

## MONTEREY COUNTY PLANNING COMMISSION

<b>Meeting:</b> February 23, 2011 Time <b>9:00 A.M.</b>	<b>Agenda Item No.:</b> <b>2</b>
<b>Project Description:</b> Use Permit for development on slopes in excess of 25% for a 170-foot long, 9-foot high retaining wall and construction of a 220.5 square foot pool storage building to clear 10CE00140. Grading is approximately 1,350 cubic yards (784 cubic yards cut and 528 cubic yards fill).	
<b>Project Location:</b> 45360 Carmel Valley Road, Greenfield	<b>APN:</b> 419-361-014-000
<b>Planning File Number:</b> PLN100433	<b>Owner:</b> Stephen N. and Patricia A. Jensen Trs <b>Agent:</b> Ross Jensen
<b>Planning Area:</b> Central Salinas Valley	<b>Flagged and staked:</b> No
<b>Zoning Designation:</b> : "RG/10" Rural Grazing, 10 acre minimum parcel size	
<b>CEQA Action:</b> Categorically exempt pursuant to CEQA Guidelines Section 15304, Class 4(c) and (f)	
<b>Department:</b> RMA - Planning Department	

### RECOMMENDATION:

Staff recommends that the Planning Commission adopt a resolution (**Exhibit C**) to:

- 1) Categorically exempt the project from environmental review pursuant to CEQA Guidelines Section 15304; and
- 2) Approve PLN100433, based on the findings and evidence and subject to the conditions of approval (**Exhibit C**):

### PROJECT OVERVIEW:

The project is a 170-foot long, nine-foot high retaining wall including a 220.5 square foot below-grade pool storage room as part of the wall and associated storm water runoff drainage system. Approval of the Use Permit will result in stabilizing existing steep slopes, prevent and repair erosion adjacent to the pool, allow a useable patio area surrounding the swimming pool, and resolve a code violation.

### CEQA Review

The project is categorically exempt from CEQA, pursuant to Section 15304, Class 4, which exempts minor public or private alterations in the conditions of land and or vegetation which do not involve removal of healthy mature, scenic trees. See Exhibit B for further discussion.


**OTHER AGENCY INVOLVEMENT:** The following agencies and departments reviewed this project:

- √ RMA - Public Works Department
- √ Environmental Health Bureau
- √ Water Resources Agency
- √ CDF South County Fire Protection District

Agencies that submitted comments are noted with a check mark ("√"). Conditions recommended by the RMA – Planning Department have been incorporated into the Condition Compliance/Mitigation Monitoring and Reporting Plan attached as Exhibit 1 to the draft resolution (**Exhibit C**).


The project was not referred to a LUAC as there is no LUAC for the area.

Note: The decision on this project is appealable to the Board of Supervisors.

  
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Paula Bradley, MCP, AICP, Associate Planner  
(831) 755-5158, bradleyp@co.monterey.ca.us  
February 10, 2011

cc: Front Counter Copy; Planning Commission; South County CDF Fire Protection District; Public Works Department; Environmental Health Bureau; Water Resources Agency; Taven Kinison Brown, Planning Services Manager; Paula Bradley, MCP, AICP, Project Planner; Carol Allen, Senior Secretary; Stephen N. and Patricia A. Jensen Trs, Owner; Ross Jensen, Agent; Planning File PLN100433

Attachments: Exhibit A Project Data Sheet  
Exhibit B Project Discussion  
Exhibit C Draft Resolution, including:  
1. Conditions of Approval  
2. Site Plan, and Elevations  
Exhibit D Vicinity Map, Assessor's Parcel Map  
Exhibit E Photos and aerials

This report was reviewed by Taven Kinison Brown, Planning Services Manager 

<b>Exhibit A</b> <b>Project Information for JENSEN (File PLN100433)</b>
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<b>Project Title:</b> JENSEN	<b>Primary APN:</b> 419-361-014-000	
<b>Location:</b> 45360 Carmel Valley Road, Greenfield	<b>Coastal Zone:</b> No	
<b>Applicable Plan:</b> Central Salinas Valley	<b>Zoning:</b> RG/10-	
<b>Permit Type:</b> Use Permit	<b>Plan Designation:</b> RG/10	
<b>Environmental Status:</b> Exempt 15304	<b>Final Action Deadline:</b> 2/23/2011	
<b>Advisory Committee:</b> None		

**Project Site Data:**

<b>Lot Size:</b> 2.27 ac	<b>Coverage Allowed:</b> 25%	
	<b>Coverage Proposed:</b> <1%	
<b>Existing Structures (sf):</b> 800	<b>Height Allowed:</b> 30'	
<b>Proposed Structures (sf):</b> 0	<b>Height Proposed:</b> NA	
<b>Total Square Feet:</b> 800	<b>FAR Allowed:</b> NA	
	<b>FAR Proposed:</b> NA	

**Resource Zones and Reports**

<b>Environmentally Sensitive Habitat:</b> NO	<b>Erosion Hazard Zone:</b> HIGH	
<b>Botanical Report #:</b> NA	<b>Soils/Geo. Report #:</b> LIB100045	
<b>Forest Mgt. Report #:</b> NA	<b>Geologic Hazard Zone:</b>	
	<b>Geologic Report #:</b> NA	
<b>Archaeological Sensitivity Zone:</b> HIGH	<b>Traffic Report #:</b> NA	
<b>Archaeological Report #:</b> LIB100046		
<b>Fire Hazard Zone:</b> HIGH		

**Other Information:**

<b>Water Source:</b> Private well	<b>Sewage Disposal (method):</b> Septic system	
<b>Water District/Company:</b> NA	<b>Sewer District Name:</b> NA	
<b>Fire District:</b> CDF SOUTH . COUNTY FIRE DISTRICT	<b>Grading (cubic yds):</b> 1350	
<b>Tree Removal (Count/Type):</b> 0		

## **Exhibit B Discussion**

### **PROJECT DESCRIPTION AND SETTING**

The project is in an area of large residential lots of approximately one to five acre parcels in a rural area. The site is accessed by a road and dirt driveway off Carmel Valley Road near the intersection of Arroyo Seco Road. Existing on the site is an 800 square foot single family residence and a swimming pool. The project site is the former location of a mobile home with a level pad where a new swimming pool is located. There are steep slopes, both natural and man-made, above and below the pad, created by both cut and fill on the natural slope. Grading is approximately 1,350 total cubic yards (784 cubic yards cut and 528 cubic yards fill). The nine-foot high walls and debris wall will be back-filled with stockpiled dirt from the pool excavation and the site. (Refer to photos in Exhibit E.)

#### Development on Slopes in Excess of 25%

Title 21, Section 21.64.230, Regulations for Development on Slopes in Excess of 30%, states that such development can be allowed with a Use Permit. The Monterey County General Plan, adopted October 26, 2010, states that development on slopes in excess of 25% shall be prohibited; however, it may be permitted if one or two of the following findings can be made: 1) there is no feasible alternative that would allow development to occur on slopes of less than 25%, or 2) the proposed development better achieves the goals, policies and objectives of the Monterey County General Plan and accompanying area plan than other development alternatives. The development on slopes over 25% is the construction of a 170-foot long nine foot high retaining wall to stabilize the steep slopes of approximately 60%, a 220.5 square foot below-grade pool storage room as part of the wall, and associated drainage system. The existing slopes are unstable in an eroding condition. No erosion control methods or retaining structures were previously installed to stabilize the slopes or to control storm water runoff. Closer to the single family residence at the toe of slope below the pool and former building pad, are hundreds of dirt filled stacked tires serving as retaining structures. A three to four foot garden wall topped with a iron railing (total six feet) completes the required permanent 6-foot enclosure around the perimeter of the patio area surrounding the pool.

The nine-foot high retaining wall and a debris wall will be back-filled with cut and stockpiled dirt from the pool excavation and the project site. The finished slopes will be the required 2:1 (50%) finish slope instead of slopes of approximately 60% slope and more, with a drainage system installed to control storm water run-off on the site. The walls and pool storage construction will reuse a disturbed unnatural area, stabilize the adjacent steep slopes, and preserve three adjacent oak trees close to the previously cut and filled slopes.

