

MONTEREY COUNTY PLANNING COMMISSION

Meeting: April 08, 2009 . Time: 9:00 A.M	Agenda Item No.: I
Project Description: Combined Development Permit consisting of 1) A Coastal Administrative Permit to allow the demolition of an existing 1,110 square foot single family dwelling and construction of a new 4,917 square foot, 2-story single family dwelling including a 476 square foot garage attached by a 255 square foot porte cochere and approximately 750 cubic yards of grading (500 cubic yards of cut/250 cubic yards of fill); 2) A Coastal Development Permit to allow development on slopes greater than 30%; and 3) A Design Approval.	
Project Location: 1508 Bonifacio Rd, Pebble Beach	APN: 008-341-014-000
Planning File Number: PLN080522	Name: Gary and Laura Loest, Property Owners; International Design Group, Agents
Plan Area: Del Monte Forest Land Use Plan	Flagged and staked: Yes
Zoning Designation: : LDR/1.5-D (CZ) [Low Density Residential, 1.5 acres per unit with a Design Control Overlay (Coastal Zone)]	
CEQA Action: Categorically exempt per 15302 and 15303(a)	
Department: RMA - Planning Department	

RECOMMENDATION:

Staff recommends that the Planning Commission approve the Combined Development Permit based on the Findings and Evidence (**Exhibit C**) and subject to the recommended Conditions (**Exhibit D**).

PROJECT SUMMARY:

The Loest property is located on 0.71 acre lot in the Del Monte Forest Coastal Zone off of Bonifacio Road. The project entails the demolition of an existing 1,110 square foot single family dwelling and construction of a 4,917 square foot, new, single family dwelling. The existing dwelling sits on a terraced portion of a steep lot with a two-part porte cochere extending from the front and center of the home. The new project would demolish this structure and build a new house with a similar orientation and design, expanding from the existing footprint. In the front of the proposed house a new porte cochere is proposed connecting to a new garage. The new garage will encroach into the front setback and into slopes of greater than 30%. The two issues are related in that the topography of the lot slopes down from the street dramatically enough to qualify for a setback exception that allows garages to be constructed within 5 feet of the front lot line (20.62.040.N, Title 20). This exception can be applied in cases where the elevation of the front half of the lot at a point 50 feet from the centerline of the traveled roadway is 7 feet above or below the grade of said centerline. In the case of the Loest property, the lot slopes down from Bonifacio Road approximately 15 feet in elevation at a point 50 feet from the center of the road.

The proposed garage is sited mostly on a portion of the existing driveway at the site, but extends approximately 5 feet into the hillside in the front of the house. The hillside between the building pad and driveway and Bonifacio Road is steep. This minor encroachment will require approximately a five (5) foot cut with retaining wall at the southeast corner of the proposed garage. Alternative designs were considered including providing parking within the house footprint, pulling the house back from the front five feet, and moving the garage closer to the proposed house. These designs were ultimately dismissed based on potential impacts to trees, desired and appropriate designs, and other topography constraints. Other design features are included on the house itself to avoid slope problems by cantilevering some rear floor area. Another setback exception on the side yard is being used to allow uncovered decks to extend into the side yard setbacks by up to two feet (20.62.040.D Title 20).

The project was found to be consistent with the applicable plans and policies and categorically exempt from the requirements of CEQA. See **Exhibit B** for a more detailed discussion.

OTHER AGENCY INVOLVEMENT:

- ✓ Pebble Beach Community Services District (Fire)
- ✓ Public Works Department
- ✓ Parks Department
- ✓ Environmental Health Division
- ✓ Water Resources Agency

The above checked agencies and departments have reviewed this project. Conditions recommended by Pebble Beach Community Services District, Water Resources Agency, and the Planning Department have been incorporated into the condition compliance reporting plan (**Exhibit D**).

The project was referred to the Del Monte Forest Land Use Advisory Committee (LUAC) for review. On January 22, 2009 the Del Monte Forest LUAC recommended approval of Combined Development Permit (PLN080522) by a vote of 7-0. No comments or recommendations were made.

Note: The decision on this project is appealable to the Board of Supervisors and the California Coastal Commission.



Craig Spencer

(831) 755-5233, spencerc@co.monterey.ca.us

February 25, 2009

cc: Front Counter Copy; California Coastal Commission; Planning Commission Members (10); County Counsel; Pebble Beach Community Services District; Public Works Department; Parks Department; Environmental Health Division; Water Resources Agency; Laura Lawrence, Planning Services Manager; Craig Spencer, Planner; Carol Allen; Gary and Laura Loest, Applicant; International Deign Group, Agents; File PLN080522.

Attachments:	Exhibit A	Project Data Sheet
	Exhibit B	Project Discussion
	Exhibit C	Recommended Findings and Evidence
	Exhibit D	Recommended Conditions of Approval
	Exhibit E	Vicinity Map
	Exhibit F	Site Plan, Floor Plan and Elevations
	Exhibit G	LUAC Minutes
	Exhibit H	Justification Letter
	Exhibit I	Geotechnical Report

This report was reviewed by Laura Lawrence, Planning Services Manager




EXHIBIT A

Project Information for PLN080522

Project Title: LOEST GARY E & LAURA A

Location: 1508 BONIFACIO RD PEBBLE BEACH

Primary APN: 008-341-014-000

Applicable Plan: Del Monte Forest Land Use Plan

Coastal Zone: Yes

Permit Type: Combined Development Permit

Zoning: LDR/1.5-D(CZ)

Environmental Status: Exempt

Plan Designation: RESIDENTIAL

Advisory Committee: Del Monte Forest

Final Action Deadline (884): 3/30/2009

Project Site Data:

Lot Size: .71 ACRES

Coverage Allowed: 15%

Coverage Proposed: 14.9%

Existing Structures (sf): 1,110

Height Allowed: 30 FT

Proposed Structures (sf): 4,917

Height Proposed: 29 FT

Total Sq. Ft.: 4,917

FAR Allowed: 17.5

FAR Proposed: 16%

Resource Zones and Reports:

Environmentally Sensitive Habitat: No

Erosion Hazard Zone: V

Biological Report #: N/A

Soils Report #: LIB090007

Forest Management Rpt. #: N/A

Archaeological Sensitivity Zone: HIGH

Geologic Hazard Zone: III

Archaeological Report #: LIB090005

Geologic Report #: N/A

Fire Hazard Zone: HIGH

Traffic Report #: N/A

Other Information:

Water Source: PUBLIC

Sewage Disposal (method): SEWER

Water Dist/Co: CAL-AM

Sewer District Name: PBCSD

Fire District: PBCSD

Grading (cubic yds.): 750.0

Tree Removal: N/A

EXHIBIT B
PROJECT DISCUSSION
PLN080522 (Loest)

I. PROJECT SETTING AND DESCRIPTION

Setting

The project is located at 1508 Bonifacio Road in Pebble Beach. The site is 0.71 acres in size with a triangular shape and steep forested slopes. Currently there is an existing single family dwelling at the site located in the middle of the property with a large porte cochere extending from the front of the house. The existing driveway slopes down steeply from Bonifacio Road then flattens out and wraps through the porte cochere turning 180 degrees to tie back in at a slightly higher elevation. There is some terraced landscaping adjacent to the house and a small garden in the rear of the house. Outside the house footprint and small amount of landscape the site slopes steeply toward the west with native trees including Monterey pines and oak trees. Surrounding land uses include developed low density residential lots within the Pescadero Watershed area.

Project Description

The proposed project consists of the demolition of an existing 1,110 square foot single family dwelling and construction of a new 4,917 square foot single family dwelling including an attached garage and a 937 square foot lower floor and grading of approximately 750 cubic yards. The new house will maintain a similar design and orientation as the existing house and will expand on the existing footprint. As part of the design, a new garage is proposed that will extend into the required front setback (See II. Development Standards below), and encroaches into slopes exceeding 30% (See II. 30% slope below). The existing driveway will be retained to provide access to the new garage and house.

II. ANALYSIS

Development Standards

The site is designated for Low Density Residential development (LDR/1-D (CZ)) and is subject to the policies of the Del Monte Forest Land Use Plan. The proposed project meets the site development standards set forth in Title 20 (Zoning Ordinance) including height, lot coverage, floor area ratio, Pescadero Watershed impervious area limitations and setbacks with the use of exceptions. Section 20.62 of the Monterey County Zoning Ordinance (Title 20) provides exceptions to allow garages on lots that have a change in elevation of 7 feet or more at a point 50 feet from the centerline of the road, to be constructed to within 5 feet of the front lot line (20.62.040.N). The new garage will encroach into the front setback. Another setback exception in the same chapter of the zoning ordinances is being implemented to allow uncovered decks to extend into the side yard setbacks up to 2 feet (20.60.040.D). Other applicable review criteria, based on the location, proposed development, and site specific data, include cultural resources, 30% slope development, and visual resources.

Cultural Resources

Cultural Resources evaluated during project review include the historic integrity of the structure to be demolished and the potential for encountering archaeological resources during foundation removal, grading, and new construction. Research of Assessor's records indicates that the existing house was built in 1965, less than 50 years ago, meaning that the house most likely is not historic. The Monterey County Parks Department reviewed the application and deemed the project complete without conditions. Therefore, demolition of the existing structure will not adversely affect any historic resources. Other potential impacts to cultural resources stem from

archaeological resources because the area is in a high archaeological sensitivity zone. An archaeological report prepared for the project by Archaeological Consulting dated December 16, 2008 concluded that there was no surface evidence of potentially significant resources at the site and that the project should not be delayed for archaeological reasons. Conditions will be included to ensure that previously unidentified resources are not significantly impacted if they are discovered during construction (Condition #3).

30% Slope

This existing lot was uniformly over 30% slope until sometime around 1965, when the subject site was developed with a driveway and building pad terraced into the hillside. The proposed project calls for the construction of a larger house on generally the same footprint as the existing structure. Development on slopes over 30% is required to construct a new garage in the front of the house where the proposed garage location would extend approximately 5 feet beyond the edge of the existing driveway into the hillside.

Staff worked with the applicant to explore alternatives to that would avoid development on 30% slopes. Originally, the application included an expansion of the driveway for entrance to the garage on the southern side including the garage in its current location. The applicant revised the plans to eliminate the driveway expansion and provide direct access (on the northern side) to the garage from the existing driveway which also eliminated the need for tree removal.

Approximately 85 square feet of the proposed garage and some external stairwells will still extended into the slope. Other alternatives were also considered including pulling the house back on the lot 5 feet, however, this would potentially have setback issues, other slope encroachment and it would impact nearby trees. Redesigning and relocating the garage was limited by the slope of the driveway, and the desired design of the applicant. Ultimately, the design of the new construction is in keeping with the existing design and footprint of the house and driveway to be demolished, will have minimal impacts on slopes on this highly constrained lot where over 70% of the lot contains slopes greater than 30%, and promotes other goals and polices of the Land Use Plan by avoiding tree and vegetation removal.

Visual Resources

The project site is located in the area mapped as visually sensitive due to visibility from Carmel State Beach and Point Lobos (LUP Figure 2C). The project was staked and flagged with orange construction netting for evaluation of impacts from these viewing areas. The orange flagging was not visible from Carmel State Beach or Point Lobos due to distance, vegetation, and orientation. The project site is oriented towards the west whereas Carmel and Point Lobos are to the south of the site.

CEQA

The proposed project consists of the demolition of an existing single family dwelling and construction of a new single family dwelling with an attached garage and associated grading. Section 15302 (Class 2) of the California Environmental Quality Act (CEQA) categorically exempts the reconstruction of existing structures on the same site with the same purpose as the structure replaced. The replacement single family dwelling is proposed in generally the same location as the existing structures on a disturbed area. Additionally Section 15303 (a) (Class 3) exempts the construction of a new single family dwelling in residential zones.

Staff reviewed the site and technical documents submitted for the project for unusual circumstances that would warrant environmental review. No unusual circumstances were identified. Staff finds that this encroachment on slopes greater than 30% is minimal and will not create any foreseeable hazardous conditions. Therefore the project can be categorically exempt from the requirements of CEQA per sections 15302 and 15303 (a).

EXHIBIT C
RECOMMENDED FINDINGS AND EVIDENCE
PLN080522 (Loest)

1. **FINDING:** **CONSISTENCY** – The project, as described in Condition No. 1 and as conditioned, conforms to the policies, requirements, and standards of the Del Monte Forest Land Use Plan, the Coastal Implementation Plan Part 5, and the Monterey County Zoning Ordinance (Title 20), which designates this area as appropriate for development.

