

MONTEREY COUNTY PLANNING COMMISSION

Meeting: March 30, 2011 Time: 10:00 A.M	Agenda Item No.: 5
Project Description: Combined Development Permit consisting of: 1) A Use Permit to allow the temporary use of a Cellular on Wheels (COW) portable telecommunication facility to be used during the construction period of permanent telecommunications facilities; and 2) a Use Permit to allow the installation of a 40 foot high "tree-pole" wireless telecommunication facility, a 12 foot by 20 foot equipment shelter with a mounted GPS antenna, a 20 foot long by 4 foot high CMU retaining wall, and a six foot tall wood fence enclosure; and 3) a Use Permit for ridgeline development; and Design Approval. Grading is approximately 60 cubic yards (30 yards cut and 30 yards fill). The property is located at 60 Holman Road, Carmel Valley (Assessor's Parcel Number 187-481-001-000), Carmel Valley Master Plan Area.	
Project Location: 60 Holman Road, Carmel Valley	APN: 187-481-001-000
Planning File Number: PLN090385	Owner: Holman Ranch Holdings, LLC Agent: Tyler Potter, Denise Duffy and Associates, Inc.
Planning Area: Carmel Valley Master Plan	Flagged and staked: Yes
Zoning Designation: "RDR/10-D-S" (Rural Density Residential, 10 acres per unit, Design Control and Site Plan Control District)	
CEQA Action: Mitigated Negative Declaration, pursuant to Section 15070	
Department: RMA - Planning Department	

RECOMMENDATION:

Staff recommends that the Planning Commission adopt a resolution (**Exhibit C**) to:

- 1) Adopt the Negative Declaration (Exhibit C, Attachment 1);
- 2) Approve PLN090385, based on the findings and evidence and subject to the conditions of approval (**Exhibit C**):

PROJECT OVERVIEW:

The proposed project includes two components: 1) the temporary location of a Cellular On Wheels (COW) on the site; and 2) the installation of a permanent wireless communication facility. The COW is intended to allow AT&T continued coverage and service in the Carmel Valley area while a permanent facility is under construction.

Although the tree pole would be visible from nearby residential areas, the project will not create a substantial adverse impact to visual resources or as ridgeline development in Carmel Valley. The broad leaf tree pole with a bark trunk was designed to avoid an adverse visual impact and to blend into the natural surroundings. It will be visible along Carmel Valley Road east of the site, where the valley narrows, the road is windy and hills partially block a clear view of the site for more than a few seconds duration when traveling along the road. The tree pole will be most visible from Holman Road between Poppy and Ford Roads and from Valley Vista Lane to the south. See Discussion (**Exhibit B**) for more detail.

CEQA

A draft Negative Declaration was prepared in accordance with CEQA and circulated for public review from February 24, 2011 through March 28, 2011. Issues analyzed in the Negative Declaration included: aesthetic resources, air quality, biological resources, cultural resources, hazards/hazardous materials, and land use and planning.

OTHER AGENCY INVOLVEMENT: The following agencies and departments reviewed this project:

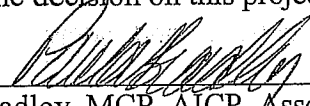
- √ RMA - Public Works Department
- √ Environmental Health Bureau
- √ Water Resources Agency
- √ Monterey Regional/Carmel Valley Fire Protection District

Agencies that submitted comments are noted with a check mark. Conditions recommended by Environmental Health Bureau, and Monterey Regional/Carmel Valley Fire Protection District have been incorporated into the Condition Compliance/Mitigation Monitoring and Reporting Plan attached as Exhibit 1 to the draft resolution (**Exhibit C**).

CARMEL VALLEY LUAC

The project was referred to the Carmel Valley Land Use Advisory Committee (LUAC) for review on January 3, 2011. The LUAC members recommend changes to the project including that co-location of other carriers not be considered for the project site and that alternative sites are considered. Four letters were received opposing the project, concerning the visual impact and health risks. The 40-foot height of the proposed antenna would preclude additional carriers at this site; the fire station, the water tank and the T-Mobile site have been considered and several additional sites in the vicinity. The final report is still under preparation and AT&T Mobility intends to present the report at the March 30th hearing. Additional testimony was received at the LUAC on March 21, 2011 on the COW and the LUAC voted unanimously to recommend denial of the application in its entirety.

Note: The decision on this project is appealable to the Board of Supervisors.



Paula Bradley, MCP, AICP, Associate Planner
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March 21, 2011

cc: Front Counter Copy; Planning Commission; Monterey Regional/Carmel Valley Fire Protection District; Public Works Department; Environmental Health Bureau; Water Resources Agency; Taven Kinison Brown, Planning Services Manager; Paula Bradley, Project Planner; Carol Allen, Senior Secretary; Holman Ranch Holdings, LLC, Owner; Tyler Potter, DDA Associates, Inc., Agent; Tony Poletti, Black Dot Wireless; John Bridges, Esq.; Christine Williams CVA; Margaret Robbins; Mel Spehn, Frank Hennessey; Jay Murray; Dave McCauley; Doris Fabre; Don and Tiffany Buraglio, Dale Ellis, Lombardo & Gilles, LP; Planning File PLN090385

Attachments: Exhibit A Project Data Sheet
Exhibit B Project Discussion
Exhibit C Draft Resolution, including:
1. Conditions of Approval
2. Site Plan, Elevations, permanent facility
3. Site Plan, Elevations, COW
Exhibit D Vicinity Map
Exhibit E Existing and Proposed Coverage Maps
Exhibit F Advisory Committee Minutes (Carmel Valley LUAC) and letters
Exhibit G Negative Declaration

Exhibit H Comments on Negative Declaration

This report was reviewed by Taven Kinison Brown, Planning Services Manager **TKB**

1. The applicant has provided a detailed description of the project and its location. The project is located on a 10-acre parcel in the unincorporated area of the County. The project consists of a 10-unit residential development. The applicant has provided a site plan showing the location of the units and the proposed parking areas. The applicant has also provided a traffic impact study showing that the project will not have a significant impact on the surrounding area.

2. The applicant has provided a detailed description of the project and its location. The project is located on a 10-acre parcel in the unincorporated area of the County. The project consists of a 10-unit residential development. The applicant has provided a site plan showing the location of the units and the proposed parking areas. The applicant has also provided a traffic impact study showing that the project will not have a significant impact on the surrounding area.

3. The applicant has provided a detailed description of the project and its location. The project is located on a 10-acre parcel in the unincorporated area of the County. The project consists of a 10-unit residential development. The applicant has provided a site plan showing the location of the units and the proposed parking areas. The applicant has also provided a traffic impact study showing that the project will not have a significant impact on the surrounding area.

4. The applicant has provided a detailed description of the project and its location. The project is located on a 10-acre parcel in the unincorporated area of the County. The project consists of a 10-unit residential development. The applicant has provided a site plan showing the location of the units and the proposed parking areas. The applicant has also provided a traffic impact study showing that the project will not have a significant impact on the surrounding area.

5. The applicant has provided a detailed description of the project and its location. The project is located on a 10-acre parcel in the unincorporated area of the County. The project consists of a 10-unit residential development. The applicant has provided a site plan showing the location of the units and the proposed parking areas. The applicant has also provided a traffic impact study showing that the project will not have a significant impact on the surrounding area.

Exhibit A Project Information for HOLMAN RANCH HOLDINGS LLC (File PLN090385)

Project Title: HOLMAN RANCH HOLDINGS LLC	Primary APN: 187-481-001-000
Location: 60 Holman Road, Carmel Valley	Coastal Zone: No
Applicable Plan: Carmel Valley Master Plan	Zoning: RDR/10-D-S
Permit Type: CDP	Plan Designation: RRD
Environmental Status: 15070, ND filed 2/23/11	Final Action Deadline: 6/28/2011
Advisory Committee: CV LUAC	

Project Site Data:

Lot Size: 180 ac	Coverage Allowed: 25%
	Coverage Proposed: <1%
Existing Structures (sf): YES	Height Allowed: 30'
Proposed Structures (sf): 0	Height Proposed: 40'
Total Square Feet: 240	FAR Allowed: NA
	FAR Proposed: NA

Resource Zones and Reports

Environmentally Sensitive Habitat: NO	Erosion Hazard Zone: HIGH
Botanical Report #: NA	Soils/Geo. Report #: LIB#110087 AND LIB#110088
Forest Mgt. Report #: NA	Geologic Hazard Zone: UNDETERMINED at the project site Moderate to high in other areas
Archaeological Sensitivity Zone: HIGH	Geologic Report #: NA
Archaeological Report #: NA	Traffic Report #: NA
Fire Hazard Zone: HIGH	

Other Information:

Water Source: Private well	Sewage Disposal (method): Septic system
Water District/Company: NA	Sewer District Name: NA
Fire District: CARMEL VALLEY FIRE DISTRICT	Grading (cubic yds): 30 cy cut and 30 cy fill
Tree Removal (Count/Type): 0	

DISCUSSION EXHIBIT B

BACKGROUND

A mobile Cellular on Wheels (COW) is proposed along with the permanent telecommunications facility at Holman Ranch. Presently, AT&T is operating a Cellular on Wheels (COW) facility at the Carmel Valley Fire District Village Fire Station, to provide interim coverage and service in Carmel Valley. The carrier has proposed to move the COW, which was authorized by a Use Permit for a temporary facility, from the fire station into position next to the construction site of the permanent facility at Holman Ranch, until it is operational. Originally this application was submitted for a 100-foot monopole with nine antennas (plus three future fire department communication antennas (to replace existing fire department tower), at the Carmel Valley Fire District station. This site was abandoned after the visual analysis as it was determined to be unsuitable for the site, and instead a reduced scale project was proposed for the Holman Ranch site. An extension for the COW at the Village fire station (PLN100494) was denied at the January 12, 2011 Planning Commission. Locating the COW at the Holman Ranch site would serve as a temporary facility to prevent the loss of existing coverage and service.

DESCRIPTION

Cellular Facility on Wheels COW

The Cellular on Wheels facility allows its placement in most any location that a truck and trailer can access. The COW consists of a 20-foot long flatbed trailer rig with a radio equipment box/room, attached air conditioning units, two 60-foot tall telescoping multi-panel cellular antenna (masts), outrigger feet and several guyed wires to stabilize the facility. The mobile cellular facility would need to be wired into existing telecommunications lines. Until power is available to support the COW a generator unit will be temporarily used. A temporary enclosure, a six-foot tall chain link security fence, screened with wood slats may be needed for the COW.

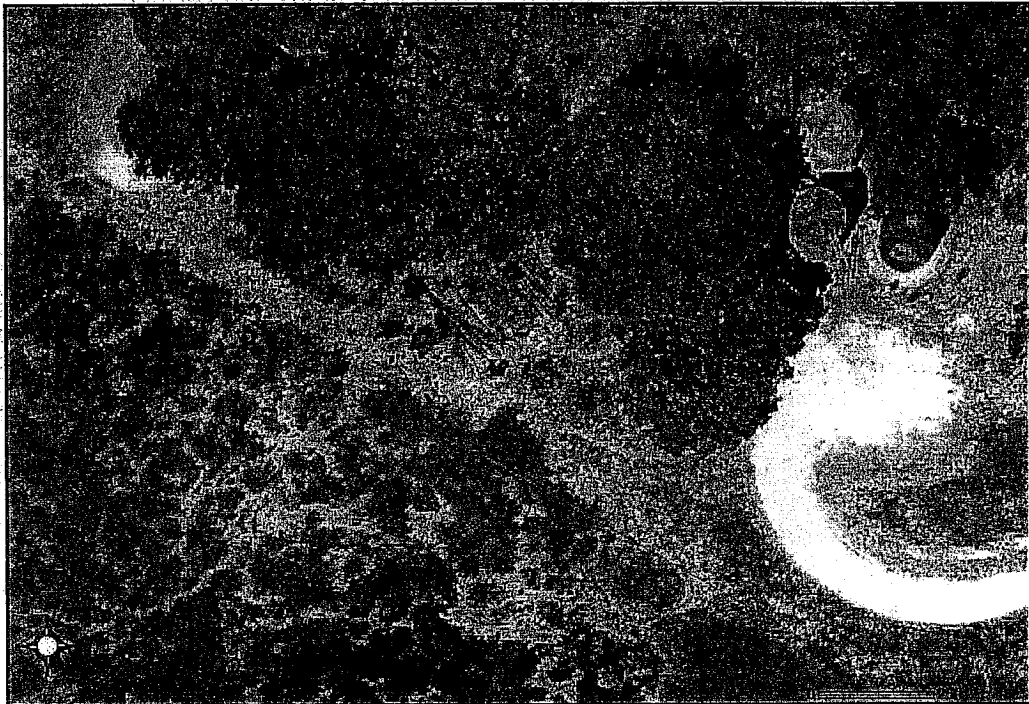


The Proposed Permanent Facility

The permanent facility includes the installation of a 40 foot high cellular antenna designed to look like a broad leaf tree with a bark trunk, on a knoll on the Holman Ranch adjacent to an existing Holman Ranch water tanks and pump house. While the proposed simulated tree will be a maximum height of 40 feet from grade, the arrays and antennas disguised within will be a maximum height of 35 feet. The project includes construction of a 12-foot by 20-foot (240 square foot) equipment shelter on a 655 square foot leveled pad area. The secured equipment shelter is proposed to match the materials and colors of the existing pump house, using a metal corrugated roof and wood siding painted to match the adjacent pump house.

The proposed telecommunication tower facility will be located at the top of a hill overlooking Carmel Valley to the southwest and Holman Ranch to the northeast. To accommodate the topography and building pad, a retaining wall will be located on the north and east sides of the pad area. Approximately 30 cubic yards of cut and equal fill is anticipated to level the pad. A six-foot tall wooden fence will enclose the equipment shelter. Immediately surrounding the 655 square foot pad area, landscaping is proposed with native species shrubs and trees.