### **CONCLUSION**

Approval of the Use Permit will result in stabilizing existing steep slopes, prevent and repair erosion adjacent to the pool, allow a useable patio area surrounding the pool, and resolve a code violation. The new retaining walls and drainage system better meets the goals policies and objectives of the Monterey County General Plan than if the site remained in the previous condition prior to the wall construction.

**EXHIBIT C  
DRAFT RESOLUTION**

**Before the Planning Commission in and for the  
County of Monterey, State of California**

In the matter of the application of:

**STEPHEN N. AND PATRICIA A. JENSEN TRS (PLN100433)**

**RESOLUTION NO. ----**

Resolution by the Monterey County Planning  
Commission:

- 1) Categorically exempts the project from environmental review pursuant to CEQA Guidelines Section 15304; and
- 2) Approving Use Permit for development on slopes in excess of 25% for a 170-foot long, 9-foot high retaining wall and construction of a 220.5 square foot pool storage building to clear 10CE00140. Grading is approximately 1,350 cubic yards (784 cubic yards cut and 528 cubic yards fill).

(PLN100433, STEPHEN N. PATRICIA A. JENSEN TRS, 45360 CARMEL VALLEY ROAD, GREENFIELD, CENTRAL SALINAS VALLEY (APN: 419-361-014-000))

**The Use Permit for development on slopes in excess of 25% for a 170-foot long, nine-foot high retaining wall and the construction of a 220.5 square foot pool storage building to clear 10CE00140 and grading approximately 1,350 cubic yards (784 cubic yards cut and 528 cubic yards fill) application (PLN100433) came on for public hearing before the Monterey County Planning Commission on February 23, 2011. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Planning Commission finds and decides as follows:**

**FINDINGS**

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.

**EVIDENCE:** a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:

- the 2010 Monterey County General Plan,
- Central Salinas Valley Area Plan,
- Monterey County Zoning Ordinance (Title 21)

No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.

- b) The property is located at 45360 Carmel Valley Road, Greenfield (Assessor's Parcel Number 419-361-014-000), Central Salinas Valley.

The parcel is zoned RG/10, which allows the use of productive grazing lands in the County while also providing the opportunity to establish support facilities for grazing uses and clustered residential uses. The retaining walls and pool area are accessory to the residential use. The development on slopes over 25% is the construction of 170-foot long nine foot high retaining wall, to stabilize the steep slopes of approximately 60%, a 220.5 square foot below-grade pool storage room as part of the wall, and associated drainage system. Therefore, the project is an allowed land use for this site.

- c) Staff conducted a site inspection on April 23, 2010 to verify that the project on the subject parcel conforms to the plans and policies listed above.
- d) Title 21, Section 21.64.230 Regulations for Development on Slopes in Excess of 30%, states that such development requires a Use Permit. The Monterey County General Plan, adopted October 26, 2010 (Open Space and Conservation Element) includes policies restricting activity on 25% slopes to prevent soil erosion, conserve soils and enhance water quality.

Policy OS-3.1: Requires Best Management Practices (BMPs) implemented to prevent and repair erosion damage. Measures to repair erosion damage require planning and building permits and include compliance with conditions of approval to achieve consistency with this policy. The existing slopes are unstable and in an eroding condition. The construction of retaining walls and a drainage system to control water run-off with the implementation of an erosion control plan and the project conditions of approval are consistent with this policy. The project will result in an improvement to the site than if the site remained in the previous existing condition prior to the wall construction, without the installation drainage improvements and Best Management Practices.

Policy OS-3.5: This policy states that development on slopes that exceed 25% shall be prohibited; however, it may be permitted if one or two of the following findings can be made: 1) there is no feasible alternative that would allow development to occur on slopes of less than 25%, or 2) the proposed development better achieves the goals, policies and objectives of the Monterey County General Plan and accompanying area plan than other development alternatives. The site is the former location of a mobile home with a level pad where a new pool is located. There are steep slopes, both natural and man-made, above and below the pad. The pad was created by both cut and fills on the natural slope. No erosion control methods or retaining structures were previously installed to stabilize the slopes or to control storm water runoff. The nine-foot high walls and debris wall will be back-filled with stockpiled dirt from the pool excavation and the site. It has 2:1 (50%) finished slopes instead of slopes approximately 60% and more, with an approved drainage system to control storm water run-off on the site. The Use Permit will correct a code violation (10CE00140) for the development currently without benefit of a building or planning permit.

The new retaining walls and drainage system better meets the goals policies and objectives of the Monterey County General Plan than if the site remained in the previous condition prior to the wall construction.

The walls and pool storage room construction will reuse a disturbed area, stabilize the adjacent steep slopes prevent further erosion, control water run off and preserve three adjacent oak trees close to the previously cut slopes. Conditions of approval will require a restoration plan for the new slopes above the walls including revegetation (*see Finding 6*).

- e) The project was not referred to a LUAC as there is no LUAC for the area.
- f) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN100433.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: RMA - Planning Department, CDF South County Fire Protection District, Public Works, Environmental Health Bureau, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
  - b) Staff identified potential impacts to Soil and Slope Stability. Technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff independently reviewed these reports and concurs with their conclusions. The following reports have been prepared:
    - 1. *“Jensen Slope Stability Analysis” (LIB100045), prepared by Earth Systems Pacific, Salinas California, dated July 22, 2010.*
    - 2. *“Cultural Resources Reconnaissance of Assessor’s Parcel Number 419-361-014 in the Unincorporated Portion of the County of Monterey, California”, (LIB100046), prepared by Susan Morley, M.A., dated August 2008.*
  - c) Staff conducted a site inspection on April 23, 2010 to verify that the site is suitable for the structures proposed.
  - d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN100433.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by CDF South County Fire Protection District, Public Works, Environmental Health Bureau, and Water Resources Agency. The respective departments/agencies have

recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.

- b) Necessary public facilities are available. Public facilities (utilities) serve the existing residence and the site has a private well to provide water and a septic system for waste water.
- c) Preceding findings and supporting evidence for PLN100433. See Findings Nos. 2, 5 and 6.

4. **FINDING:** **NO VIOLATIONS** – With the approval of the Use Permit and building permit, the subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance

- EVIDENCE:**
- a) Zoning and building violations were cited on the property, and corrective measures have been identified. Planning permit double fees as fines have been collected and double building fees are required to obtain a permit. Building plans have been submitted. Obtaining permit approval and implementing conditions of approval will resolve the violations and the Notice of Violation removed.
  - b) Staff conducted a site inspection on April 23, 2010. Planning and Building staff have reviewed the conditions of the site and that no further corrective actions will be required to bring the site into compliance with County regulations. By obtaining a permit for the retaining walls, stairs, concrete block room and associated grading and the violation can be resolved and return the site to a pre-violation state to the greatest extent feasible. With the implementation of erosion control measures, a drainage system and restoration including revegetation of the slopes, the site will be in a better condition than the pre-violation state.
  - c) The proposed project cures an existing violation regarding development on slopes exceeding 25% (10CE00140). When implemented, the project will bring the subject property into compliance with all rules and regulations pertaining to the property and will remove the existing violations. The violation includes constructing nine-foot retaining walls, removing required pool perimeter fencing, grading and installing drainage, on 25% slopes without the required permits. A building permit application including construction plans has been submitted.
  - d) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN100433.

5. **FINDING:** **CEQA (Exempt):** - The project is categorically exempt from environmental review and no unusual circumstances were identified to exist for the proposed project.

- EVIDENCE:**
- a) California Environmental Quality Act (CEQA) Guidelines Section 15304, Class 4, categorically exempts minor public or private alterations in the conditions of land and or vegetation which do not involve removal of healthy mature, scenic trees. The project is similar to subsection 15304(c) filling of earth into previously excavated land with material compatible with the natural features of the site; and (f) minor trenching and backfilling where the surface is restored.



