designs will discuss and delineate the particulars of the proposed improvements as well as quantify the potential for environmental impacts.




This document will consider the project, discuss its impact to the historic nature of Douglas Hall, circulation, transportation improvements (temporary and permanent), and quantify the parameters of the stated use and effects of the proposed improvements

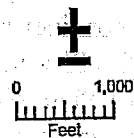


APPLICANT: ROBERT LOUIS STEVENSON SCHOOL

APN: 008-022-003, 020, 023

FILE # PLN080375

 300' Limit
  2500' Limit
  City Limits



PLANNER: MONTANO

### C. Project Description:

The Stevenson School expansion and remodel PLN080375 consists of a Coastal Development Permit, General Development Plan, and Design Approval to allow the addition of 4,343 square feet to the existing Douglas Hall Administration Building with detached garage; add 7,948 square feet to the existing Casco Dormitory; relocate the Schools main entry off of Forest Lake Road and relocating parking areas for Douglas Hall and Casco Dormitory; install up to 4 temporary modular units to be utilized as offices and dormitory rooms including 42 temporary parking spaces for administration staff, residents and students during construction; allow the proposed additions to an existing historic structure (Douglas Hall); a Coastal Development Permit to allow the removal of 23 Monterey pines ranging in size from 6 to 29 inches in diameter; grading of 2,200 cubic yards (1,900 cubic yards of cut and 300 cubic yards of fill); and a Coastal Development Permit for demolition of an existing dilapidated structure on the opposite side of Forest Lake Road from the main campus. The property is located at 3152 Forest Lake Road Pebble Beach, (Assessor's Parcel Numbers 008-022-003-000, 008-022-020-000, 008-022-023-000, and 008-031-002 centrally located within the Pebble Beach area within the Del Monte Forest Land Use Plan area, Coastal Zone

### D. Expanded Project Description / General Development Plan/Phasing

A general development plan to allow the addition of 4,343 square feet to the existing Douglas Hall Administration Building; add 7,948 square feet to the existing Casco Dormitory; relocate the main entry, and parking areas for Douglas Hall and Casco Dormitory; (See Figure 1)

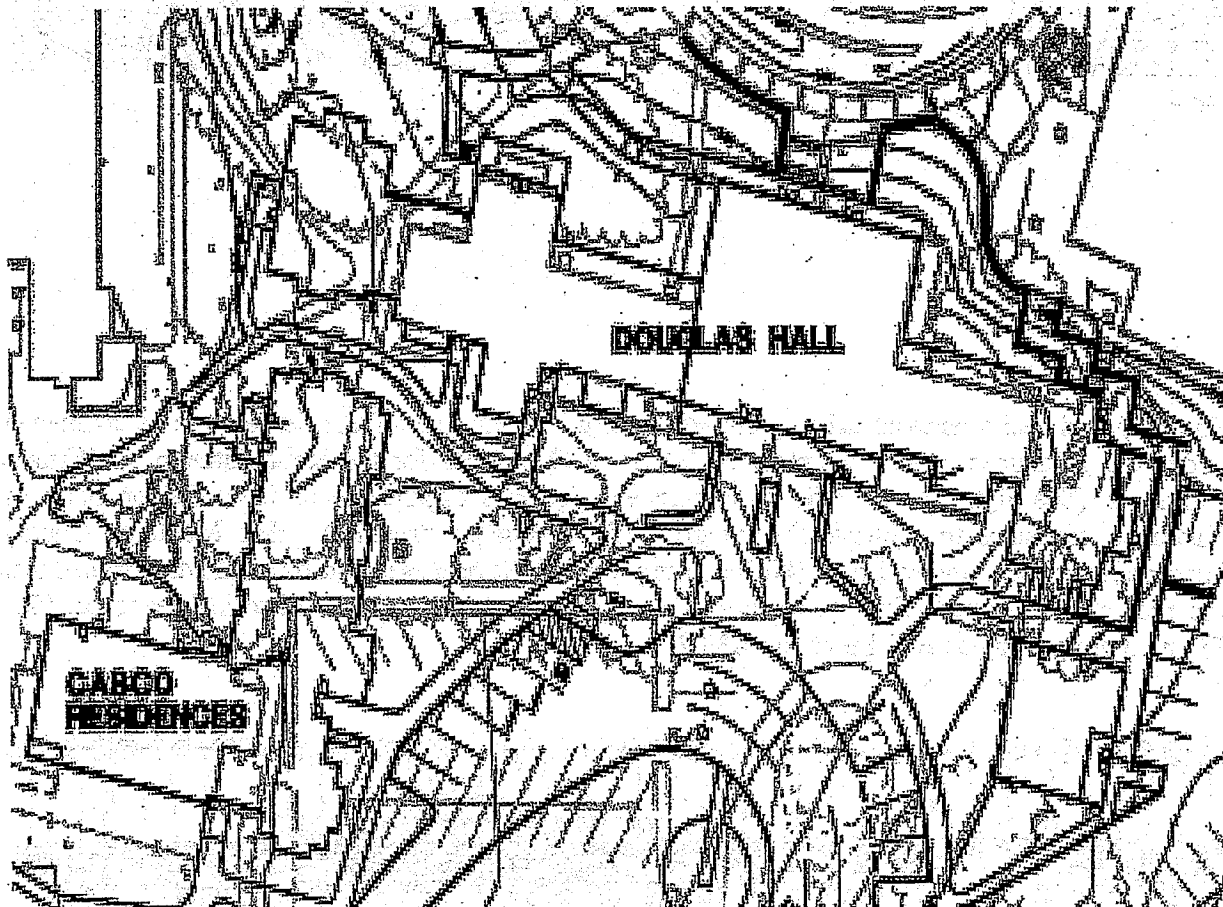


Fig 1



Up to four temporary modular units will be utilized as temporary offices for administration staff and housing for residents and students during construction; including the utilization of undeveloped areas within the School grounds to facilitate the temporary impacts of the proposed development to parking. (See Figure 2 or pg Campus Site Plan A1.01)

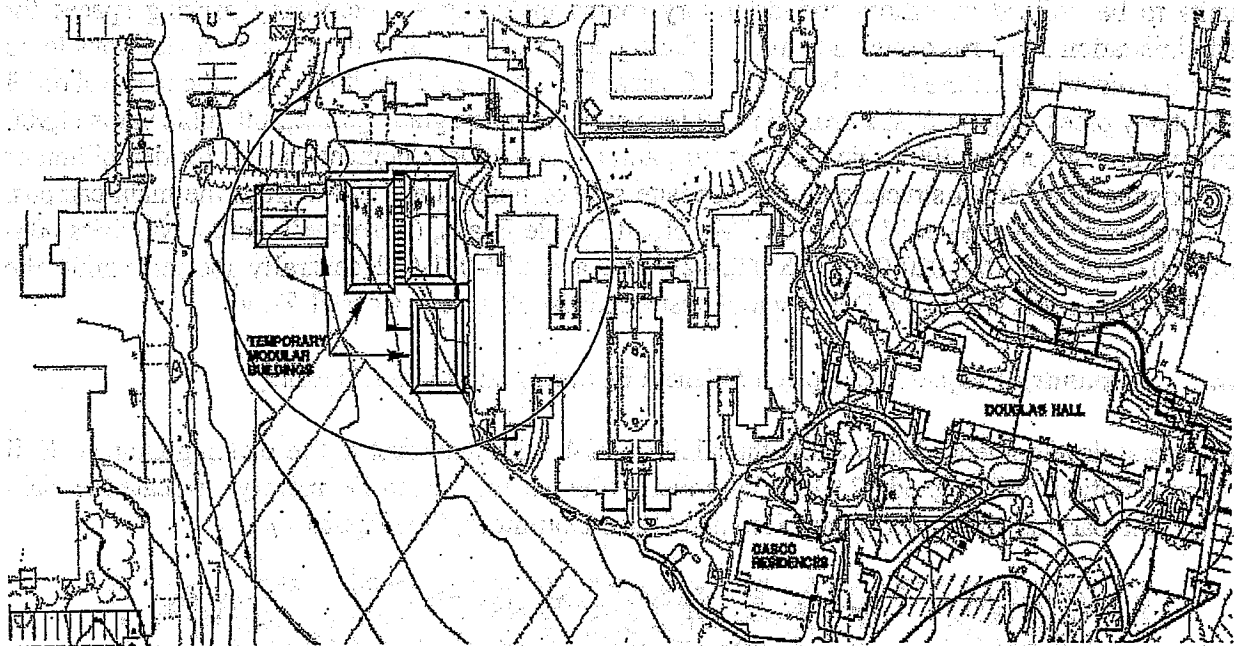


Fig 2

The proposed additions to an existing historic structure (Douglas Hall) are designed to be conducted under the guidelines of the Secretary of Interior's Guidelines for the Rehabilitation of Historic Buildings. (See Figure 4 and refer to referenced Historical Report and as identified on plans as Historical Measures to preserve the integrity of the original structure). The Monterey County Historic Resources Review Board (HRRB) has reviewed the proposed additions and determined that the project as designed will not cause a substantial adverse change of a historical resource. (See Figure 3 or pg Douglas Hall Elevation A3.02)

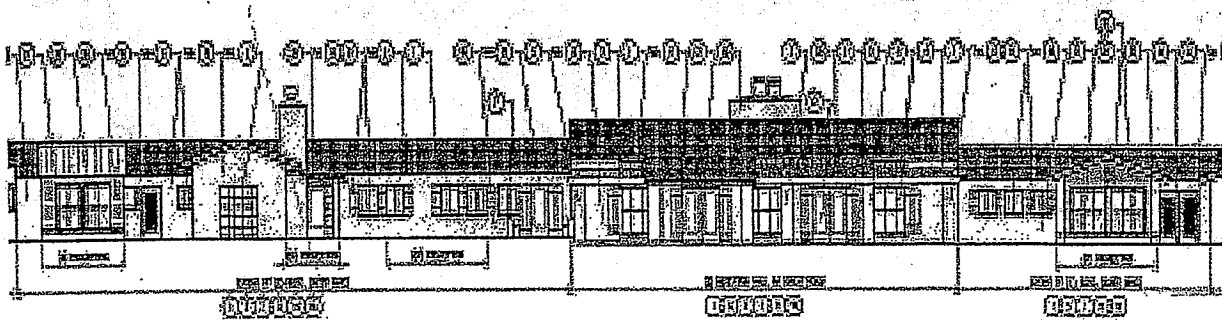




Fig 3

The project shall include the complete demolition of an existing 2,973 square foot structure referred to as Building 19. Building 19 is located across Forest Lake Road from the main campus. The proposed demolition did not require review by the Monterey County Historic Resources Review Board. A report by CIRCA: Historic Property Development determined that due to the condition of the structure and because the structure has undergone several significant changes and alterations resulting in the significant loss of important character defining features, Building 19 retains a very low level of integrity and does not meet the Monterey County criteria for historic resources. (See Figure 4 below)

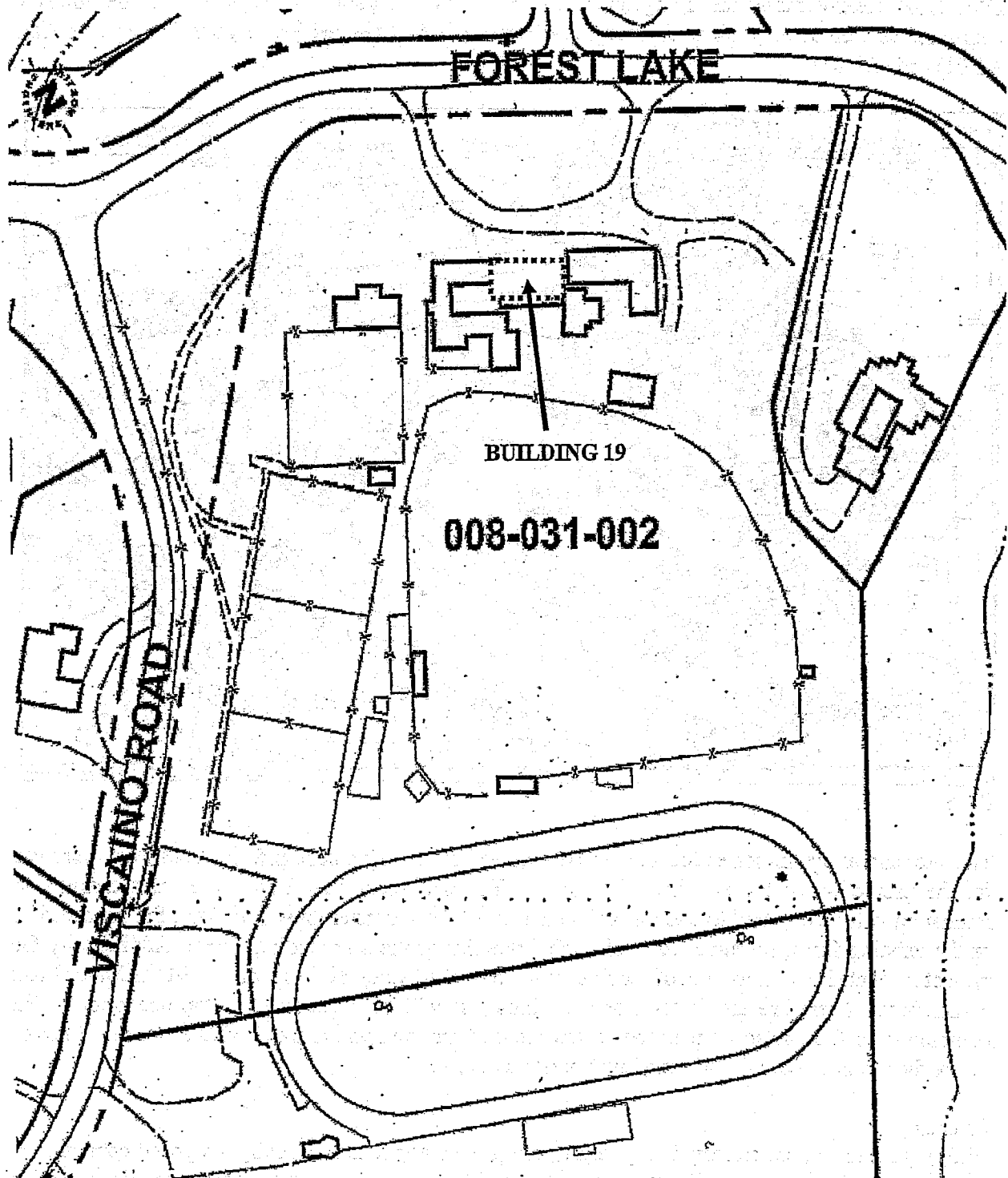


Fig 4

The project will require the removal of 23 Monterey pines ranging in size from 6 to 29 inches in diameter. The impact associated with removing the Monterey Pines is addressed in the Forest Management Plan and Biological Report prepared for the Stevenson School. The project does not propose the removal of any non natives trees however, in the event removal is necessary the non native trees identified in the FMP would be allowed. The Del Monte Forest Land Use Plan (DMF-LUP) allows under policy number 32 that "Non native trees: removal at owners discretion". The FMP has determined that the trees (Redwoods and Cypress) are not native, especially in the case of the planted Monterey Cypress, which is not indigenous to the area where the School is located. The DMF-LUP clearly maps the indigenous ranges of the Cypress resources which the forester confirmed as well as determined that the subject tree is in fact planted.(See figure 5 or pg Site Plan A1.01) and (A1.02).

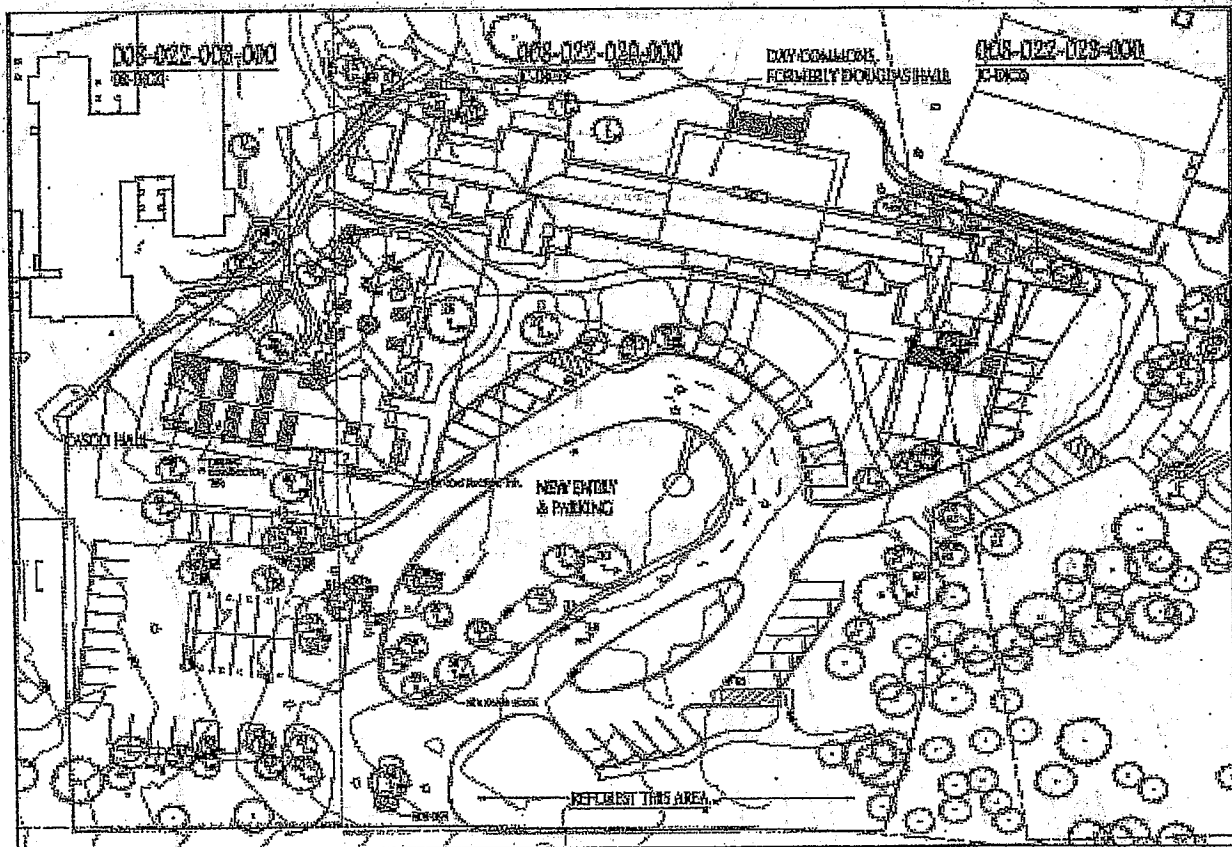


Fig 5

The site plan above indicates the trees to be removed for development and the trees to be removed for the protection of the health of the forest. The landscape plan included in this analysis as mitigation will be required to site the replacement trees in a manner most suited for the connectivity of the existing forest resources as well as the integrity of the surrounding forest. Additionally the project is located within an area of the forest where the Monterey Pine is considered the Major Plant community. Therefore the forester and the biologist will be required to determine prior to the completion of the landscape plan the replacement of any non native trees with Monterey Pines to insure the integrity with the surrounding Forest resources.

#### Phasing

With regard to project construction phasing, the project application initially proposed construction of all project elements contemporaneously. However, based on current economic conditions which

have affected the level of charitable donations and commitments to virtually all non-profit organizations, it appears that Stevenson will be required to complete the project in two phases, although for the purposes of this document and the proposed entitlements the project remains as one integrated project. This phasing will result in several minor modifications to the information initially submitted with the General Development Plan.

The improvements to Casco Residence Hall will be the first item of construction, and creation of the new parking area adjacent to Casco as well as other main entry improvements will now immediately follow the completion of Casco construction (Phase 1). Douglas Hall (Phase 2) will remain with its current functions and configuration until completion of Casco and revamping of the main entry. This means that during the construction of Casco there will be no need to modify the existing drop-off/pickup area, and only two modular buildings will likely be needed to house the girls who will be displaced from Casco. All administrative functions currently occurring in Douglas Hall will remain and there will be no need to relocate or eliminate the eleven student beds and one faculty unit presently existing in Douglas Hall until construction on Douglas Hall commences as the deferred Phase 2.

When Casco is completed and construction can commence on Douglas Hall, the drop-off/pick-up area will be relocated as described in the application, and there will again likely be a need for at most two of the modular buildings (one to house the Admissions Office and one to house the displaced resident boys from Douglas Hall).

The analysis in this document and the mitigation measures required herein apply both to the project in its entirety, and to each phase as applicable.

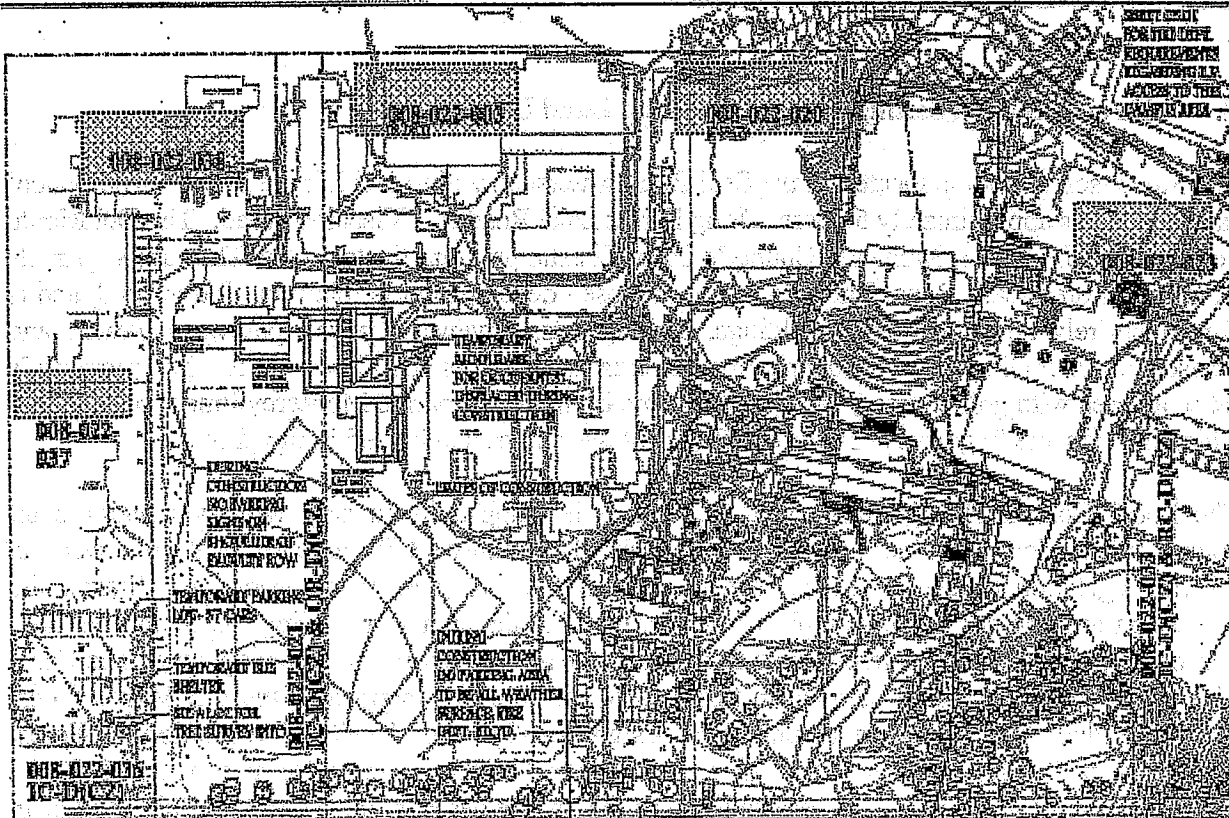
#### **E. Environmental Setting and Surrounding Land Uses:**

The Stevenson School is located in the Seal Rock watershed within Del Monte Forest. The School campus covers approximately 50 acres along Forest Lake Road and Viscaino Road. The Del Monte Forest Land Use Plan is Monterey County's Local Coastal program for this area. The subject parcels front onto Forest Lake Road. The area of the proposed development is relatively flat ground, and is almost entirely developed with buildings, parking lots, driveways, paved pathways, lawns, and landscaping including the area surrounding the existing Douglas and Casco Halls. The property is set in an area with golf courses, and residential areas amidst the native Monterey Pine forest habitat, which has become fragmented by the development over time as indicated in the photo.

The Local Coastal Plan indicates that the School is mapped in an area with two major plant communities, Monterey Pines and Coast Live Oak. The county's GIS indicated that there were no critical vegetation located in the project area which the biological report confirms. Staff's site inspection and the aerial photograph below confirm that the area surrounding the School is more densely populated with Monterey Pines than within the areas proposed for development. The Coast Live Oaks are a constituent element in this area of the forest as mapped in the Del Monte Forest Land Use Plan. The area of development has a significantly lower density of vegetation. A Forest Management Plan for the School was originally approved by the Planning Commission in 1992 for other improvements made on the parcels listed in the project description. Therefore, this FMP is an amendment to the original report to continue the Schools long term preservation of the forest resources as required under the DMF-LUP. The Forester also commented on some planted trees which were determined to not be indigenous to this specific area of the Del Monte Forest.

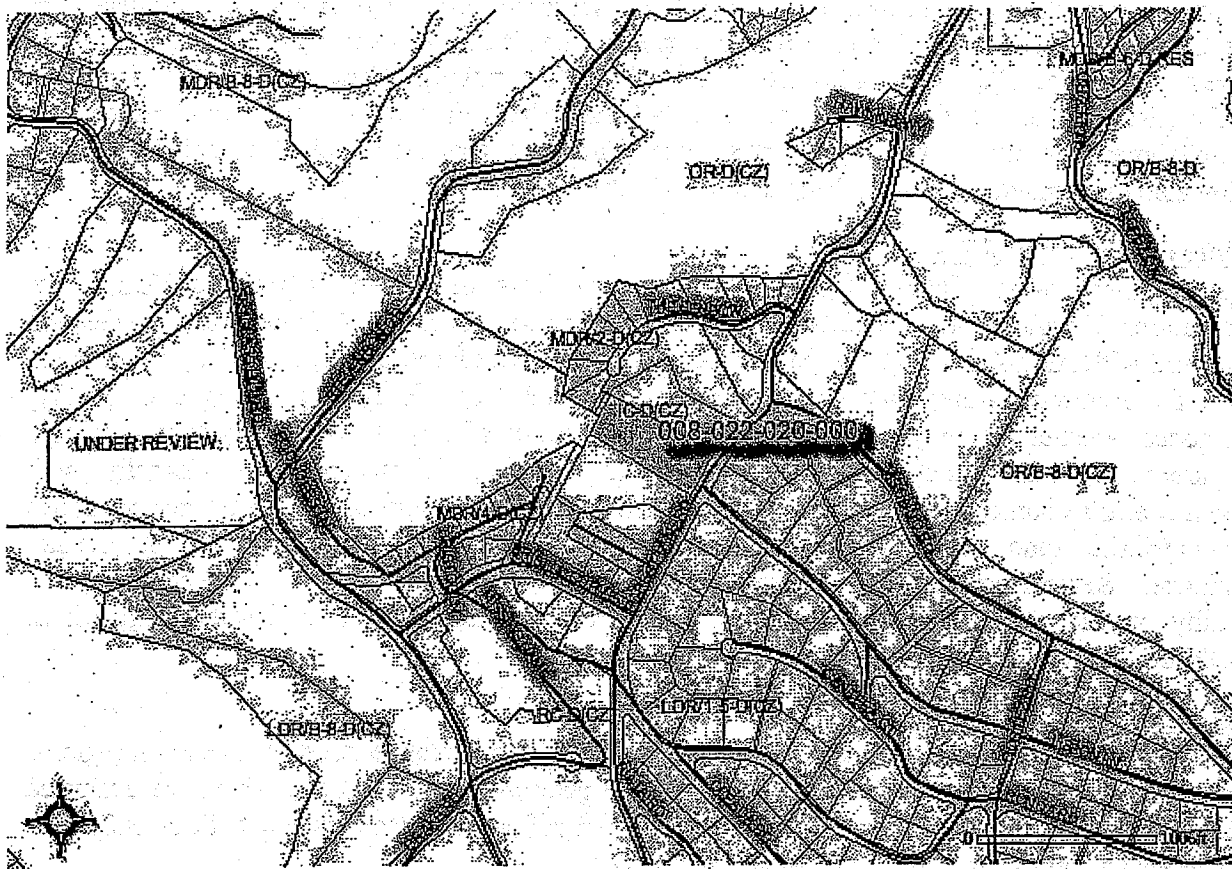


Figure 50: Aerial view of the site showing the proposed site location and the surrounding area.



IC-D project parcels affected by development

## Surrounding Land Uses



The project area consist of three parcels contained within the Stevenson School campus. The campus is dominated by surrounding residential uses. The School is zoned IC (institutional commercial) and does not affect the adjacent open space recreation zoned areas. The School has operated in this area of the DMF since 1952 and was zoned for institutional commercial uses with the inception of the DMF-LUP in 1984. The county finds the proposed improvements to be consistent with the previously approved Master Plan as well as the current use as a commercial institution consistent with its General Plan designation.

### III. PROJECT CONSISTENCY WITH OTHER APPLICABLE LOCAL AND STATE PLANS AND MANDATED LAWS

Use the list below to indicate plans applicable to the project and verify their consistency or non-consistency with project implementation.

General Plan/Area Plan	<input type="checkbox"/>	Air Quality Mgmt. Plan	<input checked="" type="checkbox"/>
Specific Plan	<input type="checkbox"/>	Airport Land Use Plans	<input type="checkbox"/>
Water Quality Control Plan	<input checked="" type="checkbox"/>	Local Coastal Program-LUP	<input checked="" type="checkbox"/>

#### Monterey County General Plan/Del Monte Forest Land Use Plan

The project was reviewed for consistency with the Monterey County General Plan and Del Monte Forest Land Use Plan (DMF LUP). Section VI.9 (Land Use and Planning) discusses whether the project physically divides an established community, conflicts with any applicable land use plan,

policy, or regulation of an agency with jurisdiction over the project, or conflicts with any applicable habitat conservation plan or natural community conservation plan. The project is consistent with the General Plan and Land Use Plan policies, as explained below in section IV.A. The Del Monte Forest Land Use Plan designates the site with a "Institutional Commercial" (IC) land use designation. The IC designation specifically establishes an area for the maintenance and establishment of public and private type uses. Therefore proposed project is consistent with allowable uses under this zoning designation. **CONSISTENT**

#### Water Quality Control Plan

The Regional Water Quality Control Board incorporates the County's General Plan in its preparation of regional water quality plans. The project as conditioned is consistent with the General Plan and with AMBAG'S regional population and employment forecast and, therefore, is consistent with the Regional Water Quality Control Plan. Section VI.8 (Hydrology and Water Quality) discusses whether the proposed project violates any water quality standards or waste discharge requirements, substantially depletes groundwater supplies, or interferes substantially with groundwater recharge, substantially alters the existing drainage pattern of the site or area or creates or contributes runoff water that would exceed the capacity of existing or planned Stormwater drainage. Several conditions of approval are incorporated into the project to ensure the water quality on the site is brought into compliance with applicable health and safety regulations. **CONSISTENT**

#### Air Quality Management Plan (AQMP)

Consistency with the AQMP is an indication of a project's cumulative adverse impact on regional air quality (ozone levels). It is not an indication of project-specific impacts, which are evaluated according to the Air District's adopted thresholds of significance. Inconsistency with the AQMP is considered a significant cumulative air quality impact.