Aerial photo with water tanks



ISSUES:

Visual Resources and Ridgeline Development

The project will not create a substantial adverse impact to visual resources in Carmel Valley. The broad leaf tree pole with a bark trunk was designed to avoid creating a visual impact and blend into the natural surroundings. While the proposed simulated tree will have a maximum height of 40 feet from grade, the antennas disguised within will have a maximum height of 35 feet. The height of the pole was flagged and staff determined it would not create a substantially adverse visual impact from Carmel Valley Road, a designated County scenic road, although it is visible from points to the east along Carmel Valley Road and the Village. East of the site, Carmel Valley narrows, the road becomes windy and hills partially block a clear view of the site for more than a few seconds when traveling along the road. The tree pole will be most visible from Holman Road between Poppy and Ford Roads and from Valley Vista Lane to the south. The

flagging was barely visible from above the site on Chaparral Road because of the distance from the site and instead of a ridgeline development, it instead blends in with the background vegetation.

The height of the pole was flagged and staff determined it would not create a substantially adverse visual impact from common public viewing areas. Although it is a ridgeline development, creating a silhouette with sky visible behind the top of the tree pole, from points to the east along Carmel Valley Road, from Holman Road between Poppy and Ford Roads and from Valley Vista Lane to the south, it is not considered a substantially adverse visual impact. East of the site, Carmel Valley Road, the road becomes narrow and windy and hills partially block a clear view of the site for more than a few seconds when traveling along the road. The flagging was barely visible from above the site on Chaparral Road because of the distance from the site and instead of a ridgeline development, it blends in with the background vegetation.

Development alternatives have been explored for this project including locating such a facility at the Carmel Mid-Valley Fire Protection District station. The "camouflaged" tree pole design for the Holman Ranch site provides for both improved telecommunication while not detracting from the visual landscape of the Carmel Valley. Alternatives such as a lower height below the ridgeline, or mounting facilities on the existing 12-foot high 5,000 gallon water tank, these are not feasible to achieve the service coverage needed. The nearby T-Mobile site does not provide AT&T sufficient coverage and the existing pole height cannot accommodate co-location. (See coverage maps, Exhibit E.)

CEQA

A draft Negative Declaration was prepared in accordance with CEQA and circulated for public review from February 24, 2011 through March 28, 2011. Issues that were analyzed in the Negative Declaration included: aesthetic resources, air quality, biological resources, cultural resources, hazards/hazardous materials, and land use and planning. The COW was described in the IS/ND as having one telescoping 60-foot mast with antennas, but in fact it will have two side by side masts (see above photo). One comment letter has been received in response to the IS Draft ND concerning potential visual impacts of the project from Valley Vista Lane and the general Carmel Valley Village area. (See Exhibits G and H)

CONCLUSION

The project is consistent with Monterey County General Plan policies and Title 21 Zoning Code regulations. Although the tree pole would be visible from nearby areas, the project will not create a substantially adverse impact to visual resources in Carmel Valley. The broad leaf tree pole with a bark trunk was designed to avoid creating a visual impact and to blend into the natural surroundings. Alternatives such as a lower height below the ridgeline, or co-locating at a nearby site cannot meet the coverage and service needs.

**EXHIBIT C
DRAFT RESOLUTION**

**Before the Planning Commission in and for the
County of Monterey, State of California**

In the matter of the application of:

HOLMAN RANCH HOLDINGS, LLC (PLN090385)

RESOLUTION NO. 2011-001

Resolution by the Monterey County Planning
Commission:

- 1) Adopting the Negative Declaration (Exhibit C, Attachment 1);
- 2) Approving a Combined Development Permit consisting of: 1) A Use Permit to allow the temporary use of a Cellular on Wheels (COW) portable telecommunication facility to be used during the construction period of permanent telecommunications facilities; and 2) a Use Permit to allow the installation of a 40 foot high "tree-pole" wireless telecommunication facility, a 12 foot by 20 foot equipment shelter with a mounted GPS antenna, a 20 foot long by 4 foot high CMU retaining wall, and a six foot tall wood fence enclosure; and 3) a Use Permit for ridgeline development; and Design Approval. Grading is approximately 60 cubic yards (30 yards cut and 30 yards fill).

(PLN090385, HOLMAN RANCH HOLDINGS, LLC, 60 Holman Road, Carmel Valley CARMEL VALLEY MASTER PLAN (APN: 187-481-001-000))

The Combined Development Permit and Design Approval, application (PLN090385) came on for public hearing before the Monterey County Planning Commission on March 30, 2011. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Planning Commission finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 2010 Monterey County General Plan,
 - Carmel Valley Master Plan,
 - Monterey County Zoning Ordinance (Title 21)No conflicts were found to exist. The project is consistent with the following 2010 Monterey County General Plan policies:

Open Space OS-1.2 Development in designated visually sensitive areas shall be subordinate to the natural features of the area.

The location at the southern edge of the Holman Ranch is outside of but adjacent to the Visually Sensitive Area, as indicated on map resources from the 2010 General Plan. The proposed broad leaf tree pole and equipment buildings will not create a substantial visual impact in the area. It is sited in front of a background of oak trees to the north, with existing and new landscape screening so as to be subordinate to the landscape and surroundings.

The temporary Cellular on Wheels facility consists of a 20-foot long flatbed trailer rig with a radio equipment box/room, attached air conditioning units, two 60-foot tall telescoping multi-panel cellular (masts), outrigger feet that stretch to stabilize the facility, and several guyed wires that further secure the stability of the antenna. The COW would be visible and would not be camouflaged as a tree pole, but is a temporary facility until the permanent facility is operational.

Open Space OS-1.3 - To preserve the County's scenic qualities, ridgeline development shall not be allowed. An exception to this policy may be made only after a publicly noticed hearing and provided the following findings can be made:

- a. The ridgeline development will not create a substantially adverse visual impact when viewed from a common public viewing area; and either,
- b. The proposed development better achieves the goals, policies and objectives of the Monterey County General Plan and applicable area plan than other development alternatives; or,
- c. There is no feasible alternative to the ridgeline development.

As evidenced by the Visual Simulations, the tree pole will not create a substantial adverse visual impact when viewed from a common public viewing area. Other development alternatives have been explored for this project including locating such a facility at the Carmel Regional Fire Protection District station. The original fire station site and proposal for a 100 foot monopole was considered to be unsuitable for the site. The "camouflaged" tree pole design for the Holman Ranch site provides for both improved telecommunication while not detracting from the visual landscape of the Carmel Valley. Alternatives such as a lower height below the ridgeline, or mounting facilities on the existing 12-foot high water tanks is not technically feasible to achieve the service coverage needed. The nearby T-Mobile site does not provide sufficient service to the Carmel Valley Village and surrounding areas and the existing pole height cannot accommodate co-location. (See coverage maps Exhibit E.) Also see Finding No. 6.

Open Space OS-1.12 - The significant disruption of views from designated scenic routes shall be mitigated through the use of appropriate materials, scale, lighting and siting of development.

There will be no significant disruption of views as a result of the project

on the knoll on the southern edge of the Holman Ranch facing Camel Valley north of Carmel Valley Road. It is a camouflaged broad leaf tree pole with a full bark trunk designed to blend in with the surrounding oak trees and vegetation. Colors and materials for the support equipment fencing and structures are complementary wood siding and tin roofing to match the existing rural ranch structures. The broad-leafed tree pole design, along with existing and new landscaping also demonstrates an appropriate treatment and use of materials and features common to the rural character of the Carmel Valley. The only lighting is a service light within the enclosed shelter area.

The project will not create a potential adverse impact to visual resources in Carmel Valley and was designed as a broad leaf monopole to avoid creating a visual impact. While the proposed simulated tree will have a maximum height of 40 feet from grade, the antennas disguised within will have a maximum height of 35 feet. The height of the pole was flagged and staff determined it would not create a substantially adverse visual impact from Carmel Valley Road, a designated county scenic road, although it is visible from points to the east along Carmel Valley Road. East of the site Carmel Valley Road, the valley narrows and the road becomes windy and hills partially block a clear view of the site for more than a few seconds when traveling along the road. The monopole will be visible from Holman Road between Poppy and Ford Roads to the east and from Valley Vista Lane to the south. The flagging was barely visible from above the site on Chaparral Road because of the distance from the site and instead of a ridgeline development, it instead blends in with the background vegetation.

Placing the antenna in an alternative location would not necessarily reduce impacts to aesthetics. There are several existing structures in the area screened sufficiently by vegetation and the ATT facility would continue in this practice. From one of the more prominent vantage points along Holman Road leading to the property, numerous power lines and other detracting visual items are apparent. A tree pole with landscape screening will not substantially detract from this landscape.

Carmel Valley CV-1.1 All policies, ordinances, and decisions regarding Carmel Valley shall be consistent with the goal of preserving Carmel Valley's rural character. In order to preserve the rural character of Carmel Valley, development shall follow a rural architectural theme with design review.

As discussed above, the use of materials proposed with the tree-pole and supporting structures draw from the existing environment and rural character.

Carmel Valley CV-1.9 – Structures proposed in open grassland areas that would be highly visible from Carmel Valley Road or Laureles Grades shall be minimized in number and clustered near existing natural or man-made vertical features.

While not located in open grassland, the project has been sited near an existing pump house and water tanks, and is adjacent to existing trees that provide a vertical feature as a backdrop to the tree pole. Although the tree pole is higher than the adjacent oak trees, the tree pole and equipment will not stand out or seem to stand alone and without other existing features for context and will blend in with the natural surroundings.

Carmel Valley CV 1.20 - Design ("D") and site control ("S") overlay district designations shall be applied to the Carmel Valley area. Design review for all new development throughout the Valley, including proposals for existing lots of record, utilities, heavy commercial, and visitor accommodations, but excluding minor additions to existing development where those changes are not conspicuous from outside of the property.

- a. Proposed development encourages and furthers the letter and spirit of the Master Plan.
- b. Development either shall be visually compatible with the character of the valley and immediate surrounding areas or shall enhance the quality of areas that have been degraded by existing development.
- c. Materials and colors used in construction shall be selected for compatibility with the structural system of the building and with the appearance of the building's natural and man-made surroundings.
- d. Structures should be controlled in height and bulk in order to retain an appropriate scale.
- e. Development, including road cuts as well as structures, should be located in a manner that minimizes disruption of views from existing homes.
- f. Minimize erosion and/or modification of landforms.
- g. Minimize grading through the use of step and pole foundations.

A Design Approval and an Administrative Permit for the Site Plan district are required to ensure visual compatibility with the area. The broadleaf tree pole with a full bark trunk is designed to minimize any visual impact and to blend in with the natural surroundings. The associated equipment buildings and fencing colors and materials match the existing ranch buildings and are consistent with the rural character of Carmel Valley.

Carmel Valley CV-3.4 – Alteration of hillsides and natural landforms caused by cutting, filling, grading, or vegetation removal shall be minimized through sensitive siting and design of all improvements and maximum feasible restoration including botanically appropriate landscaping. Where cut and fill is unavoidable on steep slopes, disturbed areas shall be revegetated.

The immediate site has existing development including three water tanks and a pump house accessed by a dirt road. Thirty cubic yards of

grading and equal fill have been proposed with a CMU retaining wall to create a level building pad. Landscaping will soften and screen structures and revegetate disturbed soil to avoid a scarring on the hillside and to blend in with the natural surroundings on the hilltop/knoll.

Carmel Valley CV-3.18 – Except where inconsistent with sound environmental planning, new aboveground transmission facilities shall incorporate the following design guidelines:

- a. follow the least visible route (e.g., canyons, tree rows, and ravines),
- b. cross ridgelines at the most visually unobtrusive locations,
- c. follow, not compete with, either natural features of the terrain or man-made features in developed areas,
- d. create a simple and unobtrusive appearance,
- e. minimize the bulk of structures,
- f. use the minimum number of elements permitted by good engineering practice, and
- g. incorporate colors and materials compatible with local surroundings.

The three or four “telecom” poles that will be used to connect the facility to the power and telecommunications grid are placed northward and away from general public visibility. First, the telecom and power lines will be undergrounded for nearly 400 feet from the immediate structures along existing ranch roads adjacent to the pump house and water tanks. After this distance three wooden power poles are proposed to connect the telecom and power to existing transmission lines to the east of the property. The under grounding along the existing ranch road and the use of common wood power / telephone poles, demonstrate sound environmental planning and adherence to these guidelines.

- b) The property is located at 60 Holman Ranch Road, Carmel Valley (Assessor’s Parcel Number 187-481-001-000), Carmel Valley Master Plan. The parcel is zoned “RDR/10-D-S”, (Rural Density Residential, 10 acre minimum with Design Control and Site Plan Review Overlays), which allows wireless communication facilities subject to the approval of a Use Permit per Section 21.14.050.AA, and pursuant to Section 21.64.310 of the Monterey County Zoning Ordinance (*Regulations for the Siting, Design, and Construction of Wireless Communication Facilities*). Therefore, the project is an allowed land use for this site.
- c) Design Approval Section 21.44.010, Design Control “D” district regulates the location, size, configuration, materials, and colors of new structures and fences to assure the protection of the public viewshed neighborhood character, to assure the visual integrity of the development without imposing undue restrictions.

Colors and materials for the tree pole, associated support structures, fenced enclosure are complementary wood siding, and tin roofing to match the existing rural ranch structures. The broad-leafed tree pole with full bark trunk design, along with existing and new landscaping also demonstrates an appropriate treatment and use of materials

common to the rural character of the Carmel Valley. See above evidence and Findings No. 2 and 6 below.