- b) The project involves minor grading and back-filling approximately 1,350 total cubic yards (784 cubic yards cut and 528 cubic yards fill). The site is the former location of a mobile home with a level pad where a new pool is now located. There are steep slopes, both natural and man-made, above and below the pad created by both cut and fill on the natural slope. The existing slopes are unstable and in an eroding condition. No erosion control methods or retaining structures were previously installed to stabilize the slopes or control storm water runoff. The project will stabilize the slopes with a 170-foot long, nine-foot high retaining wall and associated storm water runoff drainage system, while creating a patio area surrounding the pool on a disturbed unnatural site. The nine-foot high retaining walls and a debris wall are back-filled with cut and stockpiled dirt from the pool excavation and site. The finished slopes will be 2:1 (50%) instead of slopes of approximately 60% slope and more, with a drainage system installed to control storm water runoff. The walls and pool storage construction will reuse a disturbed unnatural building pad area, stabilize the adjacent steep slopes and preserve three adjacent oak trees close to the previously cut and filled slopes. The installation drainage improvements, erosion control Best Management Practices and required revegetation will result in an improvement to the site than if the site remained in the previous existing condition prior to the wall construction. Conditions of approval will require a restoration plan for the new slopes above the walls including slope revegetation.
- c) No adverse environmental effects were identified during staff review of the development application and during a site visit on April 23, 2010.
- d) CEQA Guidelines Section 15300.2 lists exceptions to categorical exemptions. None of the exceptions can be made because the project will not impact an environmental resource of hazardous or critical concern; the grading and construction of retaining walls and associated drainage systems will not create a cumulative impact; the project does not have any unusual circumstance; the project will not result in the damage of a scenic resource; the subject property is not a hazardous waste site; nor is there a structure to be removed designated as a historical resource. The disapproval of the project would result in negative environmental effects. The project will have a beneficial environmental effect to protect resources. Therefore, the proposed project is exempt from environmental review.
- e) See preceding and following findings and supporting evidence. See Findings Nos. 2, 3, and 6.

6. **FINDING: DEVELOPMENT ON SLOPE** – The proposed development better achieves the goals, policies and objectives of the Monterey County General Plan and Central Salinas Valley Area Plan and the Monterey County Zoning Ordinance (Title 21) than other development alternatives.

- a) The project includes application for development on slopes exceeding 25%. Title 21, Section 21.64.230, Regulations for Development on Slopes in Excess of 30%, states that such development can be allowed with the approval of a Use Permit. The Monterey County General Plan, adopted October 26, 2010, states that development on slopes that excess

25% shall be prohibited however, it may be permitted if one or two of the following findings can be made: 1) there is no feasible alternative that would allow development to occur on slopes of less than 25%; or 2) the proposed development better achieves the goals, policies and objectives of the Monterey County General Plan and accompanying area plan than other development alternatives. The development on slopes over 25% is the construction of a 170-foot long nine foot high retaining wall to stabilize the steep slopes of approximately 60%, a 220.5 square foot below-grade pool storage room as part of the wall, and associated drainage system. The site is the former location of a mobile home with a level pad where the pool is now located. Steep slopes, both natural and man-made, above and below the pad, created by both cut and fill on the natural slope. The existing slopes are unstable and in an eroding condition. No erosion control methods or retaining structures were previously installed to stabilize the slopes or to control storm water runoff. The project will stabilize the slopes, prevent erosion, and control water runoff while creating a required permanent enclosure around a patio area surrounding the pool. The Use Permit will correct a code violation (10CE00140) for the development with benefit of a building or planning permit. Conditions of approval will require a restoration plan for the slopes above the walls including revegetation (*see Finding No. 2 and 5*).

- b) The project better meets the goals policies and objectives of the Monterey County General Plan and zoning code than if the site remained in the previous existing condition prior to the wall construction and drainage improvements. The retaining walls and a debris wall will be back-filled with cut and stockpiled dirt from the pool excavation and site. The finish slopes will be 2:1 instead of slopes up to approximately 60% slope, with a drainage system to control storm water run off on the site. The walls and pool storage construction will serve to reuse a disturbed unnatural building pad area, stabilize the adjacent steep slopes and preserve three adjacent oak trees close to the previously cut and filled slopes.
- c) The Planning Commission shall require such conditions and changes in the development as it may deem necessary to assure compliance with Title 21, Section 21.64.230 MCC, Title 16 and Title 18.
- d) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN100433.
- e) Staff conducted a site visit on April 23, 2010.
- f) The subject project minimizes development on slopes exceeding 25% in accordance with the applicable goals and policies of the applicable area plan and zoning codes.

7. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors.

**EVIDENCE:** a) Section 21.80.040 Monterey County Zoning Ordinance (Board of Supervisors).

## DECISION

**NOW, THEREFORE**, based on the above findings and evidence, the Planning Commission does hereby:

- A. Categorically exempt the project from environmental review pursuant to CEQA Guidelines Section 15304; and
- B. Approve a Use Permit for development on slopes in excess of 25% for a 170-foot long, 9-foot high retaining wall and construction of a 220.5 square foot pool storage building to clear 10CE00140. Grading is approximately 1,350 cubic yards (784 cubic yards cut and 528 cubic yards fill)., in general conformance with the attached sketch (**Exhibit 2**) and subject to the conditions (**Exhibit 1**), both exhibits being attached hereto and incorporated herein by reference.

**PASSED AND ADOPTED** this 23rd day of February, 2010 upon motion of xxxx, seconded by xxxx, by the following vote:

AYES:  
NOES:  
ABSENT:  
ABSTAIN:

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Mike Novo, Planning Commission

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE [DATE]

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

### NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning Department and Building Services Department office in Salinas.

2. This permit expires three years after the above date of granting thereof unless construction or use is started within this period.

<b>RESOLUTION ### - EXHIBIT 1</b> <b>Monterey County Resource Management Agency</b> <b>Planning Department</b> <b>Condition Compliance and/or Mitigation Monitoring</b> <b>Reporting Plan</b>	<b>Project Name:</b> <u>JENSEN</u> <b>File No:</b> <u>PLN100433</u> <b>APNs:</b> <u>419-361-014-000</u> <b>Approved by:</b> <u>Planning Commission</u> <b>Date:</b> <u>February 23, 2011</u>
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*\*Monitoring or Reporting refers to projects with an EIR or adopted Mitigated Negative Declaration per Section 21081.6 of the Public Resources Code.*

Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
<b>RMA – Planning Department</b>						
1.		<b>PD001 - SPECIFIC USES ONLY</b> This Use Permit (PLN100433) allows the development on slopes in excess of 25% for a 170-foot long, 9-foot high retaining wall and construction of a 220.5 square foot pool storage building to clear 10CE00140. Grading is approximately 1,350 cubic yards (784 cubic yards cut and 528 cubic yards fill). The property is located at 45360 Carmel Valley Road, Greenfield (Assessor's Parcel Number 419-361-014-000), Central Salinas Valley Area Plan. This permit was approved in accordance with County ordinances and land use regulations subject to the following terms and conditions. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. <b>(RMA-Planning Department)</b>	Adhere to conditions and uses specified in the permit.  Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of the RMA - Planning Department.  To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled.	Owner/ Applicant  RMA - Planning  WRA  RMA - Planning	Ongoing unless otherwise stated	

Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
2.		<p><b>PD002 - NOTICE-PERMIT APPROVAL</b>            The applicant shall record a notice which states: "A permit (Resolution _____) was approved by the <b>Planning Commission</b> for Assessor's Parcel Number 419-361-014-000 on February 23, 2011. The permit was granted subject to 8 conditions of approval which run with the land. A copy of the permit is on file with the Monterey County RMA - Planning Department." <b>(RMA-Planning Department)</b></p>	<p>Obtain appropriate form from the RMA-Planning Department.</p> <p>The applicant shall complete the form and furnish proof of recordation of this notice to the RMA - Planning Department.</p>	<p>Owner/ Applicant</p> <p>RMA- Planning</p>	<p>Prior to the issuance of grading and building permits.</p>	
3.		<p><b>PD016 – NOTICE OF REPORT</b>            Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states:</p> <ol style="list-style-type: none"> <li>1. A "Jensen Slope Stability Analysis", has been prepared for this parcel by Earth Systems Pacific, Salinas California, dated July 22, 2010 and is on record in the Monterey County RMA - Planning Department , Library No. LIB100045.</li> <li>2. A "Cultural Resources Reconnaissance of Assessor's Parcel Number 419-361-014 in the Unincorporated Portion of the County of Monterey, California", has been prepared for this parcel by Susan Morley, M.A., dated August 2008, and is on record in the Monterey County RMA - Planning Department , Library No. 100046.</li> </ol> <p>All development shall be in accordance with these reports." <b>(RMA – Planning Department)</b></p>	<p>Proof of recordation of this notice shall be furnished to the RMA - Planning Department.</p>	<p>Owner/ Applicant</p>	<p>Prior to the issuance of grading and building permits.</p>	
4.		<p><b>PD032(A) - PERMIT EXPIRATION (NON-STANDARD)</b>            The permit shall be granted for a time period of <b>one</b> year, to expire on <b>February 23, 2012</b>, unless the actual construction has begun within this period. The applicant shall obtain a valid grading or building permit and/or commence the authorized use to the satisfaction of the</p>	<p>Within one year from the Use permit approval, the applicant shall obtain a valid grading or building permit and/or commence the authorized use to the satisfaction of the Director of Planning. Any request for extension must be received by the Planning Department at</p>	<p>Owner/ Applicant</p>	<p>As stated in the conditions of approval</p>	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		Director of Planning. Any request for extension must be received by the Planning Department at least 30 days prior to the expiration date. <b>(RMA – Planning Department)</b>	least 30 days prior to the expiration date.			
5.		<b>PD007 - GRADING-WINTER RESTRICTION</b> No land clearing or grading shall occur on the subject parcel between October 15 and April 15 unless authorized by the Director of RMA - Building Services Department. <b>(RMA – Planning Department and Building Services Department)</b>	Obtain authorization from the Director of RMA - Building Services Department to conduct land clearing or grading between October 15 and April 15.	Owner/ Applicant	Ongoing	
6.		<b>PD009 - GEOTECHNICAL CERTIFICATION</b> Prior to final inspection, the geotechnical consultant shall provide certification that all development has been constructed in accordance with the geotechnical report. <b>(RMA – Planning Department and Building Services Department)</b>	Submit certification by the geotechnical consultant to the RMA – Building Services Department showing project’s compliance with the geotechnical report.	Owner/ Applicant/ Geotechnical Consultant	Prior to final inspection	
7.		<b>PD010 - EROSION CONTROL PLAN AND SCHEDULE (NON-STANDARD)</b> The approved development shall incorporate an Erosion Control Plan as reviewed by the Director of RMA – Planning and Director of Building Services. All cut and/or fill slopes exposed during the course of construction be covered, seeded, or otherwise treated to control erosion during the course of construction, subject to the approval of the Director of RMA - Planning and Director of RMA - Building Services. The improvement and grading plans shall include an implementation schedule of measures for the prevention and control of erosion, siltation and dust during and immediately	An Erosion Control Plan shall be submitted to the RMA - Planning Department and the RMA - Building Services Department prior to issuance of building and grading permits.	Owner/ Applicant	Prior to the issuance of grading and building permits	
			Comply with the recommendations of the Erosion Control Plan during the course of construction until project completion as approved by the Director of RMA - Planning and Director of RMA - Building Services.	Owner/ Applicant	Ongoing	

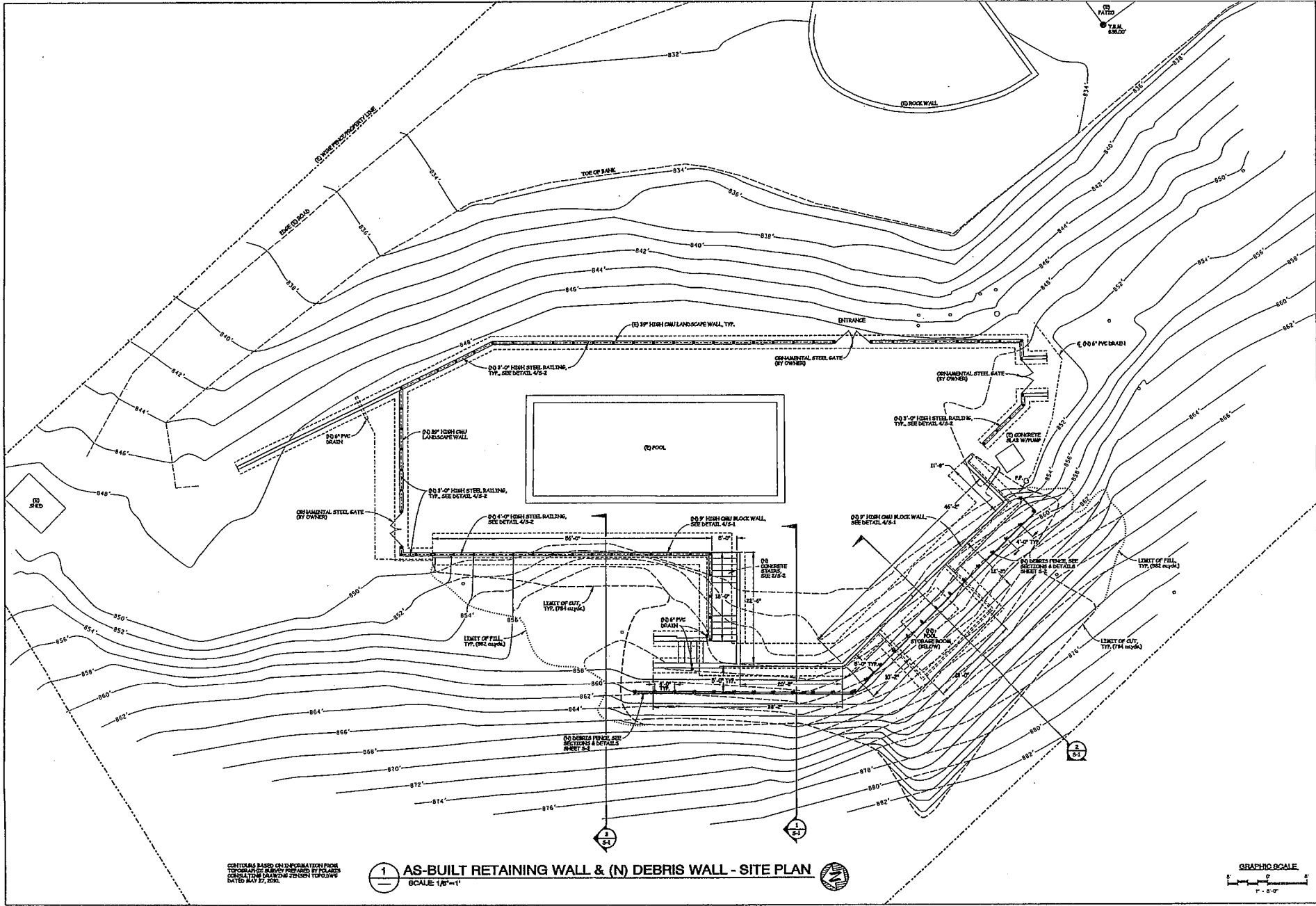
<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		following construction and until erosion control planting becomes established. This program shall be approved by the Director of RMA - Planning and Director of RMA - Building Services. <b>(RMA - Planning Department and RMA - Building Services Department)</b>	Evidence of compliance with the Implementation Schedule shall be submitted to the RMA - Planning Department and the RMA - Building Services Department	Owner/ Applicant	Prior to final inspection	
8.		<b>PD033 - RESTORATION OF NATURAL MATERIALS (NON-STANDARD)</b> Upon completion of the development, the sloped areas disturbed shall be restored to a condition to correspond with the adjoining area, subject to the approval of the Director of the RMA - Planning Department. Plans for such restoration shall be submitted to and approved by the Director of the RMA - Planning Department prior to commencement of use. <b>(RMA - Planning Department)</b>	Submit a restoration plan as part of the building plans and erosion control measures to the RMA - Planning Department and as required by the Building Services Department for review and approval.	Owner/ Applicant/ Qualified restoration ecologist	Prior to commencement of use.	

**END OF CONDITIONS**

Rev. 08/25/2010

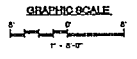






CONTIGUOUS BASED ON INFORMATION FROM  
 TOPOGRAHY SURVEY PROVIDED BY CLIENTS  
 CONSULTING ENGINEER'S DESIGN TOPOGRAHY  
 DATED MAY 27, 2018.