Consistency of indirect emissions associated with commercial projects, which are intended to meet the needs of the population forecasted in the AQMP, is determined by comparing the project's population at the year of project completion with the population forecast for the appropriate five-year increment that is listed in the AQMP. If the population increase resulting from the project would not cause the estimated cumulative population to exceed the relevant forecast, the project would be consistent with the AQMP. Consistency of direct emissions would be based on elements of the project: stationary sources subject to Air District permit authority would be evaluated to determine compliance with Air District rules and regulations; sources not subject to permit authority would be evaluated to determine if the emissions are forecast in the AQMP emission inventory. The project consists of additions to an existing School facility. The project would not significantly increase the population to a point that would exceed the relevant forecast and would not exceed emissions that are forecast in the AQMP emission inventory. Therefore, the project would be consistent with the population and emissions forecasts in the AQMP. **CONSISTENT**



#### IV. ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED AND DETERMINATION

##### A. FACTORS

The environmental factors checked below would be potentially affected by this project, as discussed within the checklist on the following pages.

- |   |  |  |
|---|--|--|
| <input checked="" type="checkbox"/> Aesthetics                  | <input type="checkbox"/> Agriculture Resources         | <input checked="" type="checkbox"/> Air Quality            |
| <input checked="" type="checkbox"/> Biological Resources        | <input checked="" type="checkbox"/> Cultural Resources | <input checked="" type="checkbox"/> Geology/Soils          |
| <input checked="" type="checkbox"/> Hazards/Hazardous Materials | <input type="checkbox"/> Hydrology/Water Quality       | <input type="checkbox"/> Land Use/Planning                 |
| <input type="checkbox"/> Mineral Resources                      | <input checked="" type="checkbox"/> Noise              | <input type="checkbox"/> Population/Housing                |
| <input type="checkbox"/> Public Services                        | <input type="checkbox"/> Recreation                    | <input checked="" type="checkbox"/> Transportation/Traffic |
| <input type="checkbox"/> Utilities/Service Systems              |  |  |

Some proposed applications that are not exempt from CEQA review may have little or no potential for adverse environmental impact related to most of the topics in the Environmental Checklist; and/or potential impacts may involve only a few limited subject areas. These types of projects are generally minor in scope, located in a non-sensitive environment, and are easily identifiable and without public controversy. For the environmental issue areas where there is no potential for significant environmental impact (and not checked above), the following findings can be made using the project description, environmental setting, or other information as supporting evidence.

- Check here if this finding is not applicable

**FINDING:** For the above referenced topics that are not checked off, there is no potential for significant environmental impact to occur from either construction, operation or maintenance of the proposed project and no further discussion in the Environmental Checklist is necessary.

**EVIDENCE:** Based upon the planner's project analysis, many of the above topics on the checklist do not apply. Less than significant impacts or potentially significant impacts are identified for **Aesthetics, Air Quality, Transportation/Traffic, Biological Resources, Hazards/Hazardous Materials, Cultural Resources, Noise, and Geology/Soils.**

The project will have no quantifiable adverse environmental effect on the categories not checked above, as follows:

**Agricultural Resources:** The subject properties are currently designated under the land use plan for Institutional Commercial uses. There are no agricultural uses on the property nor is there any evidence of historical agricultural uses. Therefore the project as proposed will not impact or convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance or affect any lands currently under agricultural conservation agreements resources (Source: 1, 2, 3, 6).

**Hydrology and Water Quality:** Section (20.147.030.A. 2. & 3.) of the Monterey County Coastal Implementation Plan, Part 5 establishes development standards within the watershed in order to limit the amount of stormwater runoff into Carmel Bay, thereby protecting an area of biological significance. This project is located near the southern boundary of the Seal Rock watershed. The project is not restricted by site coverage or impervious surface coverage for this area. The site development standards requires onsite retention/percolation facilities for Stormwater runoff that balances onsite groundwater recharge to deal with point and non point source of pollution and to insure adequate erosion and runoff control systems. Therefore, with this design and condition, there is no potential hydrological impact from this project (Source: 1, 2, 3, 6, and 7).

**Land Use/Planning:** This project is located on a legal lot of record that is designated for development of Institutional Commercial uses. The project has been designed in accordance with all applicable development standards for this area and the Master Development Plan previously approved by the County of Monterey. The proposed project is consistent with policies of the Del Monte Forest Land Use Plan (Source: 1, 2, 3, and 6).

**Mineral Resources:** According to the Monterey County Geographic Information System (soils maps), no mineral resources have been identified at or near the project site. A Geotechnical Investigation submitted for the proposed project did not identify any mineral resources during its investigation. Therefore, the project would not result in the loss of availability of a known mineral resource or a locally important mineral resource recovery site (Source: 1, 2, 3, and 6).

**Population/Housing:** The project does not affect population or housing. It does not destroy any housing or affect the population anticipated in the approved County General Plan.

**Public Services :** The County of Monterey and the Pebble Beach Community Service District reviewed this project. The County has provided comments that are incorporated as conditions of approval. The County finds that the project would not cause any new impacts. Nor does the project change emergency access routes. Therefore, the proposed project would result in less than significant impacts related to population, growth, and housing and is not expected to significantly increase the demand on public services (Source: 1, 2, 3, and 6).

**Recreation:** The project does not create any additional need for recreation facilities nor does it disturb any existing facilities (Source: 1, 2, 3, and 6).

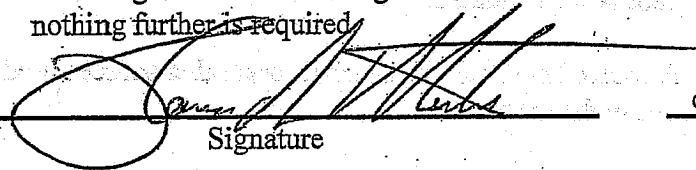
**Utilities/Service Systems:** The project site is located within the Robert Louis Stevenson campus and would use the existing campus infrastructure. The project would connect to existing infrastructure and not extend beyond what's necessary to serve the project. The California American Water Company (CAWC) is the only public water service in the project area. Sanitary waste disposal for the project site would be accommodated by connections to public sewer lines of the Pebble Beach Community Service District. Adequate utilities exist to service the project. The project does not increase the demand on existing utility and service systems and does not result in the need for additional capacity (Source: 1, 2, 3, 6, and 7).

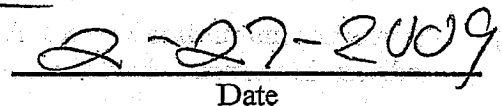


## B. DETERMINATION

On the basis of this initial evaluation:

- I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
- I find that although the proposed project could have a significant effect on the environment there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
- I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
- I find that the proposed project MAY have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.
- I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.

  
Signature

  
Date

Ramon Montano

Project Planner

## V. EVALUATION OF ENVIRONMENTAL IMPACTS

- 1) A brief explanation is required for all answers except "No Impact" answers that are adequately supported by the information sources a lead agency cites in the parentheses following each question. A "No Impact" answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A "No Impact" answer should be explained where it is based on project-specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
- 2) All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
- 3) Once the lead agency has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. "Potentially Significant Impact" is

appropriate if there is substantial evidence that an effect may be significant. If there are one or more "Potentially Significant Impact" entries when the determination is made, an EIR is required.

- 4) "Negative Declaration: Less Than Significant With Mitigation Incorporated" applies where the incorporation of mitigation measures has reduced an effect from "Potentially Significant Impact" to a "Less Than Significant Impact." The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level (mitigation measures from Section XVII, "Earlier Analyses," may be cross-referenced).
- 5) Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration. Section 15063(c)(3)(D). In this case, a brief discussion should identify the following:
  - a) Earlier Analysis Used. Identify and state where they are available for review.
  - b) Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
  - c) Mitigation Measures. For effects that are "Less than Significant with Mitigation Measures Incorporated," describe the mitigation measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.
- 6) Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g., general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.
- 7) Supporting Information Sources: A source list should be attached, and other sources used or individuals contacted should be cited in the discussion.
- 8) This is only a suggested form, and lead agencies are free to use different formats; however, lead agencies should normally address the questions from this checklist that are relevant to a project's environmental effects in whatever format is selected.
- 9) The explanation of each issue should identify:
  - a) the significance criteria or threshold, if any, used to evaluate each question; and
  - b) the mitigation measure identified, if any, to reduce the impact to less than significance

## VI. ENVIRONMENTAL CHECKLIST

1. AESTHETICS		Less Than Significant			
		Potentially Significant Impact	With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>Would the project:</b>					
a)	Have a substantial adverse effect on a scenic vista? (Source:-)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b)	Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

1. AESTHETICS		Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>Would the project:</b>					
buildings within a state scenic highway? (Source: 1,2,9)					
c)	Substantially degrade the existing visual character or quality of the site and its surroundings? (Source: 2)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d)	Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area? (Source: 1)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**DISCUSSION:** The project site consists of developed areas and Monterey Pine trees that are part of the Del Monte Forest. The proposed development will require the removal of 23 Monterey Pine trees in total. This will not open up the site to the critical viewshed as delineated in Figure 2C of the Del Monte Forest Land Use Plan. The plan identifies the subject site as an area that is not visible from Point Lobos, across Carmel Bay. Although 17-Mile Drive is designated as public viewing area within the forest, the project site is not located within the view area or vista points along this Drive (Section 20.147.070 CIP). The critical view points mentioned are located south of the project site.

**IMPACT ANALYSIS:**

**Aesthetic Impact 1 (a) (c):** Based on staking and flagging of the project site, a field investigation by staff determined that the project is not visible from any areas within the viewshed of scenic corridors and visually prominent areas. The project has been designed in a manner to be visually consistent with the existing setting including the surrounding structures to reduce the potential visual impact to a less than significant level. The Del Monte Forest Citizens Design Review Committee or LUAC has reviewed the proposed development and found it to be consistent with the surrounding aesthetic the School has created in this area of the Del Monte Forest. No changes or recommendations were made by the LUAC

**Aesthetics Impact 1(b) – Less than Significant.** The property is not located in the area identified on the Del Monte Forest Land Use Plan (LUP) Visual Resources Map (Figure 2C of the LUP) and is not visible from the Point Lobos or viewing areas from 17 Mile Drive and Vista Points. The policies of the Del Monte Forest LUP direct that placement and design of new development not injure the visual integrity of the area with regard to the public viewshed. Staff conducted a site visit in August of 2008, to assess the potential viewshed impacts of the project from the Point Lobos State Reserve and 17 Mile Drive and Vista Points and found the project was not visible from those vantage points.

**Trees:** The proposed additions would require the removal of (23) trees, which requires the issuance of a Coastal Development Permit. In accordance with Del Monte Forest LUP Policy 54, live tree removal is not permitted in presently undeveloped areas unless consistent with the LUP policies. The subject property is currently developed with the School's administration building and the existing dormitory and is not "presently undeveloped". In addition, mitigation required by the Biological Report and the Forest Management Plan amendment prepared for the project, as outlined in Section VI.4 (Biological Resources) of this Initial Study, requires that the Monterey Pine trees be replaced at a 1:1 ratio. Pursuant to issuance of the Coastal Development Permit and implementation of this measure, the removal of 23 Monterey Pines would be a less than significant aesthetic impact due to the requirement for replacement.

**Aesthetics 1(d) – Less than Significant:** Existing lighting at the project site includes exterior lighting associated with the existing development. Some additional lighting sources would be introduced as a result of the proposed project, as the new Casco faculty residence would be larger than the existing structure (Source: IX. 2). However, the proposed project would be required to comply with County General Plan Policy 26.1.20, which requires that “all exterior lighting shall be unobtrusive and constructed or located so that only the intended area is illuminated, long range visibility is reduced, and offsite glare is fully controlled” (Source: IX. 4). In addition, a standard County Condition of Approval would require preparation of an Exterior Lighting Plan, subject to review and approval by the Resource Management Agency-Planning Department. Pursuant to compliance with Local Coastal Program policies and implementation of County Conditions of Approval, impacts would be less than significant.

**CONCLUSION:** Based on the proposed design and standard conditions, impacts created by the project are considered less than significant and no mitigation is required.

## 2. AGRICULTURAL RESOURCES

In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland.

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use? (Source: 1 2,4)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with existing zoning for agricultural use, or a Williamson Act contract? (Source: 1 2,4)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use? (Source: 1,2,3,4)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

See previous Sections II. B (Project Description) and C (Environmental Setting) and Section IV. A (Environmental Factors Potentially Affected), IX References & Exhibits.

3. AIR QUALITY

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Conflict with or obstruct implementation of the applicable air quality plan? (Source: 1, 11, 15)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation? (Source: 1, 11, 15)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)? (Source: 1, 11, 15)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Result in significant construction-related air quality impacts? (Source: 1, 11, 15)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) Expose sensitive receptors to substantial pollutant concentrations? (Source: 1, 11, 15)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
f) Create objectionable odors affecting a substantial number of people? (Source: 1, 11, 15)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Discussion/Conclusion/Mitigation:**

Air quality standards are adopted by the state and federal agencies to protect public health, vegetation, materials and visibility. The Air Quality Management Plan for the Monterey Bay Region (AQMP) prepared by the Monterey Bay Unified Air Pollution Control District (MBUAPCD) addresses the attainment and maintenance of the state and federal ambient air quality standards within the North Coast Air Basin (NCCAB). Approximately 2,200 cubic yards of grading is required for the project. 1,600 cubic yards are expected to be exported off site. An estimation of 15 cubic yard load capacity, with approximately 126 trips is expected. Although construction activities will be temporary, this phase of the project will be mitigated to reduce the related impacts to less than significant.

**3(d): Less Than Significant with Mitigation Incorporated.** The project, including the development of the building sites and road improvements, has the potential to result in potentially significant temporary construction-related air quality impacts. Temporary impacts are associated with the operation of heavy equipment, grading, and construction truck trips.

Construction-generated emissions are short-term and of temporary duration, lasting only as long as construction activities occur, but possess the potential to represent a significant air quality impact. The construction and development of the proposed project would result in the temporary generation of emissions resulting from site grading and excavation, paving, the application of architectural coatings, motor vehicle exhaust associated with construction equipment and worker trips, and the movement of construction equipment, especially on unpaved surfaces. Emissions of airborne particulate matter are largely dependent on the amount of ground disturbance associated with site preparation activities. The MBUAPCD has determined that construction activities that involve

minimal earth moving over an area of 8.1 acres or more could result in potentially significant temporary air quality impacts, if not mitigated. Construction activities that require more extensive site preparation (e.g., grading and excavation) may result in significant unmitigated impacts if the area of disturbance were to exceed 2.2 acres per day.

**Mitigation Measure #1:** In order to minimize short-term construction emissions, the project shall implement the following MBUAPCD-recommended mitigation measures during grading and construction activities. The applicant shall submit a construction management plan to the county for review prior to the beginning of construction. The plan shall designate a construction contractor monitor for all grading and construction activities on a daily basis to ensure that these measures are implemented.

- Prior to issuance of grading permits, the applicant shall incorporate a "Fugitive Dust Control" note on the grading plans that includes, but is not limited to, the measures set forth in Mitigation Measure #1. During grading operations, the contractor shall obtain any required Air District permits; and conduct all grading and construction activities as required by the Air District.
- Limit grading to 8.1 acres per day, and grading and excavation to 2.2 acres per day;
- Water all active construction areas at least twice daily. Frequency should be based on the type of operation, soil and wind exposure;
- Prohibit all grading activities during periods of high wind (over 15 mph);
- Apply chemical soil stabilizers on inactive construction areas (disturbed lands within construction projects that are unused for at least four consecutive days);
- Apply non-toxic binders (e.g., latex acrylic copolymer) to exposed areas after cut and fill operations and hydroseed areas;
- Cover all trucks hauling soil, sand, and other loose materials or require all trucks to maintain at least 2 feet of freeboard;
- Enclose, cover, water twice daily, or apply non-toxic soil binders to exposed stockpiles, such as dirt, sand, etc;
- Cover inactive storage piles;
- Sweep streets daily, with water sweepers, if visible soil materials are carried onto adjacent public streets;
- Install sandbags or other erosion control measures to prevent silt runoff to public roadways;
- Install wheel washers at the entrance to construction sites for all exiting trucks;
- All weather paved roads at construction sites;
- Construction equipment shall not be left idling for periods longer than 5 minutes when not in use; and
- Post a publicly visible sign which specifies the telephone number and person to contact regarding emissions-related complaints. This person shall respond to complaints and take corrective action within 48 hours. The phone number of the Monterey Bay Unified Air Pollution Control District shall be visible to ensure compliance with Rule 402 (Nuisance).

**3(a), (b), (c), (e), (f): No Impact.** The project would not conflict with or obstruct implementation of the Monterey Bay Unified Air Pollution Control District's Air Quality Management Plan for the Monterey Bay Region, nor would it violate any air quality standards, result in a cumulatively considerable net increase of any criteria pollutant, expose sensitive receptors to substantial pollutant concentrations, or create objectionable odors.

**4. BIOLOGICAL RESOURCES**

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service? (Source: 1, 2, 3, 4, 6, 7)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, or regulations or by the California Department of Fish and Game or US Fish and Wildlife Service? (Source: 1, 2, 3, 4, 6, 7)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means? (Source: 1, 2, 3, 4, 6, 7)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites? (Source: 1, 2, 3, 4, 6, 7)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance? (Source: 1, 2, 3, 4, 6, 7)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan? (Source: 1, 2, 3, 4, 6, 7)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Discussion/Conclusion/Mitigation:**

The following discussion and analysis is based on a Biological Report prepared by Zander Associates Environmental Consultants dated June 26, 2008 (Source: IX. 10), an Addendum to the Forest Management Plan prepared by Staub Forestry & Environmental Consulting on July 30, 2008 (Source: IX. 9), and a search of the California Natural Diversity Database (CNDDDB; 2008). On-site vegetation consists primarily of Monterey pine, and coast live oak trees. The project area contains no native groundcover and is currently developed. The Stevenson School project area provides limited foraging opportunities and cover for wildlife species, due to lack of undeveloped habitat and the high intensity of use as the central entrance to the School grounds.

**Biological Resources 4(a) – Less than Significant:**

No Special-status plant and animal species are located on the property. For the purpose of this Initial Study, "special-status" includes plants and animals that are: a) listed as endangered or threatened under the Federal or California Endangered Species Acts (ESA); b) considered rare under the

California Native Plant Protection Act; or c) are afforded protection under acts or codes other than the Federal or California ESA (e.g. Migratory Bird Treaty Act, Fish and Game Code).

**Special-Status Plant Species.** According to CNDDDB records, 44 sensitive plant species have reported occurrences within a five mile radius surrounding the subject property (Source: IX.14). None of these records occurs on the project site. Monterey pine (*Pinus radiata*) is a CNPS list 1B species. Monterey pine trees occur on the subject property intermittently dispersed between the existing structures and within the areas proposed for development (Source: IX. 14).

Tree removal Table Diameter (DBH)	Protect	Remove tree for			Total	TOTAL
		Health	Construction	Both		
6-11"	11	3	3	4	10	21
12-23"	24	5	2	4	11	35
24"+	13	1	0	1	2	15
TOTAL	48	9	5	9	23	71

The proposed project will remove 23 Monterey pine trees under the direction of the School's Forester and the Forest Management Plan (FMP) prepared for the project site. When reviewing requests for tree removal, environmental considerations include review of forest plant associations, native soil cover, aesthetic values, as well as maintenance of the overall health of the stand (Policy #31 & 32 of the Del Monte Forest Land Use Plan (DMF-LUP and 20.147.050. D. (1. & 2.)). The project will remove 23 trees for reasons stated in the above table. Replacement will be required at a 1:1 ratio. The DMF-LUP establishes policies governing the removal of trees for development. Based on the recommendations contained in the Biological survey and the Forest Management Plan the number of trees to be removed for the health of the stand and the proposed development consists of the following: 9 are recommended for removal simply as a matter of protecting the forest health from trees with significant pest and structural problems. Ten of the 23 trees to be removed are less than 12 inches in diameter, therefore, after considering the health of the tree only 5 trees must be removed for development. The Biological report and the FMP support this conclusion. The FMP and the Biological Report have determined that the associated impact of tree removal, as proposed under the Forest Management Plan as allowed and the DMF-LUP to be less than significant.

**Special-Status Animal Species:** In addition, according to the Biological Report prepared for the project (Source: IX. 10), there were no directed surveys for special status animal species, but rather an evaluation of the habitat potential for species listed in the report. It was determined that the project area provides limited habitat for listed species. Therefore, the project site Impacts to special-status animal species would be less than significant.

**Conclusion:** Based on the lack of suitable habitat on-site as well as the location of proposed development in an already disturbed area, impacts to special-status plant and animal species would be less than significant.

Refer to Item 4(d) below for a discussion of impacts related to Coast Live Oak Trees, which is not listed as a special-status plant species.

**Biological Resources 4(b, c) – Less than Significant:** According to CNDDDB records, six (6) sensitive natural communities and five (5) critical habitats occur within a five mile radius of the project area (Source: IX. 14). None of these habitats are recorded as occurring on the subject property (Source: IX. 14). Refer also to Items 4(a) and 4(e) for a discussion of potential impacts to environmentally sensitive habitat areas (ESH). The proposed project would not have a substantial



adverse effect on any riparian habitat or sensitive natural communities, as none are located on the site (Source: IX. 1, 2, 3, 10, 12). There are no federally protected wetlands on the site (Source: IX. 1, 2, 3,, 10, 12). Impacts would be less than significant.

**Biological Resources 4(d) (e) – Less than Significant with Mitigation Incorporated:** There have been no native resident or migratory fish or wildlife species identified on the subject property. However, on-site trees could provide nesting and/or foraging opportunities for a variety of animal species. The proposed development will result in the removal of 23 Monterey Pine trees.. Del Monte Forest Land Use Plan Policy 36 requires that native trees removed as a result of development be replaced on the site at a rate of one tree of the same variety for each tree removed (Source: IX. 3). In this case, 13 Monterey pines over 12 inches (DBH) will be removed. The Del Monte Land Use Plan provides for the removal of trees for the purposes of development under the recommendations of a Forest Management Plan. Removal under that plan will also be in accordance with the Biological Report (Source: IX. 10). It should also be noted that the project site is not subject to Senate Bill (SB) 1334 (Kuehl Bill) because it would not result in removal of 30 percent or more of the on-site woodland and because the property is 1.18 acres in size and would therefore convert 3 or less acres of oak woodlands. The following mitigations are required for consistency with the Land Use Plan Requirements in mitigating the impacts from development on special-status plant and animal species to be less than significant.

**Mitigation Measure #1: Tree Replacement.** The Monterey Pines trees that would be removed as a result of the project shall be replaced at a minimum 1:1 ratio. Replacement plantings shall be from locally-collected coast seed stock and shall be shown on landscaping plans. A Forester, Arborist, or landscape contractor shall be retained to monitor the acquisition and installation of all trees to be replaced on the property in accordance with the amended FMP.

**Monitoring Action #1:** Prior to occupancy clearance, the Monterey Pine trees shall be replaced at a minimum 1:1 ratio. The applicant shall submit proof of replacement plantings (e.g. photos of replacement trees in place) to the Monterey County RMA – Planning Department.

The following mitigation measures are also required to reduce impacts to a less than significant level.

**Mitigation Measure #2: Tree and Root Protection.** Indirect impacts to on-site trees shall be avoided the maximum extent feasible through avoidance of the critical root zone. This shall be accomplished through adherence to the measures listed in the Forest Management Plan (FMP) Addendum, including the following means:

- a. Fenced tree protection zones (TPZs) shall be installed and maintained as designated and approved by a qualified forester/arborist and per specifications in the FMP Addendum for the project to minimize impacts to critical rooting zones. Mulching to depth with wood chips or similar to prevent soil compaction of rooting areas shall follow the specifications in the FMP Addendum for the project.
- b. Roots at the limits of grading next to TPZs shall be severed following the specifications in the FMP Addendum for the project for prior watering, clean cutting, and maintenance watering and covering.
- c. Special Treatment Areas for entry and parking areas shown on the grading plans shall use On-Grade methods as outlined in the FMP Addendum for the project to protect tree rooting zones.

- d. Trenching for underground services and irrigation shall avoid critical root zones to the maximum feasible extent or brought to the attention of a qualified forester/arborist to prescribe appropriate measures such as tunneling under, bridging over, preconstruction root severing, surface placement covered with mulch, etc. to minimize adverse impacts within the zone.
- e. Monitoring inspections shall occur once prior to commencement of grading and demolition to confirm that appropriate protections are in place and at least twice weekly during initial site clearing and demolition to assess continued compliance.
- f. Contractors and subcontractors shall be supplied with the Tree Care during Construction list of protection measures in the FMP Addendum for the project.
- g. Contractors and sub-contractors shall be supplied with a copy of the Tree Preservation Specifications contained in the Tree Resource Evaluation before entering the construction site.

**Monitoring Action #2:** Prior to the start of construction, a qualified Forester or Arborist shall be retained to identify trees which would be potentially impacted by construction. The Forester or Arborist shall ensure that protective fencing is installed, and shall monitor construction during earth disturbing activities within the critical root zone of Monterey Pines and oak trees to ensure compliance with the above listed measures. The applicant shall submit a report to the Resource Management Agency – Planning Department, from a qualified Forester or Arborist, describing how the measures were implemented and describing impacts, if any to retained trees from construction activities. A subsequent Coastal Development Permit may be required if impacts resulting in tree mortality are incurred from construction activities.

**Mitigation Measure #3: Preconstruction Survey for Nesting Birds.** The following mitigation is required in order minimize potentially adverse impacts to native resident special status nesting avian species:

- A pre-construction survey for special status nesting avian species (and other species protected under the Migratory Bird Act) shall be conducted by a qualified biologist at least two weeks prior to tree removal or initiation of construction activities that occur during the nesting/breeding season of native bird species (March 1 through August 15).
- If nesting birds are not found, no further action would be necessary.
- If a nesting bird or an active nest is found, construction within 200 feet of the nest site, or an appropriate construction buffer established in consultation with the California Department of Fish and Game, should be postponed until after the bird has fledged (or the nest appears to be inactive).

**Monitoring Action #3:** At least two weeks prior to tree removal or initiation of construction activities that occur during the nesting/breeding season of native bird species (March 1 through August 15), a qualified biologist shall be retained to conduct nesting bird surveys and establish adequate protection fencing limits if necessary. Proof and results of the survey shall be submitted to the Resources Management Agency – Planning Department for review and approval.

**Mitigation Measure #4: Native Landscaping.** A Landscape Plan shall be prepared for the proposed project and shall include the proposed tree replacement planting locations and removal of the following invasive species currently located within the limits of construction: Blackwood acacias (*Acacia melanoxylon*), yellow wattle acacias (*Acacia longifolia*), ice plant (*Carpobrotus edulis*), and kikuyu grass (*Pennisetum clandestinum*).

**Monitoring Action #4:** The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of the Resources Management Agency – Planning Department. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, either landscaping shall be installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County Resources Management Agency – Planning Department. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

**Biological Resources 4(f) – No Impact.** There is no known adopted Habitat Conservation Plan or other approved local, regional, or state habitat conservation plan affecting the subject property (Source: IX. 3, 10, 12). There would be no impact.

5. CULTURAL RESOURCES	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>Would the project:</b>				
a) Cause a substantial adverse change in the significance of a historical resource as defined in 15064.5? (Source: 1, 3, 11)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to 15064.5? (Source: 1, 3, 11)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature? (Source: 1, 3, 11)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Disturb any human remains, including those interred outside of formal cemeteries? (Source: 1, 3, 11)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Discussion/Conclusion/Mitigation:**

**Historic Buildings:** The existing Douglas Hall was constructed in 1926 and is possibly historically significant. It potentially meets Criterion 3 of the California Register of Historical Resource (CRHR) for its significance as an example of 1920s lodge design in Mediterranean Revival. However, a series of additions and alterations to the original structure resulted in sweeping changes to the character the building, and the addition of a sun porch at the rear of the building. Numerous remodelings of the interior have resulted in compromising the design, materials, and workmanship of the original structure. However, the building retains a degree of integrity, of feeling as a 1920s lodge in the Del Monte Forest. The structure appears to retain sufficient overall integrity to convey its historical significance and to qualify for listing in the California Register. For that reason the additions to Douglas Hall were reviewed by the County of Monterey Historic Resources Review Board and found to be consistent with the Secretary of Interior's Standards for the Treatment of Historic Properties. The standards for rehabilitation have been adhered to for the proposed additions designed for Douglas Hall and its additions and renovations as indicated in the Historical assessment, recommendations for the proposed improvements and design in the plans.

The project also includes the demolition of an existing 2,973 square foot structure referred to as Building 19. Building 19 is located across Forest Lake Road from the main campus. This has been added to the original project in order to avoid piecemealing as defined under CEQA. The proposed demolition did not require review by the Monterey County Historic Resources Review Board. A report by CIRCA: Historic Property Development determined that due to the condition of the structure and because the structure has undergone several significant changes and alterations resulting in the significant loss of important character defining features. Building 19 retains a very low level of integrity and does not meet the Monterey County criteria for historic resources. Additionally due to years of water damage the structure has become structurally unsound and is considered unsafe. For that reason the structure should be demolished in the interest of public safety.

The demolition of Building 19 is consistent with the School's approved Master Plan.

**CULTURAL RESOURCES 5 (a) – Less than Significant.**

**CULTURAL RESOURCES 5 (b) (c) (d) – No Impact.**

**CONCLUSION:** Archaeological Reports prepared by Archaeological Consulting, dated April 9, 1990 & February 27, 1992 & May 3, 2002 concluded that there was no evidence of cultural resources within the project area. Therefore the County concludes that the project under Section 15064.5.C. is exempt from further review based on the report prepared for the project which determined that no archaeological sites or resources were found nor would any be affected by the project as proposed (Source: 1, 3, 11). Because the area where the project is located has the potential for resources the County will require as a condition of approval the standard archaeological condition which says that if during construction archaeological resources or human remains are discovered, work shall be halted within 150 feet until it can be evaluated by a qualified professional Archaeologist. Additionally a Historic Resource study conducted for the project concludes that as designed any impacts of the project are considered less than significant and no mitigation is required.

6. GEOLOGY AND SOILS	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>Would the project:</b>				
a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:				
i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? (Source: 1, 3, ,12)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
ii) Strong seismic ground shaking? (Source: 1, 3, ,12)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
iii) Seismic-related ground failure, including liquefaction? (Source: 1, 3, ,12)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
iv) Landslides? (Source: 1, 3, ,12)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in substantial soil erosion or the loss of topsoil? (Source: 1, 3, ,12)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

6. GEOLOGY AND SOILS	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>Would the project:</b>				
c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse? (Source: 1, 3, ,12)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property? (Source: 1, 3, ,12)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater? (Source: 1, 3, ,12)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Discussion/Conclusion/Mitigation:**

“Geotechnical Investigation” prepared by Moore Twining & Associates, Inc. dated July 15, 2008 found the geotechnical conditions are suitable for development and that no geological hazard exists relative to CEQA. Structural design recommendations from these reports have been incorporated as part of the project design. (Source: IX. 12). As a Condition of Approval, the County will require the applicant to implement all recommendations made in these reports. In addition, the applicant will be required to comply with applicable County policies and ordinances related to geologic hazards.