- EVIDENCE:**
- (a) Plan Conformance The text, policies, and regulations in the above referenced documents have been evaluated during the course of review of applications. No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
 - (b) Zoning Consistency The property is located at 1508 Bonifacio Road, Pebble Beach (Assessor's Parcel Number 008-341-014-000), Del Monte Forest Land Use Plan. The parcel is zoned Low Density Residential, 1.5 acres per unit, with a Design Control Overlay, in the Coastal Zone ("LDR/1.5-D(CZ)") which allows the first single family dwelling per legal lot of record subject to a Coastal Administrative Permit in each case. Therefore, the property is suitable for the proposed development.
 - (c) Site Visit The project planner conducted a site inspection on February 9, 2009 to verify that the project on the subject parcel conforms to the plans listed above.
 - (d) Height and Setback Exceptions Section 20.62 of the Monterey County Zoning Ordinance (Title 20) provides exceptions to allow garages on lots that have a change in elevation of 7 feet or more at a point 50 feet from the centerline of the road, to be constructed to within 5 feet of the front lot line (20.62.040.N). The new garage will encroach into the front setback. Another setback exception in the same chapter of the zoning ordinances is being implemented to allow uncovered decks to extend into the side yard setbacks up to 2 feet (20.60.040.D).
 - (e) Archaeological Resources The area is a high archaeological sensitivity zone. An archaeological report prepared for the project by Archaeological Consulting dated December 16, 2008 concluded that there was no surface evidence of potentially significant resources at the site and that the project should not be delayed for archaeological reasons. Conditions will be included to ensure that previously unidentified resources are not significantly impacted if they are discovered during construction (Condition #3).
 - (f) 30% Slope A Coastal Development Permit is required for development on slopes greater than 30% in the Del Monte Forest area (20.64.230.C Title 20). Some of the proposed development is located on slopes greater than 30% due to the nature of the existing site (See Finding 6).
 - (g) Visual Resources The project site is located in the area mapped as visually sensitive due to visibility from Carmel State Beach and Point Lobos (LUP Figure 2C). The project was staked and flagged with orange construction netting for evaluation of impacts from these viewing areas. The orange flagging was not visible from Carmel State Beach or Point Lobos due to distance, vegetation, and orientation. The project site is oriented towards the west whereas Carmel and Point Lobos are to the south of the site.

- (h) LUAC The project was referred to the Del Monte Forest Land Use Advisory Committee (LUAC) for review. On January 22, 2009 the Del Monte Forest LUAC recommended approval of Combined Development Permit (PLN080522) by a vote of 7-0. No comments or recommendations were made.
- (i) Application The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN080522.

2. **FINDING: SITE SUITABILITY** – The site is physically suitable for the use proposed.

- EVIDENCE:**
- (a) The project has been reviewed for site suitability by the following departments and agencies: RMA - Planning Department, Pebble Beach Community Services District, Parks, Public Works, Environmental Health Division, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
 - (b) Technical reports by outside archaeological and geotechnical consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff concurs. The following reports have been prepared:
 - i. “Preliminary Archaeological Reconnaissance” (LIB090005) prepared by Archaeological Consulting, Salinas, CA, December 16, 2008.
 - ii. “Geotechnical Report” (LIB090007) prepared by Grice Engineering, Inc., Salinas, CA, December 2008.
 - (c) Staff conducted a site inspection on February 9, 2009 to verify that the site is suitable for this use.
 - (d) Materials in Project File PLN080522.

3. **FINDING: CEQA (Exempt):** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- (a) California Environmental Quality Act (CEQA) Guidelines Section 15302, categorically exempts the reconstruction of existing structures on the same site with the same purpose as the structure replaced. The replacement single family dwelling is proposed in generally the same location as the existing structures on a disturbed area. Additionally Section 15303 (a) (Class 3) exempts the construction of a new single family dwelling in residential zones.
 - (b) No adverse environmental effects were identified during staff review of the development application during a site visit on February 9, 2009.
 - (c) Staff reviewed the site and technical documents submitted for the project for overriding considerations. No unusual circumstances were identified. Staff finds that this encroachment on slopes greater than 30% is minimal and will not create any foreseeable hazardous conditions.
 - (d) See Findings 1, 2, and 6 with supporting evidence.

4. **FINDING: NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property. Zoning violation abatement costs, if any, have been paid.

EVIDENCE: (a) Staff reviewed Monterey County RMA - Planning Department and Building Services Department records and is not aware of any violations existing on subject property.

5. **FINDING: HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

EVIDENCE: (a) See Findings 1, 2, and 6 with supporting evidence.

6. **FINDING: DEVELOPMENT ON 30 % SLOPE** – Based on substantial evidence, the proposed development better achieves the goals, policies, and objectives of the Monterey County Local Coastal Program than other development alternatives.

EVIDENCE: (a) The project site contains, an existing single family dwelling that will be replaced with a new single family dwelling on essentially the same footprint with a similar design. Approximately 72% of the project site contains slopes in excess of 30% and the triangular shape and relative size of the lot limits development potential at the site.

(b) The proposed project has been designed and modified at the request of Monterey County to eliminate a driveway expansion that would have required tree removal and additional development on slopes greater than 30%. The approach to the garage was revised to provide a more direct access in compliance with LUP Policy 1.

(c) No tree or sensitive vegetation removal is required for the proposed development (Del Monte Forest Land Use Plan Policies 34 and 36). The lot contains sloping topography with Coast Live Oak and Monterey Pine trees. Impacts to these trees will be appropriately avoided. A condition requiring construction fencing has been incorporated to protect trees and during construction (Condition # 5).

(d) Other design alternatives were considered including pulling the house back on the lot 5 feet, however, this would potentially have setback issues, other slope encroachment and it would impact nearby trees. Redesigning and relocating the garage was limited by the slope of the driveway, and the desired design of the applicant

(e) The encroachment on slopes is minor (approximately 85 square feet for the garage and approximately 40 square feet for a stairway). The geotechnical report prepared for the project finds that the site is suitable for the proposed development provided recommendations contained in the report are followed. A standard condition requiring compliance with this report has been incorporated (Condition #8).

7. **FINDING: PUBLIC ACCESS:** The project is in conformance with the public access and public recreation policies of the Coastal Act and Local Coastal Program, and does not interfere with any form of historic public use or trust rights. No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.70.050.B.4.c of the Monterey County Coastal Implementation Plan, can be demonstrated.

- EVIENCE:**
- (a) The subject property is not described as an area where the Local Coastal Program requires access.
 - (b) The subject property is not indicated as part of any designated trails or shoreline access as shown in Figure 15, the Recreational Facilities Map, and Figure 16, the Shoreline Access Map, of the Del Monte Forest Land Use Plan.
 - (c) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
 - (d) Staff site visit on February 9, 2009.

8. **FINDING:** **APPEALABILITY** - The decision on this project is appealable to the Board of Supervisors and the California Coastal Commission.

- EVIDENCE:**
- (a) Section 20.86.030 of the Monterey County Coastal Implementation Plan - Part 1 (Board of Supervisors).
 - (b) The project may be appealed to the California Coastal Commission pursuant to Section 20.86.080 of the Monterey County Coastal Implementation Plan - Part 1 because the subject property is located between the sea and the first public road paralleling the sea (Highway 1).

EXHIBIT D
Monterey County Resource Management Agency
Planning Department
Condition Compliance and/or Mitigation Monitoring
Reporting Plan

Project Name: Gary and Laura Loest

File No: PLN080522

Approved by: Planning Commission

APNs: 008-341-014-000

Date: April 8, 2009

**Monitoring or Reporting refers to projects with an EIR or adopted Mitigated Negative Declaration per Section 21081.6 of the Public Resources Code.*

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
1.		<p>PD001 - SPECIFIC USES ONLY This Combined Development Permit (PLN080522) allows 1) A Coastal Administrative Permit to allow the demolition of an existing 1,110 square foot single family dwelling and construction of a new 4,917 square foot, 2- story single family dwelling including a 476 square foot garage attached by a 255 square foot porte cochere and approximately 750 cubic yards of grading (500 cubic yards of cut/250 cubic yards of fill); 2) A Coastal Development Permit to allow development on slopes greater than 30%; and 3) A Design Approval. The property is located at 1508 Bonifacio Road, Pebble Beach (Assessor's Parcel Number 008-341-014-000), Del Monte Forest Land Use Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the following terms and conditions. Neither the</p>	Adhere to conditions and uses specified in the permit.	Owner/ Applicant	Ongoing unless otherwise stated	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of the RMA - Planning Department. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning Department)				
2.		PD002 - NOTICE-PERMIT APPROVAL The applicant shall record a notice which states: "A permit (Resolution _____) was approved by the Planning Commission for Assessor's Parcel Number 008-341-014-000 on April 8, 2009. The permit was granted subject to 22 conditions of approval which run with the land. A copy of the permit is on file with the Monterey County RMA - Planning Department." Proof of recordation of this notice shall be furnished to the Director of the RMA - Planning Department prior to issuance of building permits or commencement of the use. (RMA - Planning Department)	Proof of recordation of this notice shall be furnished to the RMA - Planning Department.	Owner/ Applicant	Prior to the issuance of grading and building permits or commencement of use.	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
3.		<p>PD003(A) – CULTURAL RESOURCES – NEGATIVE ARCHAEOLOGICAL REPORT</p> <p>If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. The Monterey County RMA - Planning Department and a qualified archaeologist (i.e., an archaeologist registered with the Society of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery. (RMA - Planning Department)</p>	<p>Stop work within 50 meters (165 feet) of uncovered resource and contact the Monterey County RMA - Planning Department and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.</p>	<p>Owner/ Applicant/ Archaeologist</p>	<p>Ongoing</p>	
4.		<p>PD010 - EROSION CONTROL PLAN AND SCHEDULE</p> <p>The approved development shall incorporate the recommendations of the Erosion Control Plan as reviewed by the Director of RMA – Planning and Director of Building Services. All cut and/or fill slopes exposed during the course of construction be covered, seeded, or otherwise treated to control erosion during the course of construction, subject to the approval of the Director of RMA - Planning and Director of RMA - Building Services. The improvement and grading plans shall include an implementation schedule of measures for the prevention and control of erosion, siltation and dust during and immediately</p>	<p>An Erosion Control Plan shall be submitted to the RMA - Planning Department and the RMA - Building Services Department prior to issuance of building and grading permits.</p> <p>Comply with the recommendations of the Erosion Control Plan during the course of construction until project completion as approved by the Director of RMA - Planning and Director of RMA - Building Services.</p>	<p>Owner/ Applicant</p> <p>Owner/ Applicant</p>	<p>Prior to the issuance of grading and building permits</p> <p>Ongoing</p>	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		following construction and until erosion control planting becomes established. This program shall be approved by the Director of RMA - Planning and Director of RMA - Building Services. (RMA - Planning Department and RMA - Building Services Department)	Evidence of compliance with the Implementation Schedule shall be submitted to the RMA - Planning Department and the RMA - Building Services Department	Owner/ Applicant	Prior to final inspection	
5.		PD011 – TREE AND ROOT PROTECTION Trees which are located close to the construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by a certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of the RMA – Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by a certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (RMA - Planning Department)	Submit evidence of tree protection to the RMA - Planning Department for review and approval.	Owner/ Applicant	Prior to the issuance of grading and/or building permits	
			Submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.	Owner/ Applicant/ Arborist	During Construction	
			Submit photos of the trees on the property to the RMA – Planning Department after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.	Owner/ Applicant	Prior to final inspection	
6.		PD012(D) - LANDSCAPE PLAN AND MAINTENANCE - MONTEREY PENINSULA WATER MANAGEMENT DISTRICT (SINGLE FAMILY DWELLING ONLY) The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of the RMA - Planning	Submit landscape plans and contractor's estimate to the RMA - Planning Department for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable.	Owner/ Applicant/ Licensed Landscape Contractor/ Licensed Landscape Architect	Prior to issuance of Building Permits	

Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
		<p>Department. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County RMA - Planning Department. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (RMA – Planning Department)</p>	<p>Submit one (1) set landscape plans of approved by the RMA – Planning Department, a Maximum Applied Water Allowance (MAWA) calculation, and a completed “<u>Residential</u> Water Release Form and Water Permit Application” to the Monterey County Water Resources Agency for review and approval.</p>	<p>Owner/ Applicant/ Licensed Landscape Contractor/ Licensed Landscape Architect</p>	<p>Prior to issuance of Building Permits</p>	
			<p>Submit the RMA – Planning Department approved landscape plans, a Maximum Applied Water Allowance (MAWA) calculation, and a completed “<u>Residential</u> Water Release Form and Water Permit Application” to the Monterey Peninsula Water Management District for review and approval.</p>	<p>Owner/ Applicant/ Licensed Landscape Contractor/ Licensed Landscape Architect</p>	<p>Prior to issuance of Building Permits</p>	
			<p>Submit an approved water permit from the MPWMD to the RMA – Building Permit</p>	<p>Owner/ Applicant/ Licensed Landscape Contractor</p>	<p>Prior to issuance of Building Permits</p>	
			<p>Landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County RMA - Planning Department.</p>	<p>Owner/ Applicant/ Licensed Landscape Contractor/ Licensed Landscape Architect</p>	<p>Prior to Occupancy</p>	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
			All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.	Owner/ Applicant	Ongoing	
7.		PD014(A) – LIGHTING – EXTERIOR LIGHTING PLAN All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The applicant shall submit 3 copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations, Title 24, Part 6. The exterior lighting plan shall be subject to approval by the Director of the RMA - Planning Department, prior to the issuance of building permits. (RMA – Planning Department)	Submit three copies of the lighting plans to the RMA - Planning Department for review and approval. Approved lighting plans shall be incorporated into final building plans.	Owner/ Applicant	Prior to the issuance of building permits.	
			The lighting shall be installed and maintained in accordance with the approved plan.	Owner/ Applicant	Prior to Occupancy/ Ongoing	
8.		PD016 – NOTICE OF REPORT Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states: "A geotechnical report has been prepared for this parcel by Grice Engineering, Inc, dated December 2008 and is on record in the Monterey County RMA - Planning Department , Library No. LIB090007. All development shall be in accordance with this report." (RMA – Planning Department)	Proof of recordation of this notice shall be furnished to the RMA - Planning Department.	Owner/ Applicant	Prior to the issuance of grading and building permits.	
			Submit proof that all development has been implemented in accordance with the report to the RMA - Planning Department for review and approval.	Owner/ Applicant	Prior to Occupancy	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
9.		PD032 - PERMIT TIME/YEAR & DATE The permit shall be granted for a time period of 4 years, to expire on April 9, 2013 (RMA – Planning Department)	None	Owner/ Applicant	As stated in the conditions of approval	
10.		PD041 – HEIGHT VERIFICATION The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of the RMA- Building Services Department for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (RMA – Planning Department and Building Services Department)	1) The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection	Owner/ Applicant	Prior to the issuance of grading or building permits	
			2) The applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of the RMA- Building Services Department for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.	Owner/ Applicant/ Engineer	Prior to the final inspection	
11.		PD047 – DEMOLITION/DECONSTRUCTION OF STRUCTURES (MBUAPCD RULE 439) In accordance with Monterey Bay Unified Air Pollution Control District Rule 439, construction plans shall include "Demolition and Deconstruction" notes that incorporate the following work practice standards: 1. Sufficiently wet the structure prior to deconstruction or demolition. Continue wetting as necessary during active deconstruction or	Applicant shall incorporate a "Demolition/ Deconstruction" note on the demolition site plan that includes, but is not limited to, the standards set forth in this condition.	Contractor /Owner/ Applicant	Prior to the issuance of a demolition permit	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		<p>demolition and the debris reduction process;</p> <p>2. Demolish the structure inward toward the building pad. Lay down roof and walls so that they fall inward and not away from the building;</p> <p>3. Commencement of deconstruction or demolition activities shall be prohibited when the peak wind speed exceeds 15 miles per hour.</p> <p>All Air District standards shall be enforced by the Air District. (RMA – Planning Department)</p>	Contractor shall obtain any required Air District permits and conduct all deconstruction or demolition activities as required by the Air District.	Contractor /Owner/ Applicant/ Air District	During demolition	
12.		<p>WR8 - COMPLETION CERTIFICATION</p> <p>The applicant shall provide the Water Resources Agency certification from a registered civil engineer or licensed contractor that stormwater detention/retention facilities have been constructed in accordance with approved plans. (Water Resources Agency)</p>	Submit a letter to the Water Resources Agency, prepared by a registered civil engineer or licensed contractor, certifying compliance with approved drainage plan.	Owner/ Applicant/ Engineer/ Contractor	Prior to final inspection	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
13.		<p>WR40 - WATER CONSERVATION MEASURES The applicant shall comply with Ordinance No. 3932, or as subsequently amended, of the Monterey County Water Resources Agency pertaining to mandatory water conservation regulations. The regulations for new construction require, but are not limited to:</p> <p>a. All toilets shall be ultra-low flush toilets with a maximum tank size or flush capacity of 1.6 gallons, all shower heads shall have a maximum flow capacity of 2.5 gallons per minute, and all hot water faucets that have more than ten feet of pipe between the faucet and the hot water heater serving such faucet shall be equipped with a hot water recirculating system.</p> <p>b. Landscape plans shall apply xeriscape principles, including such techniques and materials as native or low water use plants and low precipitation sprinkler heads, bubblers, drip irrigation systems and timing devices. (Water Resources Agency)</p>	Compliance to be verified by building inspector at final inspection.	Owner/ Applicant	Prior to final building inspection/occupancy	
14.		<p>WR43 - WATER AVAILABILITY CERTIFICATION The applicant shall obtain from the Monterey County Water Resources Agency, proof of water availability on the property, in the form of an approved Monterey Peninsula Water Management District Water Release Form. (Water Resources Agency)</p>	Submit the Water Release Form to the Water Resources Agency for review and approval.	Owner/ Applicant	Prior to issuance of any building permits	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
15.		WRSP001 - DRAINAGE PLAN (NON-STANDARD) Prior to issuance of any grading or building permits, the applicant shall provide the Water Resources Agency a drainage plan prepared by a registered civil engineer or architect addressing on-site and off-site impacts along with supporting calculations and construction details. The plan shall include detention facilities to mitigate the impact of impervious surface stormwater runoff. Drainage improvements shall be constructed in accordance with plans approved by the Water Resources Agency. (Water Resources Agency)	Submit 3 copies of the drainage plan to the Water Resources Agency for review and approval.	Owner/ Applicant	Prior to issuance of any grading or building permits	
16.		FIRE007 - DRIVEWAYS Driveways shall not be less than 12 feet wide unobstructed, with an unobstructed vertical clearance of not less than 15 feet. The grade for all driveways shall not exceed 15 percent. Where the grade exceeds 8 percent, a minimum structural roadway surface of 0.17 feet of asphaltic concrete on 0.34 feet of aggregate base shall be required. The driveway surface shall be capable of supporting the imposed load of fire apparatus (22 tons), and be accessible by conventional-drive vehicles, including sedans. For driveways with turns 90 degrees and less, the minimum horizontal inside radius of curvature shall be 25 feet. For driveways with turns greater than 90 degrees, the minimum horizontal inside radius curvature shall be 28 feet. For all driveway turns, an additional surface of 4 feet shall be added. All	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		driveways exceeding 150 feet in length, but less than 800 feet in length, shall provide a turnout near the midpoint of the driveway. Where the driveway exceeds 800 feet, turnouts shall be provided at no greater than 400-foot intervals. Turnouts shall be a minimum of 12 feet wide and 30 feet long with a minimum of 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall long with a minimum 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall be located within 50 feet of the primary building. The minimum turning radius for a turnaround shall be 40 feet from the center line of the driveway. If a hammerhead/T is used, the top of the "T" shall be a minimum of 60 feet in length. (Pebble Beach Community Services District)	Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection.	
17.		FIRE008 - GATES All gates providing access from a road to a driveway shall be located at least 30 feet from the roadway and shall open to allow a vehicle to stop without obstructing traffic on the road. Gate entrances shall be at least the width of the traffic lane but in no case less than 12 feet wide. Where a one-way road with a single traffic lane provides access to a gated entrance, a 40-foot turning radius shall be used. Where gates are to be locked, the installation of a key box or other acceptable means for immediate access by emergency equipment may be required. (Pebble Beach Community Services District)	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of grading and/or building permit.	
			Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection.	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
18.		<p>FIRE011 - ADDRESSES FOR BUILDINGS All buildings shall be issued an address in accordance with Monterey County Ordinance No. 1241. Each occupancy, except accessory buildings, shall have its own permanently posted address. When multiple occupancies exist within a single building, each individual occupancy shall be separately identified by its own address. Letters, numbers and symbols for addresses shall be a minimum of 4-inch height, 1/2-inch stroke, contrasting with the background color of the sign, and shall be Arabic. The sign and numbers shall be reflective and made of a noncombustible material. Address signs shall be placed at each driveway entrance and at each driveway split. Address signs shall be and visible from both directions of travel along the road. In all cases, the address shall be posted at the beginning of construction and shall be maintained thereafter. Address signs along one-way roads shall be visible from both directions of travel. Where multiple addresses are required at a single driveway, they shall be mounted on a single sign. Where a roadway provides access solely to a single commercial occupancy, the address sign shall be placed at the nearest road intersection providing access to that site. Permanent address numbers shall be posted prior to requesting final clearance. (Pebble Beach Community Services District)</p>	<p>Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.</p>	Applicant or owner	Prior to issuance of building permit.	
			<p>Applicant shall schedule fire dept. clearance inspection</p>	Applicant or owner	Prior to final building inspection	
19.		<p>FIRE016 - SETBACKS All parcels 1 acre and larger shall provide a minimum 30-foot setback for new buildings and accessory buildings from all property lines and/or the center of the road. For parcels less than 1 acre, alternate fuel modification standards or other requirements may be imposed by the</p>	<p>Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.</p>	Applicant or owner	Prior to issuance of grading and/or building permit.	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		local fire jurisdiction to provide the same practical effect. (Pebble Beach Community Services District)	Applicant shall schedule fire dept. clearance inspection	Applicant or owner	Prior to final building inspection	
20.		FIRE021 - FIRE PROTECTION EQUIPMENT & SYSTEMS - FIRE SPRINKLER SYSTEM (STANDARD) The building(s) and attached garage(s) shall be fully protected with automatic fire sprinkler system(s). Installation shall be in accordance with the applicable NFPA standard. A minimum of four (4) sets of plans for fire sprinkler systems must be submitted by a California licensed C-16 contractor and approved prior to installation. This requirement is not intended to delay issuance of a building permit. A rough sprinkler inspection must be scheduled by the installing contractor and completed prior to requesting a framing inspection. (Pebble Beach Community Services District)	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	
			Applicant shall schedule fire dept. rough sprinkler inspection	Applicant or owner	Prior to framing inspection	
			Applicant shall schedule fire dept. final sprinkler inspection	Applicant or owner	Prior to final building inspection	
21.		FIRE024 - FIRE ALARM SYSTEM - (SINGLE FAMILY DWELLING) The residence shall be fully protected with an approved household fire warning system as defined by NFPA Standard 72. Plans and specifications for the household fire warning system shall be submitted by a California licensed C-10 contractor and approved prior to installation. Household fire warning systems installed in lieu of single-station smoke alarms required by the Uniform Building Code shall be required to be placarded as permanent building equipment. (Pebble Beach Community Services District)	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	
			Applicant shall submit fire alarm plans and obtain approval	Applicant or owner	Prior to rough sprinkler or framing inspection	
			Applicant shall schedule fire alarm system acceptance test.	Applicant or owner	Prior to final building inspection	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
22.		FIRE029 - ROOF CONSTRUCTION - (CYPRESS FPD & PEBBLE BEACH CSD) All new structures, and all existing structures receiving new roofing over 25 percent or more of the existing roof surface within a one-year period, shall require a minimum of ICBO Class A roof construction. (Pebble Beach Community Services District)	Applicant shall enumerate as "Fire Dept. Notes" on plans.	Applicant or owner	Prior to issuance of building permit.	

END OF CONDITIONS

DEL MONTE FOREST

Exhibit E

Sea/Rock Creek

COSTANILLA WY.

VISCAINO RD

RONDA RD

BONIFACIO RD

PROJECT SITE

CORTES RD

PIATA RD

PALMERO WY.

STEVENSON DR

FOREST LAKE RD

ONDULADO RD

STEVENSON DR

PALMERO WY.

SEVENTEEN MILE DR

Pacific Ocean


Pescadero Canyon


CARMEL

APPLICANT: LOEST

APN: 008-341-014-000

FILE # PLN080522

 300' Limit

 2500' Limit

 City Limits



0 1,000
Feet



PLANNER: SPENCER

Exhibit F

EROSION CONTROL RECOMMENDATIONS

1. ALL GRADING SHALL CONFORM TO MONTEREY COUNTY EROSION CONTROL ORDINANCE #2606.
2. LIMITS OF GRADING SHOULD BE CONFINED TO THOSE AREAS NECESSARY FOR THE SUBJECT PROJECT, I.E. AS MUCH AS THE VEGETATED LANDSCAPE NOT ASSOCIATED WITH THE PROPOSED CONSTRUCTION SHOULD BE LEFT AS UNDISTURBED AS POSSIBLE.
3. IF RAIN IS IN THE FORECAST, ALL EXPOSED SOIL SHOULD BE IMMEDIATELY PROTECTED WITH STRAW MULCH, EROSION NETTING, AND STOCKPILES COVERED WITH PLASTIC SHEETING. THESE ITEMS SHOULD BE KEPT ON HAND AT ALL TIMES DURING CONSTRUCTION.
4. CUT AND FILL MATERIALS SHOULD BE STOCKPILED WHERE THEY MAY WASH ONTO ADJOINING PROPERTIES, ROADWAYS OR WATERCOURSES, ANY DEPOSITED OR NATIVE MATERIALS REMAINING AFTER COMPLETION OF THE JOB SHOULD BE HAULED OFFSITE.
5. RE-VEGETATE AND PROTECT ALL DISTURBED SOIL PRIOR TO OCTOBER 15. THE APPROPRIATE GRASS/LEGUME SEED MIXES, SITE AND/OR EROSION NETTING, AND STRAW MULCH SHOULD BE USED FOR TEMPORARY COVER. PERMANENT VEGETATION SHOULD INCLUDE NATIVE AND DROUGHT RESISTANT PLANTS.
6. IRRIGATION ACTIVITIES AT THE SITE SHOULD ALWAYS BE DONE IN A CONTROLLED AND REASONABLE MANNER. PLANTER AREAS SHOULD NOT BE SITED ADJACENT TO BUILDING WALLS, OTHERWISE HEADWAYS SHOULD BE IMPLEMENTED TO CONTAIN IRRIGATION WATER AND PREVENT IT FROM SEEPING INTO WALLS AND UNDER FOUNDATIONS.
7. RAIN GUTTERS SHOULD BE INSTALLED ON ALL ROOF EAVES WHICH CONNECT VIA DOWNSPOUT TO PERIMETER STORM DRAIN LINES WHICH ARE ROUTED OR DISPERSED IN A COUNTY APPROVED MANNER.