- d) Site Plan Control "S" District, Section 21.45.010 regulates the review of development in those areas of the County of Monterey where development by reason of its location has the potential to adversely affect or be adversely affected by natural resources or site constraints, without imposing undue restrictions on private property. An Administrative Permit is required for development in a Site Plan Review Zoning District (Section 21.45.030). See above evidence.
- e) The project is considered a Ridgeline Development pursuant to Section 21.66.010; however, it was determined that the top of the tree pole silhouetted with sky behind it will not create a substantially adverse visual impact when viewed from a common public viewing area. See Finding No. 6.
- f) The project planner conducted a site inspection on March 1, 2011 to verify that the project on the subject parcel conforms to the plans listed above.
- g) The project was referred to the Carmel Valley LUAC Land Use Advisory Committee (LUAC) for review. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors per Resolution No. 08-338, this application did warrant referral to the LUAC because for review because the project is in a visually sensitive area visible from areas along Carmel Valley Road, a designated scenic road. On January 3, 2011, the LUAC members voted (7-0-0) to recommend changes to the project including that co-location of other carriers not be considered for the project site and that alternative sites are considered. Four letters were received opposing the project, concerning the visual impact and health risks. The 40-foot height of the proposed antenna would preclude additional carriers at this site; the fire station, the water tank and the T-Mobile site have been considered and several additional sites in the vicinity. The final report is still under preparation and AT&T Mobility intends to present the report at the March 30th hearing. Additional testimony was received at the LUAC on March 21, 2011 on the COW and the LUAC voted unanimously to recommend denial of the application in its entirety (vote 7-0-0).
- h) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN090385.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: RMA – Planning Department, RMA – Public Works Department, Monterey Regional/Carmel Valley Fire Protection District, Public Works, Environmental Health Bureau, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
 - b) Staff identified potential impacts to Visual Resources including

ridgeline development. However, the project will not create an adverse impact to visual resources in Carmel Valley and was designed as a broad leaf monopole to avoid creating an adverse visual impact by minimizing the height and blending in with the natural surroundings. Technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff independently reviewed these reports and concurs with their conclusions. The following reports have been prepared:

1. "Geotechnical Engineering Investigation Proposed Communication Tower CN3235-B" (LIB110088) by SALEM Engineering Group, Inc., Fresno, CA, dated November 5, 2010.
 2. "Slope Stability Evaluation Proposed Communication Tower CN3235-B" (LIB#110087) by SALEM Engineering Group, Inc., Fresno, CA, dated November 5, 2010.
- c) Staff conducted a site inspection on March 1, 2011 to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN090385.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by RMA – Planning Department, RMA – Public Works Department, Monterey Regional/Carmel Valley Fire Protection District, Public Works, Environmental Health Bureau, and Water Resources Agency. The respective departments/agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities are available such as power. The project is in a somewhat rural area and the water supply is a private well and an has an on-site septic system, although no waste water facilities are required for the project. The project will result in improved telecommunications facilities in the area.
 - c) Preceding findings and supporting evidence for PLN090385. See preceding Finding Nos. 1 and 2 and below No. 6.

4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County's zoning ordinance. No violations exist on the property.

- EVIDENCE:** a) Staff reviewed Monterey County RMA - Planning Department and Building Services Department records and is not aware of any

violations existing on subject property.

- b) Staff conducted a site inspection on March 1, 2011 and researched County records to assess if any violation exists on the subject property.
- c) There are no known violations on the subject parcel.
- d) Zoning violation abatement costs, if any, have been paid. A condition is included to assure that all zoning abatement costs, if any, have been paid.
- e) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN090385.

5. **FINDING:** **CEQA (Negative Declaration)** - On the basis of the whole record before the Monterey County Planning Commission, there is no substantial evidence that the proposed project as designed, conditioned and mitigated, will have a significant effect on the environment. The Negative Declaration reflects the independent judgment and analysis of the County.

- EVIDENCE:**
- a) Public Resources Code Section 21080.d and California Environmental Quality Act (CEQA) Guidelines Section 15064.a.1 require environmental review if there is substantial evidence that the project may have a significant effect on the environment.
 - b) The Monterey County Planning Department prepared an Initial Study pursuant to CEQA. The Initial Study is on file in the offices of the Planning Department and is hereby incorporated by reference (PLN090385).
 - c) The Initial Study provides substantial evidence based upon the record as a whole, that the project would not have a significant effect on the environment. Issues that were analyzed in the Negative Declaration include: aesthetic resources, air quality, biological resources, cultural resources, hazards/hazardous materials, and land use and planning
 - d) Aesthetics: The subject property is located in an area visible from numerous vantage points including East Carmel Valley Road (distance 5,000 feet), Chaparral Road (distance 2,000 feet), Carmel Valley Road near Paso Hondo (distance 3,300 feet), Holman Road (distance 1,000 feet), and E. Carmel Valley Road at Camp Stefani Road (distance 2,500 feet). The antenna is proposed at a height of approximately 40 feet, the arrays camouflaged within the tree pole are 35 feet height. The cellular antennas must have a clear "line of sight" type placement to receive signals, thus cannot be blocked by structures landscape features or vegetation. The facility has been sited to minimize its visual impact and is designed as a broad leaf tree pole covered in bark, to blend in with the surrounding landscape. Therefore, it is anticipated that the project has a *less than significant impact* on aesthetic and visual resources. See above Finding No. 1 for detailed discussion of County land use policies concerning visual resources.
 - e) Air Quality: The project will result in no significant increases in emissions from construction vehicles and dust generation. The project consists of the erection of a 655 square foot pad area, 240 square foot equipment shelter, 40 foot tall- full bark tree cellular antenna pole. A portable generator may be brought in to power the temporary Cellular on Wheels. Therefore, this project is a less than significant impact to air

- quality and will not conflict with any applicable air quality plan, violate air quality standards, or air quality violation.
- f) Biological Resources: Biological reports were reviewed from the recent Holman Ranch winery, and biological issues were thoroughly reviewed (County File PLN080450). It is evident from the biological report as well as staff visits to and evaluation of the cellular project site, that there will be less than significant impacts to biological resources. The immediate site has existing development including three large water tanks and a pump house accessed by a dirt road. Thirty cubic yards of grading and equal fill have been proposed with a CMU retaining wall to level the building pad. Landscaping will soften and screen structures and revegetate disturbed soil to avoid a scarring on the hillside and to blend in with the natural surroundings. Minimal vegetation and no trees will be removed with this proposal.
 - g) Cultural Resources: Some of the buildings on the guest ranch are considered historically significant, however, none of these historic resources will be negatively impacted by the proposed permanent tree pole and use of a COW proposed on the knoll. There is great distance between and no visibility between the two sites. The subject property is within a highly sensitive archeological area and an Archaeological Reconnaissance Report was prepared for an earlier project on the subject property. From review of that report there would be not be a potential impact to archaeological resources and a standard condition of approval requires that land disturbance be halted and professionals consulted if any resources are found during ground disturbing activities. Therefore, the project would result in less than significant impacts to historical or archaeological resources.
 - h) Hazards/Hazardous Materials: The project will involve the use of some known hazardous materials including a battery cabinet to provide power to the antenna. As a condition of approval, the Health Department requires that cellular facilities submit and maintain an up-to-date Business Response Plan. Due to the existing regulatory requirements for hazardous materials, it is anticipated that compliance with standard conditions of approval will result in less than significant impacts to the public or the environment through the use of hazardous materials.
 - i) Land Use Planning: The tree pole cellular facility with associated equipment shed on the subject Holman Ranch site project is consistent with the Monterey County General Plan, Carmel Valley Master Plan, and Zoning Ordinance with regard to policy conformance and allowed uses, therefore there will be a less than significant impact to land use planning. See above Finding No. 1 for detailed discussion of County land use policies, and aesthetics section (d) above.
 - j) All project changes required to avoid significant effects on the environment have been incorporated into the project and/or are made conditions of approval. Conditions and a Compliance Plan has been prepared in accordance with Monterey County regulations and is designed to ensure compliance during project implementation and is hereby incorporated herein by reference as **Exhibit 1**.
 - k) The Draft Negative Declaration ("ND") for PLN090385 was prepared in accordance with CEQA and circulated for public review from February 24, 2011 through March 28, 2011.

- l) Evidence that has been received and considered includes: the application, technical studies/reports (see *Finding 2/Site Suitability*), staff reports that reflect the County's independent judgment, and information and testimony presented during public hearings (as applicable). These documents are on file in the RMA-Planning Department (PLN090385) and are hereby incorporated herein by reference.
- m) Staff analysis contained in the Initial Study and the record as a whole indicate the project could result in changes to the resources listed in Section 753.5(d) of the Department of Fish and Game (DFG) regulations. All land development projects that are subject to environmental review are subject to a State filing fee of \$2,044 plus the \$50 County recording fee, payable to the Monterey County Clerk/Recorder for processing said fee and posting the Notice of Determination (NOD).
- n) The County has considered the comments received during the public review period. One comment letter has been received in response to the IS/ND concerning potential visual impacts of the project from Valley Vista Lane and the general Carmel Valley Village area. Staff determined the project will not create a substantial adverse impact to visual resources in Carmel Valley. The broad leaf tree pole with a bark trunk was designed to avoid creating a visual impact and will blend into the natural surroundings.
- o) The Monterey County Planning Department, located at 168 W. Alisal, Second Floor, Salinas, California, 93901, is the custodian of documents and other materials that constitute the record of proceedings upon which the decision to adopt the negative declaration is based.

6. FINDING: RIDGELINE DEVELOPMENT – The subject project, as conditioned by this permit, will not create a substantially adverse visual impact when viewed from a common public viewing area.

- EVIDENCE:**
- a) Pursuant to Section 21.66.010 of the Monterey County Zoning Ordinance, ridgeline development may be approved if, as conditioned or designed, the project will not create a substantially adverse visual impact when viewed from a common public viewing area.
 - b) The project was designed as a broad leaf tree pole to avoid creating an impact to visual resources in Carmel Valley. The height of the pole was flagged and staff determined it would not create a substantially adverse visual impact from common public viewing areas. Although it is a ridgeline development, creating a silhouette against the sky behind the top portion of the tree pole, from points to the east along Carmel Valley Road, from Holman Road between Poppy and Ford Roads, and from Valley Vista Lane to the south it is not a substantial adverse impact. East of the site Carmel Valley Road, the valley narrows, the road becomes windy and hills partially block a clear view of the site for more than a few seconds when traveling along the road. The flagging was barely visible from above the site on Chaparral Road because of the distance from the site and instead of a ridgeline development, it instead blends in with the background vegetation. Also see Finding No. 1.
 - c) There is no alternative location on the subject site or nearby sites which would allow a reasonable development without potential for ridgeline development.

From the Visual Simulations and staff observations, including the existing and proposed site from Carmel Valley Village and the intersection of Holman and Ford Roads, staff determined that the tree pole will not create a substantial adverse visual impact when viewed from a common public viewing area. Other development alternatives have been explored for this project including locating such a facility at the Carmel Valley Fire Protection District station. The fire station site was determined to be unsuitable for the site due to a proposed tower height of 100 feet. The "camouflaged" tree pole design for the Holman Ranch site provides for both improved telecommunication while not detracting from the visual landscape of the Carmel Valley. Alternatives such as a lower height below the ridgeline, or mounting facilities on the existing 12-foot high water tanks is not technically feasible to achieve the service coverage needed. The nearby T-Mobile site does not provide sufficient to the Carmel Valley Village and surrounding areas and the existing pole height cannot accommodate co-location. (See coverage maps, Exhibit E.)

- d) The project planner conducted a site inspection on March 1, 2011 to verify that the project on the subject parcel conforms to the ridgeline development requirement to not create a substantially adverse visual impact.
- e) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN090385.

7. FINDING:

WIRELESS COMMUNICATION FACILITIES – The development of the proposed wireless communications facility will not significantly affect any designated public viewing area, scenic corridor or any identified environmentally sensitive area or resources. The site is adequate for the proposed development of the wireless communication facility and the applicant has demonstrated that it is the most adequate for the provision of services as required by the Federal Communications Commission. The proposed wireless communication facility complies with all the applicable requirements of Monterey County Code section 21.64.310. The subject property on which the wireless communication facility is to be built is in compliance with all rules and regulations pertaining to zoning uses, subdivisions and any other provisions of Title 21 and that all zoning violation abatement costs, if any, have been paid. The proposed telecommunication facility will not create a hazard for aircraft in flight.

- EVIDENCE:**
- a) The project consists of a Cellular on Wheels (COW) portable telecommunication facility to be used during the construction of formal telecommunications facilities; and 2) the installation of a 40 foot high "tree-pole" wireless telecommunication facility, a 12 foot by 20 foot equipment shelter with a mounted GPS antenna, a 20 foot long by 4-foot high CMU retaining wall, and a six foot tall wood fence enclosure. The carrier's coverage goals include continuous G2 and 3G mobile coverage and E911 service.
 - b) The project will not create a potential impact to visual resources in Carmel Valley and was designed as a broad leaf monopole to avoid creating a visual impact. While the proposed simulated tree will have a

maximum height of 40 feet from grade, the antennas disguised within will have a maximum height of 35 feet. The height of the pole was flagged and staff determined it would not create a substantially adverse visual impact from Carmel Valley Road, a designated county scenic road, although it is visible from points to the east along Carmel Valley Road. East of the site Carmel Valley Road, the road is in a narrow valley, windy and hills partially block a clear view of the site for more than a few seconds when traveling along the road. The monopole will be visible from Holman Road between Poppy and Ford Roads and from Valley Vista Lane to the south, The flagging was barely visible from above the site on Chaparral Road because of the distance from the site and instead of a ridgeline development silhouetted with blue sky behind the pole, it instead blends in with the background vegetation. See Finding No. 1.

- c) Development alternatives have been explored for this project including locating such a facility at the Carmel Regional Fire Protection District station. The fire station site and proposal would have been unsuitable for the site as a proposed 100 foot monopole (PLN100494). The "camouflaged" tree pole design for the Holman Ranch site provides for both improved telecommunication while not detracting from the visual landscape of the Carmel Valley. Alternatives such as a lower height below the ridgeline, or mounting facilities on the existing 12-foot high water tanks is not technically feasible to achieve the service coverage needed. The nearby T-Mobile site does not provide sufficient to the Carmel Valley Village and surrounding areas and the existing pole height cannot accommodate co-location. (See coverage maps Exhibit E.)
- d) Future co-location would not be considered suitable or feasible for this project. Co-location would require a larger and higher pole (approximately 100 feet), similar to that proposed for the Carmel Valley Fire station site that included facilities for both telecommunication and public safety.
- e) The design and siting of the project and conditions of approval have been incorporated that would reduce the visual impact and include further review of colors, modifications in the event of technological advances, and maintenance and restoration of the site.
- f) The project is consistent with Section 21.86 (Airport Approaches Zoning) and does not require review by the Monterey County Airport Land Use Commission. This project does not affect any aircraft zones identified in Section 21.86.050 MCC and the proposed height is within limitations outlined in Section 21.86.060 MCC. There is no airport within five miles of the site since the Carmel Valley airport was closed.
- g) Staff site visit and project photos (PLN090385).

8. FINDING: APPEALABILITY - The decision on this project may be appealed to the Board of Supervisors.

EVIDENCE: a) Section 21.80.040.D Monterey County Zoning Ordinance (Board of Supervisors).