**Geology and Soils 6(a) – Less than Significant.**

Fault Rupture and Ground shaking: Because no active faults are known to cross the subject property and there is no evidence of Holocene faulting in the area, the potential for surface-fault rupture is considered to be low (Source: IX. 12). Although the Cypress Point Fault lies approximately 2,000 feet southwest of the site, this fault is not considered active and would therefore not be expected to effect the project site (Source: IX. 12). The potentially active Hatton Canyon Fault is located about 6,000 feet northeast of the project. Therefore the potential for ground rupture at the site is considered low.

Seismic safety issues would be addressed through compliance with the Uniform Building Code (UBC) and other County ordinances and standard Conditions of Approval. Pursuant to compliance with existing ordinances and standard conditions, impacts would be less than significant.

Seismic Ground Failure: Liquefaction is defined as the sudden loss of soil strength due to a rapid increase in soil pore water pressures resulting from seismic ground shaking. Liquefaction most often occurs in loose saturated silts and saturated, poorly graded, fine-grained sands. According to the Geotechnical Investigation the site has a low potential for liquefaction due to the relatively shallow depth to rock, and with the site preparation recommendations the potential for liquefaction and seismic settlement are considered very low (Source: IX. 12). Therefore the Impacts would be less than significant.

**Geology and Soils 6(b) – No Impact.** Soil erosion is the removal of soil by water and wind. The project site is not located along a coastal bluff and is therefore not subject to coastal erosion from

sea waves. The property is served by the Pebble Beach Community Services District for sewer services therefore no septic or leach areas are currently operating on the site (Source: IX. 12).

**Geology and Soils 6(c) - Less than Significant.** See discussion under Item 6(a) above. Impacts would be less than significant.

**Geology and Soils 6(d) - No Impact.** Expansion would not be expected in the soils identified on the site (Source: IX. 12). The soils were determined to have a low expansion potential and therefore would result in a less than significant impact.

**Geology and Soils 6(e) - No Impact.** The property is served by the Pebble Beach Community Services District for sewer services (Source: IX. 12). Because septic tanks or alternative wastewater disposal systems would not be required, there would be no impact.

7. HAZARDS AND HAZARDOUS MATERIALS	Less Than Significant			
	Potentially Significant Impact	With Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project:				
c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed School? (Source: IX. 18)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment? (Source: IX. 21)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area? (Source: IX. 1, 17)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area? (Source: IX. 1, 18)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan? (Source: IX. 1, 4)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h) Expose people or structures to a significant risk of loss, injury, or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands? (Source: IX. 17)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Discussion, Analysis and Conclusions:**

- |  |                          |                                     |                                     |                                     |
|--|--------------------------|-------------------------------------|-------------------------------------|-------------------------------------|
| a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials? (Source: IX. 1)  | <input type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment? (Source: IX. 1, 5, 11)   | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            |
| c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed School? (Source: IX. 17)   | <input type="checkbox"/> | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment? (Source: IX. 21)                                      | <input type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area? (Source: IX. 1, 18) | <input type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| f) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area? (Source: IX. 1, 18)  | <input type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| g) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan? (Source: IX. 1, 4)   | <input type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| h) Expose people or structures to a significant risk of loss, injury, or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands? (Source: IX. 7d)   | <input type="checkbox"/> | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |

**Discussion, Analysis and Conclusions:**

**Hazards and Hazardous Materials 7(a) – No Impact.** The proposed project involves the expansion of the existing Douglas Hall structure by approximately 4,191 square feet and the alteration of approximately 1,704 square feet of the existing Douglas Hall. Douglas Hall is currently used by the Stevenson School as the main reception area and administrative offices. The project as proposed will remodel the interior and exterior of the existing historic structure. The project would not involve the transport, use, or disposal of hazardous materials that would constitute a threat of explosion or other significant release that would pose a threat to neighboring properties (Source: IX. 1). There would be no impact.

**Hazards and Hazardous Materials 7(b) – Less than Significant with Mitigation Incorporated.** The proposed project includes expansion of the existing Douglas Hall structure by approximately 4,191 square feet and the alteration of approximately 1,704 square feet of the existing Douglas Hall. The existing structure was originally constructed in 1926, although alterations and renovations have been made since that time (Source: IX. 11). Prior to the enactment of federal regulations limiting their use

in the late 1970s, asbestos containing materials (ACM) and/or lead-based paint (LBP) were often used in residential construction. ACMs are mineral fibers that were historically added to various materials to strengthen them and to provide heat insulation and fire resistance. If disturbed, ACM may release asbestos fibers that can be inhaled into the lungs. Breathing high levels of asbestos can lead to increased risk of lung cancer, including mesothelioma and asbestosis. ACMs that would crumble easily if handled, or that have been sawed, scraped, or sanded into powder, are more likely to create a health hazard. In residential units, ACM is most commonly found in insulation, roofing, siding shingles made of asbestos cement, and textured paints. Lead is a highly toxic metal that was used for many years in products found in and around our homes. Lead may cause a range of health effects, from behavioral problems and learning disabilities, to seizures and death. The primary source of lead exposure in residences is deteriorating LBP. Lead dust can form when LBP is dry scraped, dry sanded, or heated. Dust also forms when painted surfaces bump or rub together. Lead-based paint that is in good condition is usually not a hazard.

Due to the age of the existing structure (Source: IX. 11), the structure could potentially contain ACM and/or LBP. Demolition of this structure, as proposed, could release ACM or LBP. This may pose a potential health risk to people if such hazardous materials are not properly handled and disposed. This health risk would be a potentially significant impact unless mitigation is incorporated. With implementation of Mitigation Measures #6 and #7 below, impacts would be reduced to a less than significant level.

**Mitigation Measure #6.** Prior to demolition or the remodeling of existing structures, The structure shall be sampled as part of an asbestos survey in compliance with the National Emission Standards for Hazardous Air Pollutants (NESHAP). If asbestos is found, asbestos-related work, including demolition, involving 100 square feet or more of asbestos containing materials (ACMs) shall be performed by a licensed asbestos abatement contractor under the supervision of a certified asbestos consultant and asbestos shall be removed and disposed of in compliance with applicable State laws. Regardless of whether asbestos is identified in any building, prior to demolition the Air Pollution Control District (APCD) shall be notified and an APCD Notification of Demolition and Renovation Checklist shall be submitted to both APCD and the RMA – Planning Department.

**Monitoring Action #6:** Prior to demolition, the applicant shall retain a qualified asbestos abatement contractor to conduct an asbestos survey and remove any asbestos in compliance with applicable state laws.

**Mitigation Measure #7.** If, during demolition of any portion of the existing structure (s) on-site, paint is separated from the building material (e.g. chemically or physically), the paint waste shall be evaluated independently from the building material by a qualified hazardous materials inspector to determine its proper management. All hazardous materials shall be handled and disposed in accordance with local, state and federal regulations. According to the Department of Toxic Substances Control (DTSC), if paint is not removed from the building material during demolition (and is not chipping or peeling), the material can be disposed of as construction debris (a non-hazardous waste). The landfill operator shall be contacted prior to disposal of building material debris to determine any specific requirements the landfill may have regarding the disposal of lead-based paint materials. The disposal of demolition debris shall comply with any such requirements.



**Monitoring Action #7:** Should paint be separated from building materials during demolition, the applicant shall retain a qualified hazardous materials inspector to determine its proper management.

**Hazards and Hazardous Materials 7(c) – Less than Significant.** The project site is the Robert Louis Stevenson School, located at 3152 Forest Lake Road, Pebble Beach within the Del Monte Forest Area of the Coastal Zone. There are no Schools located within one-quarter mile of the project site. Impacts would be less than significant.

**Hazards and Hazardous Materials 7(d) – No Impact.** The project site is not included on a list of hazardous materials sites (Source: IX. 18). There would be no impact.

**Hazards and Hazardous Materials 7(e, f) – No Impact.** The proposed project is not located within an airport land use plan or within two miles of an airport. The location of the project is not anticipated to be threatened by air traffic hazards (Source: IX. 1, 17). No impacts would result.

**Hazards and Hazardous Materials 7(g) – No Impact.** The project would not interfere with any emergency response plan or evacuation plan (Source: IX. 1, 4). There would be no impact.

**Hazards and Hazardous Materials 7(h) – Less than Significant.** The project site is located in a residential area and is subject to moderate fire hazards (Source: IX. 1). The Pebble Beach Community Services District reviewed the project application and recommended 11 standard and one (1) non-standard Conditions of Approval, including (but not limited to): adequate driveway design, provision of a fire hydrant or valve, setback requirements, provision of automatic sprinkler systems, and installation of an approved automatic fire alarm system (Source: IX. 7d). Pursuant to compliance with these Conditions of Approval, the proposed project would result in less than significant impacts related to fire hazards.

**8. HYDROLOGY AND WATER QUALITY**

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Violate any water quality standards or waste discharge requirements? (Source: 1, 2, 3, 7)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)? (Source: 1, 2, 3, 7)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site? (Source: 1, 2, 3, 7)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**8. HYDROLOGY AND WATER QUALITY**

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site? (Source: 1, 2, 3, 7)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Create or contribute runoff water which would exceed the capacity of existing or planned Stormwater drainage systems or provide substantial additional sources of polluted runoff? (Source: 1, 2, 3, 7)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Otherwise substantially degrade water quality? (Source: 1, 2, 3, 7)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map? (Source: 1, 2, 3, 7)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h) Place within a 100-year flood hazard area structures which would impede or redirect flood flows? (Source: 1, 2, 3, 7)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam? (Source: 1, 2, 3, 7)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
j) Inundation by seiche, tsunami, or mudflow? (Source: 1, 2, 3, 7)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Discussion/Conclusion/Mitigation:**

See previous Sections II. B (Project Description) and C (Environmental Setting) and Section IV. A (Environmental Factors Potentially Affected), IX References & Exhibits.

**9. LAND USE AND PLANNING**

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Physically divide an established community? (Source: 1, 2, 3, 4, 6)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect? (Source: 1, 2, 3, 4, 6)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Conflict with any applicable habitat conservation plan or natural community conservation plan? (Source: 1, 2, 3, 4, 6)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Discussion/Conclusion/Mitigation:**

See previous Sections II. B (Project Description) and C (Environmental Setting) and Section IV. A (Environmental Factors Potentially Affected), IX References & Exhibits.

**10. MINERAL RESOURCES**

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state? (Source: 1, 3)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan, or other land use plan? (Source: 1, 3)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Discussion/Conclusion/Mitigation:**

See previous Sections II. B (Project Description) and C (Environmental Setting) and Section IV. A (Environmental Factors Potentially Affected), IX References & Exhibits.

11. NOISE	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>Would the project result in:</b>				
a) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies? (Source: 1, 2, 6)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Exposure of persons to or generation of excessive ground borne vibration or ground borne noise levels? (Source: 1, 2, 6)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project? (Source: 1, 2, 6)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project? (Source: 1, 2, 6)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels? (Source: 1, 2, 6.)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels? (Source: 1, 2, 6)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Discussion/Conclusion/Mitigation:**

**11(a), (b), (c), (e) and (f) No Impact -**

**11(d) Less than Significant with Mitigation Incorporated** - Sensitive receptors in the vicinity of the site include the dormitories on campus, class rooms, faculty offices and single family residences to the west of the campus. The project will generate noise during the grading and construction, however, that would be a short-term issue, and no permanent or long-term increases in ambient noise levels are expected. The following mitigation measures would make noise impacts less than significant.

**Mitigation Measure #1**

All construction equipment shall use noise suppressant devices for the muffler/exhaust mechanisms.

**Mitigation Measure #2**

The hours of operation shall be between 8am and 5pm, Monday through Friday.

12. POPULATION AND HOUSING	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>Would the project:</b>				
a) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)? (Source: 1, 2, 3)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere? (Source: 1, 2, 3)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere? (Source: 1, 2, 3)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Discussion/Conclusion/Mitigation:**

See previous Sections II. B (Project Description) and C (Environmental Setting) and Section IV. A (Environmental Factors Potentially Affected), IX References & Exhibits.

13. PUBLIC SERVICES	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
<b>Would the project result in:</b>				
Substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:				
a) Fire protection? (Source: 1, 2, 3)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Police protection? (Source: 1, 2, 3)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Schools? (Source: 1, 2, 3)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Parks? (Source: 1, 2, 3)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Other public facilities? (Source: 1, 2, 3)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Discussion/Conclusion/Mitigation:**

See previous Sections II. B (Project Description) and C (Environmental Setting) and Section IV. A (Environmental Factors Potentially Affected), IX References & Exhibits.

**14. RECREATION**

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated? (Source: 1, 2, 3)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment? (Source: 1, 2, 3)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Discussion/Conclusion/Mitigation:**

See previous Sections II. B (Project Description) and C (Environmental Setting) and Section IV. A (Environmental Factors Potentially Affected), IX References & Exhibits.

**15. TRANSPORTATION/TRAFFIC**

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Cause an increase in traffic which is substantial in relation to the existing traffic load and capacity of the street system (i.e., result in a substantial increase in either the number of vehicle trips, the volume to capacity ratio on roads, or congestion at intersections)? (Source: 2, 3, 16)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Exceed, either individually or cumulatively, a level of service standard established by the county congestion management agency for designated roads or highways? (Source: 2, 3, 16)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that result in substantial safety risks? (Source: 2, 3, 16)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)? (Source: 2, 3, 16)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Result in inadequate emergency access? (Source: 2, 3, 16)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Result in inadequate parking capacity? (Source: 2, 3, 16)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Conflict with adopted policies, plans, or programs supporting alternative transportation (e.g., bus turnouts, bicycle racks)? (Source: 2, 3, 16)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Discussion/Conclusion/Mitigation:**

A Parking and Traffic Study was prepared for the project by Higgins Associates, dated August 1, 2008 (Source # 16). The report concludes that the relocation of drop-off and pick-up areas, the reconfigured property access to align with Lisbon Lane, and the relocation and construction of two parking areas, all serve to enhance public safety and to meet or exceed the Parking requirements of the Zoning Code. During construction activities, present drop-off and pick-up areas will be temporarily relocated. New and temporary parking facilities will be constructed and arranged for prior to demolition of existing parking facilities. All relevant intersections studied by Higgins Associates will continue to operate at levels better than LOS C during construction. And as no new students or new faculties are proposed, parking demand will not increase. Twelve net new parking spaces are being provided. As the construction is proposed to be phased by the applicant, the project will require no mitigation measures beyond standard conditions of approval.

**15(a), (b) Less Than Significant Impact** - Approval of the Project will not cause an increase in traffic in relation to the existing traffic load and capacity of the street system, or exceed, either individually or cumulatively, a level of service standard established by the county congestion management agency for designated roads or highways. Therefore, the potential impact to these resources will be less than significant.

**15 (c), No Impact.** The proposed project is not located near any airports and will not change air traffic patterns. Therefore, there will be no impact to these resources.

**15(d), (e), (f), (g). Less Than Significant Impact** – The project proposes improvements to intersections and access and expands the parking supply by twelve spaces without adding demand of new students or faculty. These improvements will also serve to facilitate and improve emergency access. The applicant’s proposal does not conflict with policies, plans, or programs supporting alternative transportation.

<b>16. UTILITIES AND SERVICE SYSTEMS</b>				
<b>Would the project:</b>	<b>Potentially Significant Impact</b>	<b>Less Than Significant With Mitigation Incorporated</b>	<b>Less Than Significant Impact</b>	<b>No Impact</b>
a) Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board? (Source: 1, 3, 7)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects? (Source: 1, 3, 7)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects? (Source: 1, 3, 7)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed? (Source: 1, 3, 7)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**16. UTILITIES AND SERVICE SYSTEMS**

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
e) Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments? (Source: 1, 3, 7)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs? (Source: 1, 2, 3, 6, 7)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Comply with federal, state, and local statutes and regulations related to solid waste? (Source: 1, 2, 3, 6, 7)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Discussion/Conclusion/Mitigation:**

See previous Sections II. B (Project Description) and C (Environmental Setting) and Section IV. A (Environmental Factors Potentially Affected), IX References & Exhibits.

**VII. MANDATORY FINDINGS OF SIGNIFICANCE**



Does the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory? [(Source: IX. 1, 2, 3, 4, 9, 10, 11, 12, 13, 14, 15, 16 ( Exhibit B)]	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)? [(Source: IX. 1, 2, 3, 4, 9, 10, 11, 12, 13, 14, 15, 16 ( Exhibit B)]	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly? [(Source: IX. 1, 2, 3, 4, 9, 10, 11, 12, 13, 14, 15, 16 ( Exhibit B)]	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Discussion, Analysis and Conclusions:**

**(a) Less than Significant with Mitigation Incorporated:** Based upon the analysis throughout this Initial Study, the proposed project would not have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory. All potential impact areas are deemed less than significant with Conditions of Approval and Mitigation Measures set forth within this Initial Study. Impacts would be less than significant with mitigation incorporated.

**(b) Less than Significant:** The project would contribute incremental cumulative impacts to air quality degradation, as described in Section VI.3 (Air Quality). However, this impact would be less than significant. The project would not result in impacts related to transportation or traffic, nor would it contribute to cumulative groundwater depletion. As described in this Initial Study, the incremental air quality, noise, transportation/traffic, public services, and utilities impacts of the project, when considered in combination with the effects of past projects, current projects, and probable future projects in the planning area, would result in less than significant impacts upon incorporation of conditions of project approval. Project impacts related to several issue areas, including geology, hazards, and hazardous materials would be site-specific and would result in no cumulative impacts.

**(c) Less than Significant:** Conditions of Approval would ensure consistency with relevant General Plan and Local Coastal Plan policies and development standards concerning aesthetics, biology, cultural resources, geology and soils, hydrology and water quality, transportation/traffic, and utilities

and service systems. Global Warming: The enactment of AB 32, the Global Warming Solutions Act, was signed into legislation by Governor Schwarzenegger in September 2006 and requires that greenhouse gases emissions be reduced to 1990 levels by the year 2020. Increased emissions of greenhouse gases due to developmental pressures have resulted in multiple adverse environmental effects, including, sea level rise, increased incidence and intensity of severe weather events (e.g., heavy rainfall, droughts), and extirpation or extinction of plant and wildlife species. Further, emissions contributing to climate change are attributable in large part to human activities associated with the industrial/manufacturing, utility, transportation, residential, and agricultural sectors. Given the significant adverse environmental effects associated with anthropogenic climate change, increased emissions have the potential to result in cumulatively considerable air quality impacts and indirect biological and hydrological impacts. However when analyzing a project's potential to affect climate change, it is important to note that neither CEQA nor current case law identifies thresholds or other direction in measuring or evaluating the effect of individual projects on global warming. As a result, in the absence of applicable methodology and thresholds the significance of the project's effect on global warming cannot be quantified. Furthermore, given the transboundary nature of greenhouse gases, the cumulative global emissions contributing to climate change can be attributed to every nation, region, and city, in addition to naturally occurring phenomenon.

## VIII. FISH AND GAME ENVIRONMENTAL DOCUMENT FEES

### **Assessment of Fee:**

The State Legislature, through the enactment of Senate Bill (SB) 1535, revoked the authority of lead agencies to determine that a project subject to CEQA review had a "de minimis" (minimal) effect on fish and wildlife resources under the jurisdiction of the Department of Fish and Game. Projects that were determined to have a "de minimis" effect were exempt from payment of the filing fees.

SB 1535 has eliminated the provision for a determination of "de minimis" effect by the lead agency; consequently, all land development projects that are subject to environmental review are now subject to the filing fees, unless the Department of Fish and Game determines that the project will have no effect on fish and wildlife resources.

To be considered for determination of "no effect" on fish and wildlife resources, development applicants must submit a form requesting such determination to the Department of Fish and Game. Forms may be obtained by contacting the Department by telephone at (916) 631-0606 or through the Department's website at [www.dfg.ca.gov](http://www.dfg.ca.gov).

**Conclusion:** The project would be required to pay the fee.

**Evidence:** Based on the record as a whole as embodied in the Planning Department files pertaining to PLN080375 and the attached Initial Study / Proposed Mitigated Negative Declaration.

## IX. REFERENCES

1. Combined Development Permit Application (dated August 4, 2008) and Design Approval File No. PLN080375
2. Monterey County General Plan, adopted September 30, 1982.
3. Del Monte Forest Land Use Plan
4. Title 20 of the Coastal Implementation Plan Part 1 (Zoning Ordinance)
5. CEQA Air Quality Guidelines, Monterey Bay Unified Air Pollution Control District, Revised June 2008
6. Planning & Building Inspection Department's Geographic Information Systems, Intranet Mapping Service.
7. Monterey Peninsula Water Management District commercial water use calculation form
8. Preliminary Cultural Resources Reconnaissance for the Stevenson School prepared by Archaeological Consulting, dated April 9, 1990 & February 27, 1992 & May 3, 2002.
9. Forest Management Plans Original report prepared by Hugh Smith Urban Forestry Consulting dated February 12, 1992. Addendum to Forest Management Plan prepared by Staub Forestry & Environmental Consulting, dated July 30, 2008.
10. Biological Resource Assessment for the Robert Louis Stevenson School prepared by Zander Associates Environmental Consultants, dated June 26, 2008
11. Historical Resource Study, prepared by Page & Turnbull Inc. dated July 30, 2008.
12. Geological Report & Geotechnical Investigation prepared by Moore Twining & Associates Inc., dated July 15, 2008.
13. General Development Plan for the Casco and Douglas Hall additions and alterations with improvements to the main entry into the School property. Prepared by applicant for the County of Monterey, dated July 30, 2008.
14. The California Natural Diversity Database listing and the California Native Plant Society's Inventory of Rare and Endangered Plant listing, available for reference at the Monterey County Planning Counter.
15. The Monterey Bay Unified Air Pollution Control District (MBUAPCD) and the Air Quality Management Plan (AQMP) listings, available for reference at the Monterey County Planning Counter.
16. Stevenson upper School Parking and Traffic Study, prepared by Higgins Associates, Civil & Traffic Engineers, dated August 1, 2008.
17. Monterey County Geographical Information's System (GIS) resources data maps.
18. California Department of Toxic Substance Control Hazardous Waste and Substances Site List – Site Cleanup (Cortese List). [http://www.dtsc.ca.gov/SiteCleanup/Cortese\\_List.cfm](http://www.dtsc.ca.gov/SiteCleanup/Cortese_List.cfm)
19. Interdepartmental Review, Agency Comments, and Conditions:
  - a. Environmental Health Department (August 25, 2008).

- b. Water Resources Agency (August 25, 2008)
- c. Public Works Department (August 25, 2008).
- d. Pebble Beach Community Services District (August 27, 2008).
- e. Parks Department (August 25, 2008)

**X. EXHIBITS**

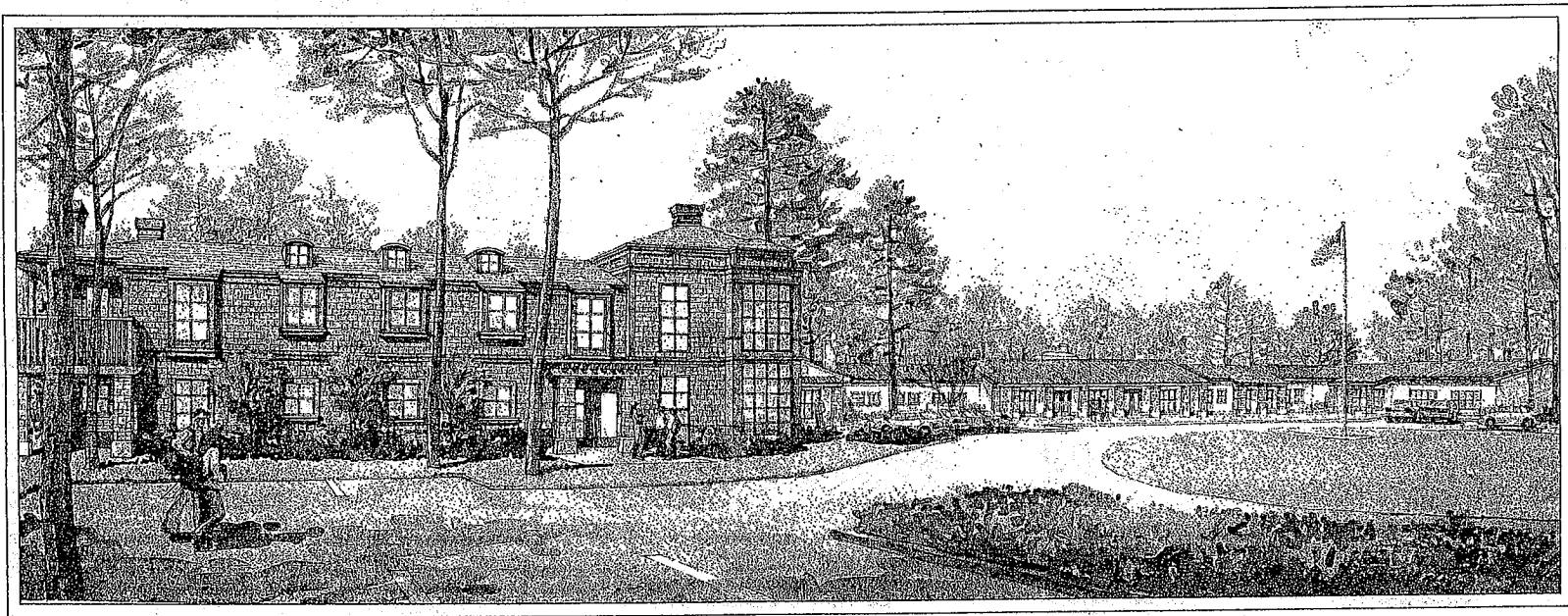
- A. Location / Vicinity Map
- B. Project Construction Plans

# STEVENSON SCHOOL

## Casco Residence & Douglas Hall

### Additions & Alterations- Entitlements Set

Exhibit G



Casco  
Residence  
& Douglas  
Hall

Stevenson School  
3152 Forest Lake Road  
Pebble Beach, California

Scale: 1/8" = 1'-0"  
Date: 11/20/08  
Project: Stevenson School  
Sheet: B0.00

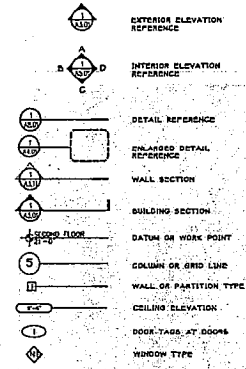
Prepared by: [Name]  
Checked by: [Name]  
Date: 11/20/08

COVER SHEET

B0.00

ARCHITECTURAL SYMBOLS

ELECTRICAL SYMBOLS ON ARCHITECTURAL DRAWINGS ARE FOR LAYOUT AND DESIGN INTENT ONLY - REFER TO ELECTRICAL DRAWINGS FOR FIXTURES OR SYMBOLS LIST.



ABBREVIATIONS

Table of abbreviations for architectural symbols, including terms like And, Angle, Dimension, etc., with corresponding letter codes.

CODE INFORMATION

PLANNING CODE
MONTEREY COUNTY ZONING COASTAL IMPLEMENTATION PLAN - TITLE 50

DEL MONTE FOREST ARCHITECTURAL REVIEW
SEE SHEET A101 FOR PROJECT DATA ON TREE REMOVAL
SEE SHEET A101 - A103 FOR PROJECT DATA ON ZONING REGULATIONS
SEE SHEET C101 FOR SITE CONTOURS, GRADING & DRAINAGE
SEE SHEET L101 FOR EXISTING & PROPOSED VEGETATION

ZONING

IC-D (CZ)
IC-D (CZ)

BUILDING CODE

2007 EDITION CALIFORNIA BUILDING CODE
CBC 2007 EDITION
CALIF. 2007 EDITION
CPC 2007 EDITION
CEC (ENERGY) 2007 EDITION

OCCUPANCY CLASSIFICATION

S - DOMINIUM
D/A - ADMINISTRATION

TYPE OF CONSTRUCTION

TYPE V, S FULLY SPRINKLED

GENERAL NOTES

- 1. PROJECT ADDRESS: 3152 FOREST LAKE ROAD, PEBBLE BEACH, CALIFORNIA 93955
2. PLANNING PROJECT FILE #:
3. ADJACENT PARCEL #S FOR PROPOSED CONSTRUCTION
4. SEE SHEET A101 FOR SPECIFIC ZONING REQUIREMENTS
5. PROJECT DESCRIPTION - THIS PROJECT PROPOSES FOUR COMPONENTS OF PHYSICAL IMPROVEMENTS TO THE STEVENSON SCHOOL CAMPUS AS FOLLOWS:
a) THE EXPANSION AND REMODEL OF DOUGLAS HALL PRESENTLY 1820 SF WHICH IS THE MAIN RECEPTION AND ADMINISTRATION BLDG. ON CAMPUS ADDING AN ADDITIONAL 1000 SF OF NEW CONSTRUCTION AND ALTERNATE FOR A TOTAL AGGREGATE NEW BUILDING SIZE OF 2820 SF.
b) THE EXPANSION AND REMODEL OF CASCO HALL PRESENTLY 1470 SF INVOLVING 7800 SF OF NEW CONSTRUCTION AND ALTERNATE FOR A TOTAL AGGREGATE NEW BUILDING SIZE OF 18480 SF.
c) SITEWORK TO RELOCATE THE MAIN VEHICULAR ENTRANCE INTO SCHOOL DRIP OFF FOREST LAKE ROAD TO BE ALIGNED WITH LISAON LAKE TO CREATE A NEW MORE EFFICIENT DRIVEWAY AND PICK UP SYSTEM TO THE SCHOOL AND TO RELOCATE ASSOCIATED EXISTING PARKING TO BE BETTER COORDINATED WITH THE NEW SITEWORK.
d) TEMPORARY MEASURES TO ACCOMMODATE DISPLACED OCCUPANTS OF BOTH DOUGLAS AND CASCO HALLS DURING CONSTRUCTION SUCH AS HOUSING A NEW GROUP OF ARRIVAL LOCATION FOR THE SCHOOL AT ATWOOD HALL AND ACCOMMODATIONS FOR OTHER DISPLACED PARKING.
6. THE GEOTECHNICAL ENGINEERING REPORT AND ALL SUBSEQUENT ALIGNMENTS ARE HEREBY MADE A PART OF THESE DOCUMENTS. SEE SHEET S12 NOTE #9 FOR SOILS AND FOUNDATION REQUIREMENTS.
7. CONTRACTOR SHALL PROVIDE PERMANENTLY POSTED ADDRESS AT PRIVATE ENTRANCE VISIBLE FROM BOTH DIRECTIONS OF TRAVEL FROM STATE LANE AT THE DISCRETION OF THE ARCHITECT AT BEGINNING OF CONSTRUCTION. SIZE OF ADDRESS POST SHALL BE A MIN. 3" HIGH, 5/8" STRIKE, WITH CONTRASTING BACKGROUND.
8. CONTRACTORS ACCESS TO THE PROJECT AND DELIVERED ROUTES SHALL COMPLY WITH LOCAL REGULATORY CRITERIA, SUBDIVISION RULES AND OWNERS INSTRUCTIONS.
9. THE CONTRACTOR SHALL BE VIGILANT DURING ALL SITE TRENCHING, GRADING AND EXCAVATION FOR ARCHAEOLOGICAL, HISTORICAL, CULTURAL OR PALEONTOLOGICAL FINDINGS. SHOULD THE CONTRACTOR SUSPECT SUCH A FINDING, HALT ALL WORK WITHIN A 100' RADII OF FINDING AND IMMEDIATELY CONTACT ARCHITECT.
10. THE CONTRACTOR SHALL BE VIGILANT DURING ALL SITE TRENCHING, GRADING AND EXCAVATION FOR ARCHAEOLOGICAL, HISTORICAL, CULTURAL OR PALEONTOLOGICAL FINDINGS. SHOULD THE CONTRACTOR SUSPECT SUCH A FINDING, HALT ALL WORK WITHIN A 100' RADII OF FINDING AND IMMEDIATELY CONTACT ARCHITECT.