**1 AS-BUILT RETAINING WALL & (N) DEBRIS WALL - SITE PLAN**  
 SCALE: 1/8"=1'



REVISIONS	BY

**LEE & PIERCE inc.**  
 consulting engineers  
 648 ARBORT ST., SUITE 20 SALINAS, CA 93901  
 (831) 768-0098 FAX: (831) 768-1513

**"AS-BUILT RETAINING WALL & (N) DEBRIS WALL"**  
 46880 CARMEL VALLEY ROAD  
 APN 419-361-014  
 GREENFIELD, CALIFORNIA 93927  
 - SITE PLAN

**MR. & MRS. JENSEN**  
 46880 CARMEL VALLEY ROAD  
 GREENFIELD, CALIFORNIA 93927

DATE	06-09-23
SCALE	AS NOTED
DRAWN	LMR
JOB	2742
FILE NAME	2742-12.dwg
SHEET	T-2
OF	2-CCT15

**SITE PREPARATION NOTES**

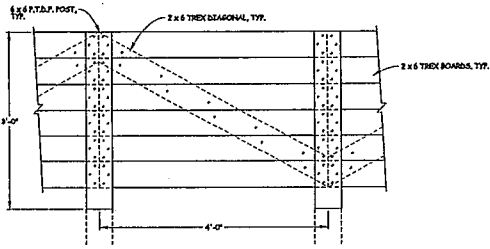
1. OWNER SHALL NOTIFY THE ENGINEER AT LEAST 48 HOURS PRIOR TO COMMENCEMENT WORK.
2. THE WORK/DESIGN SHALL BE SUPERVISED BY THE ENGINEER.
3. CUT AND FILL TO BE DETERMINED BY THE ENGINEER.
- 3.1 MATERIALS FOR WALL CONSTRUCTION SHALL BE USED AS PER THE CONTRACT SPECIFICATIONS.
- 3.2 FILL SHALL BE PLACED AND COMPACTED TO THE PROPER DENSITY AND MOISTURE CONTENT AS SPECIFIED IN THE CONTRACT SPECIFICATIONS.

**STRUCTURAL NOTES**

1. ALL FOUNDATION AND STRUCTURAL WALLS SHALL BE CONSTRUCTED WITH THE SAME MATERIALS AND METHODS AS SHOWN ON THE DRAWINGS UNLESS OTHERWISE INDICATED OTHERWISE.
2. ALL FOUNDATION AND STRUCTURAL WALLS SHALL BE CONSTRUCTED TO THE SAME QUALITY AND STANDARD AS SHOWN ON THE DRAWINGS UNLESS OTHERWISE INDICATED OTHERWISE.
3. FOUNDATION AND STRUCTURAL WALLS SHALL BE CONSTRUCTED TO THE SAME QUALITY AND STANDARD AS SHOWN ON THE DRAWINGS UNLESS OTHERWISE INDICATED OTHERWISE.
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8. FOUNDATION AND STRUCTURAL WALLS SHALL BE CONSTRUCTED TO THE SAME QUALITY AND STANDARD AS SHOWN ON THE DRAWINGS UNLESS OTHERWISE INDICATED OTHERWISE.
9. FOUNDATION AND STRUCTURAL WALLS SHALL BE CONSTRUCTED TO THE SAME QUALITY AND STANDARD AS SHOWN ON THE DRAWINGS UNLESS OTHERWISE INDICATED OTHERWISE.
10. FOUNDATION AND STRUCTURAL WALLS SHALL BE CONSTRUCTED TO THE SAME QUALITY AND STANDARD AS SHOWN ON THE DRAWINGS UNLESS OTHERWISE INDICATED OTHERWISE.

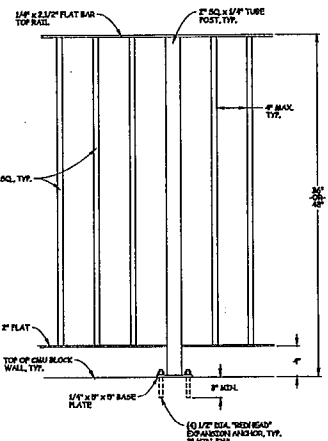
<p><b>MR. &amp; MRS. JENSEN</b> 45380 CARMEL VALLEY ROAD GREENFIELD, CALIFORNIA 93827</p>	<p><b>"AS-BUILT" RETAINING WALL &amp; (N) DEBRIS WALL</b> 45380 CARMEL VALLEY ROAD APN 419-361-014 - SPECIFICATIONS AND NOTES</p>	<p><b>LEE &amp; PIERCE Inc.</b> consulting engineers 548 ABBOTT ST., SUITE 20 SALINAS, CA. 93901 1631 708-0046 FAX: 1631 708-1212</p>	<p>REVISIONS BY</p>
<p>DATE: 04/03/93 SCALE: AS SHOWN DESIGNER: DM JOB NO: 9314 PROJECT: 1631 708-0046</p>	<p><b>S-0</b> SHEETS</p>		



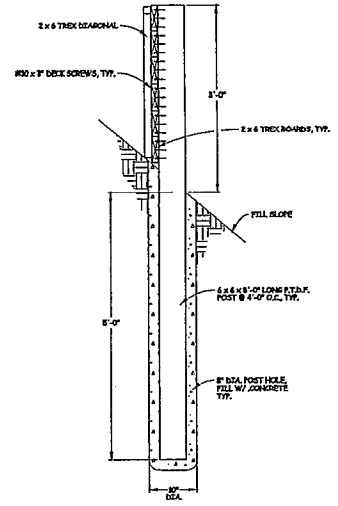
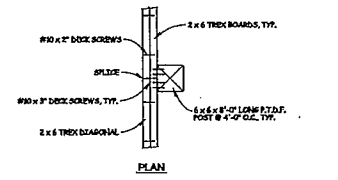


NOTE: FOR DEBRIS FENCE SECTION & DETAILS, SEE DETAILS # 4 & 6, THIS SHEET

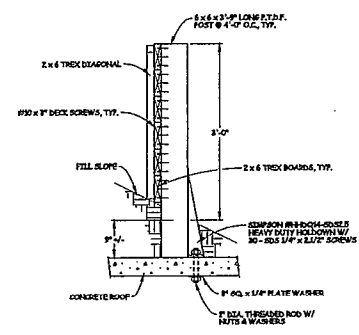
**1 DEBRIS WALL ELEVATION**  
SCALE: 1"=1'-0"



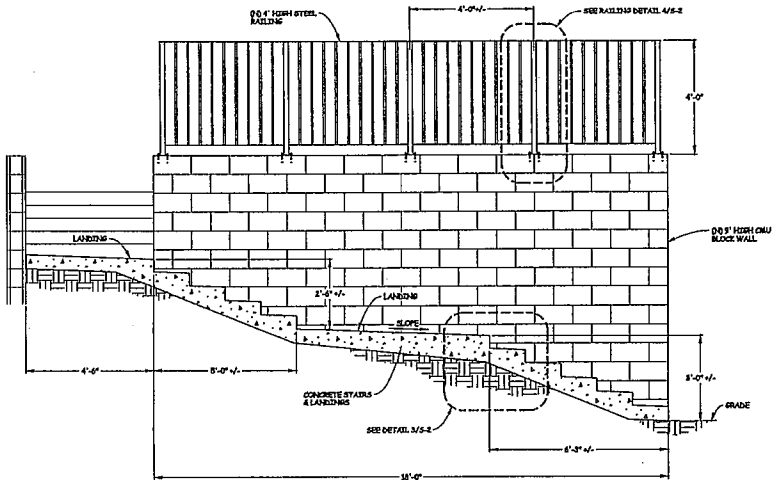
**4 TYPICAL RAILING DETAIL**  
SCALE: 1 1/2"=1'-0"



**5 TYPICAL DEBRIS WALL DETAIL**  
SCALE: 1"=1'-0"

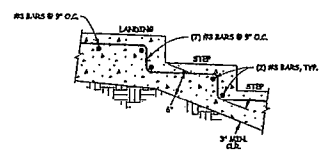


**6 DEBRIS WALL OVER POOL STORAGE ROOM**  
SCALE: 1"=1'-0"



NOTE: FIELD VERIFY STAIR RISES AND TREADS AND LANDING SIZES AND SLOPES

**2 (N) STAIRWELL SECTION**  
SCALE: 1/2"=1'-0"



**3 TYPICAL STAIR DETAIL**  
SCALE: 1"=1'-0"

REVISIONS	BY

**LEE & PIERCE inc.**  
consulting engineers  
444 LEBRON ST. SUITE 200  
SAN JOSE, CA 95128  
TEL: (408) 768-1610  
FAX: (408) 768-1610