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Planning Commission does hereby:

- A. Adopt the Negative Declaration (Exhibit C, Attachment 1);
- B. Approve a Combined Development Permit consisting of: 1) A Use Permit to allow the temporary use of a Cellular on Wheels (COW) portable telecommunication facility to be used during the construction period of formal telecommunications facilities; and 2) a Use Permit to allow the installation of a 40 foot high "tree-pole" wireless telecommunication facility, a 12 foot by 20 foot equipment shelter with a mounted GPS antenna, a 20 foot long by 4 foot high CMU retaining wall, and a six foot tall wood fence enclosure; and 3) a Use Permit for ridgeline development; and Design Approval. Grading is approximately 60 cubic yards (30 yards cut and 30 yards fill); in general conformance with the attached sketch (**Exhibit 2**) and subject to the conditions (**Exhibit 1**), both exhibits being attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 30th day of March, 2011 upon motion of ~~xxxx~~, seconded by ~~xxxx~~, by the following vote:

AYES:
 NOES:
 ABSENT:
 ABSTAIN:

Mike Novo, Planning Commission

COPY OF THIS DECISION MAILED TO APPLICANT ON ~~DATE~~

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE ~~DATE~~

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning Department and Building Services Department office in Salinas.

**RESOLUTION ### - EXHIBIT 1
 Monterey County Resource Management Agency
 Planning Department
 Condition Compliance and/or Mitigation Monitoring
 Reporting Plan**

Project Name: Holman Ranch Holdings, LLC
File No: PLN090385 **APNs:** 187-481-001-000
Approved by: Planning Commission **Date:** March 30, 2011

**Monitoring or Reporting refers to projects with an EIR or adopted Mitigated Negative Declaration per Section 21081.6 of the Public Resources Code.*

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
RMA - Planning Department						
1.		<p>PD001 - SPECIFIC USES ONLY This Combined Development Permit (PLN090385) allows: 1) A Use Permit to allow the temporary use of a Cellular on Wheels (COW) portable telecommunication facility to be used during the construction period of permanent telecommunications facilities; and 2) a Use Permit to allow the installation of a 40 foot high "tree-pole" wireless telecommunication facility, a 12 foot by 20 foot equipment shelter with a mounted GPS antenna, a 20 foot long by 4 foot high CMU retaining wall, and a six foot tall wood fence enclosure; and 3) a Use Permit for ridgeline development; and Design Approval. Grading is approximately 60 cubic yards (30 yards cut and 30 yards fill). The property is located at 60 Holman Road, Carmel Valley (Assessor's Parcel Number 187-481-001-000), Carmel Valley Master Plan Area. This permit was approved in accordance with County ordinances and land use regulations subject to the following terms and conditions. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County</p>	<p>Adhere to conditions and uses specified in the permit.</p> <p>Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of the RMA - Planning Department.</p> <p>To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled.</p>	<p>Owner/ Applicant</p> <p>RMA - Planning</p> <p>WRA RMA - Planning</p>	<p>Ongoing unless otherwise stated</p>	

Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
		regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. (RMA-Planning Department)				
2.		PD002 - NOTICE-PERMIT APPROVAL The applicant shall record a notice which states: "A permit (Resolution [REDACTED]) was approved by the Planning Commission for Assessor's Parcel Number 187-481-001-000 on March 30, 2011 . The permit was granted subject to 23 conditions of approval which run with the land. A copy of the permit is on file with the Monterey County RMA - Planning Department." (RMA-Planning Department)	Obtain appropriate form from the RMA-Planning Department. The applicant shall complete the form and furnish proof of recordation of this notice to the RMA - Planning Department.	Owner/ Applicant RMA- Planning	Prior to the issuance of grading and building permits or commencement of use.	
3.		PD003(A) – CULTURAL RESOURCES – NEGATIVE ARCHAEOLOGICAL REPORT If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (165 feet) of the find until a qualified professional archaeologist can evaluate it. The Monterey County RMA - Planning Department and a qualified archaeologist (i.e., an archaeologist registered with the Register of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery. (RMA - Planning Department)	Stop work within 50 meters (165 feet) of uncovered resource and contact the Monterey County RMA - Planning Department and a qualified archaeologist immediately if cultural, archaeological, historical or paleontological resources are uncovered. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery.	Owner/ Applicant/ Archaeo- logist	Ongoing	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
4.		<p>PD032(A) - PERMIT EXPIRATION (NON-STANDARD) The permit for the permanent facilities shall be granted for a time period of 3 years, to expire on March 30, 2014 unless use of the property or actual construction has begun within this period. (RMA – Planning Department)</p> <p>The permit for the Cellular on Wheels (COW) shall be granted for a time period of 1 year, to expire on March 30, 2012, unless the permanent facility is operational prior to that date. The COW shall be removed from the site within one week of final building permit and the facility operational, whichever occurs first.</p>	The applicant shall obtain a valid grading or building permit and/or commence the authorized use to the satisfaction of the Director of Planning. Any request for extension must be received by the Planning Department at least 30 days prior to the expiration date.	Owner/ Applicant	As stated in the conditions of approval	
5.		<p>PD005 - FISH AND GAME FEE-NEG DEC/EIR Pursuant to the State Public Resources Code § 753.5, State Fish and Game Code, and California Code of Regulations, the applicant shall pay a fee, to be collected by the County, within five (5) working days of project approval. This fee shall be paid before the Notice of Determination is filed. If the fee is not paid within five (5) working days, the project shall not be operative, vested or final until the filing fees are paid. (RMA - Planning Department)</p>	The applicant shall submit a check, payable to the <i>County of Monterey</i> , to the Director of the RMA - Planning Department.	Owner/ Applicant	Within 5 working days of project approval.	
6.		<p>PD007 - GRADING-WINTER RESTRICTION No land clearing or grading shall occur on the subject parcel between October 15 and April 15 unless authorized by the Director of RMA - Building Services Department. (RMA – Planning Department and Building Services Department)</p>	Obtain authorization from the Director of RMA - Building Services Department to conduct land clearing or grading between October 15 and April 15.	Owner/ Applicant	Ongoing	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/due)</i>
7.		PD009 - GEOTECHNICAL CERTIFICATION Prior to final inspection, the geotechnical consultant shall provide certification that all development has been constructed in accordance with the geotechnical report. (RMA – Planning Department and Building Services Department)	Submit certification by the geotechnical consultant to the RMA – Building Services Department showing project’s compliance with the geotechnical report.	Owner/ Applicant/ Geotechnical Consultant	Prior to final inspection	
8.		PD010 - EROSION CONTROL PLAN AND SCHEDULE The approved development shall incorporate the recommendations of the Erosion Control Plan as reviewed by the Director of RMA – Planning and Director of Building Services. All cut and/or fill slopes exposed during the course of construction be covered, seeded, or otherwise treated to control erosion during the course of construction, subject to the approval of the Director of RMA - Planning and Director of RMA - Building Services. The improvement and grading plans shall include an implementation schedule of measures for the prevention and control of erosion, siltation and dust during and immediately following construction and until erosion control planting becomes established. This program shall be approved by the Director of RMA - Planning and Director of RMA - Building Services. (RMA - Planning Department and RMA - Building Services Department)	An Erosion Control Plan shall be submitted to the RMA - Planning Department and the RMA - Building Services Department prior to issuance of building and grading permits.	Owner/ Applicant	Prior to the issuance of grading and building permits	
			Comply with the recommendations of the Erosion Control Plan during the course of construction until project completion as approved by the Director of RMA - Planning and Director of RMA - Building Services.	Owner/ Applicant	Ongoing	
			Evidence of compliance with the Implementation Schedule shall be submitted to the RMA - Planning Department and the RMA - Building Services Department	Owner/ Applicant	Prior to final inspection	
9.		PD011 – TREE AND ROOT PROTECTION Trees which are located close to the construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective	Submit evidence of tree protection to the RMA - Planning Department for review and approval.	Owner/ Applicant	Prior to the issuance of grading and/or building permits	

Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
		materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by a certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of the RMA – Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by a certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (RMA - Planning Department)	Submit on-going evidence that tree protection measures are in place throughout grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.	Owner/ Applicant/ Arborist	During Construction	
			Submit photos of the trees on the property to the RMA – Planning Department after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.	Owner/ Applicant	Prior to final inspection	
10.		PD012(G) - LANDSCAPE PLAN AND MAINTENANCE (OTHER THAN SINGLE FAMILY DWELLING) (NON-STANDARD) The site shall be landscaped. The landscape plan has been submitted and shall be as shown on the approved plans (sheets L-1 and L-2.) The landscaping shall be installed and inspected prior to final building permits. All landscaped areas and/or fences shall be continuously maintained by the applicant and all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (RMA – Planning Department)	As written in the condition.	Owner/ Applicant/	Prior to issuance of Building Permits	
			Landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County RMA - Planning Department.	Owner/ Applicant/ Licensed Landscape Contractor/ Licensed Landscape Architect	Prior to Occupancy	

Permit Cond. Number	Mtng. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (Immediate)
			All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.	Owner/ Applicant	Ongoing	
			The lighting shall be installed and maintained in accordance with the approved plan.	Owner/ Applicant	Prior to Occupancy/ Ongoing	
11.		<p>PD016 – NOTICE OF REPORT</p> <p>Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states:</p> <ol style="list-style-type: none"> 1. A "Geotechnical Engineering Investigation Proposed Communication Tower CN3235-B", report has been prepared by SALEM Engineering Group, Inc., Fresno, CA, dated November 5, 2010, and is on record in the Monterey County RMA - Planning Department, Library No. (LIB#110088). 2. A "Slope Stability Evaluation Proposed Communication Tower CN3235-B", has been prepared by SALEM Engineering Group, Inc., Fresno, CA, dated November 5, 2010, and is on record in the Monterey County RMA - Planning Department, Library No. (LIB#110087). <p>All development shall be in accordance with these reports." (RMA – Planning Department)</p>	<p>Proof of recordation of this notice shall be furnished to the RMA - Planning Department.</p>	Owner/ Applicant	Prior to the issuance of grading and building permits.	
			Submit proof that all development has been implemented in accordance with the report to the RMA - Planning Department for review and approval.	Owner/ Applicant	Prior to Occupancy	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
12.		PD025 - ANTENNA TOWER HEIGHT The tower shall not exceed 40 feet in height. (RMA – Planning Department)	The applicant shall submit 3 copies of an elevation plan which shall indicate the maximum height of the tower to the RMA - Planning Department for review and approval.	Owner/ Applicant	Prior to the issuance of grading and building permits.	
			The RMA - Planning Department staff shall inspect the project site after construction and prior to Final Building Inspection to ensure compliance with condition.	Owner/ Applicant	Prior to final building inspection.	
13.		PD039(A) – WIRELESS COMMUNICATION FACILITIES (NON-STANDARD) The applicant agrees as a condition and in consideration of the approval of the permit to enter into an indemnification agreement with the County whereby the applicant agrees to defend, indemnify, and hold harmless the County, its officers, agents, and employees from actions or claims of any description brought on account of any injury or damages sustained by any person or property resulting from the issuance of the permit and the conduct of the activities authorized under said permit. Applicant shall obtain the permission of the owner on which the wireless communications facility is located to allow the recordation of said indemnification agreement, and the applicant shall cause said indemnification agreement to be recorded by the County Recorder as a prerequisite to the issuance of the building and/or grading permit. The County shall promptly notify the applicant of any such claim, action, or proceeding and the County shall cooperate fully in the defense thereof. The County may, at its sole discretion, participate in the defense of such action, but such participation shall not relieve applicant of its obligations	Submit signed and notarized Indemnification Agreement to the Director of RMA – Planning Department for review and signature by the County. Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to the RMA – Planning Department.	Owner/ Applicant	Prior to the issuance of grading or building permits, or prior to installation of the COW into its temporary position, whichever occurs first	

Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
		under this condition. (RMA – Planning Department)				
14.		<p>PD039(B) – WIRELESS COMMUNICATION FACILITIES</p> <p>The applicant shall agree in writing that if future technological advances allow for reducing the visual impacts of the telecommunication facility, the applicant shall make modifications to the facility accordingly to reduce the visual impact as part of the facility's normal replacement schedule. (RMA – Planning Department)</p>	Submit, in writing, a declaration agreeing to comply with the terms of this condition the RMA - Planning Department for review and approval.	Owner/ Applicant	Prior to the issuance of grading or building permits.	
15.		<p>PD039(C) – WIRELESS COMMUNICATION FACILITIES (NON-STANDARD)</p> <p>Future co-location would not be considered suitable or feasible for this project. Co-location would require a larger and higher pole (approximately 100 feet), similar to that proposed for the Carmel Valley Fire station site that included facilities for both telecommunication and public safety. Any expansion or additions of microwave dishes, antennas and/or similar appurtenances located on the monopole, which are not approved pursuant to this permit, are not allowed unless the appropriate authority approves additional permits or waivers. In any case, the overall height of the pole shall not exceed 40 feet. (RMA – Planning Department)</p>	The overall height of the pole shall not exceed 40 feet.	Owner/ Applicant	Ongoing	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
16.		<p>PD039(D) – WIRELESS COMMUNICATION FACILITIES</p> <p>If the applicant abandons the facility or terminates the use, the applicant shall remove the monopole, panel antennas, and equipment shelter. Upon such termination or abandonment, the applicant shall enter into a site restoration agreement subject to the approval of the Director of the RMA - Planning Department and County Counsel. The site shall be restored to its natural state within 6 months of the termination of use or abandonment of the site. (RMA – Planning Department)</p>	<p>If the applicant abandons the facility or terminates the use, a site restoration agreement shall be submitted to the RMA - Planning Department subject to the approval of the RMA - Director of Planning and County Counsel.</p>	Owner/ Applicant	Prior to the issuance of grading or building permits/ Ongoing	
			Restore the site to its natural state.	Owner/ Applicant	Within 6 months of termination of use or abandonment of site.	
17.		<p>PD039(E) – WIRELESS COMMUNICATION FACILITIES</p> <p>The facility must comply with Federal Communications Commission (FCC) emission standards. If the facility is in violation of FCC emission standards, the Director of the RMA – Planning Department shall set a public hearing before the Appropriate Authority whereupon the Appropriate Authority may, upon a finding based on substantial evidence that the facility is in violation of the then existing FCC emission standards, revoke the permit or modify the conditions of the permit. (RMA – Planning Department)</p>	Submit documentation demonstrating compliance with the FCC emission standards.	Owner/ Applicant	Prior to the commencement of use/ Ongoing	
18.		<p>PD041 – HEIGHT VERIFICATION</p> <p>The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of the RMA- Building Services Department.</p>	1) The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection	Owner/ Applicant	Prior to the issuance of grading or building permits	

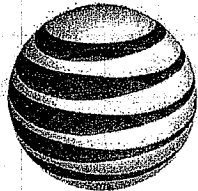
Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted	Responsible Party for Compliance	Finding	Verification of Compliance (immediate)
		for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (RMA – Planning Department and Building Services Department)	2) The applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of the RMA- Building Services Department for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.	Owner/ Applicant	Prior to the foundation pre-pour inspection	
Health Department Environmental Health Bureau						
19.		EH002 – BUSINESS RESPONSE PLAN (NON-STANDARD) The applicant shall maintain an up-to-date Business Response Plan that meets the standards found in the California Code of Regulations, Title 19, Division 2, Chapter 4 (Hazardous Material Release Reporting, Inventory, and Response Plans) and the California Health and Safety Code, Division 20, Chapter 6.95 (Hazardous Material Release Response Plans and Inventory). (Environmental Health Bureau)	Prior to issuance of grading / building permits the owner shall submit the signed Business Response Plan & Memorandum of Understanding (form available from EHB) that specifies an approved Business Response Plan must be on file with Hazardous Materials Management Services prior to bringing hazardous materials on site and/or commencement of operation. Once approved, the applicant shall maintain an up-to-date Business Response Plan.	Owner/ Applicant	Prior to issuance of grading/building permits	
Fire Agency (Monterey Regional/Carmel Valley Fire Protection District)						
20.		FIRE011 - ADDRESSES FOR BUILDINGS All buildings shall be issued an address in accordance with Monterey County Ordinance No. 1241. Each occupancy, except accessory buildings, shall have its own permanently posted address. When multiple	Applicant shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.	Applicant/ owner	Prior to issuance of building permit.	

Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
		occupancies exist within a single building, each individual occupancy shall be separately identified by its own address. Letters, numbers and symbols for addresses shall be a minimum of 4-inch height, 1/2-inch stroke, contrasting with the background color of the sign, and shall be Arabic. The sign and numbers shall be reflective and made of a noncombustible material. Address signs shall be placed at each driveway entrance and at each driveway split. Address signs shall be and visible from both directions of travel along the road. In all cases, the address shall be posted at the beginning of construction and shall be maintained thereafter. Address signs along one-way roads shall be visible from both directions of travel. Where multiple addresses are required at a single driveway, they shall be mounted on a single sign. Where a roadway provides access solely to a single commercial occupancy, the address sign shall be placed at the nearest road intersection providing access to that site. Permanent address numbers shall be posted prior to requesting final clearance. (Carmel Valley Fire District)	Applicant shall schedule fire dept. clearance inspection	Applicant/owner	Prior to final building inspection	
21.		FIRE019 – DEFENSIBLE SPACE Remove combustible vegetation from within a minimum of 30 feet of structures. Limb trees 6 feet up from ground. Remove limbs within 10 feet of chimneys. Additional and/or alternate fire protection or firebreaks approved by the fire authority may be required to provide reasonable fire safety. Environmentally sensitive areas may require alternative fire protection, to be determined by Reviewing Authority and the Director of Planning and Building Inspection. (Carmel Valley Fire Protection District)	Applicant shall incorporate specification into design and enumerate as FIRE DEPARTMENT NOTES on construction plans.		Prior to issuance of building permit	
			Applicant shall complete the vegetation management and shall obtain approval of the fire department final inspection.		Prior to final building inspection	
22.		FIRE030 – SIGNS (NON-STANDARD) Sign(s) shall be installed and maintained on the building pursuant to NFPA 704, Identification of the Hazards of Materials for Emergency Response. Location of such signs shall be	Applicant shall print the text of this condition as FIRE DEPARTMENT NOTES onto the construction plans.		Prior to issuance of Building Permit	

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		approved by the fire code official. (Carmel Valley Fire Protection District)				
			Applicant shall install the required signage and obtain approval of the fire department final inspection.		Prior to final inspection	
23.		FIRE030 – SIGNS (NON-STANDARD) This project is located within State Responsibility Area as determined by the California State Board of Forestry and Fire Protection. New buildings located in any Fire Hazard Severity Zone within State Responsibility Areas for which an application for a construction permit is submitted on or after January 1, 2008, shall comply with all sections of Chapter 7A (Materials and Construction Methods for Exterior Wildfire Exposure) of the California Building Code. Building design and specifications complying with the requirements of Chapter 7A, shall be incorporated into the building construction plans at the time of application for construction permit. Applicant shall submit construction plans to the Monterey County Building Services Department and obtain approval of the plans prior to the issuance of the construction permit. (Carmel Valley Fire Protection District)	Applicant shall design the proposed building(s) in accordance with CBC Chapter 7A and shall obtain approval of the construction plans from the Monterey County Building Services Department.		Prior to issuance of building permit	

END OF CONDITIONS

Rev. 08/25/2010



at&t

CN3235-B
CARMEL VALLEY RD
60 HOLMAN ROAD
CARMEL VALLEY, CALIFORNIA 93924

SPECIAL INSPECTIONS

1	CONCRETE	13.1	VERIFY SOIL CONDITIONS ARE SUBSTANTIALLY IN CONFORMANCE WITH THE SOIL INVESTIGATION REPORT
2	REINFORCING STEEL AND PRESTRESSING STEEL	13.2	VERIFY THAT FOUNDATION ELEVATIONS EXCEED TO PROPER DEPTH AND BEARING STRATA
3	ALL STRUCTURAL WELDING	13.3	VERIFY SOIL COMPACTION TEST RESULTS, DEPTH OF FILL, RELATIVE DENSITY, BEARING VALUES
4	WELD TESTING (AXIAL MOMENT-RESTRICTING STEEL FRAME)	13.4	PROHIBIT SOIL COMPACTION TEST RESULTS, EXPANSION INDEX, RECOMMENDATIONS FOR FOUNDATIONS, ON-DRAINAGE FLOOR SLAB DESIGN FOR EACH BUILDING SITE
5	WELD TESTING (MOMENT-RESTRICTING STEEL FRAME)	14	SMOKE CONTROL SYSTEM
6	WELD TESTING (GENERAL CONCRETE)	15	SPECIAL CASES (DESIGNS)
7	STRUCTURAL JOISTING	16	OFF-SITE FABRICATION OF BUILDING COMPONENTS
8	WELD TESTING (GENERAL CONCRETE)	17	OTHER SPECIAL INSPECTIONS AS REQUIRED BY DESIGN
9	WELD TESTING (GENERAL CONCRETE)		
10	WELD TESTING (GENERAL CONCRETE)		
11	WELD TESTING (GENERAL CONCRETE)		
12	WELD TESTING (GENERAL CONCRETE)		

CONSULTANT TEAM

CLIENTS REPRESENTATIVE:
ERICSSON INC.
6160 STONERIDGE HILL ROAD
SUITE 400
PLEASANTON, CALIFORNIA 94588
CONSTRUCTION MANAGER:
JAMES WICKLE
PHONE: 780

BLACK DOT WIRELESS
27271 LAS BAYAS, SUITE 200
MISSION VIEJO, CALIFORNIA 92691
PHONE: (949) 902-3800
FAX: (949) 271-7940

SITE ACQUISITION & ZONING:
TILES POTTER
DENISE BUFFY & ASSOCIATES
PHONE: (831) 373-4341

RF ENGINEER:
DARLE PALOMA (AT&T)
PHONE: (562) 334-7443

ARCHITECT:
JEFFREY ROME AND ASSOCIATES
1 SAN JOAQUIN PLAZA
SUITE 250
NEWPORT BEACH, CALIFORNIA 92660
PHONE: (714) 324-4338
FAX: (949) 780-3331
CONTACT: ROBIN NELSON

LAND SURVEYOR:
CAL VEDA SURVEYING, INC.
411 JENKINS CIRCLE, SUITE 205
CORONA, CALIFORNIA 92880
PHONE: (951) 260-9980
FAX: (951) 260-9746
CONTACT: RAMON GONZALEZ

DEVELOPMENT SUMMARY

APPLICANT: AT&T MOBILITY
4430 ROSEWOOD DRIVE
PLEASANTON, CALIFORNIA 94588

OWNER: HOLMAN RANCH
200 BOX 148
CARMEL VALLEY, CALIFORNIA 93924
CONTACT: TOOD HENTON
PHONE: (831) 629-2440

OTHER ON-SITE TELECOM FACILITIES: NONE

PROJECT ADDRESS: 60 HOLMAN ROAD
CARMEL VALLEY, CALIFORNIA 93924

ASSESSORS PARCEL NUMBER: 187-481-001

LATITUDE: 36° 28' 44.82" N

LONGITUDE: 121° 43' 07.38" W

NAID: 140-83

EXISTING ZONING AND GEN. PLAN: ROR/10-D-S (RURAL DENSITY RESIDENTIAL)

PROPOSED PROJECT AREA: 844 SQ. FT./0.001X OF LOT

PROPOSED TYPE OF CONSTRUCTION: TYPE V-B

PROPOSED OCCUPANCY: U

EXISTING TYPE OF CONSTRUCTION: NOT APPLICABLE

EXISTING OCCUPANCY: NOT APPLICABLE

JURISDICTION: COUNTY OF MONTEREY

SHEET INDEX

- T-1 TITLE SHEET
- A-0 OVERALL SITE PLAN
- A-1 SITE PLAN
- A-1.1 ISLANDED SITE PLAN
- A-2 NORTHEAST ELEVATIONS
- A-3 SOUTHWEST ELEVATIONS
- A-4 SOUTHEAST ELEVATIONS
- L-1 PLANTING SITE PLAN
- L-2 IRRIGATION SITE PLAN
- EC-1 EROSION CONTROL PLAN
- C-1 SITE SURVEY (FOR REFERENCE ONLY)

PROJECT DESCRIPTION

AT&T MOBILITY PROPOSES TO CONSTRUCT, OPERATE AND MAINTAIN AN UNMANNED WIRELESS COMMUNICATIONS FACILITY. THIS FACILITY WILL CONSIST OF THE FOLLOWING:

- INSTALL (12) PROPOSED AT&T ANTENNAS ON A PROPOSED 35'-0" TALL BRIMBLEY TREEPOLE. ANTENNAS PAINTED DARK GREEN AND TREEPOLE TO HAVE FULL BARK CLADDING.
- INSTALL (34) LINES OF 7/8" COAXIAL CABLE AND (9) TAPS.
- 29.285 CURVED VARDS OF PROPOSED GRADING.
- INSTALL A PROPOSED AT&T 12'-0" X 20'-0" EQUIPMENT SHELTER.
- UNDERGROUND UTILITY RUNS FOR ELECTRICAL AND TELEPHONE.

APPLICABLE CODES

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:

CALIFORNIA BUILDING CODE, 2007 EDITION, BASED ON THE 2006 INTERNATIONAL BUILDING CODE
CALIFORNIA FIRE CODE, 2007 EDITION, BASED ON THE 2006 INTERNATIONAL FIRE CODE
CALIFORNIA MECHANICAL CODE, 2007 EDITION, BASED ON THE 2006 UNIFORM MECHANICAL CODE
CALIFORNIA PLUMBING CODE, 2007 EDITION, BASED ON THE 2006 UNIFORM PLUMBING CODE
CALIFORNIA ELECTRICAL CODE, 2007 EDITION, BASED ON THE 2005 NATIONAL ELECTRICAL CODE
CALIFORNIA ENERGY CODE, 2007 EDITION

IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL.

ACCESSIBILITY DISCLAIMER

THIS PROJECT IS AN UNOCCUPIED WIRELESS TELECOMMUNICATIONS FACILITY AND IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.

LEGAL DESCRIPTION

A PORTION OF THAT CERTAIN MAP ENTITLED "THE EAST PORTION OF PARCEL NO. 4", IN THE CITY OF CARMEL VALLEY, COUNTY OF MONTEREY, STATE OF CALIFORNIA, FILED IN PAGE 121, VOLUME 3, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PENDING RECEIPT OF TITLE REPORT.

SCALE

THE DRAWING SCALES SHOWN IN THIS SET REPRESENT THE CORRECT SCALE ONLY WHEN THESE DRAWINGS ARE PRINTED IN A 24"x36" FORMAT. IF THIS DRAWING SET IS NOT 24"x36", THIS SET IS NOT TO SCALE.

VICINITY MAP



CARMEL VALLEY

JRA
Jeffrey Rome & Associates, Inc.
Architects & Telecommunications
1 San Joaquin Plaza, Suite 250
Newport Beach, California 92660
Phone: (949) 780-3329
Fax: (949) 780-3851

PROPRIETARY INFORMATION
THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AT&T MOBILITY IS STRICTLY PROHIBITED.