PLANNING INFO.

- PROPERTY OWNER:
GARY & LAURA LOEST
PO BOX 1378
PEBBLE BEACH, CA 93953
PH. (831) 320-4453
- PROJECT ADDRESS:
1508 BONIFACIO ROAD
PEBBLE BEACH, CA
- PROJECT SCOPE:
NEW TWO-LEVEL SINGLE FAMILY RESIDENCE WITH ATTACHED TWO-CAR GARAGE AND PORTE COCHERE
- OCCUPANCY: R-3, U
- CONST. TYPE: V-B
- A.P.N. 008-341-014
- LEGAL DESC.: LOT: BLOCK:
- ZONE: LDR/1.5-0(C2)
- MAX BLDG. HT: 30 FT
- GRADING: 1500 CY CUT & 1500 CY FILL
- TREE REMOVAL: REMOVE (1) EXISTING 6" OAK TREE
- TOPOGRAPHY: SLOPING
- PROJECT CODE COMPLIANCE:
1. 2007 CBC, CMC, CPC, CFC, CEC, & CALIFORNIA ENERGY CODE
- LOT AREA: 30,746 S.F. (0.71 Ac.)

■ LOT COVERAGE CALCULATIONS:

	PROPOSED	EXISTING	REMOVAL	PROPOSED TOTAL
BUILDINGS	3,871	1,110	1,110	3,871
PORTE COCHERE	255	540	540	255
GARAGE	476			476
TOTAL				4,602

■ LOT COVERAGE ALLOWED: 4,611 SF (15%)
 ■ LOT COVERAGE PROPOSED: 4,602 SF (14.9%)

■ F.A.R. CALCULATIONS

	PROPOSED	EXISTING	REMOVAL	PROPOSED TOTAL
MAIN BUILDING	3,504	1,110	1,110	3,504
LOWER FLOOR	937	1,110	1,110	937
GARAGE	476			476
TOTAL				4,917

* SF OF LOWER LEVEL EXCLUDED DUE TO SUBGRADE CONDITION:
 ■ F.A.R. ALLOWED: 5,380 SF (17.5%)
 ■ F.A.R. PROPOSED: 4,917 SF (15.9%)

■ PASCADERO COVERAGE CALCULATIONS:

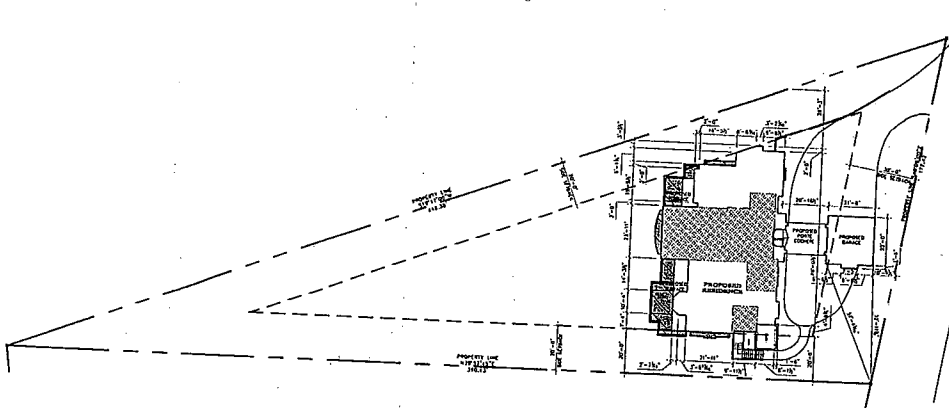
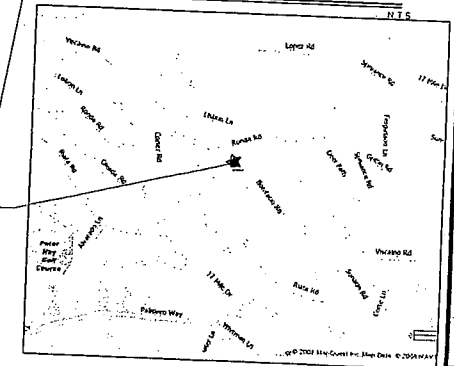
	PROPOSED	EXISTING	REMOVAL	PROPOSED TOTAL
SI STRUCTURAL BUILDINGS	4,347	1,110	1,110	4,347
PORTE COCHERE	255	540	540	255
TOTAL				4,602

■ IMPERVIOUS SURFACE

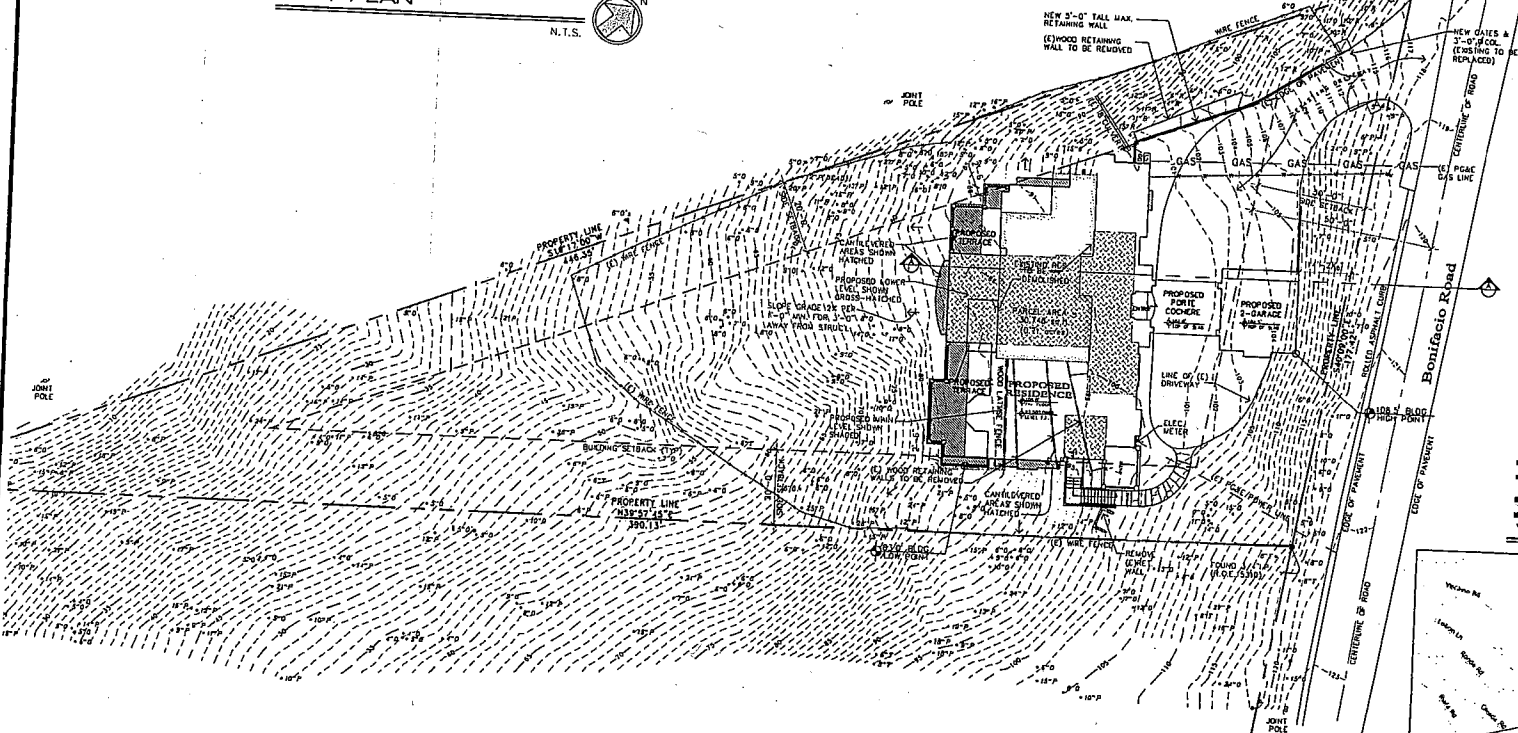
	PROPOSED	EXISTING	REMOVAL	PROPOSED TOTAL
DRIVEWAY	56	4,119	1,540	2,635
PATH/TERRACE	754	114	114	754
TOTAL				3,389

■ STRUCTURAL COVERAGE PROPOSED: 4,602 S.F.
 ■ STRUCTURAL COVERAGE ALLOWED: 5,000 S.F.
 ■ IMPERVIOUS COVERAGE PROPOSED: 3,389 S.F.
 ■ IMPERVIOUS COVERAGE ALLOWED: 4,000 S.F.

VICINITY MAP



PLOT PLAN
N.T.S.



SITE PLAN
1/16" = 1'-0"
N.T.S.

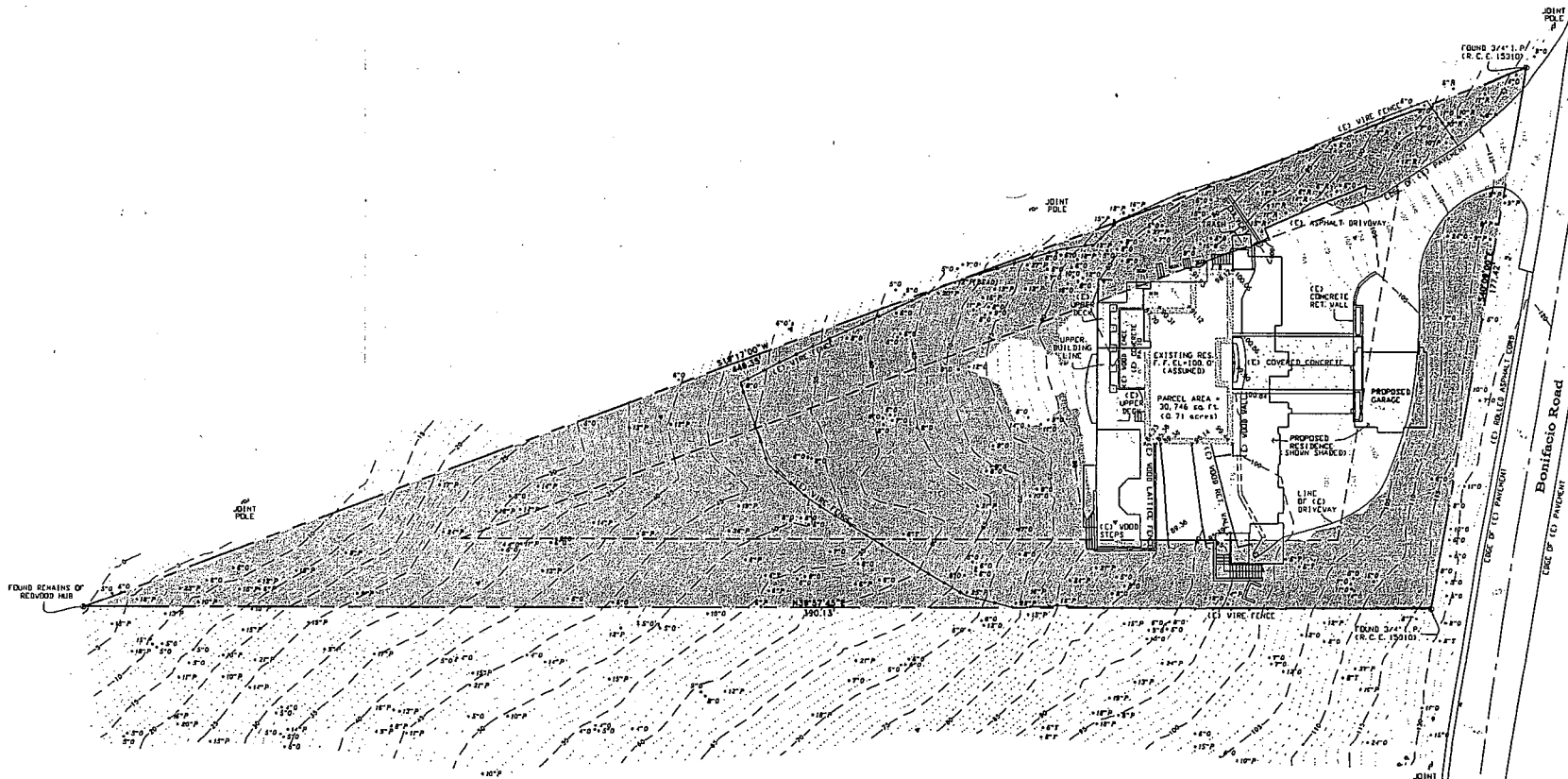
INTERNATIONAL DESIGN GROUP ARCHITECTURE INTERIOR DESIGN
 JUN A. BILAND, AIA
 JOHN B. MATTHEWS
 721 LIGHTHOUSE AVE. PACIFIC GROVE CA 93950
 PH (831) 641-1801 FAX (831) 641-1802 EMAIL info@idggroup.com