DRAWING LIST

GENERAL
B100 COVER SHEET
B101 PROJECT DATA
CIVIL
C100 CIVIL COVER SHEET
C101 TOPOGRAPHIC SURVEY
C102 CIVIL SITE IMPROVEMENTS - PHASE 1
C103 CIVIL SITE IMPROVEMENTS - PHASE 2
C104 CIVIL SITE UTILITY PLAN
C105 EROSION CONTROL PLAN
C106 EROSION CONTROL IMPROVEMENTS

LANDSCAPE
L101 LANDSCAPE CONCEPT SITE PLAN
ARCHITECTURAL
A101 CAMPUS SITE PLAN
A102 SITE PLAN
A201 ARCHITECTURAL FLOOR PLANS - EXISTING - DOUGLAS
A202 ARCHITECTURAL FLOOR PLANS - EXISTING - CASCO
A203 FLOOR PLANS - DOUGLAS HALL
A204 FLOOR PLANS - CASCO HALL
A205 ROOF PLANS - DOUGLAS HALL
A206 ROOF PLANS - CASCO HALL
A301 EXTERIOR ELEVATIONS - EXISTING - DOUGLAS
A302 EXTERIOR ELEVATIONS - EXISTING - CASCO
A303 EXTERIOR ELEVATIONS - DOUGLAS HALL
A304 EXTERIOR ELEVATIONS - CASCO HALL
A305 BUILDING SECTIONS - DOUGLAS HALL
A306 BUILDING SECTIONS - CASCO HALL

PROJECT DIRECTORY

OWNER
STEVENSON UPPER SCHOOL
3152 Forest Lake Road
Pebble Beach, California 93955
(408) 653-1500

ARCHITECT
HORNBERGER + WORSTELL, INC.
170 Mason Lane
San Francisco, California 94108
(415) 399-0000

STRUCTURAL ENGINEER
ZPA STRUCTURAL ENGINEERS
355 Howard Street, Suite 200
San Francisco, California 94103
(415) 343-1081

ELECTRICAL ENGINEER
BAC & CLAUGHTER & ASSOCIATES
3810 Oppenhef Drive, Ste. 1
Palo Alto, California 94304
(707) 948-0330

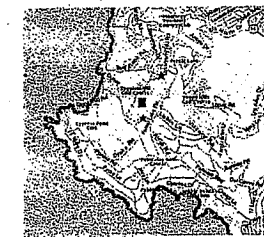
MECHANICAL ENGINEER
MECHANICAL DESIGN STUDIO INC
177 Oakland Blvd, Ste. 10
Walnut Creek, California 94596
(925) 210-0000

LANDSCAPE ARCHITECT
HOSE GULLAND INC
500 3RD Street, Ste. 210
San Francisco, California 94107
(415) 492-3070

CIVIL ENGINEER/SURVEYOR
WATSON ENGINEERS
8698 Blue Larkspur Lane, Suite 100
Menlo Park, California 94024
(650) 348-2222

COST ESTIMATOR
RUBEN LEXNETT BUCKHALL
333 South Grand Ave., Ste. 2580
Los Angeles, California 90071
(310) 543-1003

VICINITY MAP



Casco Residence & Douglas Hall

Hornberger

Stevenson School
3152 Forest Lake Road
Pebble Beach, California

PROJECT DATA

B1.01

**CIVIL LEGEND**

	CONCRETE
	ASPHALT CONCRETE
	GRAVEL
	EXISTING CONTOUR
	NEW STORM DRAIN
	EXISTING STORM DRAIN
	NEW SANITARY SEWER
	NEW GAS LINE
	NEW WATER LINE
	SCHEMATIC LINE
	CENTERLINE
	DRAIN INLET
	MANHOLE
	ELEVATION
	EXISTING
	GRADE BREAK
	GRADE ELEVATION
	MOIST ELEVATION
	PROPERTY LINE
	TOP ELEVATION
	ASPHALT CONCRETE
	FINISHED FLOOR ELEVATION
	FINISHED GRADE ELEVATION
	MANHOLE
	POINT OF CONNECTION
	ELEVATION
	TOP OF DRAIN ELEVATION
	TYPICAL
	BACK OF WALK ELEVATION
	CONCRETE
	RELATIVE COMPACTION
	BOTTOM STAKE ELEVATION
	TOP STAKE ELEVATION
	MANHOLE
	STORM DRAIN
	STATION
	ELEVATION
	DETAIL NUMBER/SHEET NUMBER
	CLEARCUT
	UTILITY POINT OF CONNECTION
	PLOT FOR CONTINUATION
	SPOT GRADE

**GENERAL CIVIL NOTES**

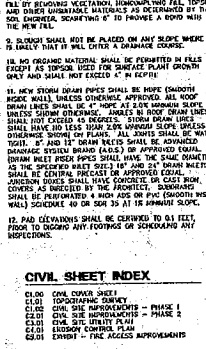
1. PERMITS FOR: 3151 FOREST LAKE ROAD, PEBBLE BEACH, CALIFORNIA 93953
2. ASSIGNED PARCELS FOR PROPOSED CONSTRUCTION: 000-022-003-000, 000-022-003-001, 000-022-023-000
3. PROJECT DESCRIPTION: BETWEEN BLENDED TO THE EXISTING AND REMOVAL OF CASCO HALL, CONFORMITY AND DOUGLAS HALL, STEPHEN WILSON'S DESIGN, DRAINAGE, ELEVATION AND FINISHING WORK.
4. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH THE GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSURE THE SAFETY AND PROTECTION FOR ALL CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY THAT ARE NEARBY. THIS SHALL BE MADE TO SURELY CONTRACTOR AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO OBTAIN, MAINTAIN AND HOLD DESIGN PROFESSIONAL(S) UNLESS FROM ANY AND ALL LIABILITY, EXCEPT LIABILITY ARISING FROM THE NEGLIGENCE OF THE DESIGN PROFESSIONAL(S).
5. ALL WORK SHALL BE IN CONFORMANCE WITH:
  - A. THE MAY 2006 EDITION OF "STANDARD SPECIFICATIONS," STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION (CALTRANS)
  - B. 2007 EDITION, CALIFORNIA BUILDING CODE
  - C. HUMBOLDT COUNTY ZONING ORDINANCE CLASS 2 (ZONING CONTROL, ORDINANCE #2006)
6. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ANY CURRENTLY APPLICABLE SAFETY LAW OF ANY JURISDICTION, NOTI FOR INFORMATION PURPOSES ONLY. THE CONTRACTOR IS DIRECTED TO CONTACT THE CITY OF CALIFORNIA, DEPARTMENT OF INDUSTRIAL SAFETY AND HEALTH, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES, AND CONTROL OF TRAFFIC WITHIN BACKGROUND AREA.
7. TOPOGRAPHY SHOWN IS FROM SURVEY BY WATSON ENGINEERS FROM APRIL-JULY 2008. BENCHMARK AS SHOWN ON TOPOGRAPHIC MAP (TWO) AS SEE MAP NAME, ELEVATION 54.07.
8. PROJECT SITE IS NOT SUBJECT TO HAZARDOUS OR 100 YEAR FLOOD LEVELS.
9. SEE ARCHITECTURAL PLANS FOR TREE REMOVAL.

10. IF DURING THE COURSE OF CONSTRUCTION, NATURAL, ARCHITECTURAL, HISTORICAL OR PALEONTOLOGICAL REMAINS ARE DISCOVERED AT THE SITE (SURFACE OR SUBSURFACE), REMAINS) WORK SHALL BE HALTED IMMEDIATELY WITHIN 50 FEET OF THE SITE OF DISCOVERY. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE COUNTY OF CALIFORNIA PROFESSIONAL ARCHITECTS. A DESIGNATED ARCHITECT SHALL, AN ARCHITECTURAL REMAINS WITH THE SOCIETY OF PROFESSIONAL ARCHITECTS SHALL BE IMMEDIATELY CONTACTED BY THE RESPONSIBLE PARTY. THE PARTY SHALL IMMEDIATELY NOTIFY THE CITY TO DETERMINE THE CONTENT OF THE REMAINS AND TO DEVELOP PROPER WORKING BARRIERS REQUIRED FOR THE DISCOVERY.
11. DURING WINTER GRADING OPERATIONS (BETWEEN OCTOBER 15 AND APRIL 15), THE FOLLOWING MUST BE USED:
  - A. EXISTING BARRIERS NOT REMOVED BY THE MAINTENANCE OPERATIONS MUST BE PROTECTED BY BACKSTOP AND/OR OTHER EFFECTIVE MEANS OF SOLE PROTECTION.
  - B. BARRIERS AND BACKSTOP SHALL HAVE GRADING FACILITIES C. SURVEY TO PREVENT STRENGTH OR ADJUSTMENT TO THE ROADWAY OR ON THE BARRIERS PROTECTED.
  - D. BARRIERS SHALL BE OCCUPIED OR TRIPPED BY SIGNALS, VEGETATED STRIPS, AND/OR CATCH BASINS TO PREVENT THE ESCAPE OF DEBRIS FROM THE SITE.
  - E. DRAINAGE CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY AND CONTINUOUSLY THROUGHOUT THE LIFE OF THE PROJECT DURING WINTER OPERATIONS.
12. ALL SURFACES EXPOSED OR EXPECTED TO BE EXPOSED DURING GRADING ACTIVITIES SHALL BE PROTECTED AND MAINTAINED THROUGH THE LENGTH OF THE DRIVE PROJECT TO PROTECT AGAINST EROSION.
13. AT ALL TIMES DURING CONSTRUCTION AND UNTIL FINAL COMPLETION OF THE DRIVE PROJECT, WHEN IN OR ON THE DRIVE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRIVE PROJECT. THE CONTRACTOR SHALL PRESENT THE FORMATION OF AN APPROPRIATE DISTANCE BY MAINTAINING AND CLEARING THE SITE OF THE DRIVE PROJECT. A BARRIER THAT WILL CONTAIN TRAFFIC PARTICLES TO THE BACKSTOP SURFACE OF THE WORK. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE DONE BY TRAFFIC FROM HIS OR HER NEGLIGENCE.
14. ESTIMATED STAKE AND COMPLETION DATES OF PROJECT (OF WORK COVERED BY THIS PERMIT)

**GRADING AND DRAINAGE NOTES**

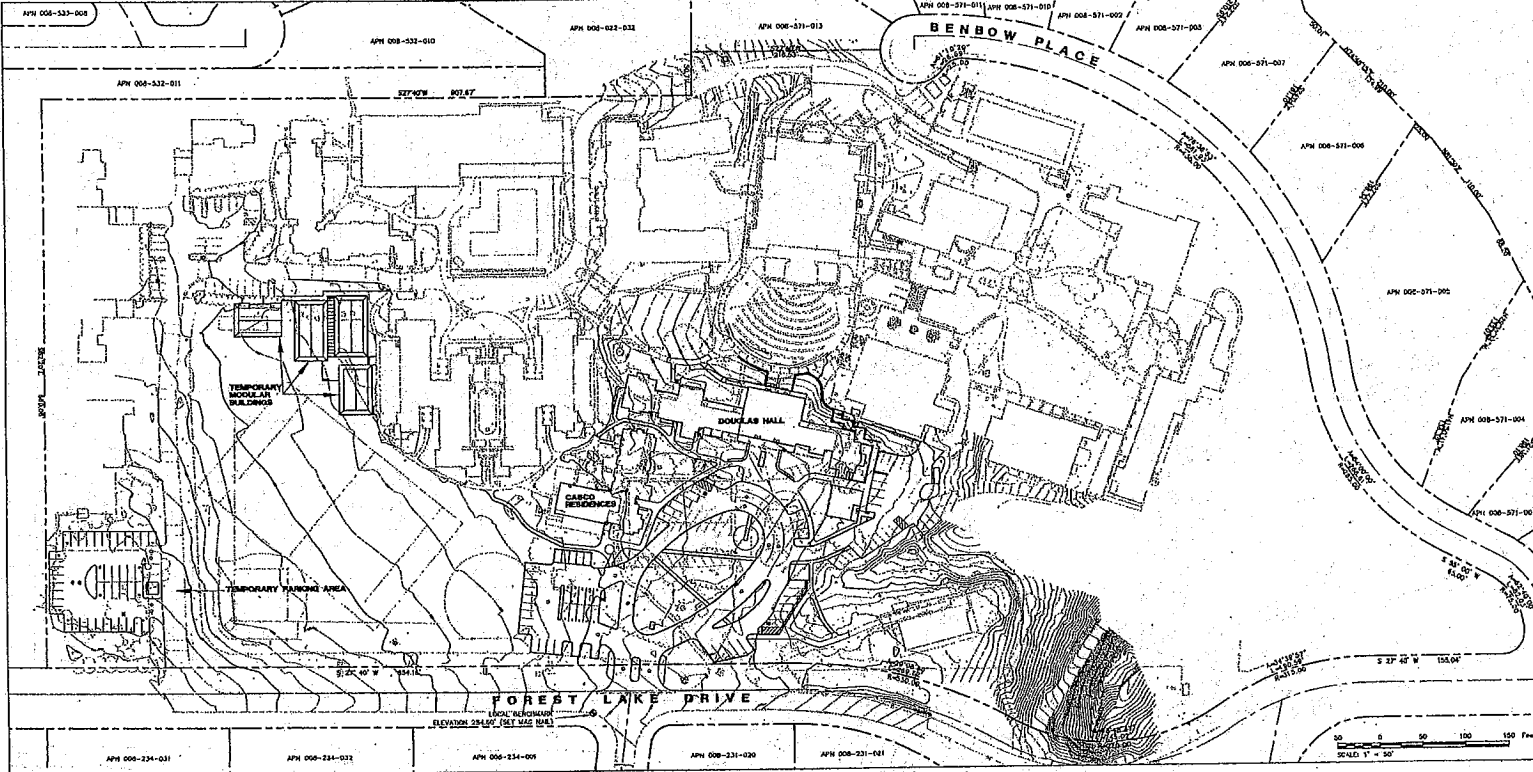
1. ALL GRADING SHALL CONFORM WITH THE HUMBOLDT COUNTY ZONING ORDINANCE, CLASS 2 AND BROOM CONTROL, DRAINAGE PAVEMENT.
2. ESTIMATED FINISHING: 1000 CY OF GFI AND 500 CY OF FILL, NET EQUIVALENT TO VALUES PROVIDED ARE ESTIMATED ONLY. VALUES SHOWN ARE RECALCULATED USING THE EARLY STAGES OF SITE GRADING TO BETTER ESTIMATE QUANTITIES (DRAINAGE PAVEMENT). SITE SPOLE SUCH AS FOUNDATIONS, RETAINING WALLS, UTILITY STRUCTURES, ETC. ARE NOT ACCOUNTED FOR IN ABOVE VOLUMES.
3. EXISTING GRADING AND FINISHING SHALL BE OBSERVED AND NOTED BY THE SOILS ENGINEER DESIGNATED BY THE OWNER. ALL GRADING AND FINISHING SHALL BE DONE TO THE SATISFACTION OF THE SOILS ENGINEER AND SPECIFICATIONS OF THE GEOLOGICAL REPORT DATED GEOLOGICAL ENGINEERING CONSULTING, PROPOSED ADDITIONS TO DOUGLAS HALL AND CASCO HALL, STEPHEN WILSON, 3151 FOREST LAKE ROAD, PEBBLE BEACH, CALIFORNIA DATED JULY 15, 2008. NO WORK SHALL BE PERFORMED UNTIL JULY 15, 2008. NO WORK SHALL BE PERFORMED UNTIL JULY 15, 2008. NO WORK SHALL BE PERFORMED UNTIL JULY 15, 2008. NO WORK SHALL BE PERFORMED UNTIL JULY 15, 2008.
4. SOILS ENGINEER SHALL INSPECT EXISTING (IF REQUIRED) PRIOR TO THE GRADING OF ANY FILL. CONSTRUCTION IS TO BE LIMITED TO THE GRADING FROM TO SOLEMAKING ANY INSPECTIONS.
5. ALL FILL SHOULDS SHALL BE NO GREATER THAN 18" HORIZONTAL TO ONE VERTICAL. NO VEGETATION REMOVAL OR GRADING SHALL BE ALLOWED UNTIL THE GRADING OF WATER COURSES OR UNCONTROLLED EROSION.
6. SOIL COVERED AREAS ADJACENT TO NEW BUILDINGS SHALL BE A MINIMUM OF 10 FEET FROM THE NEW BUILDING FOR A HAZARDOUS DISTANCE OF 10 FEET UNLESS OTHERWISE SHOWN HEREON AND APPROVED BY THE ENGINEER. THE CONCRETE SHALL BE SLOPED AT A MINIMUM GRADIENT OF 2% FOR A MINIMUM DISTANCE OF 10 FEET.
7. MATING DISCONTINUITIES SHALL BE PLACED IN 6" WITH COMPACTED TO A MINIMUM OF 90% RELATIVE COMPACTION. EXISTING GRADING SHALL BE COMPACTED TO A MINIMUM OF 90% RELATIVE COMPACTION BASED ON ASTM TEST D1557. THE GRADING SHALL BE COMPACTED TO A MINIMUM OF 90% RELATIVE COMPACTION. CONCRETE FINISHING SHALL BE COMPACTED TO A MINIMUM OF 90% RELATIVE COMPACTION. ALL GRADING SHALL BE COMPACTED TO A MINIMUM OF 90% RELATIVE COMPACTION. ALL GRADING SHALL BE COMPACTED TO A MINIMUM OF 90% RELATIVE COMPACTION.

**VICINITY MAP**



**CIVIL SHEET INDEX**

0100	SOIL COVER SHEET
0101	TOPOGRAPHIC SURVEY
0102	SOILS INVESTIGATION - PHASE 1
0201	CIVIL SITE IMPROVEMENTS - PHASE 1
0202	CIVIL SITE IMPROVEMENTS - PHASE 2
0203	EXISTING CONTROL PLAN
0204	CONCRETE - FINISHING IMPROVEMENTS



**OVERALL SITE PLAN**

SCALE 1" = 30'

Casco Residences & Douglas Hall

WHITSON ENGINEERS

Professional Engineer  
No. 10317  
State of California

Stevenson School  
3152 Forest Lake Road  
Pebble Beach, California

DATE: 07/15/08  
DRAWN BY: J. WATSON  
CHECKED BY: J. WATSON  
SCALE: AS SHOWN

PROJECT NO.: 08-010

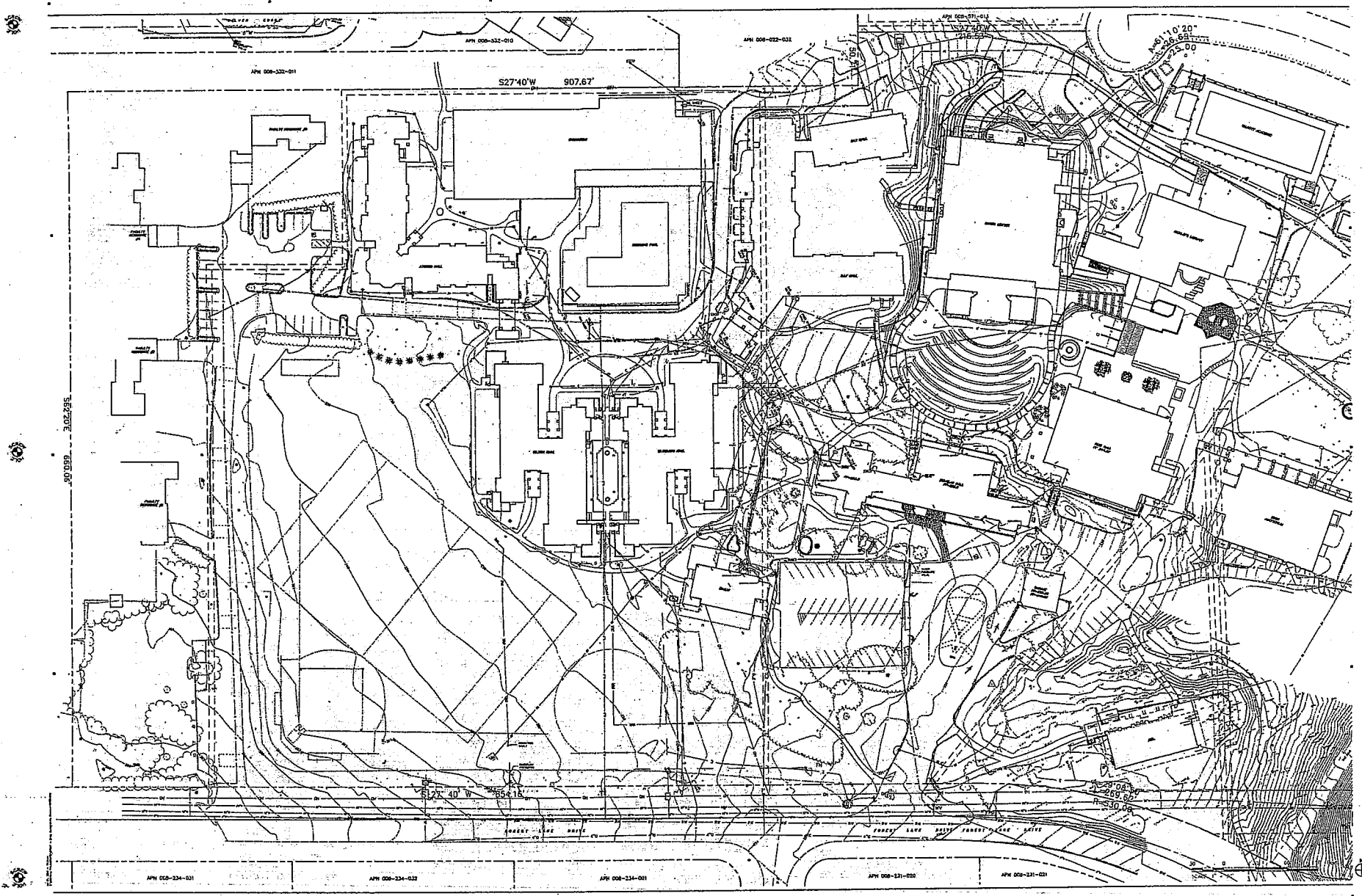
DATE: 07/15/08

PROJECT NO.: 08-010

DATE: 07/15/08

CIVIL COVER SHEET

C1.00



Casco  
Residences &  
Douglas  
Hall

**WE**  
WHITSON ENGINEERS  
Professional Engineers & Surveyors  
No. 00570  
State of California



**Stevenson School**  
3152 Forest Lake Road  
Pebble Beach, California

DATE:	11/24/10
PROJECT:	TOPOGRAPHIC SURVEY
DRAWN BY:	W.E. WHITSON

NO.	DESCRIPTION
1	TOPOGRAPHIC SURVEY
2	PREPARED FOR STEVENSON SCHOOL DISTRICT
3	BY WHITSON ENGINEERS
4	DATE 11/24/10
5	SCALE 1"=200'
6	PROJECT LOCATION: 3152 FOREST LAKE ROAD, PEBBLE BEACH, CALIFORNIA
7	PROJECT NO. W-10-001
8	PROJECT AREA: 1.0 ACRES
9	PROJECT OWNER: STEVENSON SCHOOL DISTRICT
10	PROJECT MANAGER: W. E. WHITSON
11	PROJECT ENGINEER: W. E. WHITSON
12	PROJECT SURVEYOR: W. E. WHITSON
13	PROJECT DRAFTER: W. E. WHITSON
14	PROJECT CHECKER: W. E. WHITSON
15	PROJECT APPROVER: W. E. WHITSON

**TOPOGRAPHIC  
SURVEY  
PROJECT AREA**

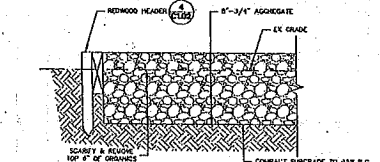
C1.01



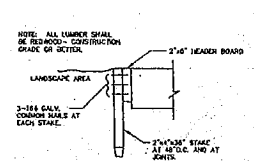


**2 TEMPORARY PARKING AREA - FACULTY DRIVE**  
SCALE: 1" = 10'

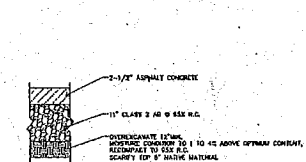
**1 PHASE 1 PARKING AREA - ENTRY**  
SCALE: 1" = 10'



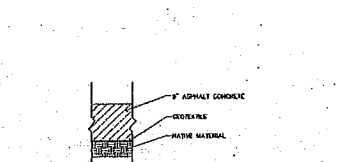
**3 GRAVEL PARKING SECTION**  
NO SCALE



**4 REDWOOD HEADER**  
NO SCALE



**5 ASPHALT CONCRETE PAVEMENT SECTION**  
NO SCALE



**6 FULL DEPTH ASPHALT CONCRETE SECTION**  
NO SCALE

- KEYNOTES**
- 1 EX UTILITIES TO REMAIN, PROTECT IN PLACE.
  - 2 UTILITY TO BE CONSTRUCTED AS PART OF PHASE 1. SEE SHEET C101 FOR DETAILS.
  - 3 END DOMESTIC VERTICAL CURVE, PHASE 1.
  - 4 SEE TREE PROTECTION PLAN.

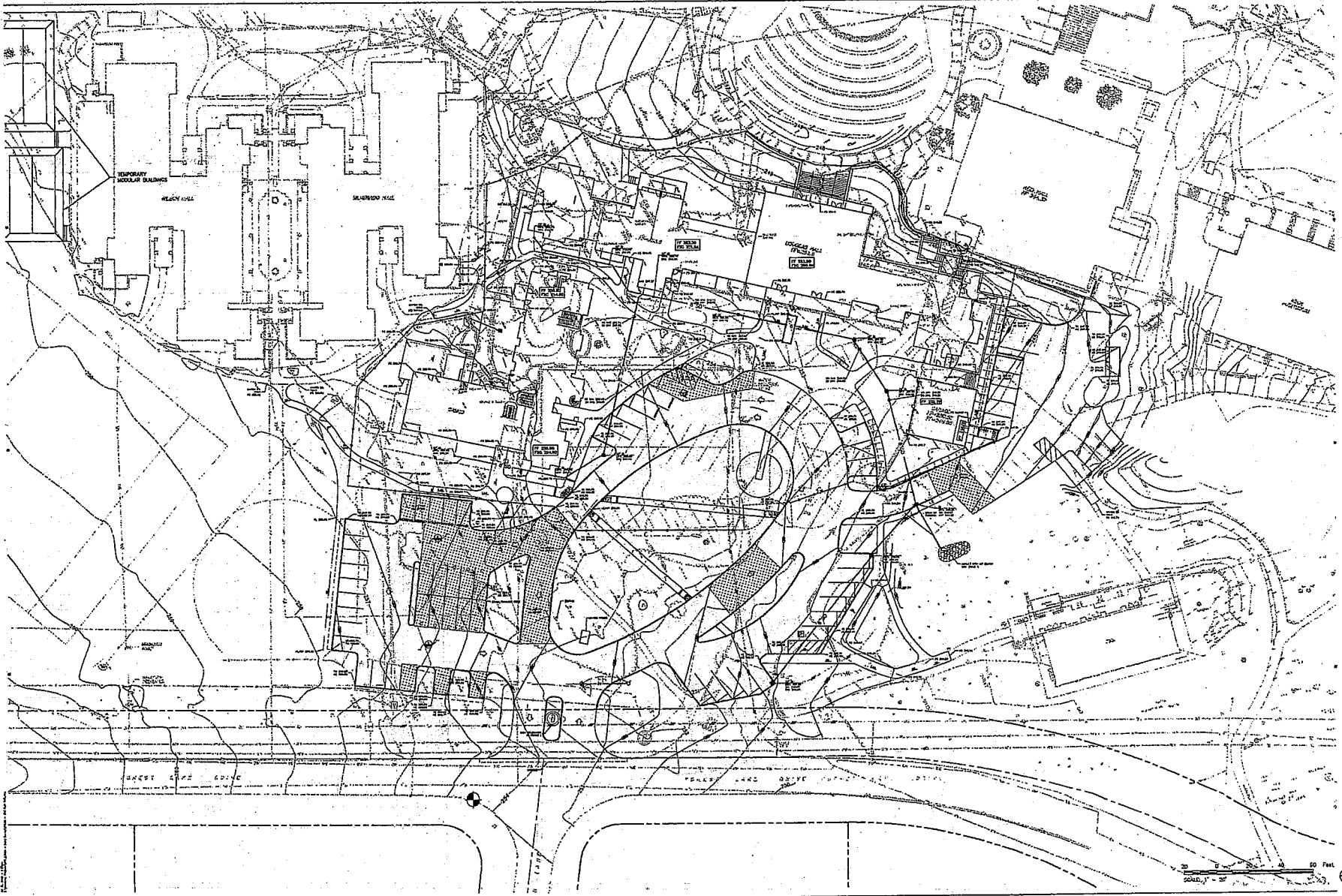
**PAVEMENT LEGEND**

	GRAVEL TEMPORARY PARKING	(1)
	SPECIAL TREATMENT AREA. BRIDGE PREPARATION TO BE DETERMINED DURING CONSTRUCTION. WITH SOIL, GEOLOGICAL, ENGINEER AND FORESTER AT SITE.	(2)
	ASPHALT CONCRETE PAVEMENT	(5)

DATE	BY	REVISION/DESCRIPTION
12/15/20	JWH	FINAL
12/15/20	JWH	ISSUE FOR PERMIT
12/15/20	JWH	REVISED
12/15/20	JWH	REVISED
12/15/20	JWH	REVISED

**CIVIL SITE IMPROVEMENTS PLAN PHASE 1**

C1.02



Casco  
Residences  
& Douglas  
Hall



Stevenson School  
3152 Forest Lake Road  
Pebble Beach, California

Drawn	W. Whitson
Checked	W. Whitson
Reviewed	W. Whitson
Approved	W. Whitson
Date	11/27/12
Scale	AS SHOWN
Project	STEVENSON SCHOOL
Sheet	C2.01

Project	Stevenson School
Location	3152 Forest Lake Road, Pebble Beach, CA 95561
Client	Stevenson School
Contract No.	1207
Revision	01

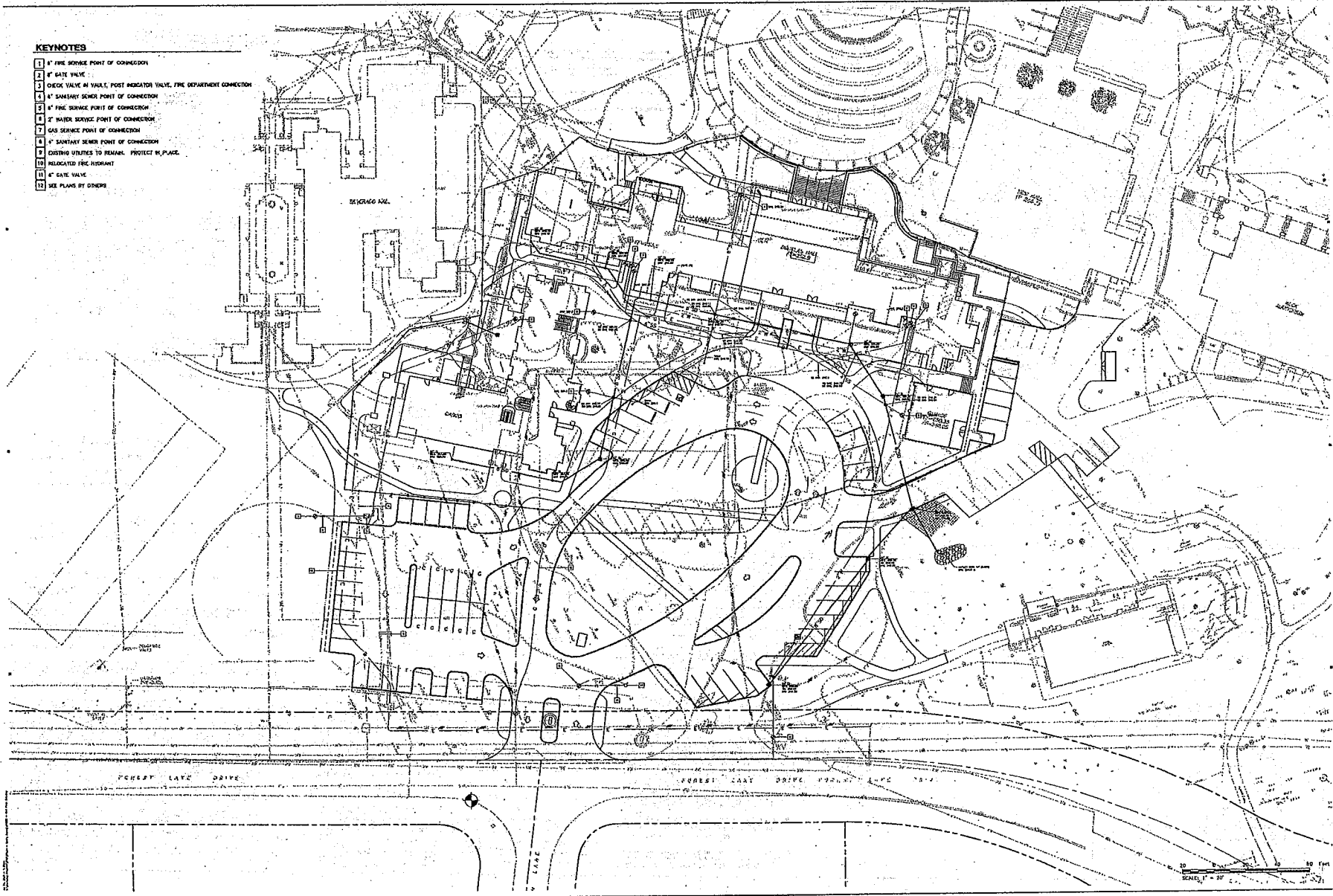
Professional Engineer  
12070 Forest Lake Road, San Francisco, CA 94115  
Phone: (415) 435-1100  
www.whitsonengineers.com

CIVIL SITE  
IMPROVEMENTS  
PLAN  
PHASE 2

C2.01

KEYNOTES

- 1 1" FIRE SERVICE POINT OF CONNECTION
- 2 1" GATE VALVE
- 3 CHECK VALVE AT YARD, POST INDICATOR VALVE, FIRE DEPARTMENT CONNECTION
- 4 1" SANITARY SERVICE POINT OF CONNECTION
- 5 4" FIRE SERVICE POINT OF CONNECTION
- 6 2" WATER SERVICE POINT OF CONNECTION
- 7 GAS SERVICE POINT OF CONNECTION
- 8 1" SANITARY SERVICE POINT OF CONNECTION
- 9 EXISTING UTILITIES TO REMAIN, PROTECT IN PLACE
- 10 4" GATE VALVE
- 11 SEE PLANS BY OTHERS



Casco Residences & Douglas Hall



Stevenson School  
3152 Forest Lake Road  
Pebble Beach, California

Date	Description
14 JULY 2008	NO PRACTICE DRAWINGS
20 JULY 2008	CIVIL/MECHANICAL

Project Number	Sheet
1035	15 OF 15
Contract	Contract No.
1035	1035

Prepared by: R. J. ...  
Checked by: ...  
Approved by: ...