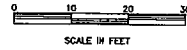
"AS-BUILT" RETAINING WALL  
& (N) DEBRIS WALL  
46360 CARMEL VALLEY ROAD  
APN 419-391-014  
SAN JOSE, CALIFORNIA 95128  
- STRUCTURAL DETAILS

**MR. & MRS. JENSEN**  
46360 CARMEL VALLEY ROAD  
GREENFIELD, CALIFORNIA 95627

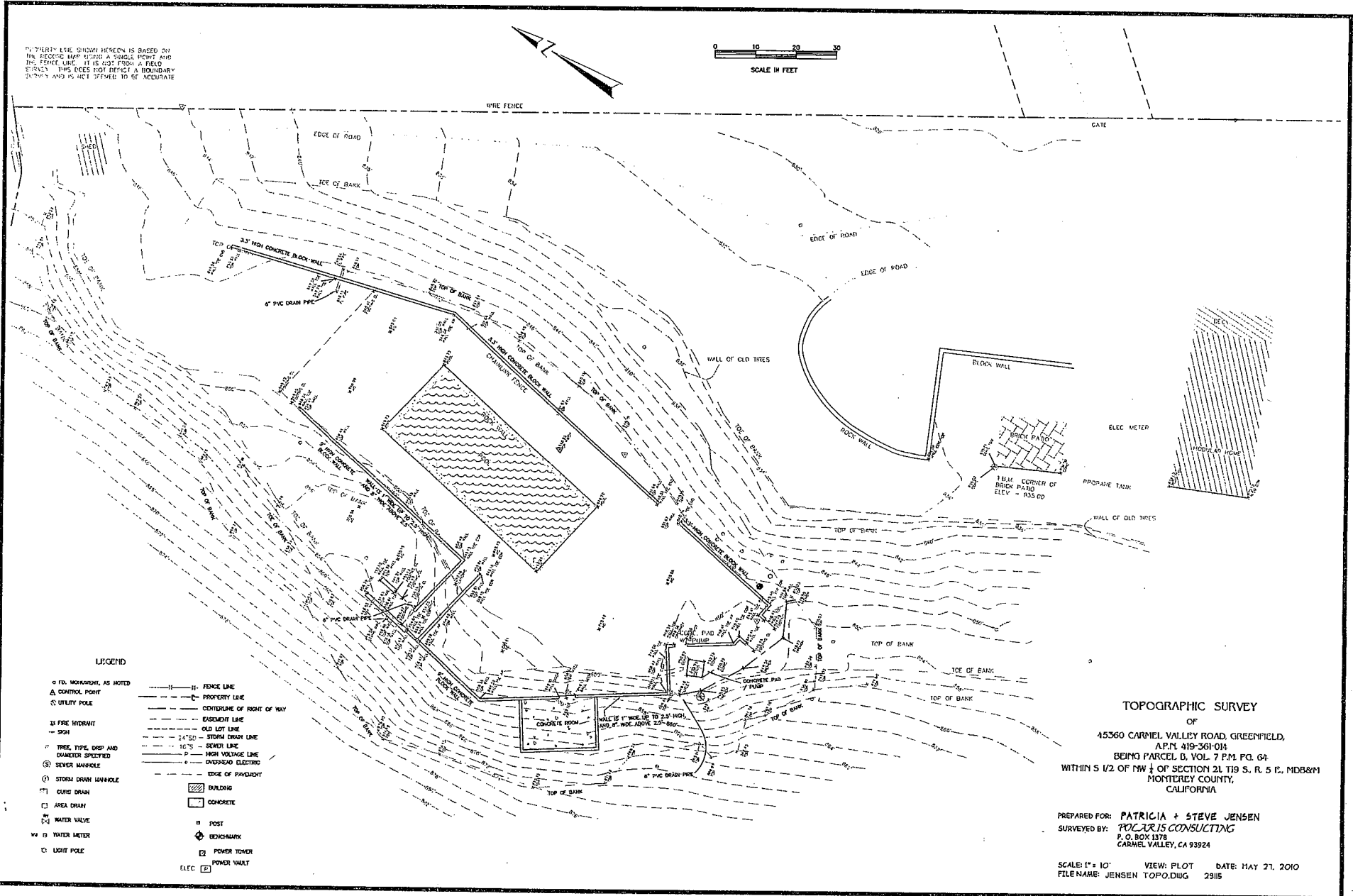
DATE	08-03-10
SCALE	AS NOTED
DRAWN	LAM
JOB	30743
P.L.C. NAME	10/18-02/09
SHEET	

**S-2**  
OF SHEETS

VERTICAL CURVE SHOWN HEREON IS BASED ON THE RECORD MAP WHICH SHOWS A SINGLE POINT AND THE FENCE LINE. IT IS NOT FROM A FIELD SURVEY. THIS DOES NOT IMPLY A BOUNDARY SURVEY AND IS NOT GUARANTEED TO BE ACCURATE.



SCALE IN FEET



LEGEND

- TD. MONUMENT, AS NOTED
- △ CONTROL POINT
- ⊕ UTILITY POLE
- ⊠ FIRE HYDRANT
- ⊙ TREE, TYPE, ORP AND DIAMETER SPECIFIED
- ⊞ SEWER MANHOLE
- ⊟ STORM DRAIN MANHOLE
- ⊠ CURB DRAIN
- ⊡ AREA DRAIN
- ⊞ WATER VALVE
- ⊞ WATER METER
- ⊞ LIGHT POLE
- FENCE LINE
- PROPERTY LINE
- CENTERLINE OF RIGHT OF WAY
- EASEMENT LINE
- OLD LOT LINE
- 24" SD — STORM DRAIN LINE
- 16" SD — SEWER LINE
- 16" SD — HIGH VOLTAGE LINE
- OVERHEAD ELECTRIC
- EDGE OF PAVEMENT
- ▨ BUILDING
- ▭ CONCRETE
- ⊞ POST
- ⊞ BENCHMARK
- ⊞ POWER TOWER
- ⊞ POWER VAULT