PROPOSED NEW RESIDENCE FOR:
 GARY & LAURA LOEST
 1508 BONIFACIO ROAD
 PEBBLE BEACH, CA

INTERNATIONAL DESIGN GROUP ARCHITECTURE INTERIOR DESIGN
 JUN A. BILAND, AIA
 JOHN B. MATTHEWS
 721 LIGHTHOUSE AVE. PACIFIC GROVE CA 93950
 PH (831) 641-1801 FAX (831) 641-1802 EMAIL info@idggroup.com

SITE PLAN
 DATE: 09-18-08
 PLANNING PACKAGE
 REVISIONS:
 12-12-08
 2ND SUBMITTAL
 12-30-08
 PLANNING APP
 1-28-09
 REV. PLANNING APP
 SHEET NO. A1.0

PLN080522






SITE PLAN- 30% SLOPE STUDY

NOTE: 30% SLOPE AREA SHOWN SHADED

1/16"=1'-0"



LEGEND

-  AREA OF SITE WITH SLOPE OF 30% OR GREATER
-  OUTLINE OF PROPOSED RESIDENCE
-  EXISTING RESIDENCE TO BE DEMOLISHED

ALL WORK SHALL BE ACCORDING TO THE SAN FRANCISCO BUILDING DEPARTMENT ORDINANCES AND THE CALIFORNIA CIVIL CODE. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE BUILDING AND ITS STRUCTURE. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF THE SURVEYING DATA OR THE RESULTS OF THE SOIL TESTS. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT.

PROPOSED NEW RESIDENCE FOR:
CARY & LAURA LOEST
 1508 BONIFACIO ROAD
 PEBBLE BEACH, CA

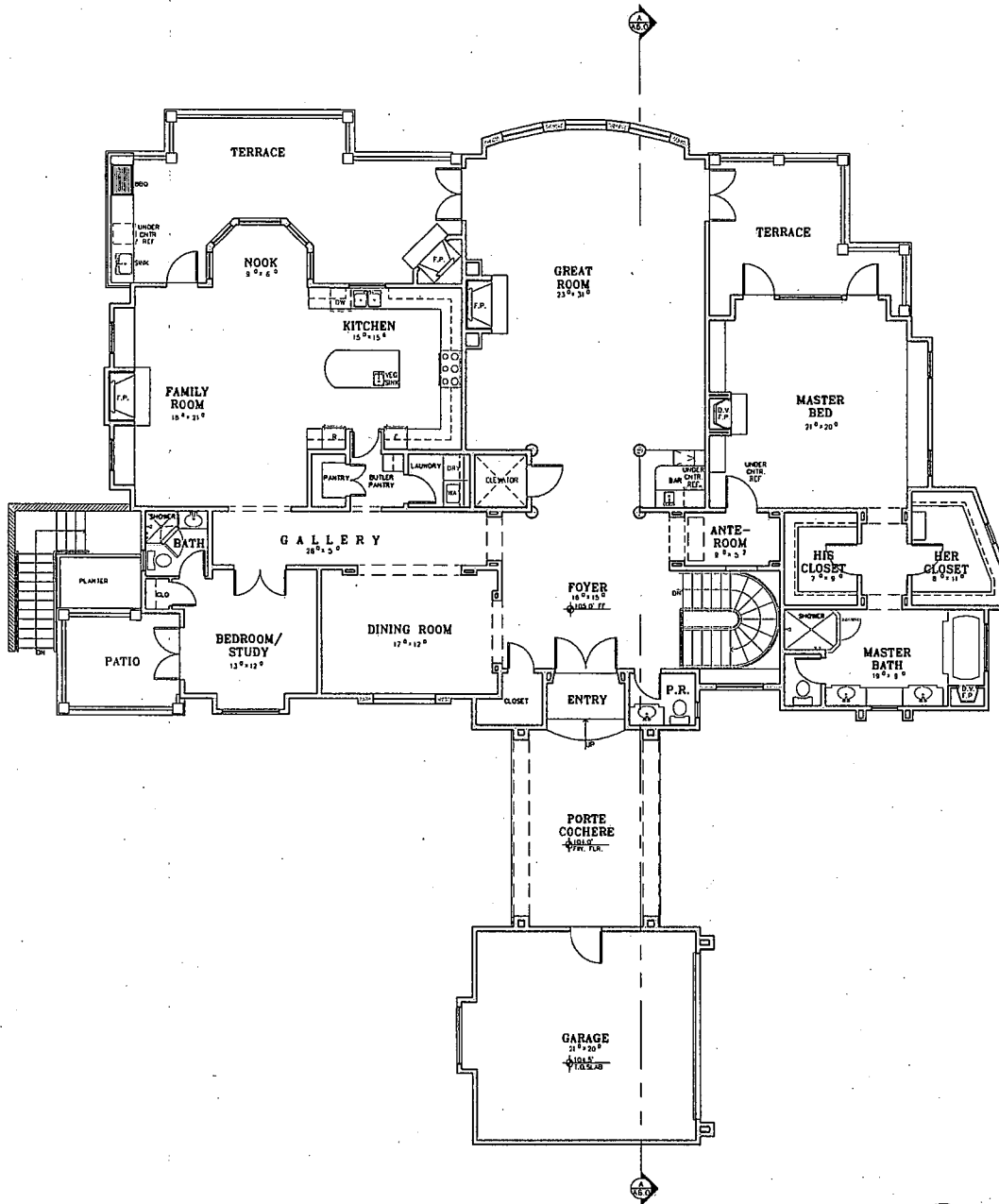
INTERNATIONAL DESIGN GROUP
 ARCHITECTURE ■ INTERIOR DESIGN
 JUN A. BILLARD, AIA JOHN R. MATTHEWS
 721 LIGHTHOUSE AVE ■ PACIFIC GROVE, CA ■ 93950
 (805) 466-1301 FAX (805) 466-1800 EMAIL: ijdg@internationaldesign.com



30% SLOPE STUDY
 DATE: 09-18-08
 PLANNING PACKAGE

REVISIONS:
 12-12-08
 12-22-08
 1-28-09
 2-11-09

SHEET NO
A1.2






MAIN LEVEL PLAN

1/8" = 1'-0"



WALL LEGEND

-  2X STUD FRAMED WALL (SEE DIM. PLAN FOR WIDTH)
-  STONE VENEER
-  CMU WALL-SEE STRUCTURAL DWG'S

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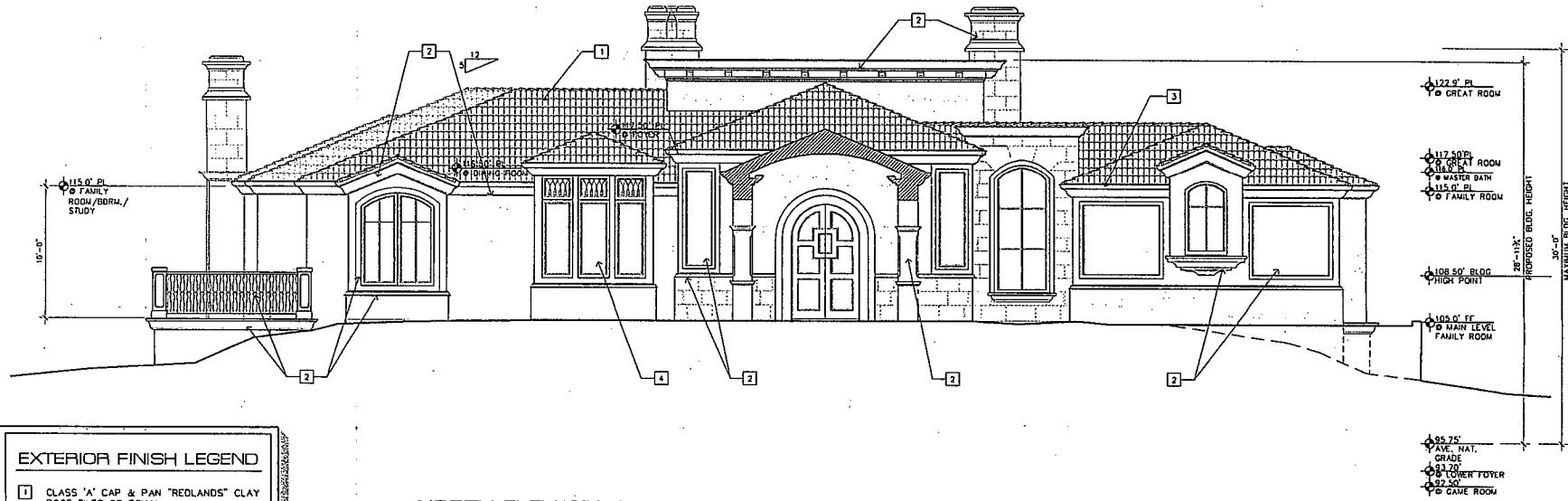
PROPOSED NEW RESIDENCE FOR:
GARY & LAURA LOBST
 1508 BONIFACIO ROAD PEBBLE BEACH, CA

INTERNATIONAL DESIGN GROUP
 ARCHITECTURE ■ INTERIOR DESIGN
 JOHN S. MATTHEWS
 JUN A. BILLANG, AIA
 721 LIGHTHOUSE AVE ■ PACIFIC GROVE, CA ■ 93950
 TEL: (805) 948-1301 ■ FAX: (805) 948-1300 ■ EMAIL: info@idgdesign.com

MAIN LEVEL
 PLAN
 DATE: 02-18-08
 PLANNING PACKAGE

REVISIONS:
 12-12-08
 17-04-08
 1-28-09
 1-28-09
 1-28-09

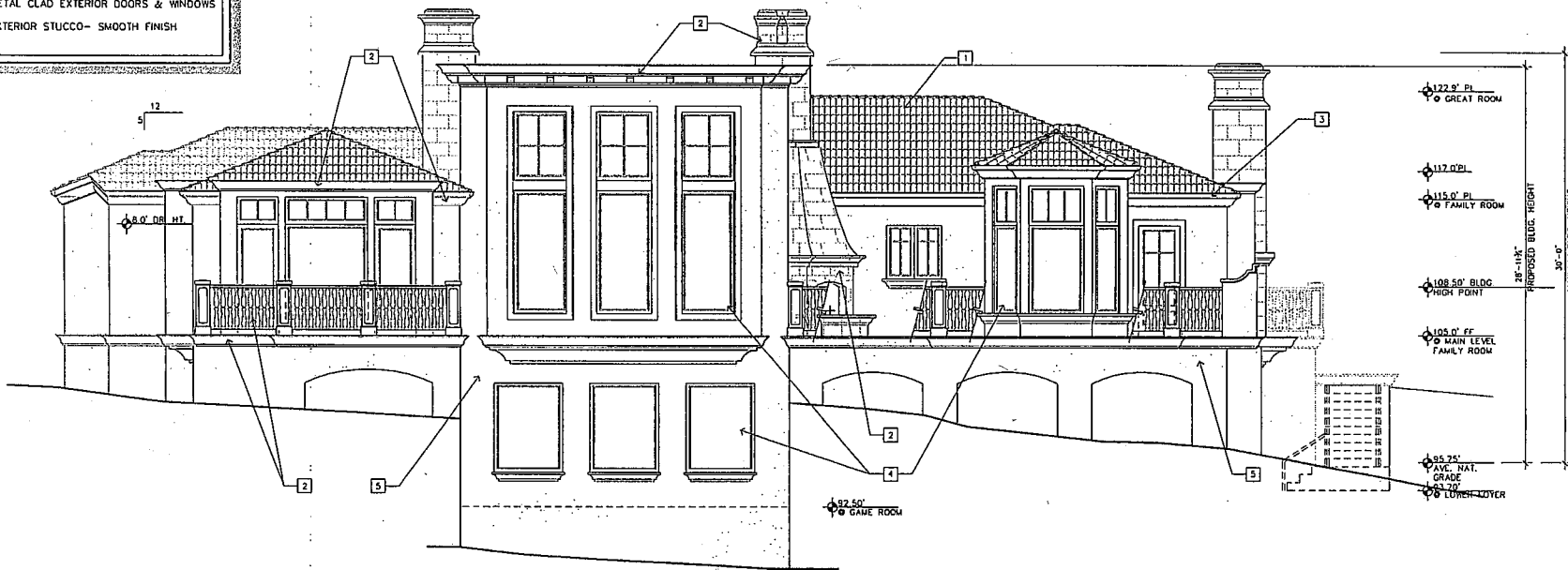
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EXTERIOR FINISH LEGEND	
1	CLASS 'A' CAP & PAN 'REDLANDS' CLAY ROOF TILES OR EQUAL
2	LIMESTONE - CORNICE MOULDING, PLINTH, TRIM, SURROUND, BALLUSTERS, ENTABLATURE, ETC., (SHOWN SHADED)
3	COPPER CLUTTER, DOWNSPOUTS, & LEADERBOXES
4	METAL CLAD EXTERIOR DOORS & WINDOWS
5	EXTERIOR STUCCO - SMOOTH FINISH