CIVIL SITE UTILITY PLAN

C3.01.



**EROSION CONTROL MEASURES**

1. ALL SURFACE EXPOSURE TO BE EXPOSED DURING GRADING ACTIVITIES SHALL BE PROTECTED AND MAINTAINED THROUGH THE LENGTH OF THE DRAINAGE TO PREVENT AGAINST EROSION.
2. ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OF THE AREA SHALL BE PLANTED UNDER THE PROVISIONS OF SECTION 10.0 TO CONTROL EROSION.
3. THE FOLLOWING PROVISIONS SHALL APPLY BETWEEN OCTOBER 15 AND APRIL 15.
  - a. VEGETATION REMOVAL SHALL BE PROHIBITED BY APPLYING STRAW MULCH AT 2000 LBS. PER ACRE AND ANCHORED BY STAKE-AND-RAPES TO PREVENT WIND-DRIVEN WATER TOOLS FROM THE SITE SHALL BE OBTAINED ON FILLED BY EROSION CONTROL MATS.
  - b. ON EACH BANK TO PREVENT THE ESCAPE OF SEDIMENT FROM THE SITE, THESE BANKSIDE CONTROLS MUST BE MAINTAINED BY THE CONTRACTOR AS NECESSARY TO ACHIEVE THEIR PURPOSE THROUGHOUT THE LIFE OF THE PROJECT. SEE THE SHEET FOR EROSION CONTROL PLAN AND EROSION CONTROL DETAILS.
  - c. EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK.
  - d. ALL EXPOSED SURFACES RESULTING FROM GRADING SHALL BE PREPARED AND MAINTAINED TO CONTROL EROSION BY EFFECTIVE PLANTING SUCH AS FINE GRASS MULCH OF SOME OTHER FAST GERMINATING SEED.
4. AT ALL TIMES DURING CONSTRUCTION AND UNTIL FINAL COMPLETION, THE CONTRACTOR MUST BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES AND TO CONTROL THE FORMATION OF ANY UNDESIRABLE DISTURBANCE BY WINDING AND/OR TRACING THE SITE OF THE WORK IN SUCH A MANNER THAT WILL CAUSE THE LEAST DAMAGE TO THE EXISTING UTILITIES OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE BY DUCT FROM HIS OR HIS SUBCONTRACTOR.
5. THIS PLAN IS INTENDED TO BE USED FOR INITIAL DESIGN AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL DESIGN OR PERMANENT IMPROVEMENTS.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL, PROGRAM, DURING AND AFTER SITE WORK.
7. RESOURCES OVER SHALL BE KEPT WITHIN 50 FEET OF EACH SAND, GRAVEL, STONE, PEBBLE, FLAG OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. SHOULD ANY DRAIN, DITCH OR TRENCH OVER AND OVER ANY PUBLIC OR ADJACENT PRIVATE PROPERTY, AN EROSION CONTROL SHALL LOCATE.
8. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
9. DURING ROAD PAVING SHALL BE KEPT CLEAR OF FRESH MATERIAL AND BEFORE THE SITE SHALL BE MAINTAINED TO AS UNPAVED SURFACE LAYERS PROTECT TO ANY OTHER GRADE. THESE INCLUDES INCLUDING GRAVEL, SAND AND WASH.
10. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED STATE AND LOCAL LAW CONCERNING POLLUTION PREVENTION SHALL BE OBSERVED.
11. CONTRACTOR SHALL PROVIDE BEST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE, AND LOCAL AGENCY REGULATIONS.
12. WITH THE APPROVAL OF THE ENGINEER, EROSION AND SEDIMENT CONTROLS MAY BE REMOVED AFTER AREAS ABOVE THEM HAVE BEEN STABILIZED.

**EROSION CONTROL MAINTENANCE NOTES**

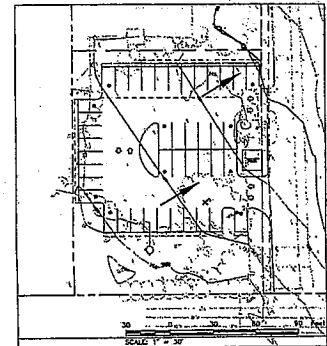
1. MAINTENANCE TO BE PERFORMED AS FOLLOWS:
  - a. TRENCH BANKS EXPOSED BY SOIL EXPOSURE ON CONSTRUCTION AT THE END OF EACH WORKING DAY.
  - b. DRAINS SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
  - c. SEDIMENT TRAPS, ROPS AND STAKES ARE TO BE RECHECKED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
  - d. SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAPS RESTORED TO ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF ONE FOOT.
  - e. SEDIMENT REMOVED FROM THE SLOPE SHALL BE DEPOSITED IN A SUSTAINABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
  - f. ROPS AND STAKES SHALL BE RECHECKED.
2. RISE SIDE SLOPE PROTECTION SHALL BE CLEANED OUT IMMEDIATELY WHEN DEPTH IS ONE HALF THE DEPTH OF ONE FOOT.

**EROSION AND SEDIMENT CONTROL MEASURES**

1. THE FACILITIES SHOWN ON THIS PLAN ARE REQUIRED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON (OCTOBER 15 TO APRIL 15). FACILITIES ARE TO BE REMOVED PRIOR TO OCTOBER 15 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON, WHICH LEAVE EXPOSED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPE.
2. THIS PLAN SHOWS ONLY THE FIRST THREE MONTHS FOLLOWING GRADING WITH ASSIGNED SITE EQUIPMENT AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENTS SHALL BE EVALUATED AND REVISOR'S DRAW TO THIS PLAN AS NECESSARY WITH THE APPROVAL OF THE ENGINEER.
3. CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCES.
4. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS, AND ON OTHER TRACED ONTO PAVED STREETS SHALL BE MAINTAINED DAILY AND AS REQUIRED BY THE COUNTY.
5. APPLY STRAW WITH MULCH TO ALL DISTURBED AREAS AFTER SEEDING. ANOTHER STRAW IN SLOPES IF BROADCASTING IS NOT USED OR IS NOT EFFECTIVE BY OCTOBER 15, THEN OTHER BROADCAST METHODS SHALL BE PRACTICED, SUCH AS EROSION CONTROL, MULCHES, OR A THREE-STEP APPLICATION OF IT SEED, MULCH, TERMINATION.
6. SILT PROTECTION SHALL BE INSTALLED AT OPEN SLOPES TO PREVENT SEDIMENT FROM OVERSLOPING THE STORM DRAIN SYSTEM. MULCHES USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE REMOVED TO PREVENT OBTUSE OF SEDIMENT.
7. EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN BY THE ROLL, WITH THE COUNTY REPRESENTATIVE OF ANY FIELD CHANGES.

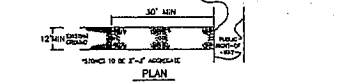
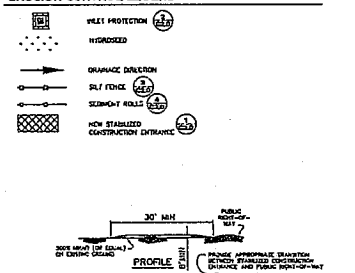
**VEGETATIVE SOIL STABILIZATION MAINTENANCE**

1. MAINTENANCE DURING VEGETATION ESTABLISHMENT SHOULD INCLUDE ROPS AND STAKES IF THE FOLLOWING CONDITIONS ARE OBSERVED:
  - SEED AND/OR MULCH HAVE BEEN DEPLETED.
  - SOIL AND MULCH SHOULD BE INSPECTED PERIODICALLY "SOON DURING AND AFTER RAINFALLS" TO CHECK FOR EROSION. ADDITIONAL MULCH SHOULD BE APPLIED AS NEEDED.
2. RISE AND SLOPE SHOULD BE INSPECTED AFTER RAINFALLS FOR DISINTEGRATION OR FAILURE. IF OTHER SOILS, MULCH OR THE SLOPE OR OTHER SOILS ARE OBSERVED AND THE CONDITIONS REMOVED.
3. THE EROSION CONTROL AND STORM WATER POLLUTION CONTROL MEASURES SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT THE WATER WORKS CONSTRUCTION PERIOD. AT THE END OF THE LAST DAY OF A WORK WEEK OR BEFORE ANY EXTENDED STOPPAGE OF WORK, THE GENERAL CONTRACTOR SHALL INSURE THAT THE MEASURES SHOWN ON THESE PLANS SHALL BE IN PLACE AND SATISFACTORILY INSTALLED TO PREVENT THE INTENDED PROTECTING. AFTER EACH RAIN, THE GENERAL CONTRACTOR SHALL INSURE THAT THE MEASURES SHOWN ON THESE PLANS SHALL BE IN PLACE AND SATISFACTORILY INSTALLED TO PREVENT THE INTENDED PROTECTING. AFTER EACH RAIN, THE GENERAL CONTRACTOR SHALL INSURE THAT THE MEASURES SHOWN ON THESE PLANS SHALL BE IN PLACE AND SATISFACTORILY INSTALLED TO PREVENT THE INTENDED PROTECTING. AFTER EACH RAIN, THE GENERAL CONTRACTOR SHALL INSURE THAT THE MEASURES SHOWN ON THESE PLANS SHALL BE IN PLACE AND SATISFACTORILY INSTALLED TO PREVENT THE INTENDED PROTECTING.



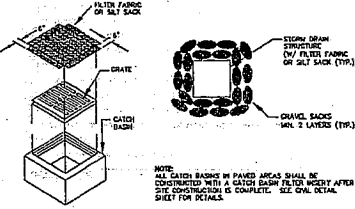
**A EROSION CONTROL PLAN - PARKING LOT**  
SCALE 1"=20'

**EROSION CONTROL LEGEND**



**MAINTENANCE**  
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FURNING SEDIMENT INTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT ANY WEARERS NEED TO TRAP SEDIMENT.  
- ALL SEDIMENT TRAPS, CATCHER, WASHES OR TRAP ON PUBLIC RIGHTS-OF-WAY SHALL BE KEPT OPENED.  
- WHEN NECESSARY, MULCH SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE INTO PUBLIC RIGHTS-OF-WAY. THIS SHALL BE DONE AT AN AREA STABILIZED WITH GROUND STONE, WHICH DRAIN INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BAGS.

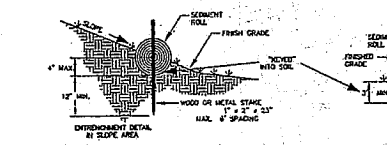
**1 CONSTRUCTION ENTRANCE**  
NO SCALE



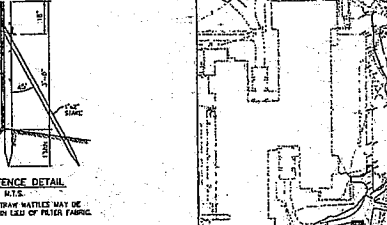
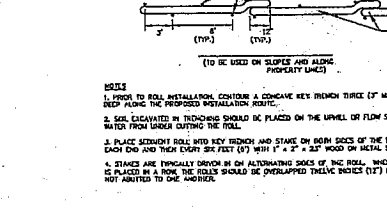
**2 FABRIC SILT PROTECTION**  
NO SCALE

NOTE: ALL CATCH BASINS IN PAVED AREAS SHALL BE CONSTRUCTED WITH A CATCH BASIN. SEE CIVIL DETAIL SHEET FOR DETAILS.

**3 SILT FENCE DETAIL**  
NO SCALE



**4 SEDIMENT ROLL DETAILS**  
NO SCALE



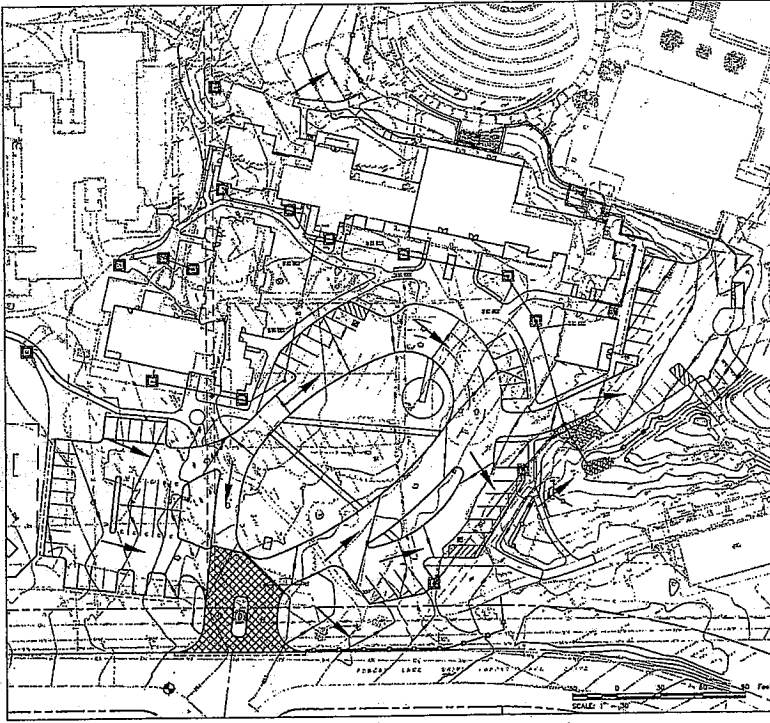
NOTE: STRAW MATS MAY BE PLACED IN LEE OF SILT FENCE.

**5 SILT FENCE DETAIL**  
NO SCALE



(TO BE USED ON SLOPE AND ALONG PROPERTY LINES)

- NOTES**
1. PRIOR TO ROLL INSTALLATION, CONSIDER A CONCAVE KEY TRENCH THREE (3") MAX. TO FOUR (4") INCHES MAX. DEEP ALONG THE PROPOSED INSTALLATION ROUTE.
  2. SOIL CALCULATED IN TRENCHING SHOULD BE PLACED ON THE UPWELL OR FLOW SIDE OF THE ROLL TO PREVENT WATER FROM UNDER CUTTING THE ROLL.
  3. PLACE SEDIMENT ROLL WITH KEY TRENCH AND STAKE ON BOTH SIDES OF THE ROLL TO WITHIN SIX FEET (6') OF EACH END AND THEN EVERY SIX FEET (6') WITH IT A 2" x 2" PILE OF NATURAL STAKES.
  4. STAKES ARE TYPICALLY DRIVEN IN ON ALTERNATING SIDES OF THE ROLL, WHO MORE THAN ONE SEDIMENT ROLL IS PLACED IN A ROW, THE ROLLS SHOULD BE OVERLAPPED THIRTY INCHES (12") MAX. TO PREVENT A TIGHT JOINT, NOT ADJACENT TO THE JOINTS.



**B EROSION CONTROL PLAN**  
SCALE 1"=20'

Casco Residences & Douglas Hall  
WE  
WHITSON ENGINEERS



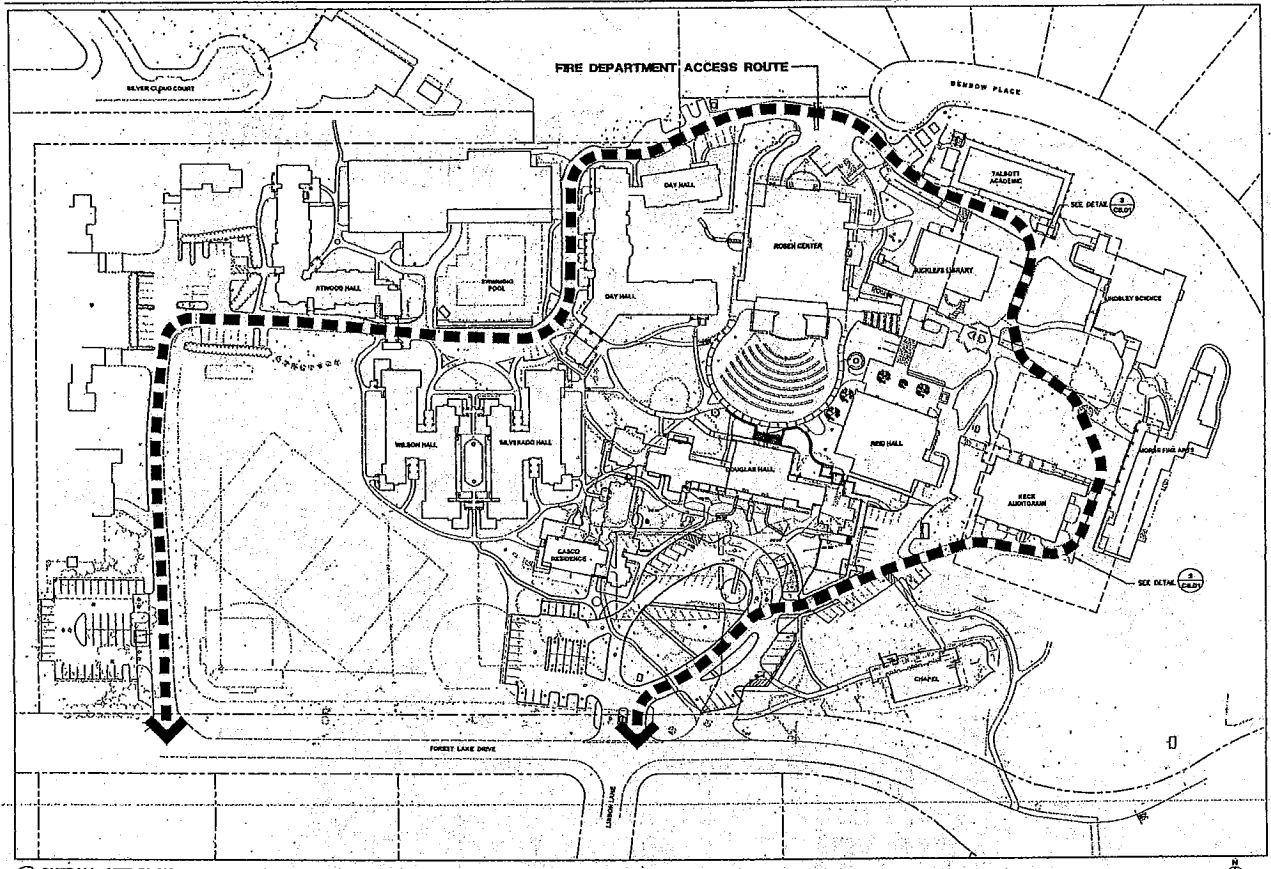
Stevenson School  
3152 Forest Lake Road  
Pebble Beach, California

DATE	DESCRIPTION
11/11/10	PRELIMINARY
11/11/10	REVISED
11/11/10	REVISED
11/11/10	REVISED

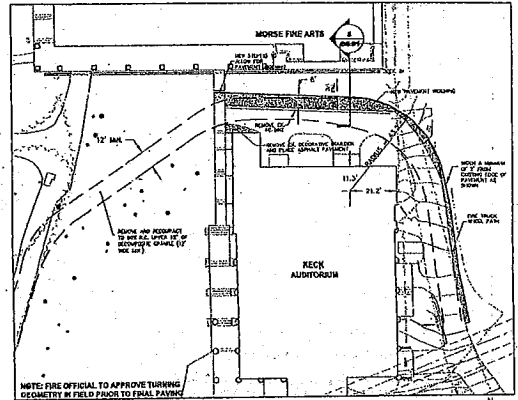
DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE
APPROVED BY	DATE
PROJECT NO.	
CLIENT	
LOCATION	
SCALE	
DATE	

EROSION CONTROL PLAN

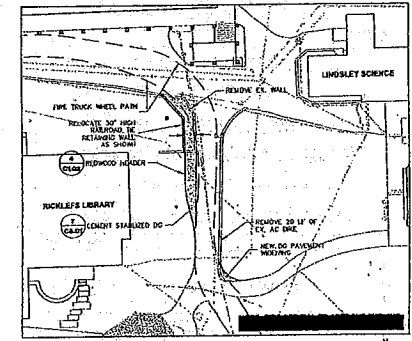
C4.01



1 OVERALL SITE PLAN  
SCALE: 1" = 30'



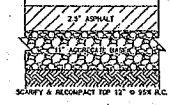
2 ENLARGED SITE PLAN - KECK  
SCALE: 1" = 30'



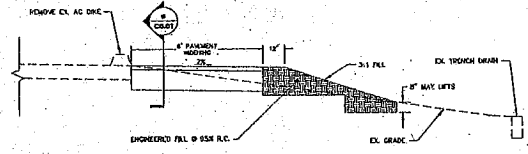
3 ENLARGED SITE PLAN - RICKLEFS  
SCALE: 1" = 30'



4 CEMENT STABILIZED DG SECTION  
NOT TO SCALE



5 ASPHALT PAVEMENT SECTION  
NOT TO SCALE



6 PAVEMENT SECTION  
NOT TO SCALE

**FIRE OFFICIAL APPROVAL**  
THE FIRE DEPARTMENT OFFICIAL SHALL BE  
FURNISHED IN CONNECTION WITH THE  
CASCO RESIDENCES AND DOUGLAS HALL  
PROJECT

DATE: \_\_\_\_\_  
SIGNATURE: \_\_\_\_\_  
TITLE: \_\_\_\_\_

Casco  
Residences  
& Douglas  
Hall

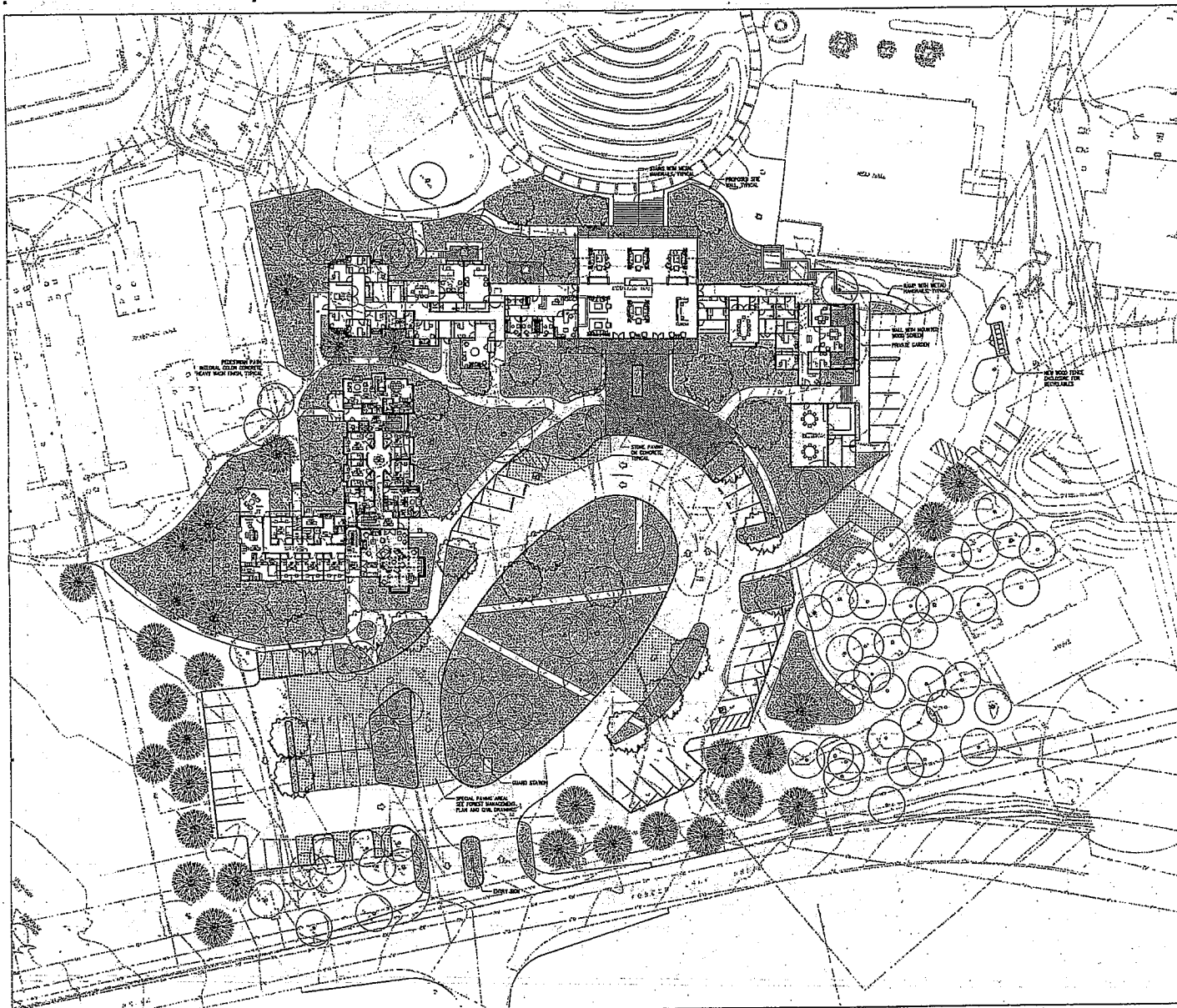
**WE**  
WHITSON ENGINEERS



Stevenson School  
3152 Forest Lake Road  
Pebble Beach, California

**EXHIBIT-**  
FIRE ACCESS  
IMPROVEMENTS

C5.01



SHRUBS AND GROUND COVERS:	
SYMBOL	DESCRIPTION
	EXISTING TREE
	PROPOSED CONIFER SPECIES. SPECIES TO BE ADAPTIVE TO SITE CONDITIONS AND MATCH CHARACTER OF EXISTING CONIFERS.
	PROPOSED EVERGREEN AND DECIDUOUS SPECIES. SPECIES TO BE ADAPTIVE TO SITE CONDITIONS AND MATCH CHARACTER OF EXISTING TREES.
SHRUBS AND GROUND COVERS:	
SYMBOL	DESCRIPTION
	DROUGHT-TOLERANT WOODS GRASS COVER AND SHRUBS. ALL SPECIES TO BE ADAPTIVE TO SITE CONDITIONS. CHARACTER OF SPECIES TO MATCH EXISTING SITE PLANTING.
	DROUGHT-TOLERANT SOD.
HARDSCAPE MATERIALS:	
SYMBOL	DESCRIPTION
	STONE PAVING WITH CONCRETE BASE
GENERAL NOTES	
<ol style="list-style-type: none"> <li>1. ALL PEDESTRIAN CIRCULATION ROUTES ARE UNIVERSALLY ACCESSIBLE AS PER ADA REQUIREMENTS. ALL PATHS ARE 2% MAXIMUM LONGITUDINAL SLOPE AND CROSS SLOPE.</li> <li>2. SAWCUT EXISTING WALKWAYS TO MATCH PROPOSED GRADES AND WALKWAYS.</li> <li>3. ALL PEDESTRIAN WALKWAYS ARE TO BE CONCRETE WITH INTEGRAL COLOR WITH A HEAVY WASH FINISH UNLESS OTHERWISE SPECIFIED AS STONE.</li> <li>4. THE LANDSCAPE PLAN SHALL BE IN CONFORMANCE WITH TITLE 20 SECTION 20217 FOR COVERAGE AND DROUGHT-TOLERANT PLANTING REQUIREMENTS.</li> <li>5. THE EXTERIOR LIGHTING SHALL BE IN CONFORMANCE WITH TITLE 20 SECTION 20217.06 FOR LOW LEVEL, NON-GLARE LIGHTING.</li> <li>6. REFER TO CIVIL DRAWINGS AND THE FOREST MANAGEMENT PLAN FOR SPECIAL PAVING AREAS SURROUNDING EXISTING TREES.</li> </ol>	
PLANTING NOTES	
<ol style="list-style-type: none"> <li>1. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FINISHED GRADES IN PLANTING AREAS AND FOR ANY FINE GRADING REQUIRED FOR SURFACE DRAINAGE AND GRADE UNIFORMITY. FINISHED GRADES OF ALL PLANTING AREAS SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.</li> <li>2. CONTRACTOR SHALL LAYOUT TREES IN PLANTING AREAS FOR LANDSCAPE ARCHITECT'S PRELIMINARY REVIEW PRIOR TO INSTALLING TREES.</li> <li>3. FINAL TREE LAYOUT WILL BE UNDER THE SUPERVISION OF THE LANDSCAPE ARCHITECT.</li> </ol>	