TOPOGRAPHIC SURVEY

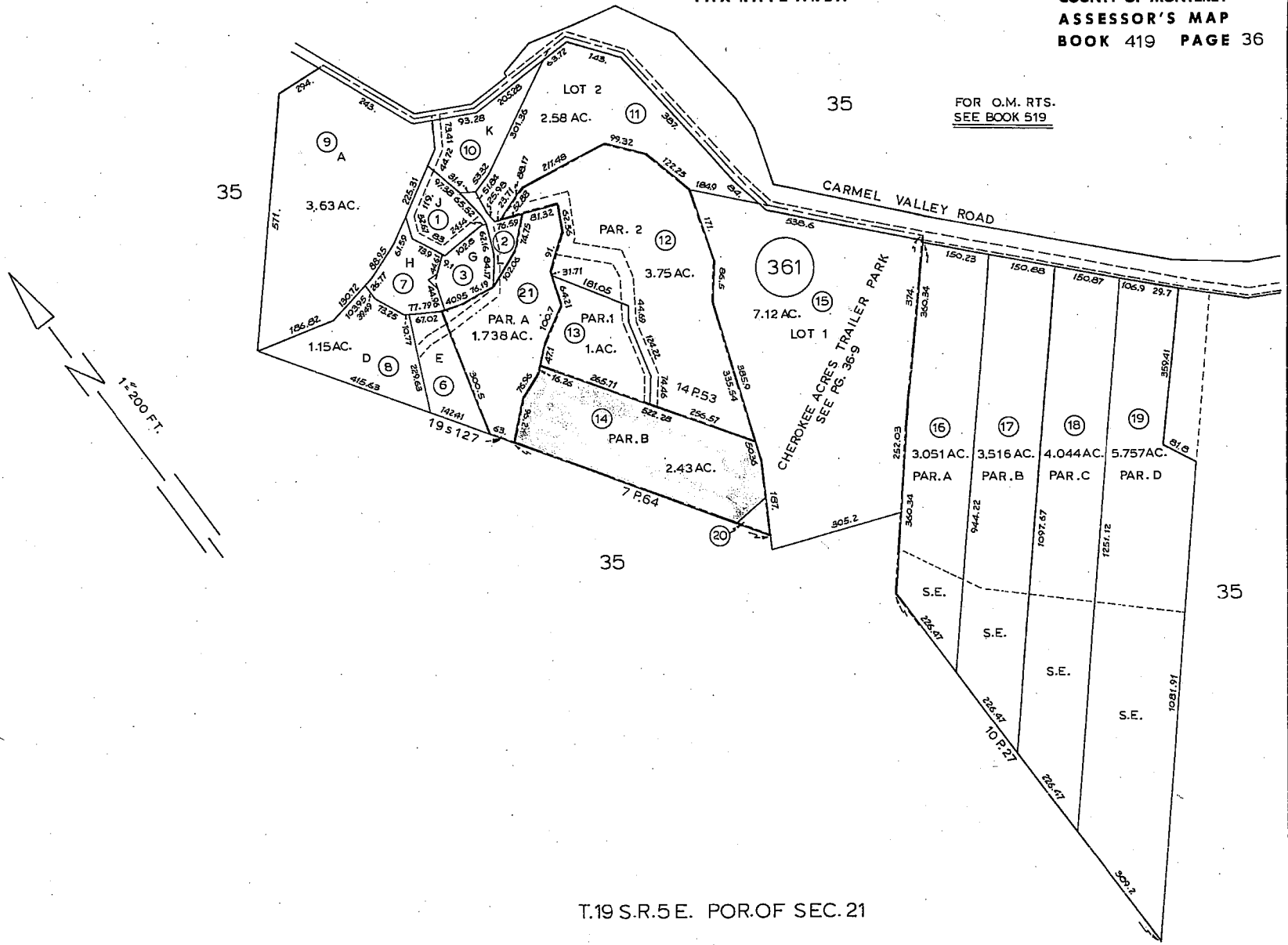
OF  
 45560 CARMEL VALLEY ROAD, GREENFIELD, CA 95028  
 BEING PARCEL B, VOL. 7 P.M. PG. 64  
 WITHIN S 1/2 OF NW 1/4 OF SECTION 24 T19 S. R. 5 E. MDB&M  
 MONTEREY COUNTY, CALIFORNIA