NORTH ELEVATION

1/4"=1'-0"



SOUTH ELEVATION

1/4"=1'-0"

THIS PLAN, SPECIFICATIONS, AND SCHEDULES SHALL BE CONSIDERED AS PART OF THE CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

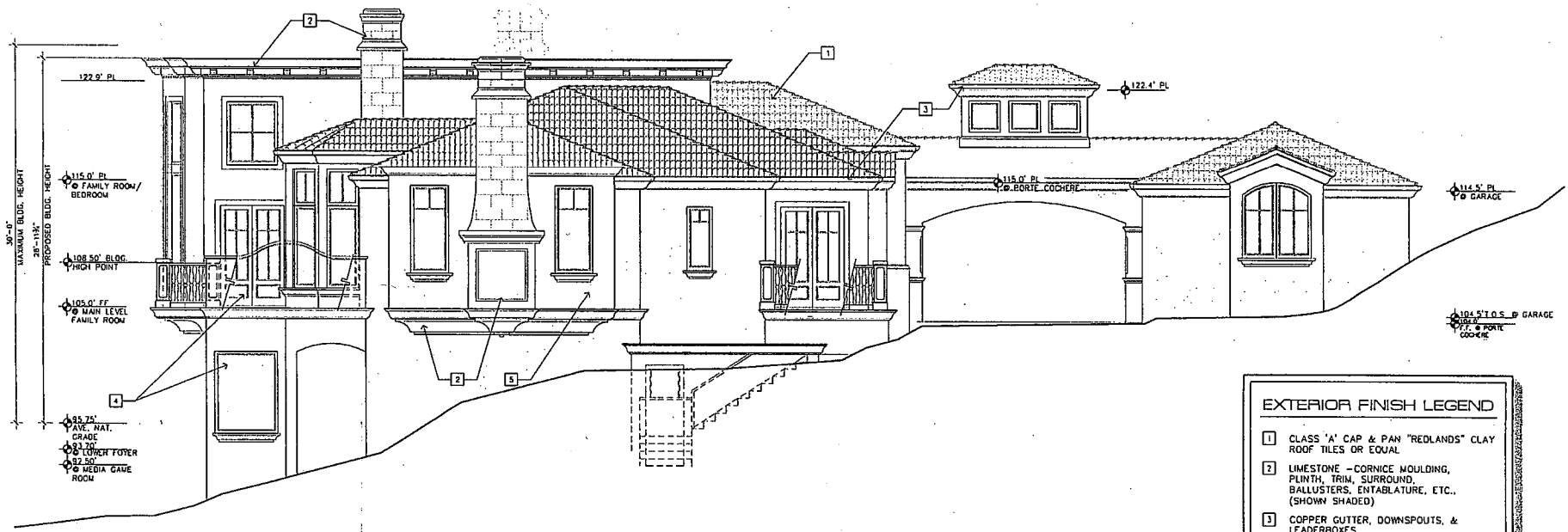
PROPOSED NEW RESIDENCE FOR:
GARY & LAURA LOEST
 1508 BONIFACIO ROAD PEBBLE BEACH, CA

INTERNATIONAL DESIGN GROUP
 ARCHITECTURE ■ INTERIOR DESIGN
 JOHN A. BILLANG, AIA JOHN E. MATTHEWS
 720 LIGHTHOUSE AVE ■ PACIFIC GROVE, CA ■ 93950
 PH: (805) 546-1201 ■ FAX: (805) 546-1200 ■ EMAIL: I.D.G.INTERNATIONAL.COM

ELEVATIONS

DATE: 09-18-08
 PLANNING PACKAGE
 REVISIONS:
 12-12-08
 09B SUBMITTAL
 12-30-08
 PLANNING APP.
 1-29-09
 REV. PLANNING APP.

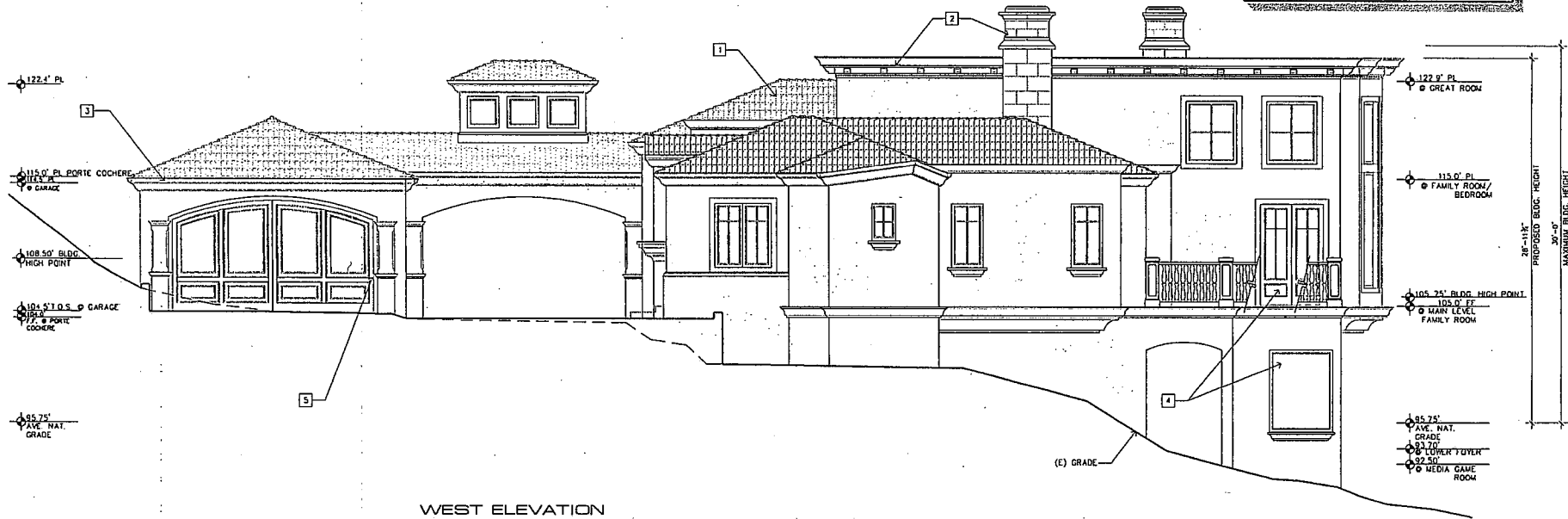
SHEET NO.
A5.0



EAST ELEVATION

1/4"=1'-0"

EXTERIOR FINISH LEGEND	
1	CLASS 'A' CAP & PAN "REDLANDS" CLAY ROOF TILES OR EQUAL
2	LIMESTONE - CORNICE MOULDING, PLINTH, TRIM, SURROUND, BALLUSTERS, ENTABLATURE, ETC., (SHOWN SHADED)
3	COPPER GUTTER, DOWNSPOUTS, & LEADERBOXES
4	METAL CLAD EXTERIOR DOORS & WINDOWS
5	EXTERIOR STUCCO- SMOOTH FINISH



WEST ELEVATION

1/4"=1'-0"

ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES. DIMENSIONS TO FACE UNLESS OTHERWISE NOTED. FINISH GRADES TO BE DETERMINED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

PROPOSED NEW RESIDENCE FOR:
GARY & LAURA LOBST
 1508 BONIFACIO ROAD
 PEBBLE BEACH, CA

INTERNATIONAL DESIGN GROUP
 ARCHITECTURE ■ INTERIOR DESIGN
 JUN A. BILLAND, AIA
 JOHN B. MATTHEWS
 791 LIGHTHOUSE AVE ■ PACIFIC GROVE, CA ■ 93950
 PH: (805) 448-1501 ■ FAX: (805) 448-1500 ■ EMAIL: info@idg.com

ELEVATIONS

DATE: 09-18-08
 PLANNING PACKAGE
 REVISIONS:
 12-12-08 ARB SUBMITAL
 12-30-08 ARB SUBMITAL
 1-29-09 PLANNING APP.
 1-29-09 REV. PLANNING APP.

SHEET NO
A5.1

Exhibit G

MINUTES
Del Monte Forest Land Use Advisory Committee
Thursday, January 22, 2009

1. Meeting called to order by Paul DeLay at 3:00 ~~am~~/pm

2. Roll Call

Members Present: Paul DeLay, Roderick L. Dewar, Sandra Verbanec, Lori Lietzke,
William Conners, Sandy Getreu and Kimberly Caneer

Members Absent: None

3. Approval of Minutes:

A. January 8, 2009 minutes

Motion: Lori Lietzke (LUAC Member's Name)

Second: William Conners (LUAC Member's Name)

Ayes: DeLay, Dewar, Verbanec, Lietzke, Conners, Getreu, Caneer

Noes: None

Absent: None

Abstain: None

4. **Public Comments:** The Committee will receive public comment on non-agenda items that are within the purview of the Committee at this time. The length of individual presentations may be limited by the Chair.

None

Action by Land Use Advisory Committee Project Referral Sheet

Monterey County Planning Department
168 W Alisal St 2nd Floor
Salinas CA
(831) 755-5025

Advisory Committee: Del Monte Forest

Please submit your recommendations for this application by **January 22, 2009**

Project Name: LOEST GARY E & LAURA A

File Number: PLN080522

File Type: PC

Project Planner: SPENCER

Project Location: 1508 BONIFACIO RD PEBBLE BEACH

Project Description: COMBINED DEVELOPMENT PERMIT CONSISTING OF 1) A COASTAL ADMINISTRATIVE PERMIT TO ALLOW THE DEMOLITION OF AN EXISTING 1,110 SQUARE FOOT SINGLE FAMILY DWELLING AND CONSTRUCTION OF A NEW 4,917 SQUARE FOOT, 2-STORY SINGLE FAMILY DWELLING INCLUDING A 476 SQUARE FOOT GARAGE ATTACHED BY A 255 SQUARE FOOT PORTE COCHERE AND APPROXIMATELY 3,000 CUBIC YARDS OF GRADING (1,500 CUBIC YARDS CUT/1,500 CUBIC YARDS FILL); 2) A COASTAL DEVELOPMENT PERMIT TO ALLOW DEVELOPMENT ON SLOPES GREATER THAN 30%; 3) A COASTAL DEVELOPMENT PERMIT TO ALLOW REMOVAL OF ONE 6-INCH OAK TREE; AND 4) A DESIGN APPROVAL. THE PROPERTY IS LOCATED AT 1508 BONIFACIO ROAD, PEBBLE BEACH (ASSESSOR'S PARCEL NUMBER: 008-341-014-000) DEL MONTE FOREST AREA, COASTAL ZONE.

Was the Owner/Applicant/Representative Present at Meeting? Yes No

PUBLIC COMMENT: None

Name	Site Neighbor?		Issues / Concerns (suggested changes)
	YES	NO	

LUAC AREAS OF CONCERN None

Concerns / Issues (e.g. site layout, neighborhood compatibility; visual impact, etc)	Policy/Ordinance Reference (If Known)	Suggested Changes - to address concerns (e.g. relocate; reduce height; move road access, etc)

ADDITIONAL LUAC COMMENTS None

RECOMMENDATION :

Motion by Sandy Getreu (LUAC Member's Name)

Second by William Conners (LUAC Member's Name)

- Support Project as proposed
- Recommend Changes (as noted above)
- Continue the Item

Reason for Continuance: _____

Continued to what date: _____

AYES: DeLay, Dewar, Verbanec, Lietzke, Conners, Getreu and Caneer

NOES: None

ABSENT: None

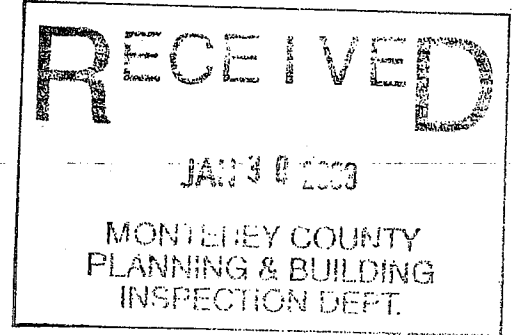
ABSTAIN: None



INTERNATIONAL DESIGN GROUP
ARCHITECTURE ■ INTERIOR DESIGN

January 30, 2009

Mr. Craig Spencer
Project Planner
Monterey County Planning Department
168 W. Alisal, 2nd Floor
Salinas, CA 93901



Re: Proposed Loest Residence
APN: 008-341-014
PLN: 080522

Dear Craig,

On behalf of the property owners' for the above-referenced proposed project, we would like to submit (see attached) our revised plans for the development on slopes in excess of 30% with the following justifications.