**Casco Residence & Douglas Hall**

**CMG**  
CONCEPTUAL DESIGN AND PRELIMINARY DESIGN SERVICES

---

**Stevenson School**  
 3152 Forest Lake Road  
 Pismo Beach, California

---

10 July 2011 - Preliminary Plan  
 11 July 2011 - Landscape Plan  
 Date: 10/10/11  
 Project No.: 110  
 Author: [Name]  
 Designer: [Name]

---

Professional Seal  
 11 Stevenson Lane, San Francisco, CA 94104  
 Telephone: 415 398 5282  
 Fax: 415 398 5283  
 www.conceptualdesign.com

**LANDSCAPE CONCEPT SITE PLAN**

**L.0.01**



SHEET C5.01  
FOR FIRE DEPT.  
REQUIREMENTS  
REGARDING E.V.  
ACCESS TO THIS  
CAMPUS AREA

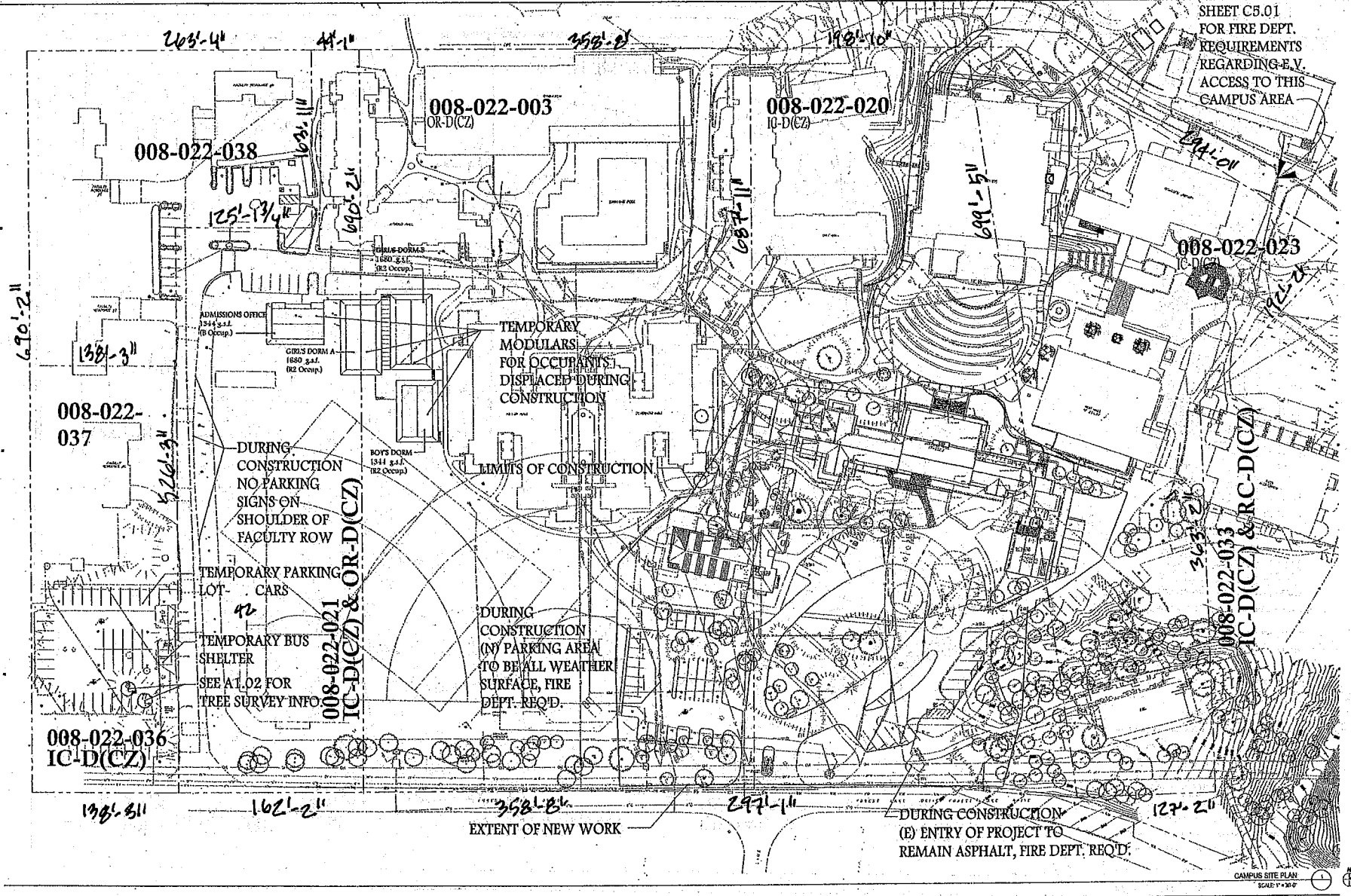
Casco  
Residence  
& Douglas  
Hall

Hornberger  
[Logo]  
[Logo]

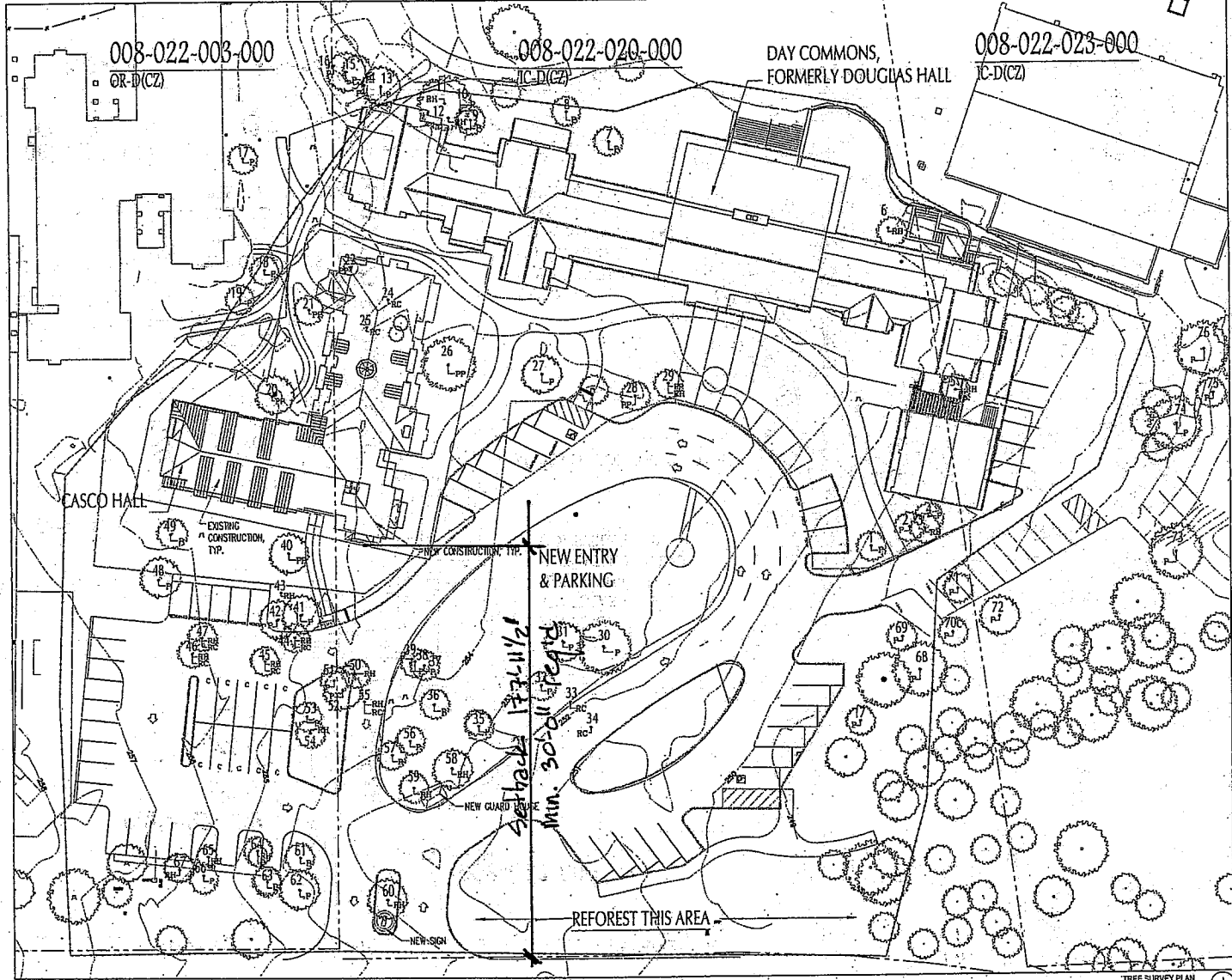
Stevenson School  
3152 Forest Lake Road  
Pebble Beach, California

CAMPUS SITE  
PLAN

A1.01



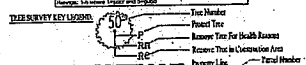
CAMPUS SITE PLAN  
SCALE: 1" = 30'



**PROJECT DATA TABLE:**

1. Ordinance: Title 20 - General Ordinance Plan
2. Zoning: IC-D(CZ), 08-D(CZ) See Adjacent Plan for Zoning Designation at Each Parcel
3. Type of Permit Request: For Permanent Construction Proposed See Sheet A1.02
4. Permit/Use Affidavit: For Temporary Construction Proposed See Sheet A1.01
5. Lot Size: 008-022-020-000 (24,191.52 sq ft)  
008-022-020-001 (171,077.15 sq ft)  
008-022-020-002 (122,962.01 sq ft)
6. Building Site Coverage: 45% Allowed
7. Height Limits: 35 Ft. Max. (C) 30 Ft. Max. (DR)
8. Grading Quantity: See Sheet C1.00
9. Proposed Tree Removal: See Sheet A1.01, A1.02 and Tree Removal Table: Attached Small Format Report included and dated July 30, 2008 for complete description and recommendations for forest management.
10. Permitted/Approvable Coverage: 008-022-020-000 008-022-020-001 008-022-020-002  
34% 44% 50%  
30% 30% 30%
11. Parking: 67 Spaces See Traffic Report Dated 30 July 2008 For Complete Walk Parking Data.
12. Proposed Landscaping: See Sheet L1.01
13. Inundation/Flood Criteria: Project Site is Not Subject To Inundation or 100 Year Flood Levels.
14. Archeology: See Archeological Consulting Report included and dated April 9, 1999, February 27, 1992 and 4 May 3, 2008.
15. Historical Considerations: See Page 8, Traffic Report included and dated 30 July 2008.
16. Traffic Impact: See Traffic & Accessory Report included and dated 30 July 2008.

Tree ID	Species	DBH (in)	Height (ft)	Health	Location
15	...	...	...	...	...
16	...	...	...	...	...
17	...	...	...	...	...
18	...	...	...	...	...
19	...	...	...	...	...
20	...	...	...	...	...
21	...	...	...	...	...
22	...	...	...	...	...
23	...	...	...	...	...
24	...	...	...	...	...
25	...	...	...	...	...
26	...	...	...	...	...
27	...	...	...	...	...
28	...	...	...	...	...
29	...	...	...	...	...
30	...	...	...	...	...
31	...	...	...	...	...
32	...	...	...	...	...
33	...	...	...	...	...
34	...	...	...	...	...
35	...	...	...	...	...
36	...	...	...	...	...
37	...	...	...	...	...
38	...	...	...	...	...
39	...	...	...	...	...
40	...	...	...	...	...
41	...	...	...	...	...
42	...	...	...	...	...
43	...	...	...	...	...
44	...	...	...	...	...
45	...	...	...	...	...
46	...	...	...	...	...
47	...	...	...	...	...
48	...	...	...	...	...
49	...	...	...	...	...
50	...	...	...	...	...
51	...	...	...	...	...
52	...	...	...	...	...
53	...	...	...	...	...
54	...	...	...	...	...
55	...	...	...	...	...
56	...	...	...	...	...
57	...	...	...	...	...
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59	...	...	...	...	...
60	...	...	...	...	...
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62	...	...	...	...	...
63	...	...	...	...	...
64	...	...	...	...	...
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68	...	...	...	...	...
69	...	...	...	...	...
70	...	...	...	...	...
71	...	...	...	...	...
72	...	...	...	...	...



008-022-023

Casco Residence & Douglas Hall

Hornberger  
+  
Worster

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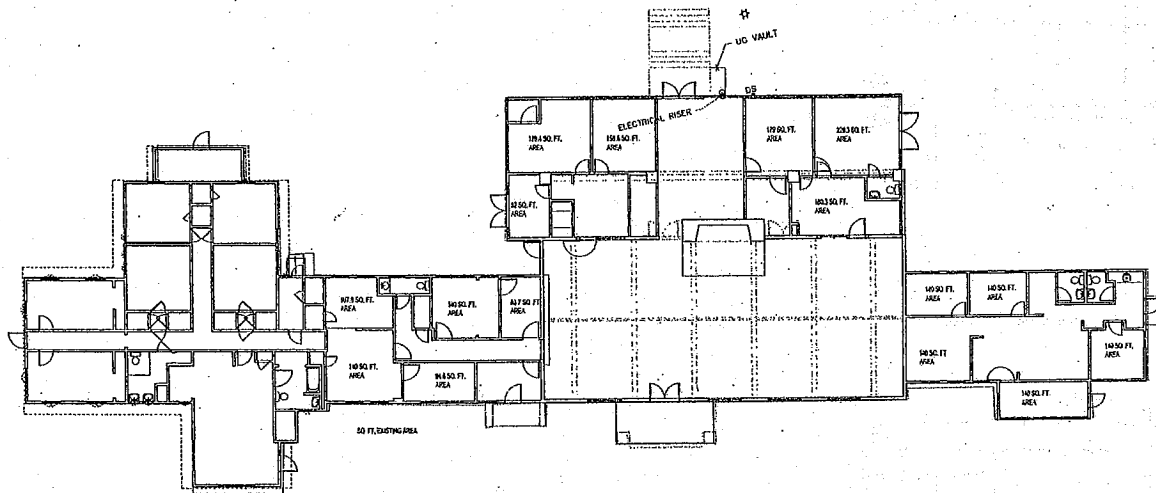
Stevenson School  
3152 Forest Lake Road  
Plebe Beach, California

---

SITE PLAN

A1.02





Casco  
Residence  
& Douglas  
Hall

Hörnberger

W 07/25/11

Stevenson School  
3152 Forest Lake Road  
Pebble Beach, California

10 JUL 2008	Continued Package
13 JUL 2008	Informational
DATE	DESCRIPTION
PROJECT NO.	140-1712
CLIENT	Stevenson School
SCALE	1/8" = 1'-0"

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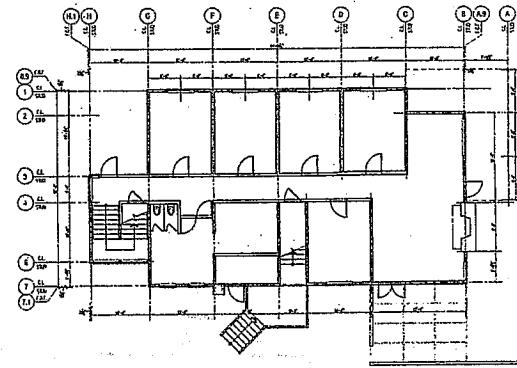
DOUGLAS HALL  
EXISTING PLAN

DOUGLAS HALL EXISTING BUILDING PLAN  
SCALE: 1/8" = 1'-0"

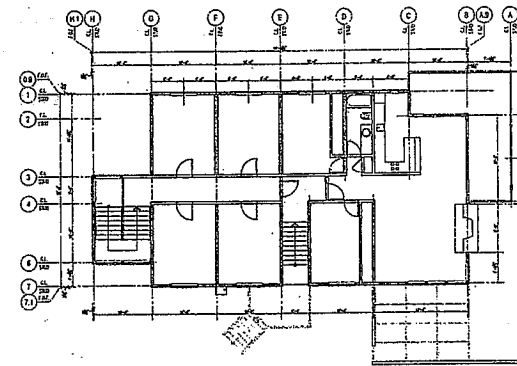
Casco  
Residence  
& Douglas  
Hall

Hornberger

Worstell



1st FLOOR CASCO EXISTING PLAN



2nd FLOOR CASCO EXISTING PLAN

DO NOT SCALE

CASCO HALL EXISTING BUILDING PLANS  
SCALE: 1/8" = 1'-0"

Stevenson School  
3152 Forest Lake Road  
Pebble Beach, California

DATE: 01/20/10

PROJECT: Stevenson School

LOCATION: Pebble Beach, CA

SCALE: 1/8" = 1'-0"

DATE: 01/20/10

PROJECT: Stevenson School

LOCATION: Pebble Beach, CA

SCALE: 1/8" = 1'-0"

DATE: 01/20/10

PROJECT: Stevenson School

LOCATION: Pebble Beach, CA

SCALE: 1/8" = 1'-0"

DATE: 01/20/10

PROJECT: Stevenson School

LOCATION: Pebble Beach, CA

SCALE: 1/8" = 1'-0"

DATE: 01/20/10

PROJECT: Stevenson School

LOCATION: Pebble Beach, CA

SCALE: 1/8" = 1'-0"

DATE: 01/20/10

PROJECT: Stevenson School

LOCATION: Pebble Beach, CA

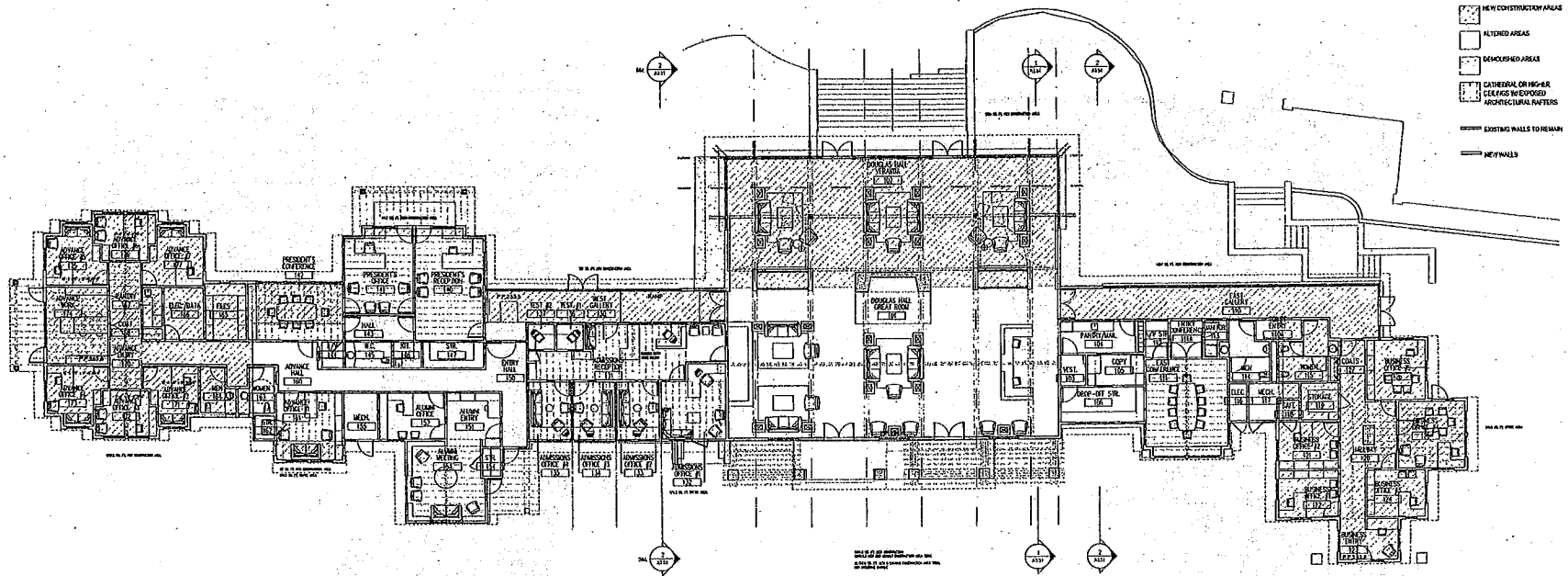
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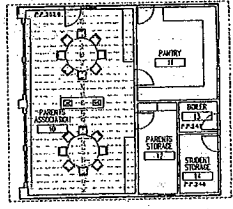
PROJECT: Stevenson School

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& Douglas  
Hall

Hornberger  
+  
Worstell



- GRAPHIC LEGEND**
- NEW CONSTRUCTION AREAS
  - ALTERED AREAS
  - DEMOLISHED AREAS
  - CANTERVAL OR IMPER. CEILING TO BE EXPOSED ARCHITECTURAL RAFTERS
  - EXISTING WALLS TO REMAIN
  - NEW WALLS



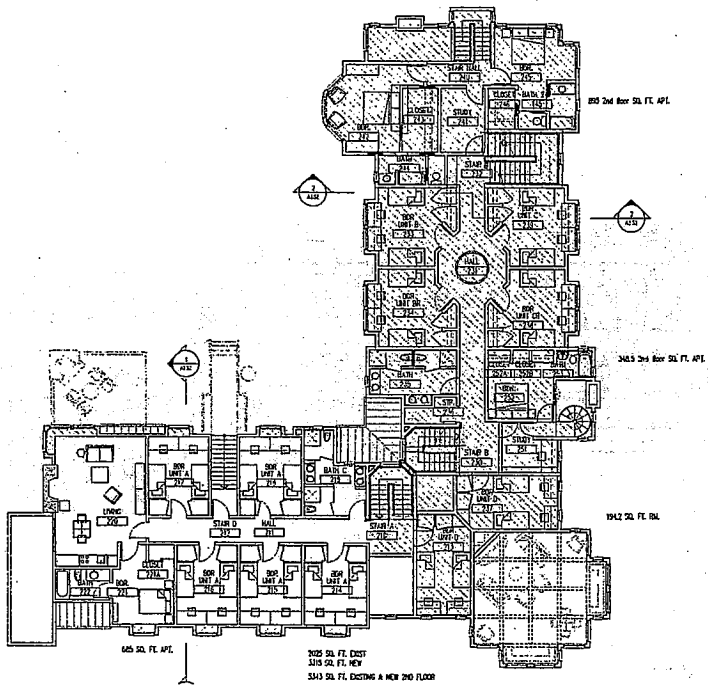
DOUGLAS HALL  
SCALE: 1/8" = 1'-0"

Stevenson School  
3152 Forest Lake Road,  
Pebble Beach, California

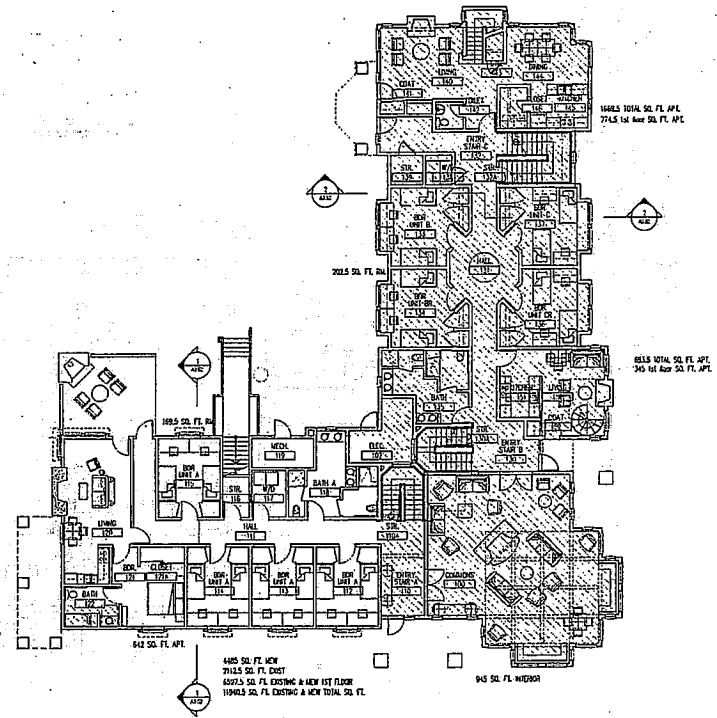
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Client	Stevenson School
Date	10/10/08
Scale	1/8" = 1'-0"
Sheet	A2.03
Project	Stevenson School
Location	Pebble Beach, CA
Architect's License No.	12100
Architect's Address	12100
Architect's Phone	415 963 1117
Architect's Website	www.hornbergerworstell.com

DOUGLAS  
HALL PLAN

- GRAPHIC LEGEND
- NEW CONSTRUCTION AREAS
  - ALTERED AREAS
  - DEADENED AREAS
  - CANTHEDRAL OR HIGHER CEILINGS W/ EXPOSED ARCHITECTURAL RAFTERS
  - EXISTING WALLS TO REMAIN
  - NEW WALLS



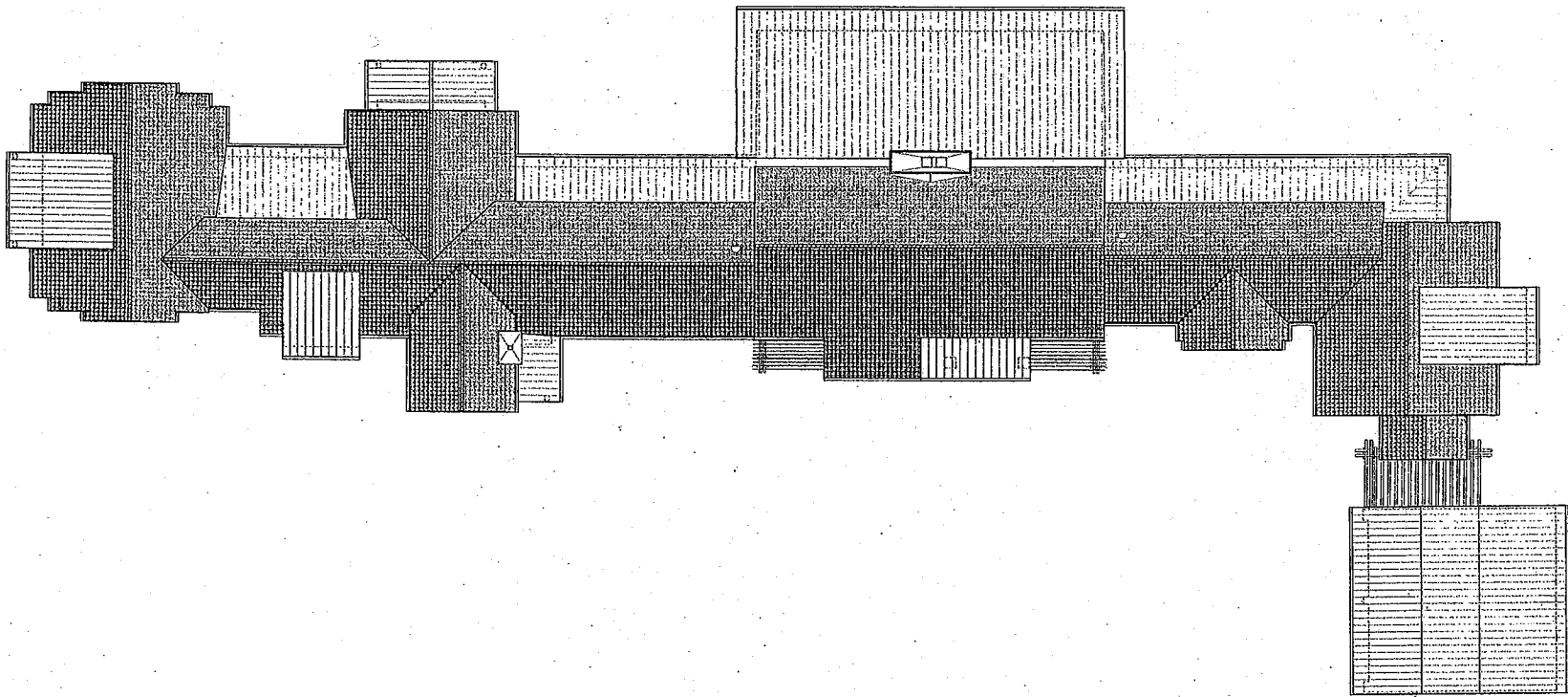
CASCO HALL SECOND FLOOR  
SCALE: 1/8" = 1'-0"



CASCO HALL FIRST FLOOR  
SCALE: 1/8" = 1'-0"

NO.	DATE	DESCRIPTION
1	11/13/2007	Issued for Permit
2	01/14/2008	Revised
3	02/15/2008	Final

Prepared by: [Name]  
Checked by: [Name]  
Designed by: [Name]  
Scale: 1/8" = 1'-0"



DOUGLAS HALL ROOF PLAN  
SCALE: 1/8" = 1'-0"

Casco  
Residence  
& Douglas  
Hall

Hornberger

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Stevenson School  
3152 Forest Lake Road  
Pebble Beach, California

Date	By	Checked/Revised
11 MAY 2009	ES	ES
11 JAN 2009	ES	ES

Project Name: South  
 Project No.: 0804-020  
 Drawing No.: 0804-020  
 Scale: As Shown  
 Date: 11/11/08

Prepared by: ES  
 Checked by: ES  
 Drawn by: ES  
 Date: 11/11/08

Project Manager: ES  
 1700 Main Street, Suite 100, San Francisco, CA 94103  
 Phone: 415.774.1100  
 Fax: 415.774.1101  
 www.hornberger.com

DOUGLAS  
HALL  
ROOF PLAN

A2.05

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Hall

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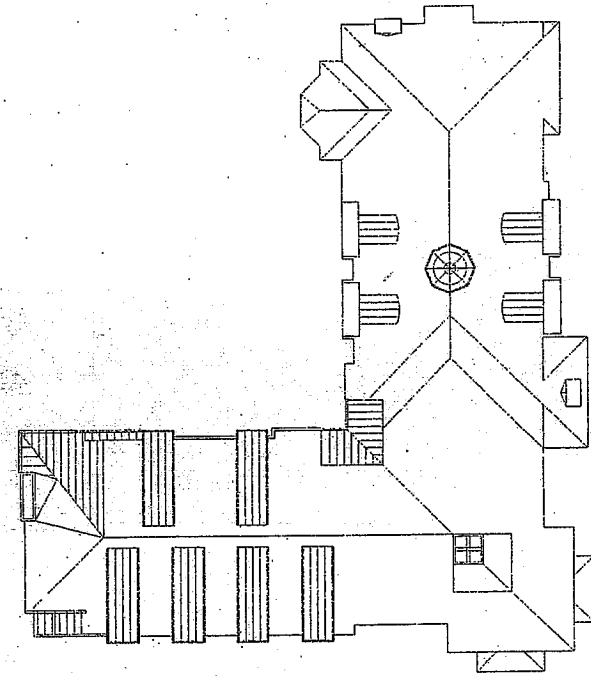
Stevenson School  
3152 Forest Lake Road  
Pebble Beach, California