APPROVALS

R.F. ENGINEER	DATE
SITE ACQS AND ZONING	DATE
ERICSSON CM	DATE
AT&T CM	DATE
OWNER APPROVAL	DATE

PROJECT NAME: CARMEL VALLEY RD
PROJECT NUMBER: CN3235-B
60 HOLMAN ROAD
CARMEL VALLEY, CA 93924
MONTEREY COUNTY

DRAWING DATES

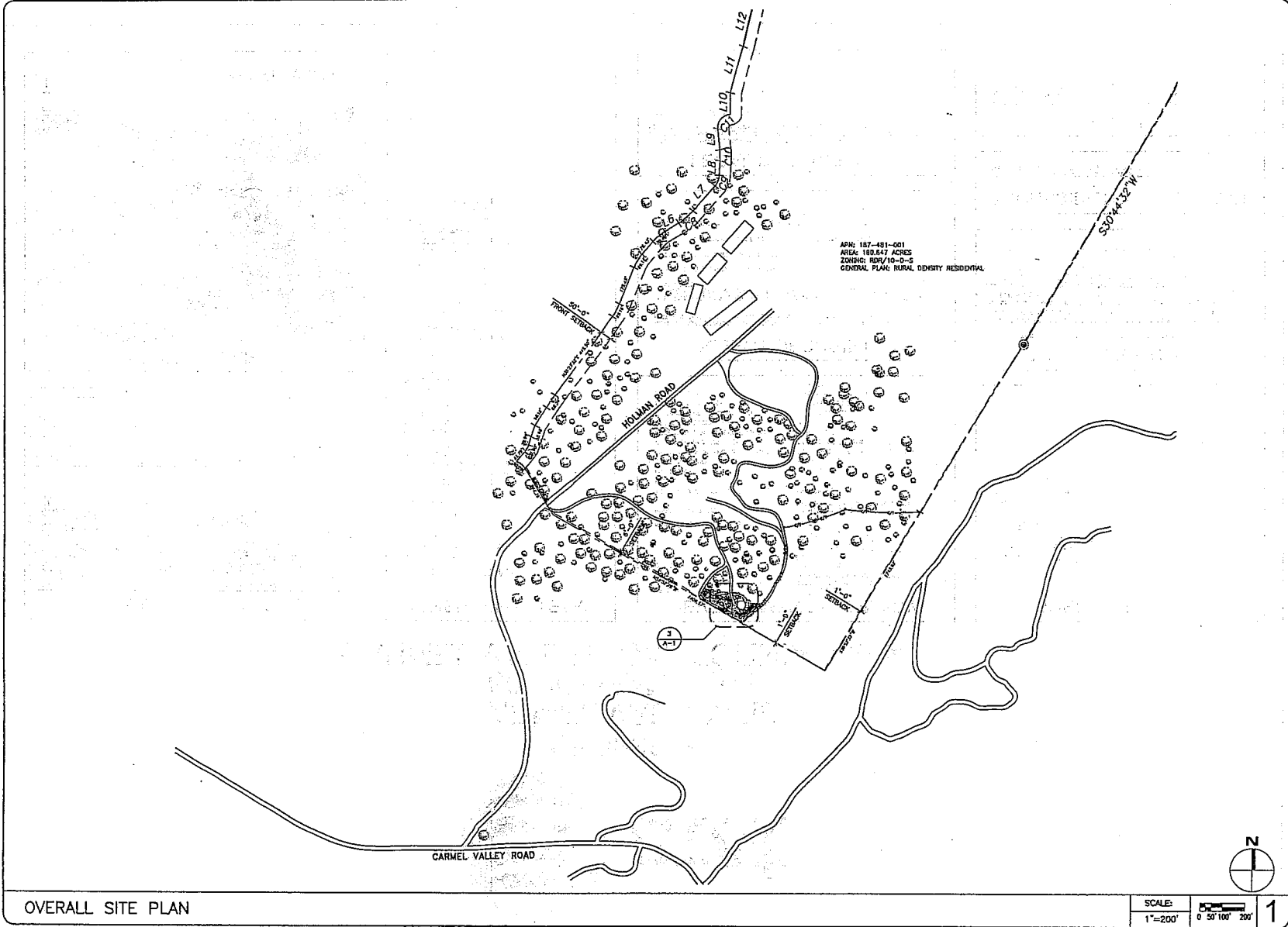
09/20/10	90% 205 (P1)
11/05/10	100% 205 (P3)
11/15/10	20 REVISIONS (P3)

REVISIONS

REVISION LEVEL (PENDING)	SHEET TITLE
	TITLE SHEET

T-1

JRA PROJECT NUMBER: 101076



APN: 187-481-001
 AREA: 180.847 ACRES
 ZONING: RM/10-D-S
 GENERAL PLAN: RURAL DENSITY RESIDENTIAL

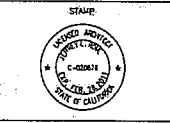
OVERALL SITE PLAN

SCALE: 1"=200'

1

JRA
 Jeffrey Rome & Associates, Inc.
 Architecture & Telecommunications
 1 San Jose del Monte, Suite 230
 Newport Beach, California 92660
 Phone: (949) 780-3319
 Fax: (949) 780-3321

PROPRIETARY INFORMATION
 THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AT&T MOBILITY IS STRICTLY PROHIBITED.



PREPARED FOR

6433 Rosewood Drive
 Pleasanton, California 94588

APPROVALS

R.F. ENGINEER	DATE
SITE ACQS AND ZONING	DATE
ERICSSON CM	DATE
AT&T CM	DATE
OWNER APPROVAL	DATE

PROJECT NAME
CARMEL VALLEY RD

PROJECT NUMBER
CN3235-B

86 HOLLAND ROAD
 CARMEL VALLEY, CA 93924
 MONTEREY COUNTY

DRAWING DATES

09/30/10	60K ZDS (P1)
11/05/10	100K ZDS (P2)
11/15/10	20 REVISIONS (P3)

REFS	REVISION LEVEL	PERIOD

SHEET TITLE

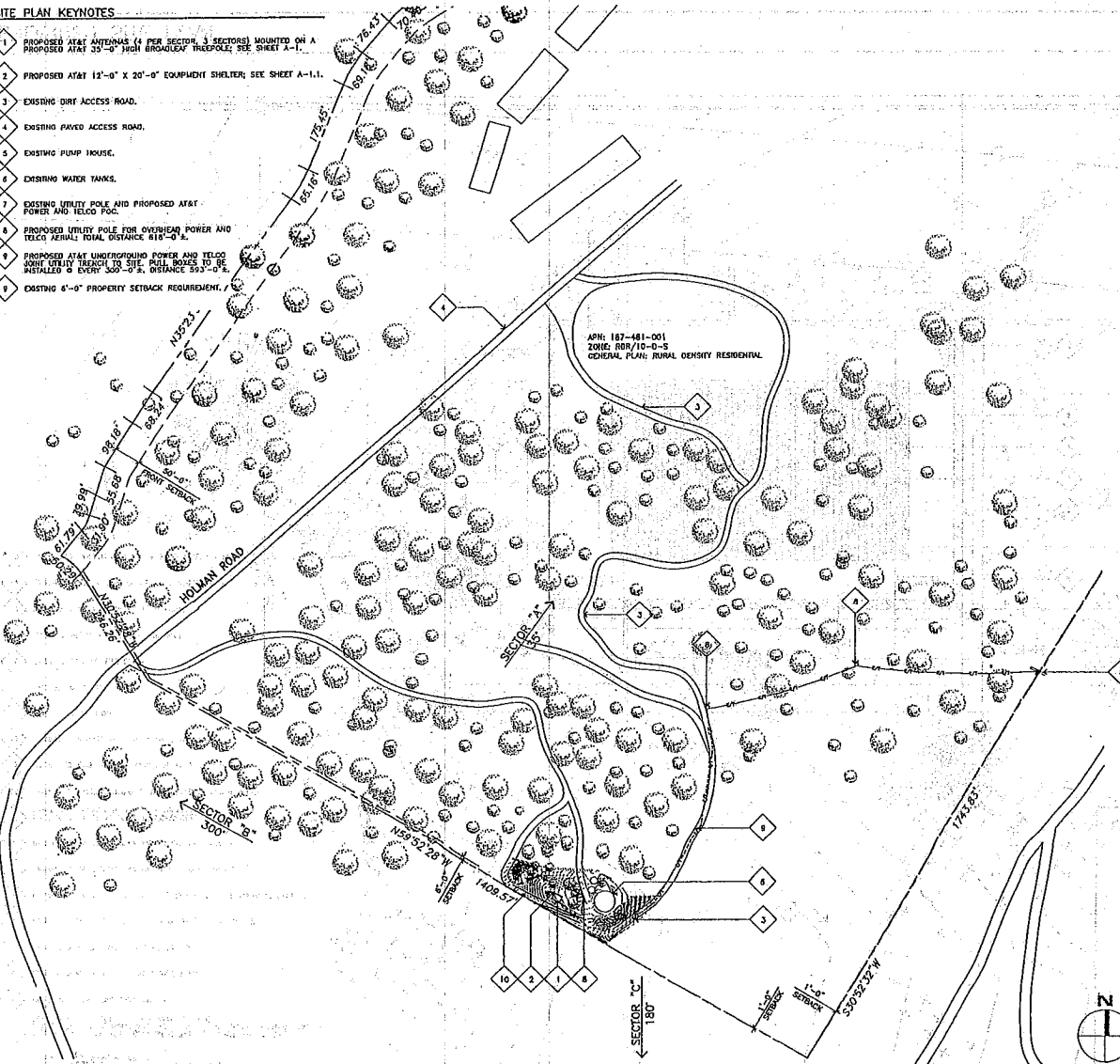
SITE PLAN

A-0

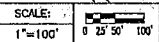
JRA PROJECT NUMBER 101019

SITE PLAN KEYNOTES

- 1 PROPOSED AT&T ANTENNAS (4 PER SECTOR, 3 SECTORS) MOUNTED ON A PROPOSED AT&T 33'-0" HIGH BROADLEAF TREEPOLE. SEE SHEET A-1.
- 2 PROPOSED AT&T 12'-0" X 20'-0" EQUIPMENT SHELTER. SEE SHEET A-1.1.
- 3 EXISTING DIRT ACCESS ROAD.
- 4 EXISTING PAVED ACCESS ROAD.
- 5 EXISTING PUMP HOUSE.
- 6 EXISTING WATER TANKS.
- 7 EXISTING UTILITY POLE AND PROPOSED AT&T POWER AND TELCO POC.
- 8 PROPOSED AT&T UTILITY POLE FOR OVERHEAD POWER AND TELCO AERIAL. TOTAL DISTANCE 818'-0".
- 9 PROPOSED AT&T UNDERGROUND POWER AND TELCO CONDUIT ROUTE TO SITE. PULL BOXES TO BE INSTALLED @ EVERY 300'-0" ±. DISTANCE 953'-0".
- 10 EXISTING 6'-0" PROPERTY SETBACK REQUIREMENT.



SITE PLAN



3

SECTOR	DIRECTION	ANTENNA MODEL NO.	COAX CABLE LENGTH (± 5')	JAWPER LENGTH (± 3')	COAX SIZE
A	NORTH	APR-187-481-001	81	10	7/8"
	WEST	APR-187-481-001	81	10	7/8"
	EAST	APR-187-481-001	81	10	7/8"
B	SOUTH	APR-187-481-001	81	10	7/8"
	WEST	APR-187-481-001	81	10	7/8"
	EAST	APR-187-481-001	81	10	7/8"
C	SOUTH	APR-187-481-001	81	10	7/8"
	WEST	APR-187-481-001	81	10	7/8"
	EAST	APR-187-481-001	81	10	7/8"

ANTENNA COAXIAL CABLE SCHEDULE 2

1. CONTRACTOR TO PROVIDE ALL LABOR TO INSTALL 30 RUNS OF COAX, 12 TIA'S AND 12 ANTENNAS.
2. ERICSSON TO PROVIDE ALL COAX, CONNECTORS, AUXILIARY EQUIPMENT (INCLUDING WEATHER STOPPING, GROUND WTS, ETC.).
3. CONTRACTOR TO COLOR CODE ALL COAX. COLORED BANDS OF TAPE ON COAX IDENTIFY SECTOR, FREQUENCY, TECHNOLOGY, AND TRANSMIT-GROUP AS FOLLOWS:

SECTOR "A"						
CSM 1500	TX 1/RX 1	TX 3	TX 2/RX 2	TX 4	TX 5	TX 6
	2 BROWN	2BRWN/1RED	2 ORANGE	2ORG/1RED	2BRWN/2RED	2ORG/2RED
	TX 1/RX 1	TX 3	TX 2/RX 2	TX 4	TX 5	TX 6
CSM 850	3 BROWN	3BRWN/1RED	3 ORANGE	3ORG/1RED	3BRWN/2RED	3ORG/2RED
	TX 1/RX 1	TX 3/RX 3	TX 2/RX 2	TX 4/RX 4	TX 5/RX 5	TX 6/RX 6
UNITS 1500	4 BROWN	4BRWN/1RED	4 ORANGE	4ORG/1RED	4BRWN/2RED	4ORG/2RED
	TX 1/RX 1	TX 3/RX 3	TX 2/RX 2	TX 4/RX 4	TX 5/RX 5	TX 6/RX 6
UNITS 850	5 BROWN	5BRWN/1RED	5 ORANGE	5ORG/1RED	5BRWN/2RED	5ORG/2RED
	TX 1/RX 1	TX 3/RX 3	TX 2/RX 2	TX 4/RX 4	TX 5/RX 5	TX 6/RX 6
LTE 700	6 BROWN	6BRWN/1RED	6 ORANGE	6ORG/1RED	6BRWN/2RED	6ORG/2RED
	TX 1/RX 1	TX 3/RX 3	TX 2/RX 2	TX 4/RX 4	TX 5/RX 5	TX 6/RX 6
LTE 1700/2100	7 BROWN	7BRWN/1RED	7 ORANGE	7ORG/1RED	7BRWN/2RED	7ORG/2RED

SECTOR "B"						
CSM 1500	TX 1/RX 1	TX 3	TX 2/RX 2	TX 4	TX 5	TX 6
	2 YELLOW	2YL/1RED	2 BLUE	2BLU/1RED	2YL/2RED	2BLU/2RED
	TX 1/RX 1	TX 3	TX 2/RX 2	TX 4	TX 5	TX 6
CSM 850	3 YELLOW	3YL/1RED	3 BLUE	3BLU/1RED	3YL/2RED	3BLU/2RED
	TX 1/RX 1	TX 3/RX 3	TX 2/RX 2	TX 4/RX 4	TX 5/RX 5	TX 6/RX 6
UNITS 1500	4 YELLOW	4YL/1RED	4 BLUE	4BLU/1RED	4YL/2RED	4BLU/2RED
	TX 1/RX 1	TX 3/RX 3	TX 2/RX 2	TX 4/RX 4	TX 5/RX 5	TX 6/RX 6
UNITS 850	5 YELLOW	5YL/1RED	5 BLUE	5BLU/1RED	5YL/2RED	5BLU/2RED
	TX 1/RX 1	TX 3/RX 3	TX 2/RX 2	TX 4/RX 4	TX 5/RX 5	TX 6/RX 6
LTE 700	6 YELLOW	6YL/1RED	6 BLUE	6BLU/1RED	6YL/2RED	6BLU/2RED
	TX 1/RX 1	TX 3/RX 3	TX 2/RX 2	TX 4/RX 4	TX 5/RX 5	TX 6/RX 6
LTE 1700/2100	7 YELLOW	7YL/1RED	7 BLUE	7BLU/1RED	7YL/2RED	7BLU/2RED