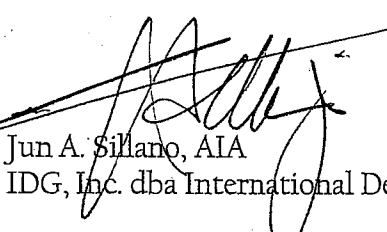
- A. That because of special circumstances applicable to subject property, including size, shape, topography, location or surroundings, the strict application of the Coastal Implementation plan is found to deprive the subject property of privileges enjoyed by other properties in the vicinity and under identical zone classification. There is no feasible alternative that would allow development to occur on slopes of less than 30% due to existing site constraints, i.e. 72% of the property has slopes 30% or greater and unbuildable areas (see slope study), the site's size and pie shape in comparison to all other adjacent properties, and the fact that the subject property is heavily forested. We have explored other options to move the proposed Garage out of the 30% slope area and found it would require the removal of at least three (3) existing oak trees on the north-west side of the property. The proposed project will be sited in the same location as the existing residence to minimize site impact. A small section of the proposed garage (85 square feet) is in the area of 30% slopes. This encroachment will be required to keep the proposed residence consistent with the other homes in the vicinity requiring appropriate covered parking and driveway/motor court area.

PUN080522

- B. That the proposed development does not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such property is situated. The proposed project is in the "estate" area of Del Monte Forest. The current project as designed will be complementing similar large homes in the immediate vicinity as best as the property constraints will allow. Similar projects in the Del Monte Forest area have been granted approval for development on slopes over 30%, as well. Also, the Pebble Beach Architectural Review Board and the Del Monte Forest Land Use Advisory Committee has approved the project as designed due to its location and constraints.
- C. The proposed project is not for a use or activity which is not otherwise expressly authorized by the zone regulation governing the parcel of property. The proposed development better achieves the goals, policies and objectives of the Monterey County local coastal program. The proposed project will have minimal site impact and disturbance since the proposed project development will be sited within the footprint of the existing residence and existing driveway. There is no impact to existing trees, and no tree removal is proposed. The proposed project is for a one-story single-family residence with a two-car attached garage and partial sub-grade basement, consistent with the Coastal Zone designation of low density residence (LDR).

Please don't hesitate to call if you have questions or clarifications.

Sincerely,



Jun A. Sillano, AIA
IDG, Inc. dba International Design Group

Attachment: Revised Plans, International Design Group

Exhibit I

LIBRARY #: LIB-090007
FILE #: PLN080522
PLANNER: SPENCER, C

REPORT
to
MR. JUN SILLANO
INTERNATIONAL DESIGN GROUP
721 LIGHTHOUSE AVENUE
PACIFIC GROVE, CALIFORNIA
93950

GEOTECHNICAL REPORT
for the proposed
LOEST RESIDENCE & GARAGE
1508 BONIFACIO ROAD
PEBBLE BEACH, CALIFORNIA
A. P. N. 008-341-014

RECEIVED

DEC 30 2008

MONTEREY COUNTY
PLANNING & BUILDING
INSPECTION DEPT.

by

GRICE ENGINEERING, INC.
561-A BRUNKEN AVENUE
SALINAS, CALIFORNIA
DECEMBER 2008

GRICE ENGINEERING AND GEOLOGY INC

ENGINEERING, GEOTECHNICS, HYDROLOGY, SOILS,
FOUNDATIONS, AND EARTH STRUCTURES

561A Brunken Avenue
Salinas, California 93901

Salinas: (831) 422-9619
Monterey: (831) 375-1198
FAX: (831) 422-1896

File No. 5334-08.11
December 11, 2008

Mr. Jun Sillano
International Design Group
721 Lighthouse Avenue
Pacific Grove, California 93950

Project: Proposed Loest Residence & Garage
1508 Bonifacio Road
Pebble Beach, California
A. P. N. 008-341-014

Subject: Geotechnical Report

Dear Mr. Sillano;

Pursuant to your request, we have completed our geotechnical investigation and evaluation of the above named site. It is our opinion that this site is suitable for the proposed development, provided the recommendations made herein are followed.

In general, the near surface soils are loose and some amount of fill soils are located within the area of proposed construction. These soils will need to be taken into account during design and construction of the proposed residence. Recommendations are given relative to this and other characteristics within the report and especially under Special Recommendations.

The report contained herein is made with our best efforts to evaluate the site, determine the site's geotechnical conditions and provide recommendations for these conditions. We submit this report with the understanding that it is the responsibility of the owner, or his representative, to ensure incorporation of these recommendations into the final plans, and their subsequent implementation in the field.

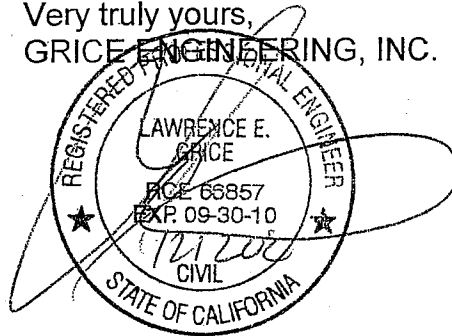
File No. 5334-08.11
December 11, 2008
Page 2

In addition, we recommend that GRICE ENGINEERING, INC., be retained to review the project plans and provide the construction supervision and testing required to document compliance with these recommendations. Should any site condition not mentioned in this report be observed, this office should be notified so that additional recommendations can be made, if necessary.

This report and the recommendations herein are made expressly for the above referenced project and may not be utilized for any other site without written permission of GRICE ENGINEERING, INC.

Please feel free to call this office should you have any questions regarding this report.

Very truly yours,
GRICE ENGINEERING, INC.



Lawrence E. Grice, P.E.
R.C.E. 66857

NOTICE TO OWNER

Any earthwork and grading performed without direct engineering supervision and materials testing by Grice Engineering Inc., will not be certified as complete and in accordance with the requirements set forth herein.

Foundations placed without observation of bearing conditions will not be certified as being in accordance with the requirements set forth herein.

Inspection of Work

It is recommended that all site work be inspected and tested during performance by this firm to establish compliance with these recommendations.

NOTIFY: GRICE ENGINEERING INC.	SALINAS	(831) 422-9619
561-A Brunken Avenue	MONTEREY	(831) 375-1198
Salinas, California 93901	FAX	(831) 422-1896

A minimum of 48 hours (2 working days) notification is required prior to commencement of work so that scheduling for testing and inspections can be made.

Please be advised that costs incurred during inspection and testing of all site work is separate and not considered part of the fees as charged by Grice Engineering, Inc. for the report contained herein.

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The existing residence and surrounding hardscaping is to be demolished and removed. As proposed, a single family residence with finished basement is to be constructed in approximately the same area as the former residence. The detached garage is to be placed between the residence and the front property line, with a porte cochere connecting the two structures. The new driveway is to maintain the existing location of the original driveway, however it is to be looping around on itself, providing entrance to the garage from the southeast.

The approximately 4,347 square foot residence, including the garage, is to be of conventional wood construction with isolated and/or continuous spread footings. The garage is to have a slab-on-grade floor.

Field Investigation

Our field investigation consisted of a site inspection, along with drilling and sampling 5 exploratory bores to establish the subsurface soil profile, and obtain sufficient soil specimens to determine the soil characteristics. Drilling was accomplished by hand auger, with the spoil constantly examined, classified, and logged by field method in accordance with the Unified Soil Classification Chart¹ which is the basis of ASTM D2487. Penetration Resistance values were obtained through use of a dynamic cone penetrometer.

¹ Adopted 1952 by Corps of Engineers and Bureau of Reclamation. ASTM D2487 was developed as based on the Uniform Soils Classification Chart and System. The methods are equivalent.

Site Soil Profile

As found in the exploratory drilling, the site soils are generally consistent between each of the bores.

Near surface soils are comprised of moderately well graded sands containing few to little amounts of silt. These loose soils included some fill materials. The deepest fill soils will be found along the northeastern side of retaining structure for the existing parking canopy (to an approximate depth of 3.5 feet), below the southwestern edge of the parking area (to an approximate depth of 2.5 feet), to the southwest of the residence (to an approximate depth of 3.5 feet) and down the southeast side of the residence (fill soils to an approximate depth of 4.5 feet & native topsoils to an approximate depth of 8.0 feet). These fill and topsoils were observed damp to moist near grade and typically slightly saturated at contact with the underlying weathered granite.

Below the fill and top soils is weathered granite bedrock. As observed the upper 3 feet is moderate to well weathered with the rock becoming resistant below.

Complete soil characteristics and comments are reported on the boring logs at the depths observed. The logs are located in Appendix B.

Groundwater

Saturated conditions were observed in the soils above contact with the weathered granite. This free water should be expected across the site. Such free water may also be observed emitting from fractures in the granite.

Seismic History

Although no fault traces are thought to directly cross the building site, Monterey County is traversed by a number of both "active" and "potentially active" faults most of which are relatively minor hazards for the purposes of the site development. As such, this site will experience seismic activity of various magnitudes emanating from one or more of the numerous faults in the region.

Various maps presently exist, allowing observation on the site of distinctive geologic features. Some maps, such as that by Burkland and Associates (Reference No. 10) developed for Monterey County, are compilations from various sources detailing the locations of studied faults. Faults have inherent variances within their zones, and discoveries of new fault segments or entire faults is ongoing. There is also some difference in exact fault line location from source map to map, making precise location of said faults difficult. Therefore, relative to the information contained within this report, the following is considered to be as accurate as is currently possible from information made available to Grice Engineering Inc..

Regional Faults

Of most concern are active faults which have tectonic movement in the last 11,000 years and as such are called Holocene Faults and potentially active faults. The following are those nearest listed (Reference No. 12).

The most active is the San Andreas Rift System (Pajaro), located approximately 26.8 miles to the northeast. It has the greatest potential for seismic activity with estimated intensities of VI-VII Mercalli in this location.

Other fault zones are the Monterey Bay-Tularcitos Fault Zone, the center of which is located approximately 4.1 miles to the northeast, the San Gregorio-Palo Colorado (Sur) Fault Zone, approximately 3.0 miles to the southwest, and the Rinconada Fault Zone, approximately 12.0 miles to the northeast. These zones are not as liable to rupture as the San Andreas and a seismic event at any of the above fault zones would likely produce earth movements of a lesser intensity at the site.

Local Faults

In addition to the fault zones as discussed above, the local fault is as listed below as shown on the following maps, "Geological Map of the Monterey and Seaside 7.5 minute Quadrangles, Monterey County, California: A Digital Database" (Reference No. 16) "Geologic Map of the Monterey Peninsula and Vicinity, Monterey, Salinas, Point Sur, and Jamesburg 15-Minute Quadrangles, Monterey County" (Reference No. 22), and "Quaternary Fault and Fold Database for the United States" (Reference No. 44) including the USGS overlay on Google Earth Plus.

TABLE OF LOCAL FAULTS		
FAULT, PERPENDICULAR TO SITE	APPROXIMATE DISTANCE FROM SITE	DIRECTION
Cypress Point Fault	1.06 miles	southwest

This fault is considered "potentially active" and can be expected to produce seismic events. As this fault is short and localized, however, the energy release will be considerably less significant than any of the previously mentioned faults.

Liquefaction

The site soils are considered not susceptible to liquefaction as they are generally weathered bedrock at a typically shallow depth.

Differential-Total Settlement and Subsidence

The recommendations given in the Geotechnical Report are such that concerns of settlement are negligible. The expected total settlement is expected to be 1/4 inch and the expected differential settlement less than one half that.

The area is not within a known Subsidence Zone.

Slope Stability

Inspection of the site indicates that no landslides are located above or below the building area and the area is generally not susceptible to slope failure. The

shearing strengths are high as the site is underlaid by granite.

Seismic Strength Loss

The site soils are considered resistant to dilatency and the resulting momentary liquefaction as they are generally weathered granite at a relatively shallow depth.

Chemical Reactivity

The area is well developed with structures, generally found on Portland Cement products. Additionally these structures date back to the 1940's or earlier. Much of the concrete used in these structures has remained as cast. The area soils are not known for sulfate reaction with Portland cement products and as such chemical reactivity is not considered a problem in this area.