DR	ASST/PR	Architect/Printer
11	ASST/PR	Schedule/Deadline
Date	Issued/Revised	
Project/Location	Scale	
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Quantity	Quantity	
VS	IS	

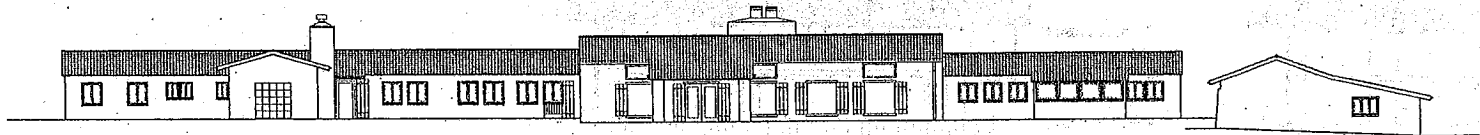
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Telephone: 415.399.8913  
www.hornberger.com

CASCO  
RESIDENCES  
ROOF PLAN

A2.06



CASCO HALL ROOF PLAN  
SCALE: 1/8" = 1'-0"



DOUGLAS HALL EXISTING SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



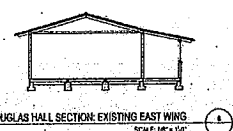
DOUGLAS HALL EXISTING NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

DOUGLAS HALL EXISTING WEST ELEVATION  
SCALE: 1/8" = 1'-0"

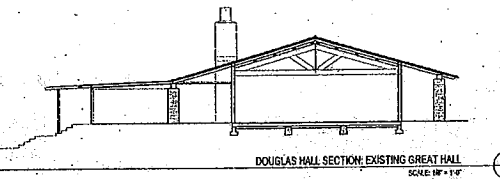
DOUGLAS HALL EXISTING EAST ELEVATION  
SCALE: 1/8" = 1'-0"



DOUGLAS HALL SECTION: EXISTING WEST WING  
SCALE: 1/8" = 1'-0"



DOUGLAS HALL SECTION: EXISTING EAST WING  
SCALE: 1/8" = 1'-0"



DOUGLAS HALL SECTION: EXISTING GREAT HALL  
SCALE: 1/8" = 1'-0"



DOUGLAS HALL GARAGE: EAST-WEST SECTION  
SCALE: 1/8" = 1'-0"



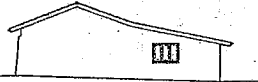
DOUGLAS HALL GARAGE: WEST ELEVATION  
SCALE: 1/8" = 1'-0"



DOUGLAS HALL GARAGE: EAST ELEVATION  
SCALE: 1/8" = 1'-0"



DOUGLAS HALL GARAGE: NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



DOUGLAS HALL GARAGE: SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

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& Douglas  
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3152 Forest Lake Road  
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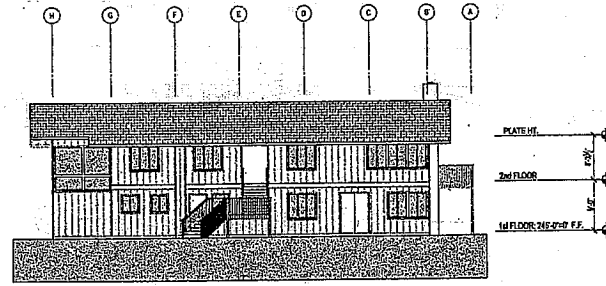
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11.20.07	JAW	Final Section
11.20.07	JAW	Final Garage

DOUGLAS HALL  
EXISTING  
SECTIONS &  
ELEVATIONS

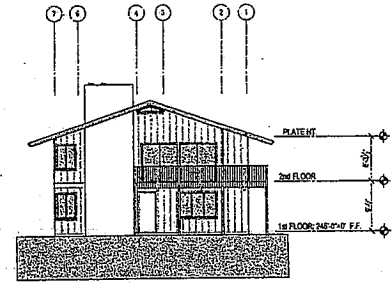
Casco  
Residence  
& Douglas  
Hall

Hornberger

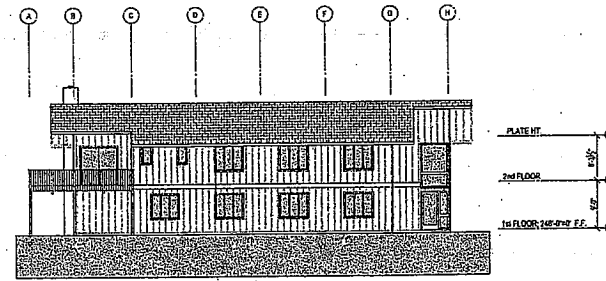
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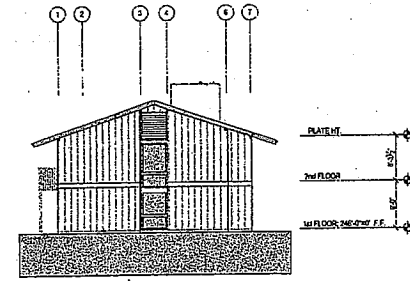
CASCO HALL EXISTING NORTH ELEVATION  
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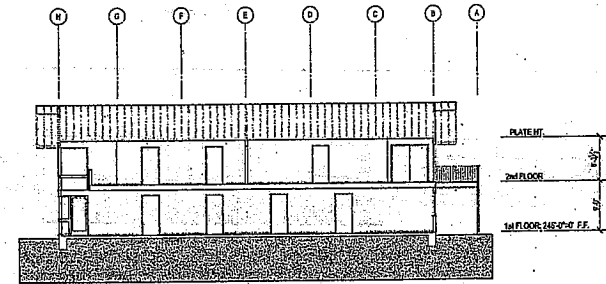
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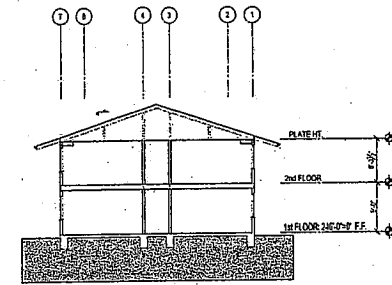
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CASCO HALL EXISTING EAST ELEVATION  
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CASCO HALL EXISTING EAST-WEST SECTION  
SCALE: 1/8" = 1'-0"



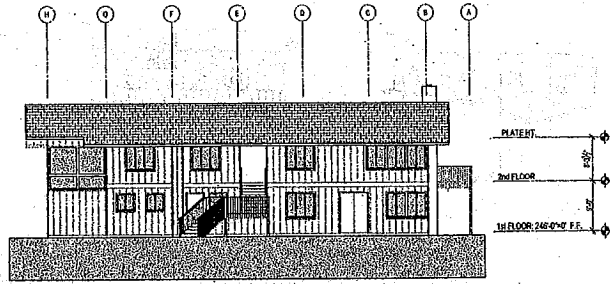
CASCO HALL EXISTING NORTH-SOUTH SECTION  
SCALE: 1/8" = 1'-0"

Stevenson School  
3152 Forest Lake Road  
Pebble Beach, California

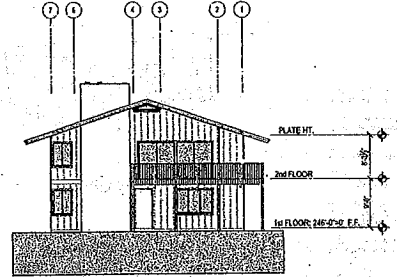
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11.14.1988	Revisions
11.14.1988	Revisions

CASCO HALL  
EXISTING  
SECTIONS &  
ELEVATIONS

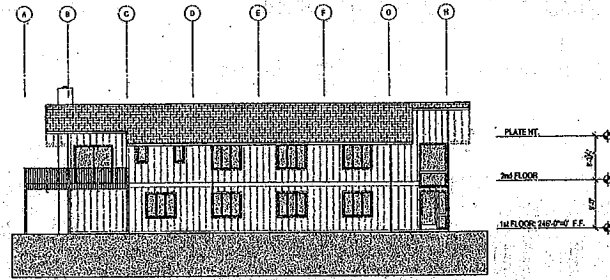




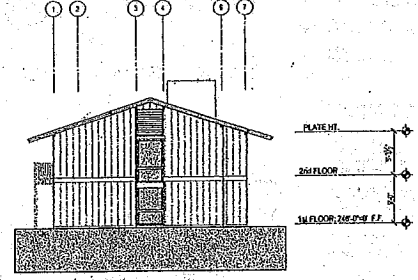
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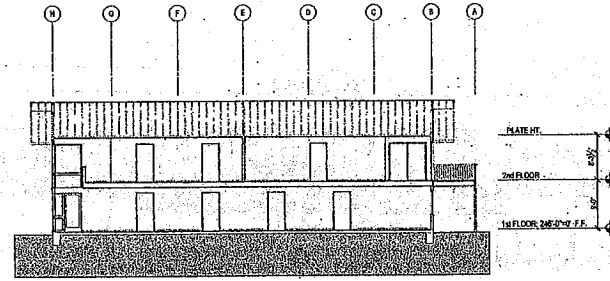
CASCO HALL EXISTING WEST ELEVATION  
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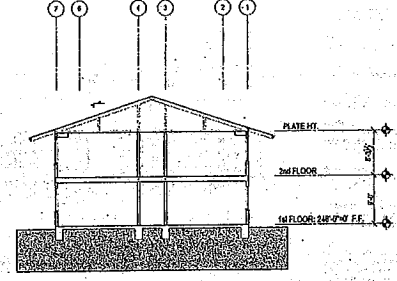
CASCO HALL EXISTING SOUTH ELEVATION  
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CASCO HALL EXISTING EAST ELEVATION  
SCALE: 1/4" = 1'-0"



CASCO HALL EXISTING EAST-WEST SECTION  
SCALE: 1/4" = 1'-0"



CASCO HALL EXISTING NORTH-SOUTH SECTION  
SCALE: 1/4" = 1'-0"

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& Douglas  
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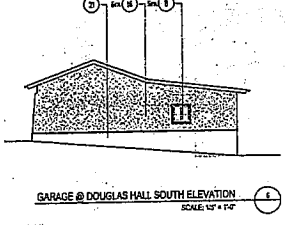
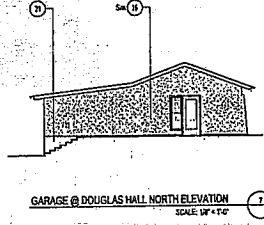
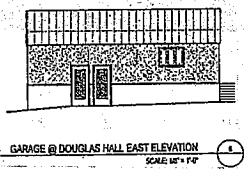
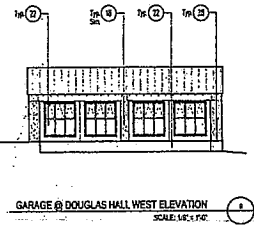
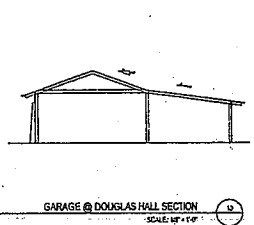
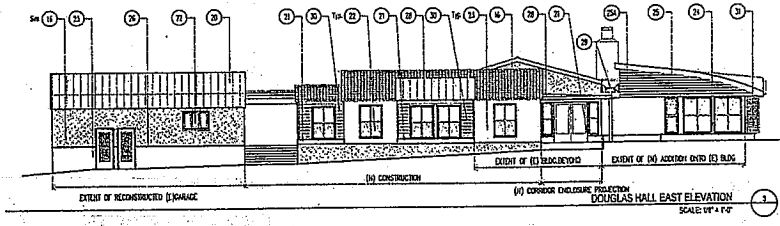
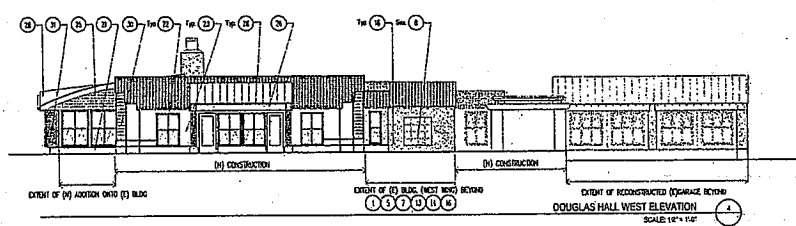
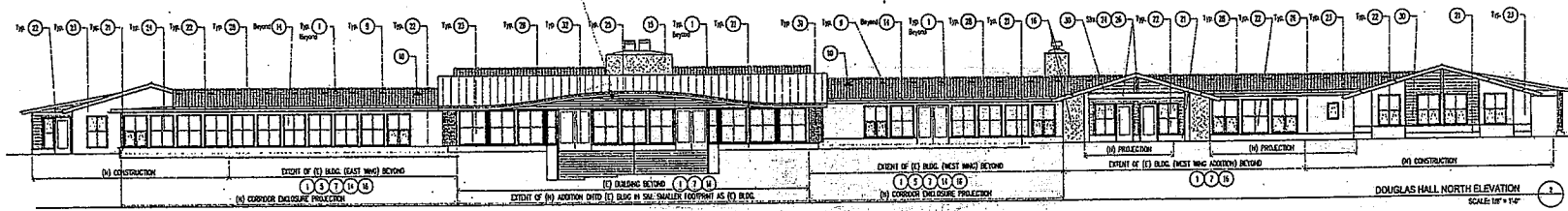
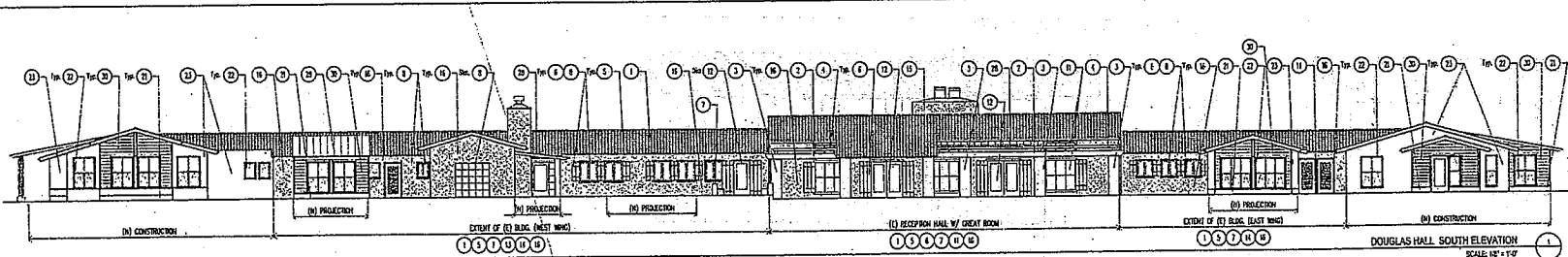
Worstell

Stevenson School  
3152 Forest Lake Road  
Pueblo Beach, California

DATE	DESCRIPTION
12/20/08	Submittal Package
08/20/09	Revised Comments
09/10/09	Revisions
09/10/09	Final

Project Number: 0807  
 Project Name: CASCO HALL  
 Project Site: Casco, CA  
 Architect: HORNBERGER WORSTELL ARCHITECTS  
 3152 Forest Lake Road, Suite 100  
 Pueblo Beach, CA 94648  
 Phone: 531.841.9432  
 www.hornbergerworstell.com

CASCO HALL  
EXISTING  
SECTIONS &  
ELEVATIONS



**MATERIAL KEY NOTES**

**HISTORICAL MEASURES**

- 1 REMOVE EXISTING TILE PATIENGE, INSTALL PLYWOOD SUBFLOOR, INSTALL 1/2\"/>
- 2 RELOCATED #2 x 4 BATTENS FROM ORIGINAL VERANDA ON NORTH SIDE REVISED AS TRUSS BRACES.
- 3 RELOCATED #2 x 4 BATTENS FROM ORIGINAL VERANDA ON NORTH SIDE.
- 4 RELOCATED #2 x 4 BATTENS FROM ORIGINAL VERANDA ON NORTH SIDE REVISED AS TRUSS BRACES.
- 5 REPAIR/REFURISH (R) RAFTER TAILS AS FEELT.
- 6 REPAIR/REFURISH (R) V.D. BATTENS.
- 7 REPAIR/REFURISH (R) CHECK WALLS.
- 8 REPAIR/REFURISH (R) CEMENTWOODS.
- 9 INSTALL NYLON STRIPS ON NORTH SIDE OF ROOF CRAY (BLACKENED COPPER).
- 10 INSTALL NYLON STRIPS ON NORTH SIDE OF ROOF CRAY.
- 11 REMOVE (R) PLATE GLASS FROM REFRIGERATOR - INSTALL WITH MOUTH PINE TRUCK CRAYED FRAME WINDOWS.
- 12 REMOVE DOORS TO REPLICATE ORIGINAL DOORS.
- 13 REPAIR/REFURISH (R) WEST WING AT ORIGINAL LEVEL, 1/4\"/>
- 14 EXTERIOR FINISHES REQUIRED WHERE POSSIBLE. EXTERIOR FINISHES SHALL BE REFINISHED AS MUCH AS POSSIBLE.
- 15 (R) HIGH STAIN RESISTANT AROUND HEARTH SHALL BE CONCEALED, FINISH TO MATCH EXISTING OR ORIGINAL FINISH.
- 16 PAINT/PAINTER/REFURISH (R) CEM PLASTER AS REQUIRED.

**OTHER MEASURES**

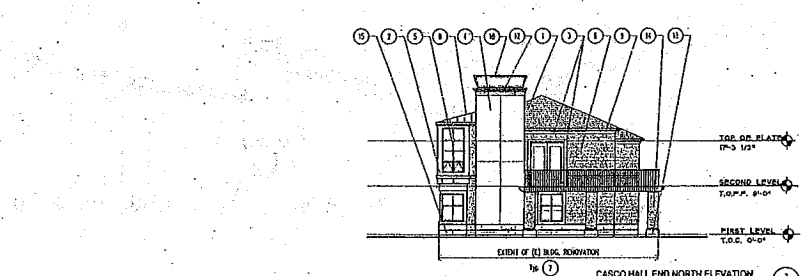
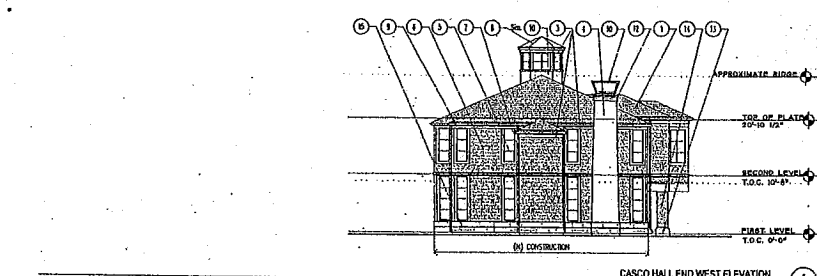
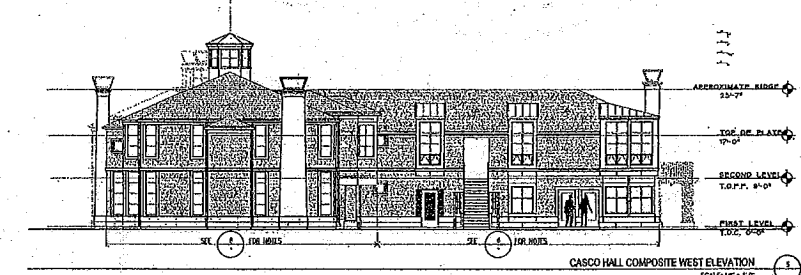
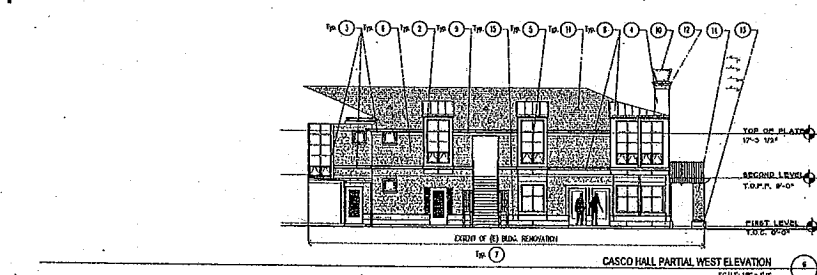
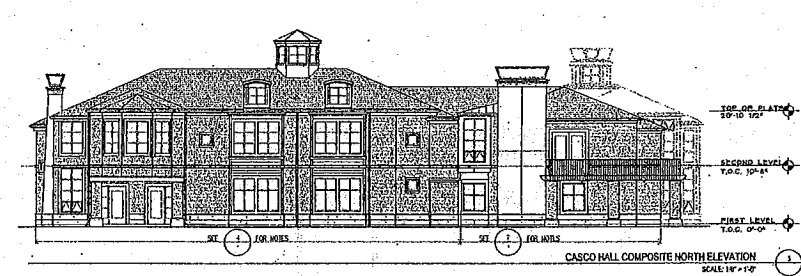
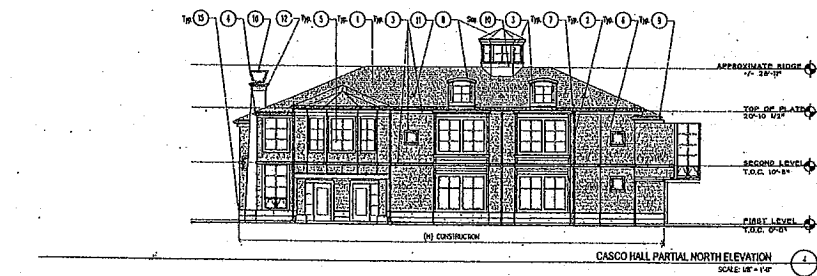
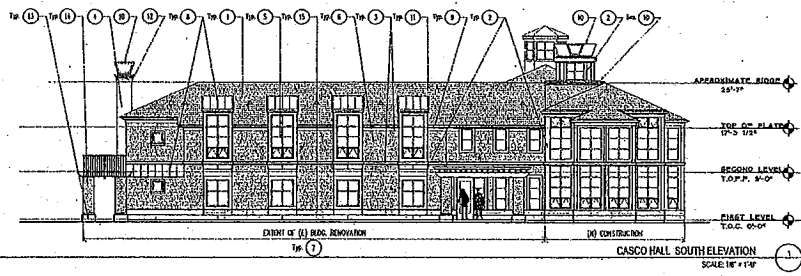
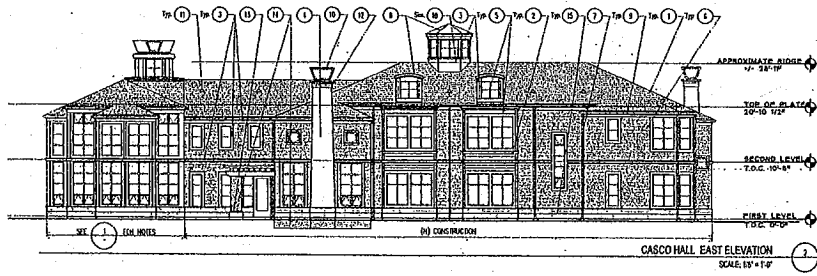
- 21 3/4\"/>
- 22 1/2\"/>
- 23 INTERNAL COLORED SMOOTH TRIMMED CEM PLASTER.
- 24 CLEAR COATED HARDWOOD, HORIZONTAL SUN LEAVES BY EXISTING WINDOW SILLING.
- 25 CLEAR COATED HARDWOOD, HORIZONTAL SUN LEAVES BY CEM PLASTER WALL BEHIND.
- 26 CLEAR COATED HARDWOOD, HORIZONTAL TRIM.
- 27 BLACKENED SHEET COPPER OVER BEVERAGE BOARDS.
- 28 BLACKENED COPPER STANDING SCAM ROOF ON R.F.F. BEHIND ON EXT. PLYWOOD DECK.
- 29 BLACKENED COPPER DOWN SPOUTE, TYP.
- 30 CLEAR COATED HARDWOOD, SILLING.
- 31 CLEAR COATED HARDWOOD, VERTICAL, ON BATTENS.
- 32 BLACKENED COPPER COVERED PAIR OF 6\"/>

Casco  
Residence  
& Douglas  
Hall  
Hornberger  
Worstell

Stevenson School  
3152 Forest Lake Road  
Pebble Beach, California

DATE	DESCRIPTION
29 JUL 2006	Final Design
11 AUGUST	Construction Documents
DATE	DESCRIPTION
2006	2006
DATE	DESCRIPTION
2006	2006

**DOUGLAS HALL  
RENOVATION  
& ADDITIONS  
ELEVATIONS**



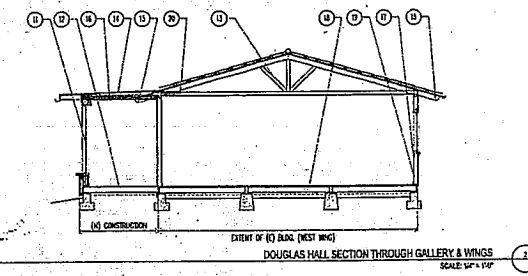
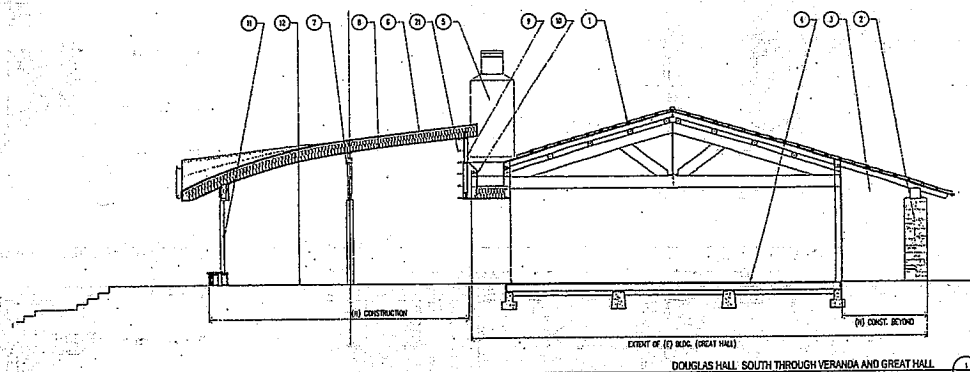
- MATERIAL KEY NOTES**
- 1 FIBER CEMENT ROOF SHIMULES
  - 2 STAINED VERTICAL GRAY CEDAR SHIMS
  - 3 STAINED VERTICAL GRAY CEDAR TRIM
  - 4 STAYON FRONTELED MITRAL COLOR CEMENT PLASTER
  - 5 DUPONCOE COATED ALUMINUM PEROUS WITH LOW E ISOLATED GLASS
  - 6 STAINED CEDAR SHIMULES
  - 7 BLACKENED COPPER DOWN SPIKES
  - 8 BLACKENED COPPER STAINWOD SEAM ROOFING
  - 9 BLACKENED COPPER GUTTERS
  - 10 BLACKENED COPPER GINNEY CAP SHIELD
  - 11 BLACKENED COPPER FLASHES
  - 12 CAST STONE GINNEY CAP
  - 13 CAST STONE COLUMNBASE
  - 14 ASPHALT STONE VENER
  - 15 2 CM STONE BASE WITH 1 CM STONE SILL

Casco Residence & Douglas Hall  
Hornberger  
Worstell

Stevenson School  
3152 Forest Lake Road  
Pebble Beach, California

30 MAY 2008  
LARRY S.M. Architect/Designer  
Date: 05/08  
Project Name: CASCO HALL  
Scale: 1/8" = 1'-0"  
City: Pebble Beach, CA  
County: Monterey  
State: CA

CASCO HALL RENOVATION & ADDITIONS ELEVATIONS



- KEY NOTES**
- 1 REMOVE (R) ROOF TILE, PALLETTE & REINSTALL ON PA PLASTIC UNDERLAYMENT (R & GRADE SEE 14) INTERSECTED ON (N) DET. PL. W/ 2" SEE STRUCT. DWGS.
  - 2 REMOVE ON (R) BRACK. REAR. SEE PLAN.
  - 3 DO WOOD TRUSSES EXTEND TO TRUSS HANGERS & WOOD GUSSET FROM (E) VERANDA ON NORTH SIDE.
  - 4 SAND (S) WOOD FLOOR IN GREAT ROOM.
  - 5 PAINT (P) CEILING PLASTER CHIMNEY SEE STRUCT. DWGS. FOR REPAIR WORK TO CHIMNEY.
  - 6 (R) STANDING SEAM BLACKENED COPPER ROOF ON PLASTIC UNDERLAYMENT (R & GRADE SEE 14) INTERSECTED ON PLYM. ON CUSTOM TAPE TO VARIOUS CURVED PROFILES.
  - 7 (R) VERTICALLY STEEL TRUSS PAINTED.
  - 8 HARDWOOD 1 x 4 SLATS ON FLOORING ATTACHED TO BOTTOM OF (E) TRUSS FOR SHAPE TO FOLLOW CURVED TAPE.
  - 9 MORTARBED VERT ALUMINUM WINDOWS W/ LOW-E INSULATED GLASS.
  - 10 BLACKENED COPPER GUTTER LEADS TO COPPER DOWN SPOUTS EACH SIDE.
  - 11 LOW-E INSULATED GLASS W/ PAINTED SCUM SASH & VENTED WINDOWS ON STONE SILL.
  - 12 (R) HARDWOOD FLOOR ON CONCRETE SLAB (SEE STRUCT. DWGS.).
  - 13 (R) ROOF TRUSSES - VERIFY WHERE SHOWN FOR ADDITIONS (SEE STRUCT. DWGS.).
  - 14 (R) STANDING SEAM BLACKENED COPPER ROOF ON PLASTIC UNDERLAYMENT (R & GRADE SEE 14) INTERSECTED ON TAPERED 2 x 4 S/ 19" ISOLATION.
  - 15 RETAIN & REPAIR AS REQUIRED (R) RAFTER TAILS, TYP.
  - 16 1 x 4 HARDWOOD SLAT CEILING W/ 3" GAPS.
  - 17 FOR EVALUATION REMOVE ALL EXTERIOR GYP/PLM WALL BOARD, ELECTRIC WORKING AND DEVICES.
  - 18 (R) CARPET ON (E) WOOD SUBSTRATE.
  - 19 5/8" TYPE-X GYPSUM WALL BOARD PAINTED ON WALLS TO (R) INSULATION.
  - 20 (R) INSULATION.
  - 21 LIGHT BAFFLES SHIPPED FROM HARDWOOD 2 x 4 S.