PREPARED FOR: PATRICIA + STEVE JENSEN  
 SURVEYED BY: POLARIS CONSULTING  
 P.O. BOX 1878  
 CARMEL VALLEY, CA 93924

SCALE: 1" = 10' VIEW: PLOT DATE: MAY 21, 2010  
 FILE NAME: JENSEN TOPO.DWG 23115

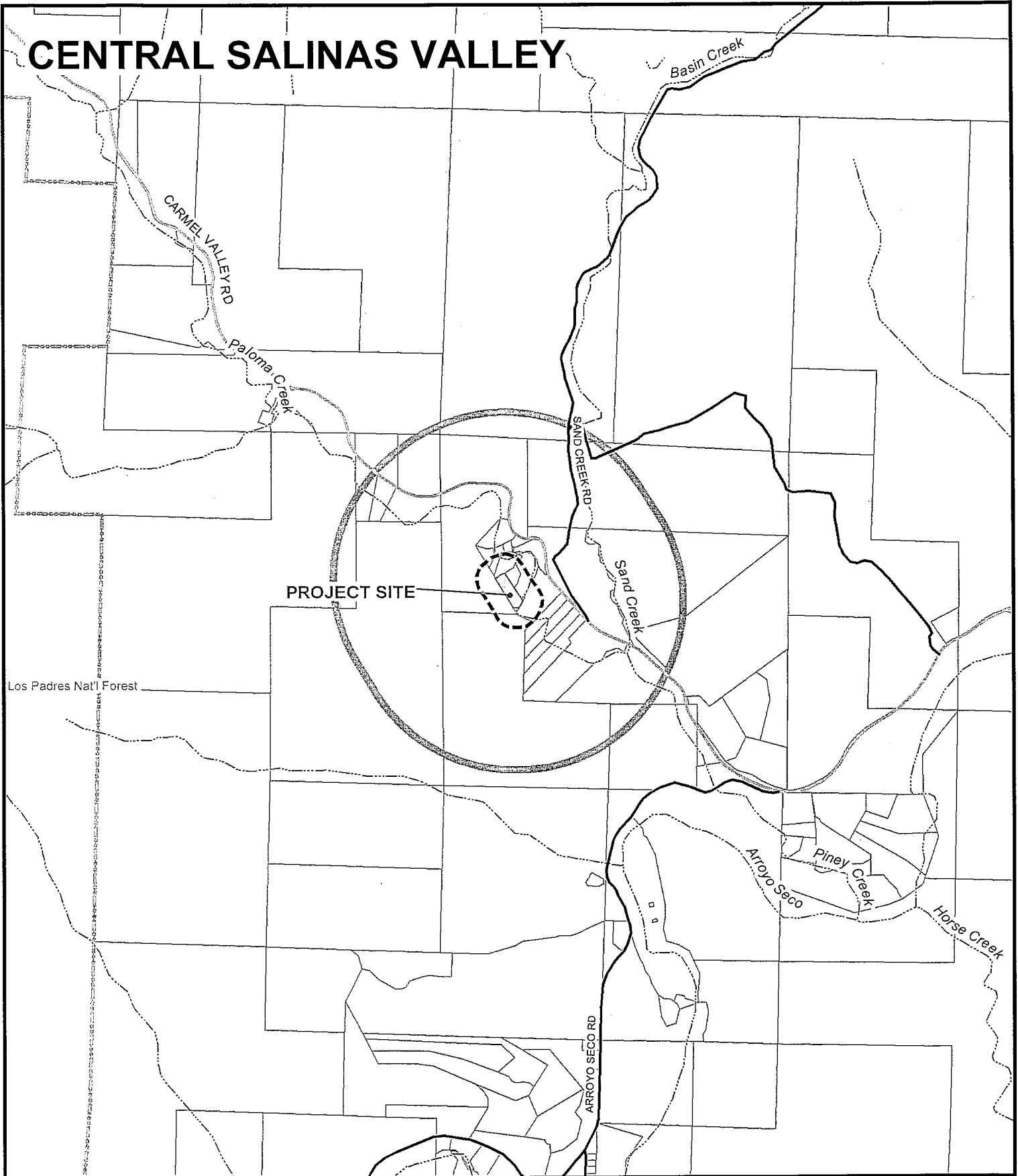
TAX RATE AREA

FOR O.M. RTS.  
SEE BOOK 519



T.19 S.R.5 E. POR. OF SEC. 21

# CENTRAL SALINAS VALLEY

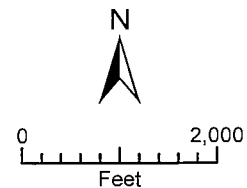


APPLICANT: JENSEN

APN: 419-361-014-000

FILE # PLN100433

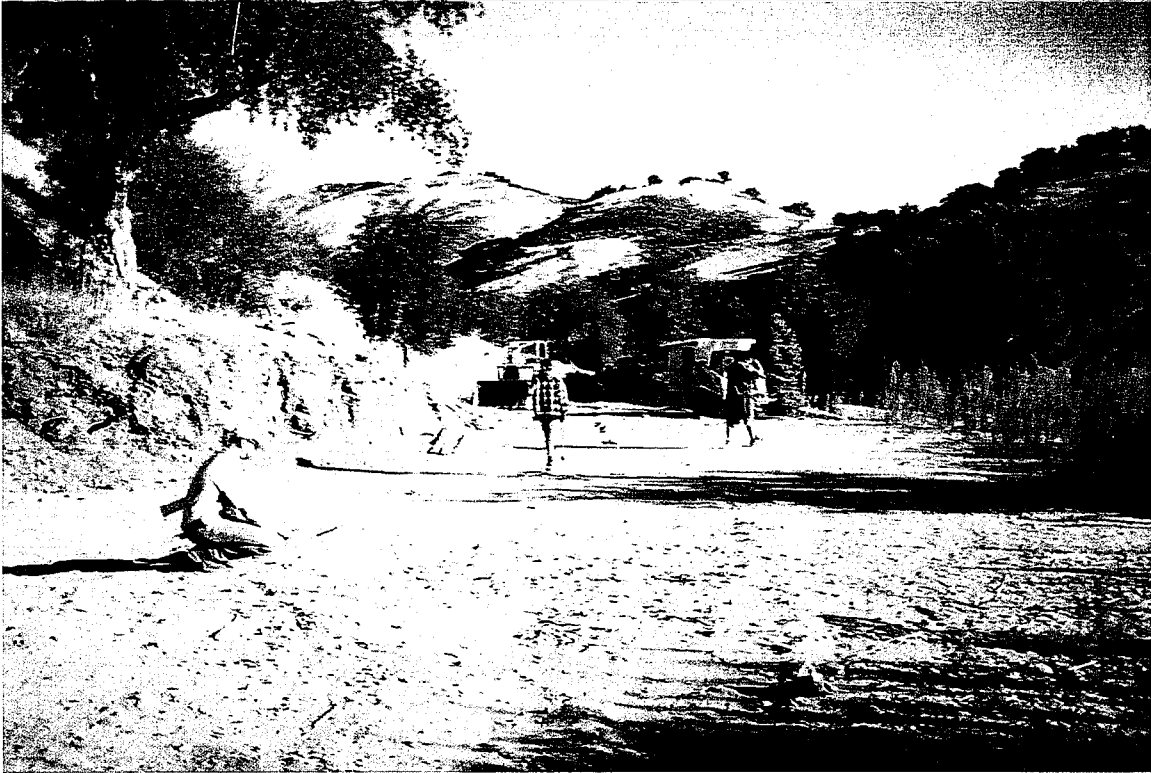
Water    2500' Limit    300' Limit    City Limits



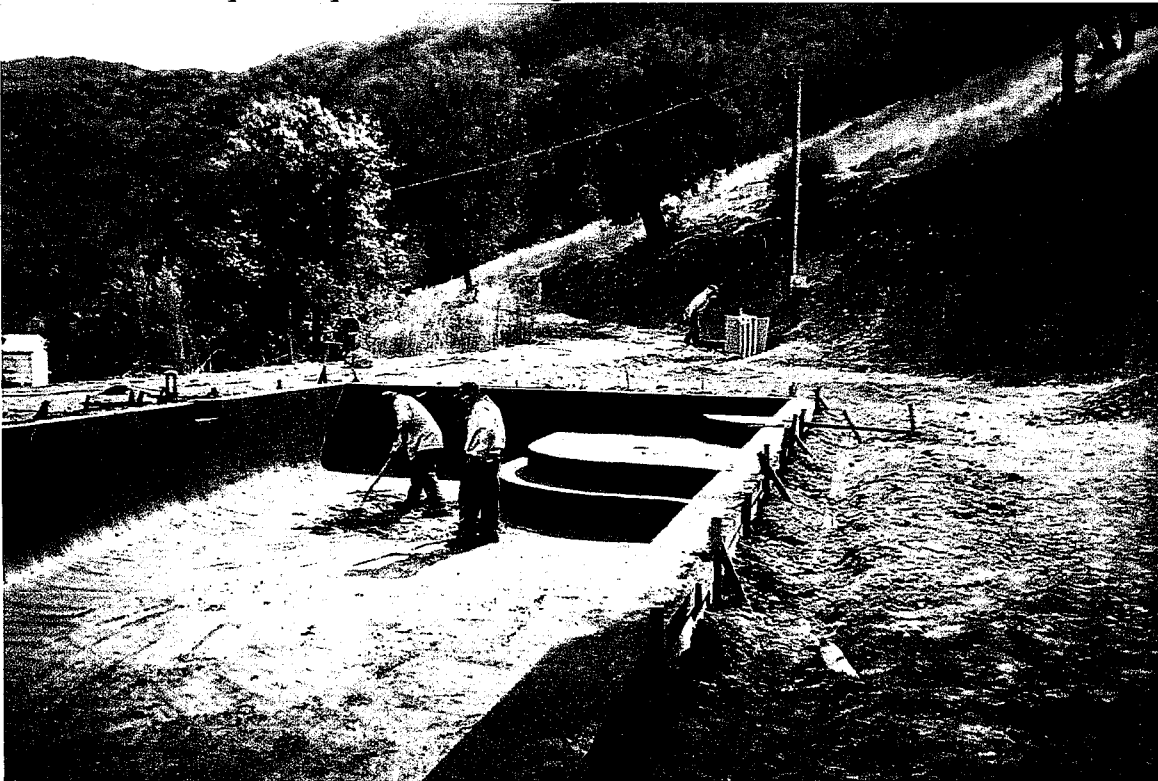
PLANNER: BRADLEY

**JENSEN PLN100433**  
**EXHIBIT E-1**

Site prior to pool and retaining wall construction, view to north

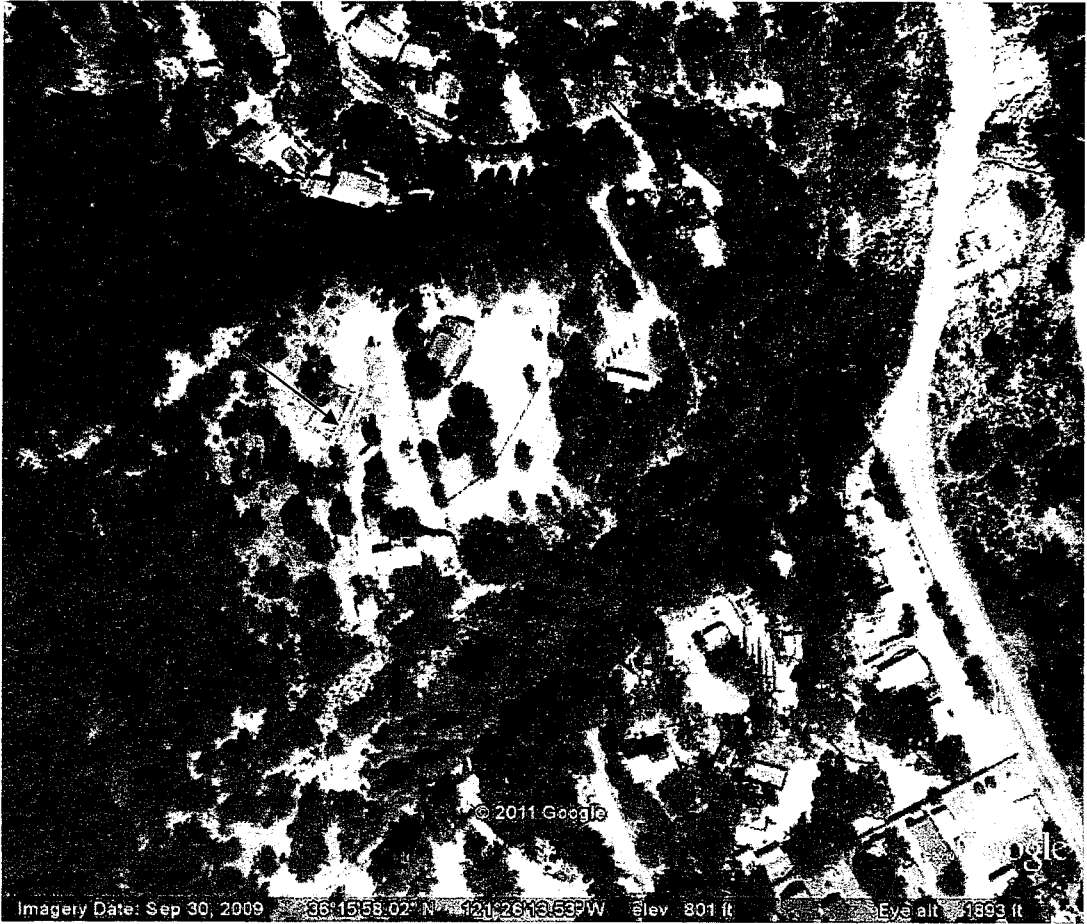


Site prior to pool and retaining wall construction, view to south





**EXHIBIT E-2**  
Aerial of site showing pool



Aerial without pool showing property lines