Expansive Soils

In general the granite has been weathered into sands containing typically few silts to little-some amounts of silty clay low to moderately low plasticity. These soils are typical to the area. Expansivity has not been influential to the existing structure as no deformations attributable to expansive soils were observed. Additionally there are no known problems with expansive soils in the area.

Surface Rupture and Lateral Spreading

The project site is located 1.06 miles to the northeast of the Cypress Point Fault. The site inspection did not reveal any surface features indicating a fault rupture has occurred at the site. The existing structure, driveways and roads do not reveal any strains which would be attributable to subsurface lateral or vertical displacements resulting from fault slip. Therefore surface rupture from fault activity across the site is considered improbable.

The project site is underlain by relatively strong soils and soft bedrock. These materials are considered resistant to lateral spreading. As such surface rupture from lateral spreading is considered improbable.

Seismicity

It is recommended that all structures be designed and built in accordance with the requirements of the California Building Code's current edition. All buildings should be founded on undisturbed native soils and/or tested and accepted engineering fill to prevent resonance amplification between soils and the structure.

2007 California Building Code Geoseismic Classifications

The California Building Code, 2007 edition (Reference No. 13), provides for seismic design values. These values are to be utilized when evaluating structural elements. The soils profile determination is based on the penetration resistance data developed from advancement of exploratory borings. Using averaged penetration values per depth of soils type gives an overall site value of 63 blows/foot penetration resistance as per Equation 16-42 of the 2007 CBC. The geoseismic character is as listed in the following table.

2006 I.B.C. - 2007 C.B.C. EARTHQUAKE LOADS SECTION 1613				
LONGITUDE	-121.938765	SOIL PROFILE	Soft Bedrock	
LATITUDE	36.574190	SITE CLASS	C	
PERIOD	S	F	Sm	Sd
0.2 sec	Ss = 1.548	Fa = 1.0	Sms = 1.548	Sds = 1.032
1.0 sec	S1 = 0.674	Fv = 1.3	Sm1 = 0.877	Sd1 = 0.584
Seismic Design Category to be assigned by structural or designer				

CONCLUSIONS OF INVESTIGATION

In general, the undisturbed, *in-situ*, native soils and acceptable, certified, engineered fill are suitable for foundation purposes and display engineering properties adequate for the anticipated soil pressures, providing the recommendations in this report are followed.

Special Recommendations

As observed, the site has been graded providing flat parking, building and landscape areas. Therefore the inside edges of flat areas have generally been excavated into the weathered granite with the outside edges built-up by fill soils. Additionally the yard area to the east of residence has been filled and the native topsoils are somewhat deeper in that area.

It is recommended that all foundations be embedded in the weathered granite.

It is recommended that all loose and disturbed soils be processed as engineered fill within for any portion of development to receive on-grade engineered structures, eg. interior floor slabs, pavement, engineered fill, etc.. The minimum depth of processing is to include the upper 2 feet of *in-situ* soils. The depth is to be increased, as necessary, to include all un-acceptable soils and existing fill.

The area has been developed and as such underground utilities are located within the area of proposed construction. In addition, buried objects or deeply disturbed soils may also be encountered. As such all care and practice is to be exercised to observe for and locate any such objects. Where these objects are to be removed or use discontinued, they are to be removed in their entirety and all disturbed soils are to be processed as engineered fill. The base of all excavations and over-excavations are to be inspected by the Soils Engineer prior to further processing, steel or form placement.

Free water was observed on top of the weathered granite. It is recommended that drainage curtains be installed up slope of construction and protect both pavements and structures. Depending on the time of construction some curtain drains will need to be installed prior construction.

Any further site activity, especially grading and foundation excavations, should be under the direction of a qualified Soils Engineer or their Representative. Should the spectrum of development change, this office should be notified so that additional recommendations can be made, if necessary.

Foundations and Footings

Geotechnical evaluation indicates that square, round, and continuous spread footings are satisfactory types of support. The minimum embedment for shallow, spread foundations is 12 inches for single stories and 18 inches for two stories into acceptable, *in-situ*, weathered granite bedrock. Embedment depths do not take into account the loose upper top soils, disturbed soils or any other unacceptable soils which exist at the site, e.g., any un-engineered fill, landscaping soils, etc.

VERTICAL SOIL PRESSURES ¹		
FOOTING TYPE	DEAD LOAD, kips/ft ²	DEAD + LL, kips/ft ²
Spread & Isolated	2.5	3.25
LATERAL SOIL PRESSURES ¹		
TYPE	VALUE, lbs/ft ²	
Active Earth Pressure	32 lbs/ft ³ (Equivalent Fluid Pressure)	
Restrained Earth Pressure	54 lbs/ft ³ (Equivalent Fluid Pressure)	
Seismic	2 lbs/ft ³ × H ² applied at 0.6H	
Friction at Base	0.40 × Dead Load	
Passive Earth Pressure	375 lbs/ft ³ × H ² NOTE ²	
Uplift Friction	140 lbs/ft ² × H	

Notes: LL = Live Load; DL = Dead Load; H = Vertical height of material retained.
 One-third increase to be allowed for wind and seismic forces.

¹ For depths into acceptable native materials or engineered fill.

² Excludes near surface 0.5 feet of *in-situ* soils.

Pile and Pier foundation information is not provided as none are required or proposed.

Slabs-on-Grade

All slabs should be constructed over a prepared sub-grade placed on suitable *in-situ* native material or tested and accepted engineered fill. Slabs should be underlain as described below.

On-grade slabs which are to receive impervious cover should be placed over a moisture vapor barrier consisting of a waterproof membrane (Moist Stop, 10 mil Visqueen, or equal) with a 2 inch protective sand cover. The waterproof membrane should be placed over a capillarity break consisting of 4 inches of open graded rock; round and sub-round rock is recommended to prevent puncture of the membrane. Open graded crushed aggregate may be utilized, provided the vapor barrier is protected from puncture by a cushion of filter fabric (Mirafi 140N or equal) laid over the aggregate prior to placement of the membrane.

All care and practice required to prevent puncture of the membrane during placement and pouring of covering slabs should be utilized during construction. Unless otherwise required for structural purposes, all slabs should be reinforced with a minimum of No.4, Grade 40, deformed steel reinforcing bar, 24 inches o.c., each way, to prevent separation and displacement in cases of cracking.

Slope Ratio and Drainage

Analysis of test results indicate that cut and fill slope ratios of 2 horizontal to 1 vertical will be satisfactory provided they are landscaped with soil retaining ground covers and are protected against free flowing overlap drainage.

Surface Drainage

All concentrated roof and area drainage should be released to the drainages west and east of the residence in a dispersed manner and away from structures, pavements and septic systems. A sub-surface dispersal system is not to be used.

General concentrated surface drainage should be retained at low velocity by slope, sod or other energy reducing features sufficient to prevent erosion, with concentrated over-slope drainage carried in lined channels, flumes, pipe or other erosion-preventing installations.

Subsurface Drains

When placing subsurface drains we recommend that filter fabric not be used, as we have found that this type of drainage system may not be effective should the filter fabric become clogged. We would recommend placement of Caltrans Class 1, Type 'A' drain rock, and that any fabric only be placed over the top of the trench.

CLASS 1		
SIEVE SIZES	PERCENTAGE PASSING	
	TYPE A	TYPE B
50.0-mm/2 inches	---	100
37.5-mm/1.5 inches	---	95-100
19.0-mm/0.75 inches	100	50-100
12.5-mm/0.5 inches	95-100	----
9.5-mm/0.415 inches	70-100	15-55
4.75-mm/No. 4	0-55	0-25
2.36-mm/No. 8	0-10	0-5
75.0- μ m/N0.200	0-3	0-3

General Site Preparation

For those items not directly addressed, it is recommended that all earthwork be performed in accordance with the following, and the Recommended Grading Specifications as found in Appendix C.

Preparation: Site preparation will consist of clearing and grubbing any existing structures and deleterious materials from the site, and the earthwork required to shape the site to receive the intended improvements, in accordance with the recommended grading specifications and the recommendations as provided above.

General Fill: General fill shall be placed only on approved surfaces, as engineered fill, and shall be compacted to 90% Relative Density. Native soils accepted for fill or existing aggregate fill may be used

for fill purposes provided all aggregate larger than 6 inches are removed.

**Imported
Materials:**

Materials imported for fill purposes shall be classified as: SAND, group symbol SW, SP, SC or SM, as given in ASTM 2487, "The Classification of Soils For Engineering Purposes." In all cases the portion finer than the No. 200 sieve shall not contain any greatly expansive clays. All soils utilized for fill purposes must be approved by the Soils Engineer prior to placement.

**Pavement
Grades:**

All pavement grades shall be of uniform thickness, density and moisture prior to placement of the next grade. Flexure of each or all grades shall not exceed 0.25 inches in 5 feet under an axial load of 18.5 kip.

Aggregate

Base Course:

All aggregates used for specified base courses, shall be handled in a manner which prevents segregation and non-uniformity of gradation.

**Structural
Backfill:**

Trench, wall and structural backfill shall be placed only on approved surfaces, as engineered fill, and shall be compacted to 95% Relative Density. Materials imported for backfill purposes shall have a Sand Equivalent of no less than 30 and shall be classified as Clean Sands as designated in "The Classification of Soils For Engineering Purposes" (ASTM 2487).

Compaction:

All re-compacted soils and/or engineered fill should be placed at a minimum 90% Relative Density or at the value required for that portion of the work. All pavement sections should be compacted to a minimum of 95% Relative Density.

Moisture:

During compaction moisture content of native soils should be that consistent with the moisture relative to 95% Relative Density and in no case should these materials be placed at less than 3 percent above the specific optimum moisture content for the soil in question. The engineer may elect to accept high moisture compacted soils provided the materials are at 95% Relative Wet Density at that moisture content.

Tests: All materials placed should be tested in accordance with the Compaction Control Tests: "Density of Soil In-Place by Sand Cone Method" (ASTM D-1556), "Moisture-Density Relationship of Soils" (ASTM D-1557), and "Density of Soils In-Place by Nuclear Method" (ASTM D-2922).

Deleterious Materials: Materials containing an excess of 5% (by weight) of vegetative or other deleterious matter may be utilized in areas of landscaping or other non-structural fills. Deleterious material includes all vegetative and non-mineral material, and all non-reducible stone, rubble and/or mineral matter of greater than 6 inches.

Over-Excavations: Over-excavations should include the foundation and pavement envelopes. Such excavations should extend beyond edge of development a minimum of 5 feet and to an imaginary line extending away at a slope of 45 degrees from the edge of development. The process shall include the complete removal of the required soils and subsequent placement of engineered fill. After removal of the soils to the required depth, the base of the excavation shall be inspected and approved by the Soils Engineer or his representative prior to further soils processing or placement. Based on this inspection other recommendations may be made.

Key: The toe of all slopes should be supported by a key cut a minimum of 3 feet into undisturbed soils to the inside of the fills toe. This key should be a minimum of 8 feet in width and slope at no less than 10% into the slope. In addition, as the fill advances up slope benches 3 feet across should be scarified into the fill/undisturbed soil interface.

LIMITATIONS AND UNIFORMITY OF CONDITIONS

The recommendations of this report are based on our understanding of the project as represented by the plans, and the assumption that the soil conditions do not deviate from those represented in this site soils investigation. Therefore, should any variations or undesirable conditions be encountered during construction, or if the actual project will differ from that planned at this time, GRICE ENGINEERING INC. should be notified and provided the opportunity to make addendum recommendations if required.

NOTIFY: GRICE ENGINEERING INC. SALINAS (831) 422-9619
561-A Brunken Avenue MONTEREY (831) 375-1198
Salinas, California 93901 FAX (831) 422-1896

This report is issued with admonishment to the Owner and to his representative(s), that the information contained herein should be made available to the responsible project personnel including the architects, engineers, and contractors for the project. The recommendations contained herein should be incorporated into the plans, the specifications, and the final work.

It is requested that GRICE ENGINEERING INC. be retained to review the project grading and foundation plans to ensure compliance with these recommendations. Further, it is the position of GRICE ENGINEERING INC. that work performed without our knowledge and supervision, or the direction and supervision of a project responsible professional soils engineer renders this report invalid.

It is our opinion the findings of this report are **valid** as of the **present date**, **however**, changes in the **Codes and Requirements** can occur and change the recommendations given within this report concerning the property. As well changes in the conditions of a property can occur with the passage of time, due either to natural processes or to the works of man as may effect this property. In addition, changes in **standards** may occur as a result of legislation, or the broadening of knowledge, and these changes may require re-evaluation of the conditions stated herein. Accordingly, the findings of this report may be invalidated wholly, or partially, by changes beyond our control. Therefore, this report is subject to review and should not be relied upon after a period of **three years**.

REVISED 04-25-2008