Casco  
Residence  
& Douglas  
Hall

Hornberger  
+  
Worstell

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Stevenson School  
3152 Forest Lake Road  
Pebble Beach, California

DATE:	11.04.17
DRAWN BY:	WJW
CHECKED BY:	WJW
DATE:	11.04.17

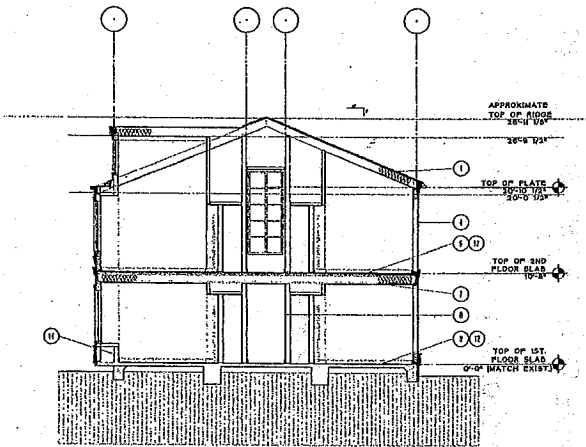
Hornberger + Worstell  
1050 Shoreline Drive, Suite 100, Pebble Beach, CA 95561  
Tel: 831.625.1111  
Fax: 831.625.1112  
www.hornbergerworstell.com

DOUGLAS HALL  
RENOVATION  
& ADDITIONS  
SECTIONS

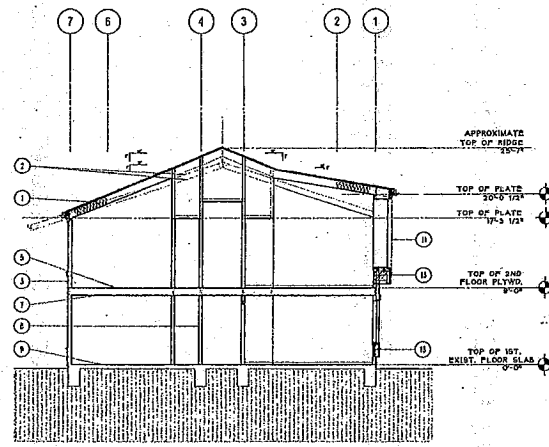
A3.51

**KEYED NOTES**

- 1 1/2" CEMENT ROOF SHINGLES ON PLASTIC UNDERLAMENT OR R. GORCE & WATSON SHELLS ON 2" ROOF FRAMING 2x10 W/EN R 30 INSULATION.
- 2 LIKE OF (E) ROOF FRAMING
- 3 (S) STAINED CEDAR SHINGLES ON PLASTIC UNDERLAMENT OR R. GORCE & WATSON SHELLS ON 2" ROOF FRAMING 2x10 W/EN R 30 INSULATION.
- 4 (S) STAINED CEDAR SHINGLES ON PLASTIC UNDERLAMENT OR R. GORCE & WATSON SHELLS ON 2" ROOF FRAMING 2x10 W/EN R 30 INSULATION.
- 5 (S) CARPET W/ACOUSTICAL PAD OR (S) INSULATE.
- 6 (S) CARPET W/ACOUSTICAL PAD OR (S) CONCRETE ON (S) PLYWOOD SUBSTRATE ON NEW FLOOR FRAMING.
- 7 2 LAYERS 5/8" GYPSUM WALL BOARD OR FIBERGLASS CHANNELS W/ACOUSTICAL INSULATION.
- 8 5/8" TYPE X GYPSUM WALL BOARD PARTED NOTES FROM WALLS BETWEEN SLEEPING ROOMS AND 1/2" HOUR WALLS AT ALL CORNERS.
- 9 (S) CARPET ON (S) OR (S) CONCRETE.
- 10 BUILDING SHALL BE FULLY SPRINKLERED.
- 11 (S) FRAMING FOR WINDOW DOUBLE FRAME SECTION.
- 12 SEE MECH. DRWG. FOR RADIANT FLOOR HEATING SYSTEM (S) W/RO.
- 13 SEE MECH. DRWG. FOR HYDRONIC HEATING SYSTEM (S) W/RO.
- 14 SEE STRUCT. DRWG. FOR SPECIAL FOUNDATION FOR ADJACENT TO (S) TREE.



CASCO HALL EAST-WEST SECTION THROUGH ADDITION  
SCALE: 1/4" = 1'-0"



CASCO HALL NORTH-SOUTH SECTION THROUGH RENOVATION  
SCALE: 1/4" = 1'-0"

**DEMOLITION NOTE:**  
REMOVE ALL EXT. SIDING SHINGLES, (S) MATERIAL, ALL EXIST. WINDOWS & DEVICES, ALL EXIST. DO, WALL FINISHES AND FLOOR FINISHES, TYP.

Stevenson School  
3152 Forest Lake Road  
Pebble Beach, California

DATE	DESCRIPTION
12 JULY 2008	Revised Drawing
PROJECT NO.	DATE
3152	08/11/08
DRAWN BY	CHECKED BY
KA	IS
<p>© 2008 Hornberger &amp; Worstell All rights reserved. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Hornberger &amp; Worstell.</p>	
<p>Hornberger &amp; Worstell 220 Market Street, Suite 200, San Francisco, CA 94102 Tel: 415.398.1100 www.hornbergerworstell.com</p>	

CASCO HALL  
RENOVATION & ADDITIONS  
SECTIONS

Exhibit H

# General Development Plan

Stevenson School

3142 Forest Lake Road

Pebble Beach, California 93953

Prepared in accordance with Requirement #38  
of the "Instructions and Filing Procedures for Land Use  
and Development Applications" for the proposed project:

## **Casco and Douglas Hall Additions and Alterations**

with improvements to the Main Entry into the School property

Prepared by:

Hornberger + Worstell Architects

San Francisco California

30 July 2008

# Table of Contents

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3. Number of Employees.....	4
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5. Site Improvements/Site Development Standards.....	6
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8. Landscape Plan.....	9
9. Exterior Lighting.....	10
10. Trash/Recycling.....	11
11. Exhibits.....	12

# 1. Allowed Uses

Zoning designations for the subject property are IC (CZ) and OR (CZ). See attached Exhibit A for parcel numbers with Zoning designations.

- Per Title 20 section 20.21.050A., this proposed project is not a change of use nor is it a change in the intensity of the present use.
- Per Title 20 section 20.21.060A and 20.38.050H, L, and O, the subject project is consistent with the conditional uses allowed within the designated zoning districts.

## Project Designated Uses

1. Douglas Hall – Presently serves as the main reception and administrative building for the School and consists of 9,511 gsf. This area includes the existing garage adjacent to Douglas Hall presently used for storage and security. There are also some dorm and resident faculty housing accommodations located in Douglas Hall. The subject project proposes to remodel and enlarge the building to centralize administrative functions on campus, improve upon their present spatial deficiencies, improve the School's ability to provide reception functions and alumni activity, and to seismically upgrade the existing archaic construction. The School will not be increasing its staff count as a result of these improvements. A portion of Douglas Hall presently housing boy's dormitory rooms and resident faculty housing will be displaced by these improvements and will be relocated to the proposed improved Casco Residence building. In the completed aggregate, the new Douglas Hall will total 13,514 gsf. See sheets A2.01 and A2.03.
2. Casco Residence – An existing dormitory with 4,343 gsf proposed for alterations and additions to improve existing girls' dormitory quarters. This project will also add a new wing for boys, who will be moved from a portion of Douglas Hall. Casco Residence will also accommodate the displace resident Faculty Housing mentioned above. The combined area of new and existing will provide a total of 11,941 gsf. See sheets A2.02 and A2.04.



3. Relocated Main Entry Site Work – The project proposes to relocate and reconfigure its main entry to align with Lisbon Lane. This will vastly improve the safety and effectiveness of all vehicular access to the property. It also makes possible a greatly improved drop off area for school buses and parents, as well as a more orderly plan for the desired separation of parking, services access, and fire truck access. The proposed main entry site work also facilitates fire truck access improvements beyond this area, completing an Emergency Vehicular Loop through the north end of the campus. See sheet A1.02 and C1.00.
4. Temporary Facilities – During the construction, administration functions will be temporarily housed in other buildings on the campus. Only one department, Admissions, will require a temporary modular to be brought on site, which will consist of 1,344 gsf. Similarly, students displaced from dorm rooms will need to be housed in other facilities and it is proposed that temporary modulars also be provided for this purpose, consisting of 4,704 gsf. See Sheet A1.01.
5. Campus Master Plan – For a listing of other buildings, both existing and planned-for in the future, see Exhibit B attached.

## 2. Operation

### Hours of Operation

- **Administrative Operations- 8 am to 5:30 pm**
- **Delivery Hours- 8 am to 5 pm**
- **Resident Hours- 7 am to 11 pm (Dormitories occupied 24 hours)**
- **Programmed functions within Construction Areas- none**

### 3. Number of Employees

- Minimum 150 Fulltime and Part time staff working 20 hrs or greater
- Maximum 30 - 50 Part time staff and substitute teachers working 20 hours or less

## 4. Parking

The entire campus contains a total of 291 parking spaces. In addition, the peak empirical count of parking on campus during peak drop-off pick-up periods is 260 cars. See Higgins Traffic Study report dated 30 July 2008. Per the off street parking rates in Title 20, Section 20.58.040, a high school of this size requires 190 spaces.

Presently, within the immediate project area there are 83 parking spaces. Some of these will be displaced during construction resulting in 42 remaining spaces. See Exhibit C and D attached.

Just prior to construction, the new parking area, which is a part of the main entry reconfiguration, is proposed to be constructed which will allow for 42 spaces to be maintained in the immediate vicinity of the project area. Special attention is also given to the coordination of construction access and School staff parking. See Exhibit D attached. The project area, which is the main approach to the school, will require a separate, temporary location for reception to the School at Atwood Dormitory off Faculty Drive.

To make up for the deficit of 41 spaces in the front of the School during construction, another temporary parking lot is proposed to be located at the corner of Forest Lake road and Faculty Drive. See Sheet A1.01 and C1.02. This lot will accommodate 42 cars making up for the 41 displaced in the construction area.

After the completion of construction, the reconfigured main entry within the project area will provide for 67 parking spaces. The differential of 16 from the present count of 83 will be absorbed by the surplus of parking throughout the campus. See Higgin's Traffic Study Report dated 30 July 2008 an A1.02.

## 5. Site Improvements/Site Development Standards

Per the zoning designations, IC (CZ) and OR (CZ), the Site Development standards per section 20.21.070 and are as follows:

<u>Zone</u>	<u>Maximum Structure Height</u>	<u>Setbacks</u>	<u>Building Site Coverage</u>	<u>Minimum Bldg. Site Area</u>
IC (CZ)	35 ft	set by MC	40 % max	10,000 sf
OR (CZ)	30 ft	front 30 ft side 20 ft rear 20 ft	none	none

The subject project conforms with all site development criteria listed above and below and is shown on the following drawings:

<u>Criteria</u>	<u>Casco Residence</u>	<u>Douglas Hall</u>
Max Ht	see A3.04	see A3.03
Set Backs	see A1.01	see A1.01
Bldg Site Coverage		
Min Site Area		
Grading	see C2.01, C1.02, C1.01	see C2.01, C1.02, C1.01
Erosion Control	see C 4.01	see C4.01

Request for modifications of Title 20 site development standards are not anticipated for this project.

## 6. Sign Program

The subject project shall conform to Title 20, Section 20.60, and it is not anticipated that exceptions will be requested. The program will include various low-level directional signage to complement the new drop off drive and parking, which will be on School property. The project proposes that the existing, previously approved, low-level Campus Entry sign, which is approx 4 ft H. x 7 ft L., be relocated to the new entry and will possibly be in the ROW. In addition, various Fire Department-required signage will be incorporated into the project. See sheet A1.01.

## 7. Materials and Colors

The subject project employs a materials and color palette that is complementary to, and consistent with, adjacent campus buildings and their context. In addition, the style for Casco Residence is a regional and forest inspired language of shingles, trim board with accents of local stone done in colors and tones responsive to other dormitories to create a distinctive continuity. Douglas Hall, while being the first building built on campus, is an example of Mediterranean Revival and incorporates a historically sensitive palette to match cement plaster, wood window trim and shutters and clay tile roofs in the following respective color/tones: Light beige, aged cedar/taupe, and burnt umber/orange. Where additions to Douglas Hall occur, the materials palette complements the original materials while also distinguishing these areas with materials such as natural ipe wood (medium brown) siding and vertical sun louvers, a very dark brown standing seam copper roofing, taupe colored aluminum window sash, and beige colored stone base accents. The design intent is to allow the south façade, which presents itself to the street, to carry on the original palette, while the new additions, which predominately occur on the back or north side of the building, are intended to be sensitive and responsive to the adjacent Rosen Student Center, drawing upon that building's palette. See material color photos submitted in the "Design Approval Request Form."

## 8. Landscape Plan

The landscape plan for the subject project shall be in conformance with Title 20, Section 20.21.070D, and shall include drought-tolerant planting with an emphasis on indigenous species. A limited amount of sodded area will be used as an extension of the campus grounds and their irrigation will be maintained with reclaimed water. The paving systems proposed are intended to provide minimum site coverage to allow for percolation while providing necessary linkages between campus destinations. The landscape plan at the reconfigured main entry will also feature a reforestation with indigenous conifers presently where the main access drive is and connecting to the existing forested area surrounding the School Chapel. In working closely with the Forester for the project, the proposal for the reconfigured entrance drive is also intended to preserve and manage as many healthy conifer trees as possible by carefully integrating and locating the new drive and parking in and around the trees. This landscape strategy simultaneously creates a more tailored vista from the street to the main reception building, Douglas Hall. It also organizes and enhances the approach experience to the School with the loop around a large natural forest meadow "island." A small guard station is proposed to be located close to the entrance off Forest Lake Road and nestled along the drive-around island to provide visitors with greatly improved directions and enhanced security. See sheet L0.01 and A1.02.



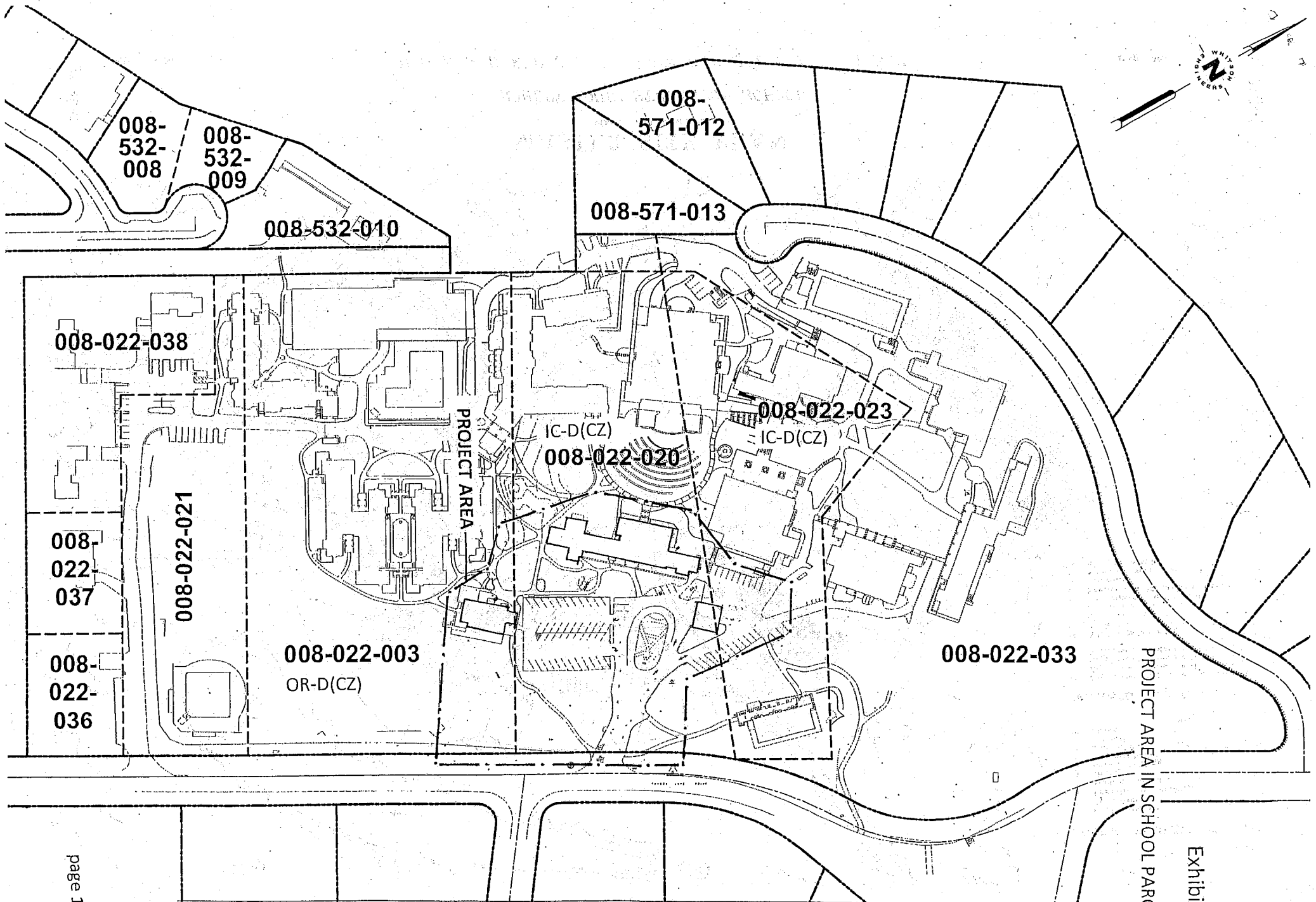
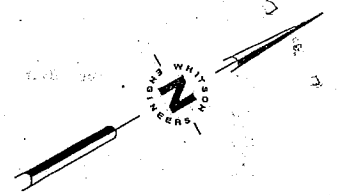
## 9. Exterior Lighting

The exterior lighting for subject project shall be in conformance with Title 20, Section 20.21.070E, and will be designed to create an unobtrusive and harmonious night environment with neighboring parcels and within the School property itself. This will be accomplished through low-level, non-glare fixtures located sparingly to meet minimum lighting levels for both vehicular and pedestrian paths. At exterior building entry locations, special consideration shall be given to eliminate off-site glare with energy efficient lighting fixtures. The aesthetic objective of the night lighting is to allow the warm glow from the building windows be the dominant perception. See note on sheet L0.01.

## 10. Trash / Recycling

The School maintains an efficient system of trash removal and recycling throughout its campus. A new trash and recycled area is proposed to be located to the east of Douglas Hall and to the south of Reid Hall (the Cafeteria) located off of a paved service delivery turn around area. This area is strategically intended to be located in the back-of-house area serving both Douglas Hall and the Cafeteria. The new recycling area will consist of a natural wood fenced area tucked into an area surrounded by trees to maintain an attractive and discrete removal system. See sheet L0.01.

End of General Development Plan



PROJECT AREA IN SCHOOL PARCELS

Exhibit A



**EXISTING FACILITIES**

- 1. Faculty Housing
- 2. Gymnasium
- 3. Administration Building
- 4. Academic Building
- 5. Library
- 6. Science Building
- 7. Fine Arts Building
- 8. Auditorium
- 9. Cafeteria
- 10. Chapel

**PROPOSED FACILITIES**

- 11. Replacement Residence Hall - Wilson
- 12. Replacement Residence Hall - Silverado
- 13. Replacement Residence Hall - Day
- 14. Replacement Residence Hall - Armod
- 16. Administration Wing
- 17. Student Activity Center
- 18. Classroom Unit
- 19. Faculty Housing
- 20. Competitive Athletics Center
- 21. Replacement Maintenance Center
- 22. Footbridge
- 23. Science Labs Replacement
- 24. New Residence Hall

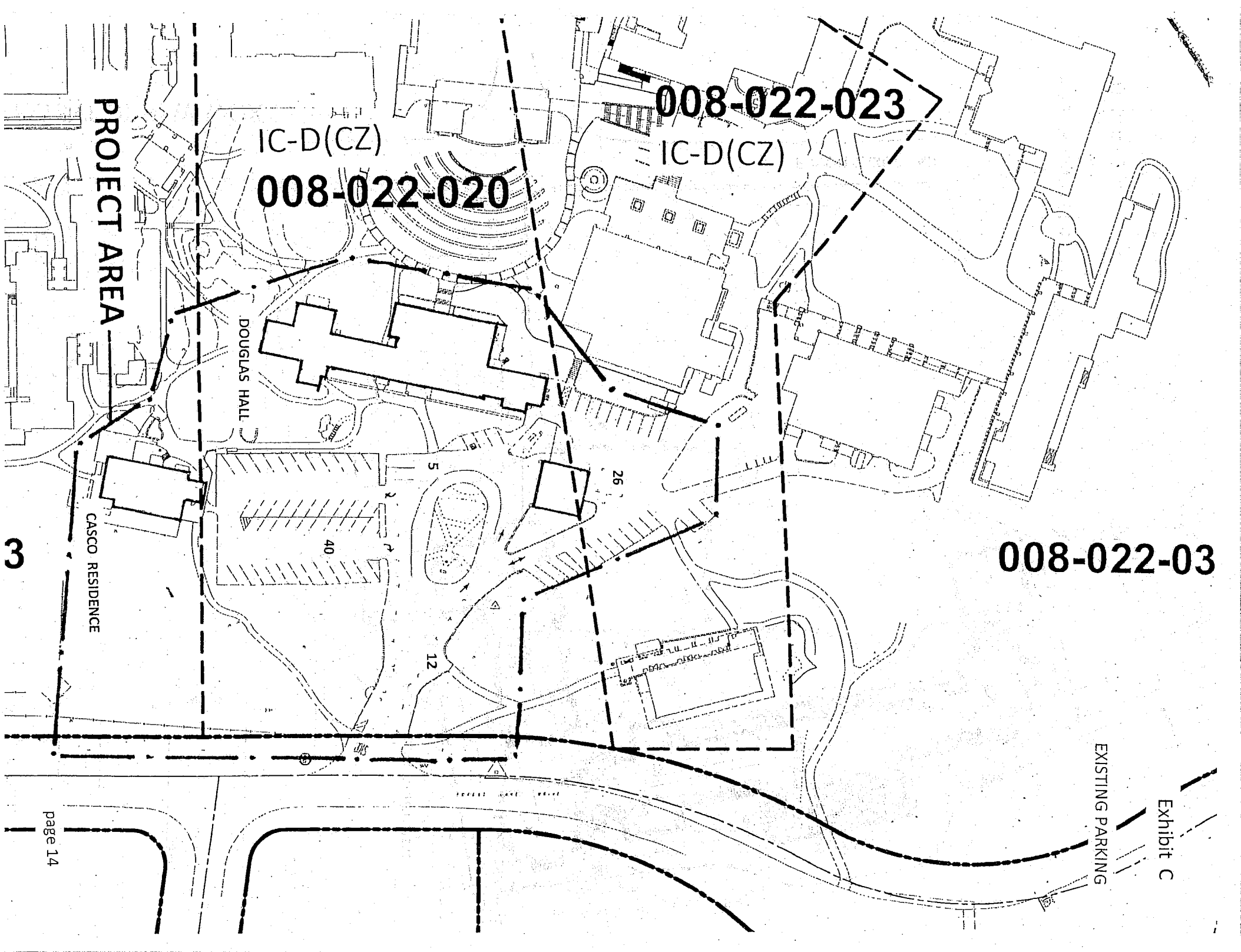
**MASTER SITE PLAN**

PEBBLE BEACH, CALIFORNIA

ROBERT LOUIS STEVENSON SCHOOL

HORNBERGER + WORSTELL, INC.





**PROJECT AREA**

IC-D(CZ)

**008-022-020**

**008-022-023**

IC-D(CZ)

DOUGLAS HALL

CASCO RESIDENCE

**008-022-03**

EXISTING PARKING

Exhibit C

PARKING DURING CONSTRUCTION

FOREST LAKE ROAD

DOUGLAS HALL

CONTRACTOR LAY-DOWN AREA

CASCO RESIDENCE

CONSTRUCTION FENCE

30

EXTENT OF NEW WORK

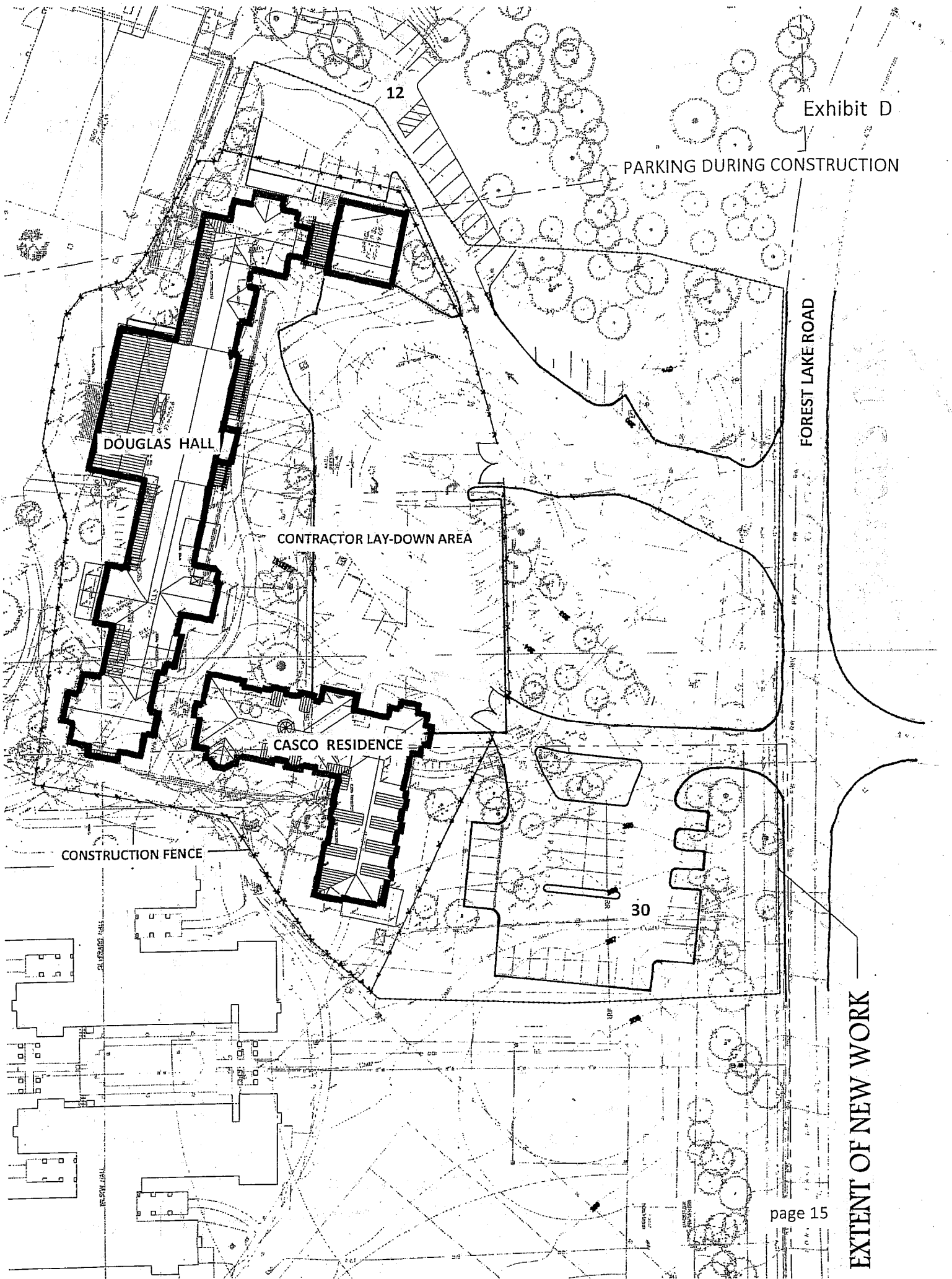
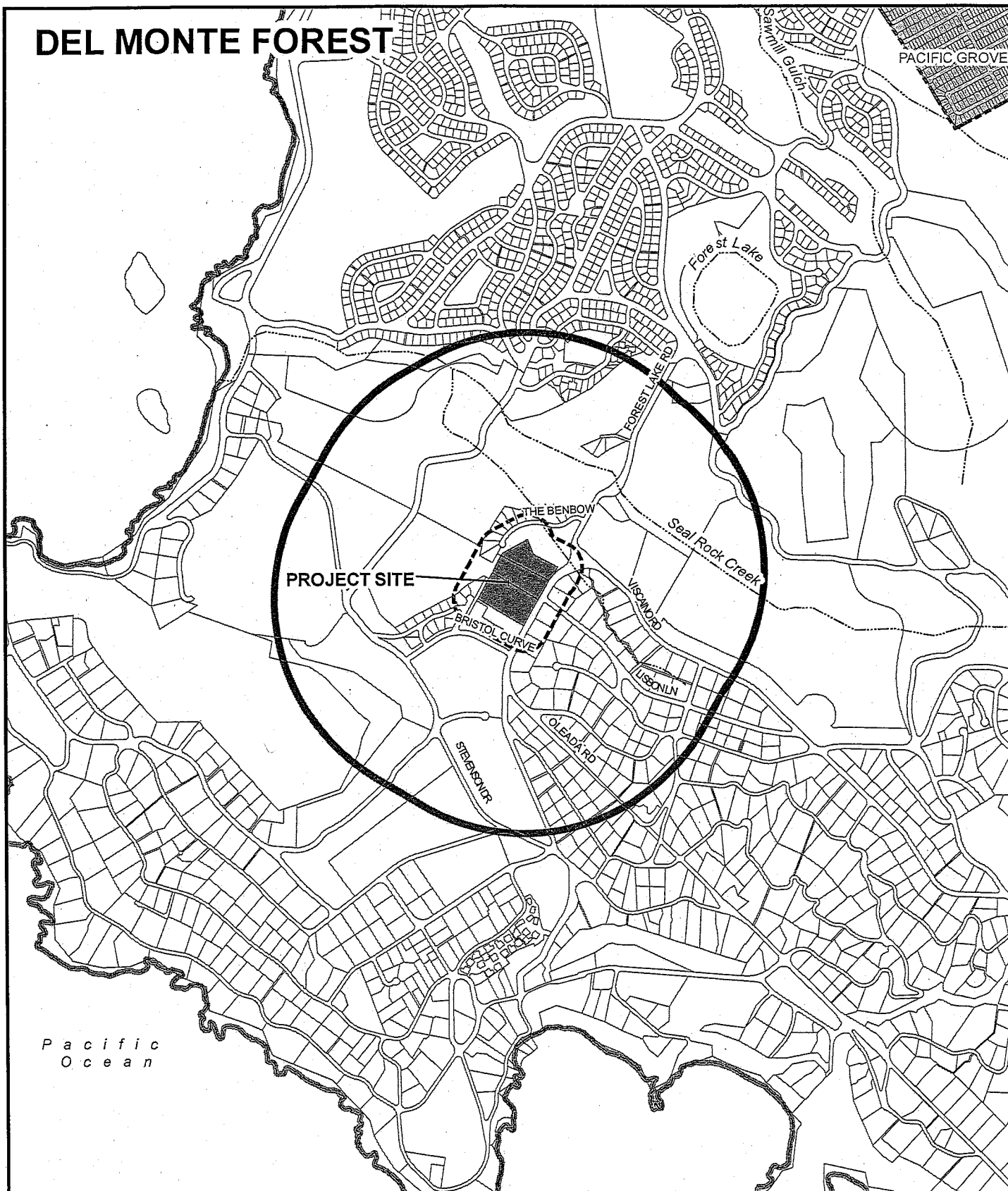


Exhibit I

# DEL MONTE FOREST




PACIFIC GROVE

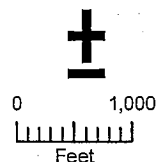


APPLICANT: ROBERT LOUIS STEVENSON SCHOOL

APN: 008-022-003, 020, 023

FILE # PLN080375

 300' Limit  2500' Limit  City Limits



PLANNER: MONTANO