SECTOR "C"						
CSM 1500	TX 1/RX 1	TX 3	TX 2/RX 2	TX 4	TX 5	TX 6
	2 VIOLET	2VIO/1RED	2 WHITE	2WH/1RED	2VIO/2RED	2WH/2RED
	TX 1/RX 1	TX 3	TX 2/RX 2	TX 4	TX 5	TX 6
CSM 850	3 VIOLET	3VIO/1RED	3 WHITE	3WH/1RED	3VIO/2RED	3WH/2RED
	TX 1/RX 1	TX 3/RX 3	TX 2/RX 2	TX 4/RX 4	TX 5/RX 5	TX 6/RX 6
UNITS 1500	4 VIOLET	4VIO/1RED	4 WHITE	4WH/1RED	4VIO/2RED	4WH/2RED
	TX 1/RX 1	TX 3/RX 3	TX 2/RX 2	TX 4/RX 4	TX 5/RX 5	TX 6/RX 6
UNITS 850	5 VIOLET	5VIO/1RED	5 WHITE	5WH/1RED	5VIO/2RED	5WH/2RED
	TX 1/RX 1	TX 3/RX 3	TX 2/RX 2	TX 4/RX 4	TX 5/RX 5	TX 6/RX 6
LTE 700	6 VIOLET	6VIO/1RED	6 WHITE	6WH/1RED	6VIO/2RED	6WH/2RED
	TX 1/RX 1	TX 3/RX 3	TX 2/RX 2	TX 4/RX 4	TX 5/RX 5	TX 6/RX 6
LTE 1700/2100	7 VIOLET	7VIO/1RED	7 WHITE	7WH/1RED	7VIO/2RED	7WH/2RED

4. WHEN ANTENNA LINES ARE DIRECTIONED, THE COLOR CODE OF THE HIGHEST FREQUENCY PRIORITY (I.E. UNITS DIRECTIONED WITH THIN STRIPE) MATCH COLOR 4 BANDS.
5. ALL ANTENNAS AND ANTENNA CABLE SHALL BE FURNISHED BY ERICSSON INC. AND INSTALLED BY ANTENNA INSTALLATION CONTRACTOR.
6. PRIOR TO PLACEMENT OF ANTENNA POLE MOUNTS, THE CONTRACTOR SHALL VERIFY THAT THE MOUNTS AND DIMENSIONS SHOWN ON THE PLANS MATCH ACTUAL FIELD CONDITIONS.
7. ANTENNA INSTALLATION CONTRACTOR SHALL PROVIDE ALL CONDUIT, CABLE TRAY, GROUNDS, ETC. FOR COMPLETE INSTALLATION OF ANTENNAS AND CABLES SHOWN AND WETWORK AS REQUIRED FOR A COMPLETE OPERATING SYSTEM BY ACCORDANCE WITH ERICSSON INC. STANDARDS.
8. IN NO CASE SHALL THERE BE ANY MORE THAN TWO (2) 90° TURNS (OR EQUIVALENTS) IN ANY CONTINUOUS LENGTH OF CONDUIT BETWEEN PULL BOXES OR SIMILAR FEATURES.
9. ANTENNA CONDUIT SHALL ONLY INCLUDE FACTORY-MADE LARGE RADIUS SWEEPS AT ALL CHANGES IN DIRECTION. SWEEP RADII SHALL BE 18" MINIMUM ABOVE GROUND AND 36" MINIMUM BELOW GROUND.
10. CONDUIT SHALL BE 3" MINIMUM. ALL UNDERGROUND CONDUIT SHALL BE SCHEDULE 40 PVC. ALL EXPOSED CONDUIT ABOVE GRADE LEVEL SHALL BE IN CORRUGATED GALVANIZED. ALL EXPOSED CONDUIT PROTECTED IN A BUILDING OR ON A ROOF SHALL BE ENT OR UV STABILIZED PAINTED SCHEDULE 80 PVC.
11. IN HIGH TRAFFIC AREAS OR WHERE SUSCEPTIBLE TO DAMAGE CONTRACTOR SHALL PROVIDE FORMED GRIP STRUT COVER OVER COAXIAL CABLE ROUTES. WHERE CABLE IS RUN ON THE WALL, ATTACH UNIFORM TO WALL AND COVER WITH 1/4" GALVANIZED FORMED SHEET METAL COVER OR MATERIAL AS DIRECTED BY ERICSSON INC. CONSTRUCTION MANAGER.
12. VERIFY ROUTE AND LENGTH OF CABLE PRIOR TO CUTTING. ADJUST INDICATED ROUTE AS REQUIRED TO CLEAR ALL EQUIPMENT AT FACILITIES.
13. MAXIMUM LENGTH OF 7/8" COAX CABLE SHALL BE 140'-0". MAXIMUM LENGTH OF 1-1/4" COAX CABLE SHALL BE 190'-0". MAXIMUM LENGTH OF 1-5/8" COAX CABLE SHALL BE 235'-0".
14. VERIFY MODEL NUMBERS OF ANTENNAS WITH ERICSSON INC. SERVICES.
15. THE CONTRACTOR SHALL PROVIDE TESTING OF ANTENNAS AND SHALL PROVIDE DOCUMENTATION TO THE ERICSSON INC. PROJECT MANAGER.
16. GENERAL CONTRACTOR TO VERIFY ALL TORQUE TOLERANCES PER THE MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS.

GENERAL ANTENNA & CABLE NOTES 1

JIRA

Jiffrey Rime & Associates, Inc.
 Architecture & Telecommunications
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 Newport Beach, California 92660
 Phone: (949) 760-3222
 Fax: (949) 760-3331

PROPRIETARY INFORMATION

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PREPARED FOR

 4430 Rosewood Drive
 Pleasanton, California 94588

APPROVALS

REP. ENGINEER	DATE
SITE ACQS AND ZONING	DATE
DISCUSSION CH	DATE
AT&T C/E	DATE
OWNER APPROVAL	DATE

PROJECT NAME
CARMEL VALLEY RD

PROJECT NUMBER
CH3235-B
 60 HOLWAY ROAD
 CARMEL VALLEY, CA 93924
 MONTEREY COUNTY

DRAWING DATES
 09/30/10 80% 70% (P1)
 11/05/10 100% 20% (P2)
 11/15/10 20 REVISIONS (P3)

RFDS REVISION LEVEL (PENDING)

SHEET TITLE
OVERALL SITE PLAN

A-1

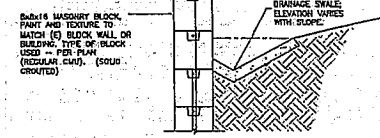
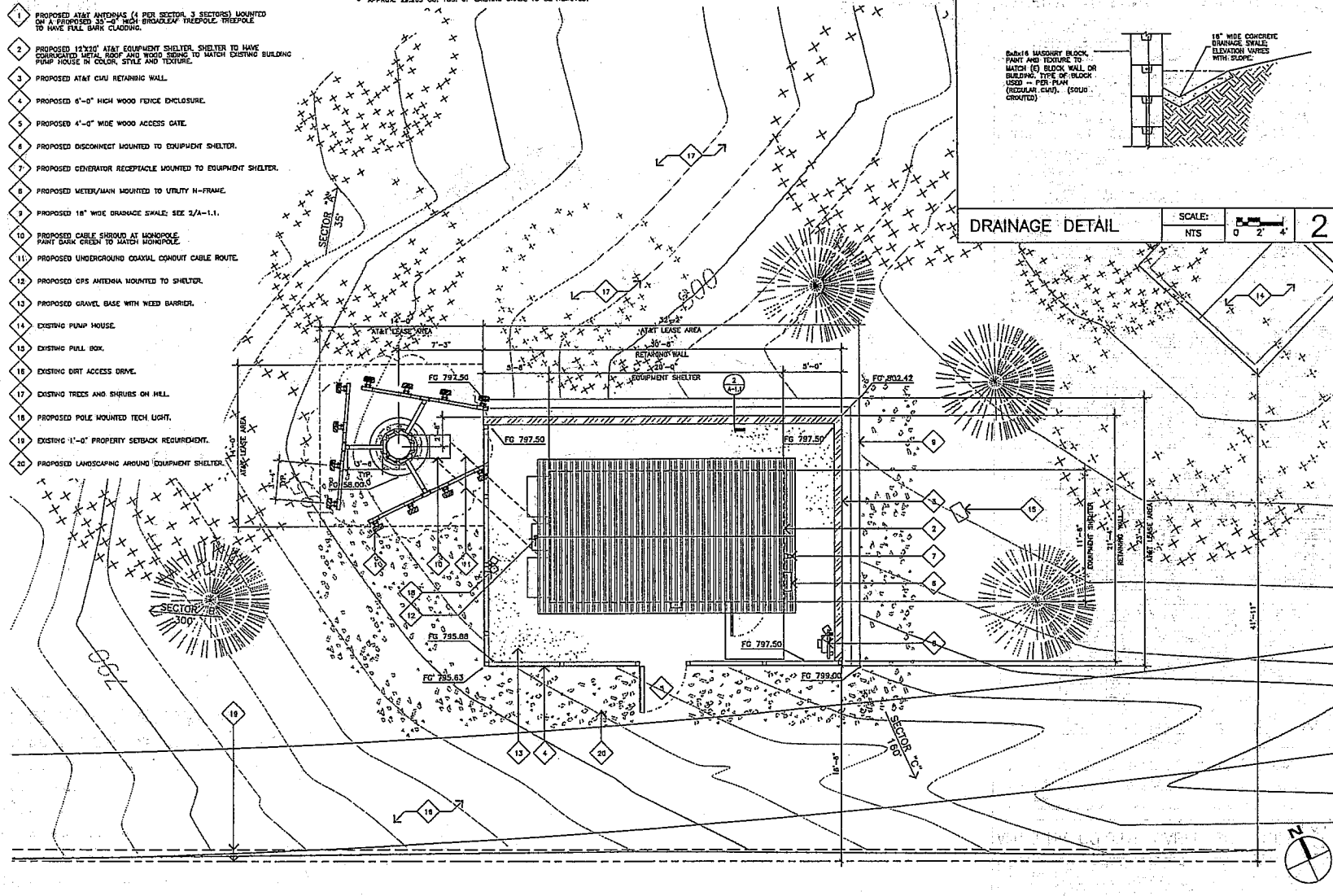
JOB PROJECT NUMBER 103070

ENLARGED SITE PLAN KEYNOTES

- 1 PROPOSED AT&T ANTENNAS (4 PER SECTOR, 3 SECTORS) MOUNTED ON A PROPOSED 35'-0" HIGH BRONZE LEAF TREEPOLE. TREEPOLE TO HAVE FULL BARK CLADDING.
- 2 PROPOSED 12'x20' AT&T EQUIPMENT SHELTER. SHELTER TO HAVE CORRUGATED METAL ROOF AND WOOD SIDING TO MATCH EXISTING BUILDING PUMP HOUSE IN COLOR, STYLE AND TEXTURE.
- 3 PROPOSED AT&T CIU RETAINING WALL.
- 4 PROPOSED 6'-0" HIGH WOOD FENCE ENCLOSURE.
- 5 PROPOSED 4'-0" WIDE WOOD ACCESS GATE.
- 6 PROPOSED DISCONNECT MOUNTED TO EQUIPMENT SHELTER.
- 7 PROPOSED GENERATOR RECEPTACLE MOUNTED TO EQUIPMENT SHELTER.
- 8 PROPOSED METER/MAIN MOUNTED TO UTILITY H-FRAME.
- 9 PROPOSED 18" WIDE DRAINAGE SWALE; SEE 2/A-1.1.
- 10 PROPOSED CABLE SHROUD AT MONOPOLE. PAINT DARK GREEN TO MATCH MONOPOLE.
- 11 PROPOSED UNDERGROUND COAXIAL CONDUIT CABLE ROUTE.
- 12 PROPOSED GPS ANTENNA MOUNTED TO SHELTER.
- 13 PROPOSED GRAVEL BASE WITH WEED BARRIER.
- 14 EXISTING PUMP HOUSE.
- 15 EXISTING PULL BOX.
- 16 EXISTING DIRT ACCESS DRIVE.
- 17 EXISTING TREES AND SHRUBS ON HILL.
- 18 PROPOSED POLE MOUNTED TECH LIGHT.
- 19 EXISTING 1'-0" PROPERTY SETBACK REQUIREMENT.
- 20 PROPOSED LANDSCAPING AROUND EQUIPMENT SHELTER.

GENERAL NOTES:

* APPROX. 29,285 CU. YDS. OF EXISTING GRADE TO BE REMOVED.



DRAINAGE DETAIL

SCALE: 0 2' 4" 2
NTS

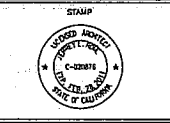
ENLARGED SITE PLAN

SCALE: 1/4"=1'-0" 0 2' 4" 1

JRA
Jeffrey Rowe & Associates, Inc.

Architects & Telecommunications
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PREPARED FOR
at&t
4430 Greenwood Drive
Pleasanton, California 94588

APPROVALS

R/JF, ENGINEER	DATE
SITE ACQS AND ZONING	DATE
ERICSSON CM	DATE
AT&T CM	DATE
OWNER APPROVAL	DATE

PROJECT NAME
CARMEL VALLEY RD

PROJECT NUMBER
CN3235-B

80 HOLMAN ROAD
CARMEL VALLEY, CA 93924
MONTEREY COUNTY

DRAWING DATES
09/30/10 80% (P1)
11/05/10 100% (P2)
11/15/10 20% REVISIONS (P3)

REVISION LEVEL (PCH-0000)

SHEET TITLE
ENLARGED SITE PLAN

A-1.1

JRA PROJECT NUMBER 101076

ELEVATION KEYNOTES

- 1 PROPOSED AND FUTURE AT&T ANTENNAS (4 PER SECTOR, 3 SECTORS) MOUNTED ON A PROPOSED 12'-0" HIGH BROADLEAF TREEPOLE. ANTENNAS PAINTED BARK GREEN AND TREEPOLE TO HAVE FULL BARK CLADDING.
- 2 PROPOSED 12'x30' AT&T EQUIPMENT SHELTER. SHELTER TO HAVE CORRUGATED METAL ROOF AND WOOD SIDING TO MATCH EXISTING BUILDING PUMP HOUSE IN COLOR, STYLE AND TEXTURE.
- 3 PROPOSED GPS ANTENNA MOUNTED TO SHELTER.
- 4 PROPOSED WOOD FENCE ENCLOSURE TO MATCH EXISTING IN COLOR, STYLE AND TEXTURE.
- 5 EXISTING PUMP HOUSE; SEE 2/A-2.
- 6 PROPOSED COAX CABLE SHROUD COVER.

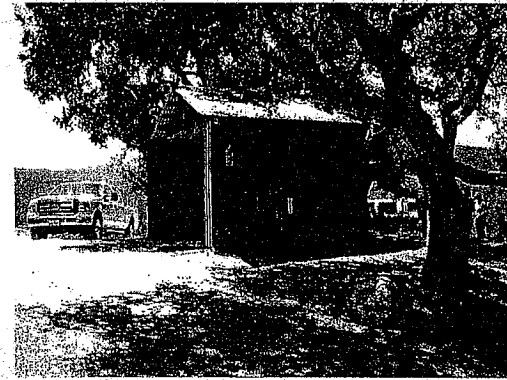
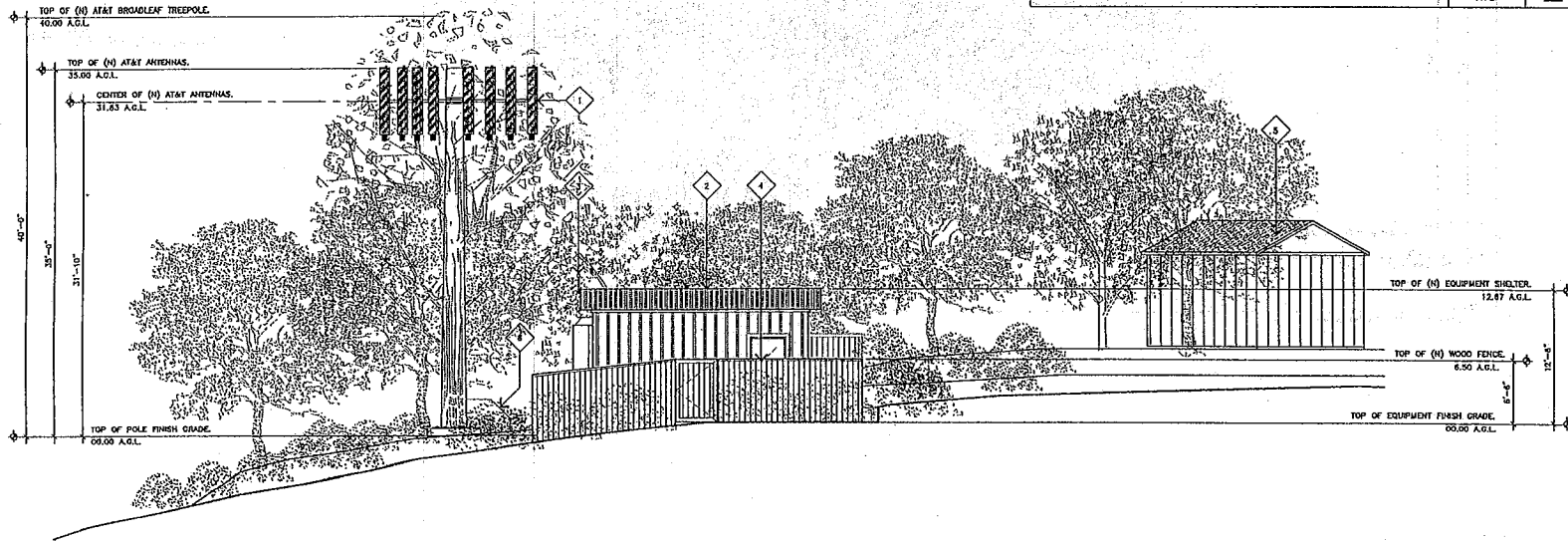


PHOTO OF EXISTING

SCALE: NTS 2

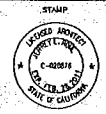



NORTHEAST ELEVATION

SCALE: 3/16"=1'-0" 1

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STAMP


PREPARED FOR

 4430 Rosewood Drive
 Pleasanton, California 94588

APPROVALS

R.F. ENGINEER	DATE
SITE ACOS AND ZONING	DATE
ERICSSON CM	DATE
AT&T CM	DATE
OWNER APPROVAL	DATE

PROJECT NAME
CARMEL VALLEY RD

PROJECT NUMBER
CN3235-B

80 HOLMAN ROAD
 CARMEL VALLEY, CA 93924
 MONTEREY COUNTY

DRAWING DATES

09/30/10	80X 705 (P1)
11/02/10	100X 705 (P2)
11/15/10	20 REVISIONS (P3)

R.F.D. REVISION LEVEL (PENDING)

SHEET TITLE
NORTHEAST ELEVATIONS

A-2

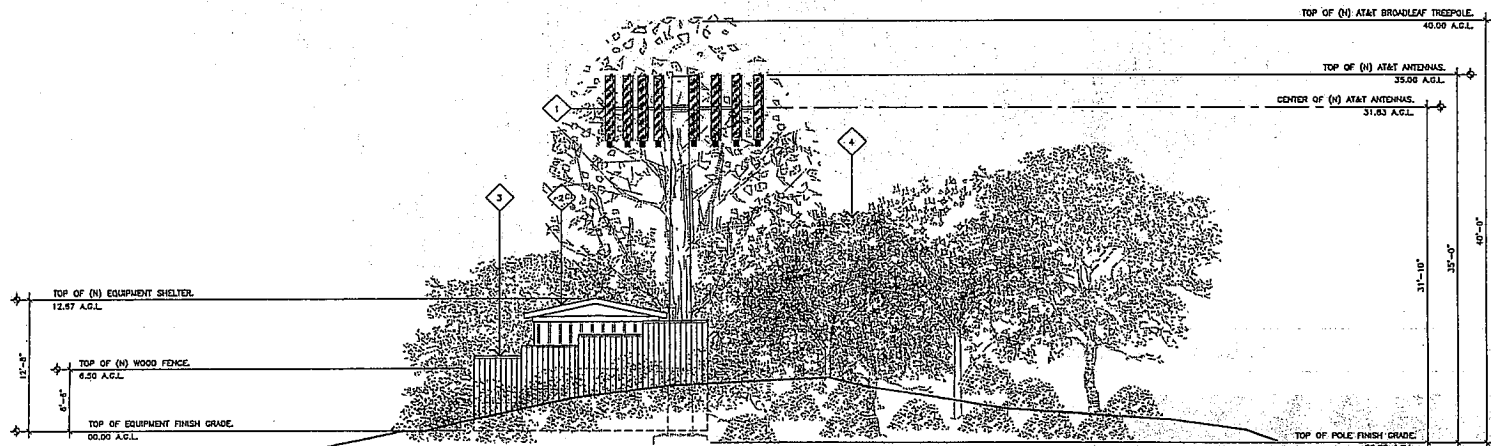
JRA PROJECT NUMBER 101075

ELEVATION KEYNOTES

- 1 PROPOSED AND FUTURE AT&T ANTENNAS (4 PER SECTION, 3 SECTIONS) MOUNTED ON A PROPOSED 35'-0" HIGH BROADLEAF TREEPOLE. ANTENNAS PAINTED DARK GREEN AND TREEPOLE TO HAVE FULL BARK CLADDING.
- 2 PROPOSED 12'x20' AT&T EQUIPMENT SHELTER, SHELTER TO HAVE CORRUGATED METAL ROOF AND WOOD SIDING TO MATCH EXISTING BUILDING. PUMP HOUSE IN COLOR, STYLE AND TEXTURE.
- 3 PROPOSED WOOD FENCE ENCLOSURE TO MATCH EXISTING IN COLOR, STYLE AND TEXTURE.
- 4 EXISTING TREES AND SHRUBS.

GENERAL NOTES:

* APPROX. 20,263 CU. YDS. OF EXISTING FILL TO BE REMOVED.



SOUTHWEST ELEVATION

SCALE:
3/16"=1'-0"



1

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PREPARED FOR



4430 Rosewood Drive
Pleasanton, California 94588

APPROVALS

R.F. ENGINEER	DATE
SITE ACQS AND ZONING	DATE
ERICSSON CM	DATE
AT&T CM	DATE
OWNER APPROVAL	DATE

PROJECT NAME
CARMEL VALLEY RD

PROJECT NUMBER
CN3235-B
80 HOLMAN ROAD
CARMEL VALLEY, CA 93924
MONTEREY COUNTY

DRAWING DATES
09/28/10 80X 205 (P1)
11/05/10 100X 205 (P2)
11/15/10 2D REVISIONS (P3)

RFS REVISION LEVEL (PENDING)

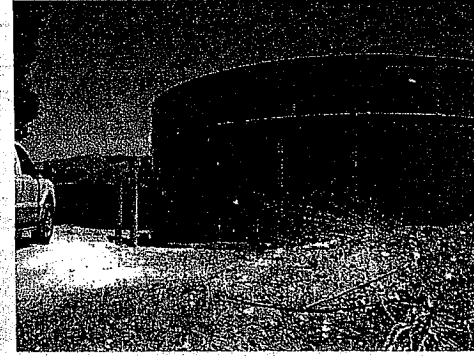
SHEET TITLE
SOUTHWEST ELEVATIONS

A-3

JRA PROJECT NUMBER 101076

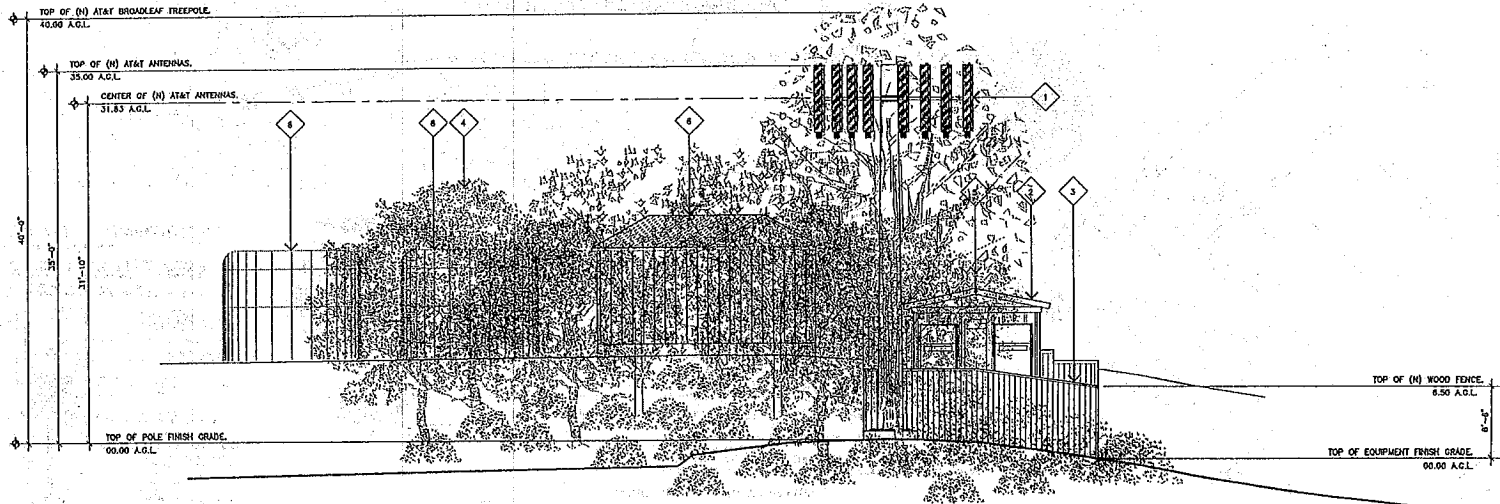
ELEVATION KEYNOTES

- 1 PROPOSED AND FUTURE AT&T ANTENNAS (4 PER SECTOR, 3 SECTORS) MOUNTED ON A PROPOSED AT&T 35'-0" HIGH BROADLEAF TREEPOLE ANTENNAS PAINTED DARK GREEN AND TREEPOLE TO HAVE FULL GRASS CLADDING.
- 2 PROPOSED 12'x14' AT&T EQUIPMENT SHELTER, SHELTER TO HAVE CORRUGATED METAL ROOF AND WOOD SIDING TO MATCH EXISTING BUILDING PUMP HOUSE IN COLOR, STYLE AND TEXTURE.
- 3 PROPOSED WOOD FENCE ENCLOSURE TO MATCH EXISTING IN COLOR, STYLE AND TEXTURE.
- 4 EXISTING TREES AND SHRUBS.
- 5 PROPOSED GPS ANTENNA MOUNTED TO SHELTER.
- 6 EXISTING PUMP HOUSE AND WATER TANKS; SEE 2/A-2 AND 2/A-4.



PHOTOS OF EXISTING

SCALE:
NTS 2

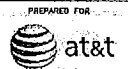


NORTHWEST ELEVATION

SCALE:
3/16"=1'-0" 1

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4430 Rosewood Drive
Placenton, California 94588

APPROVALS

R.F. ENGINEER	DATE
SITE ACQS AND ZONING	DATE
CRICSSON CA	DATE
AT&T CA	DATE
OWNER APPROVAL	DATE

PROJECT NAME
CARMEL VALLEY RD

PROJECT NUMBER
CN3235-B
60 HOLMAN ROAD
CARMEL VALLEY, CA 93924
MONTEREY COUNTY

DRAWING DATES
09/20/10 80% 2DS (P1)
11/05/10 100% 2DS (P2)
11/15/10 2D REVISIONS (P3)

RFDIS REVISION LEVEL (PENDING)

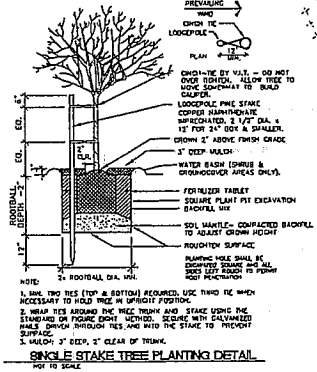
SHEET TITLE
SOUTHEAST ELEVATIONS

A-4

SHEET NUMBER 101076

NEW LANDSCAPE PLAN KEYNOTES

- 1 (E) EXISTING QUERCUS AGRIFOLIA
NO WORK INSIDE DRIP LINE
- 2 (N) CERCOCARPUS BETULOIDES
MOUNTAIN MAHOGANY
(X) 15 GALLON
- 3 (N) RHAMNUS CALIFORNICA
CALIFORNIA COFFEE BERRY
(X) 5 GALLON



EXISTING NEW

PLANT MATERIAL LEGEND

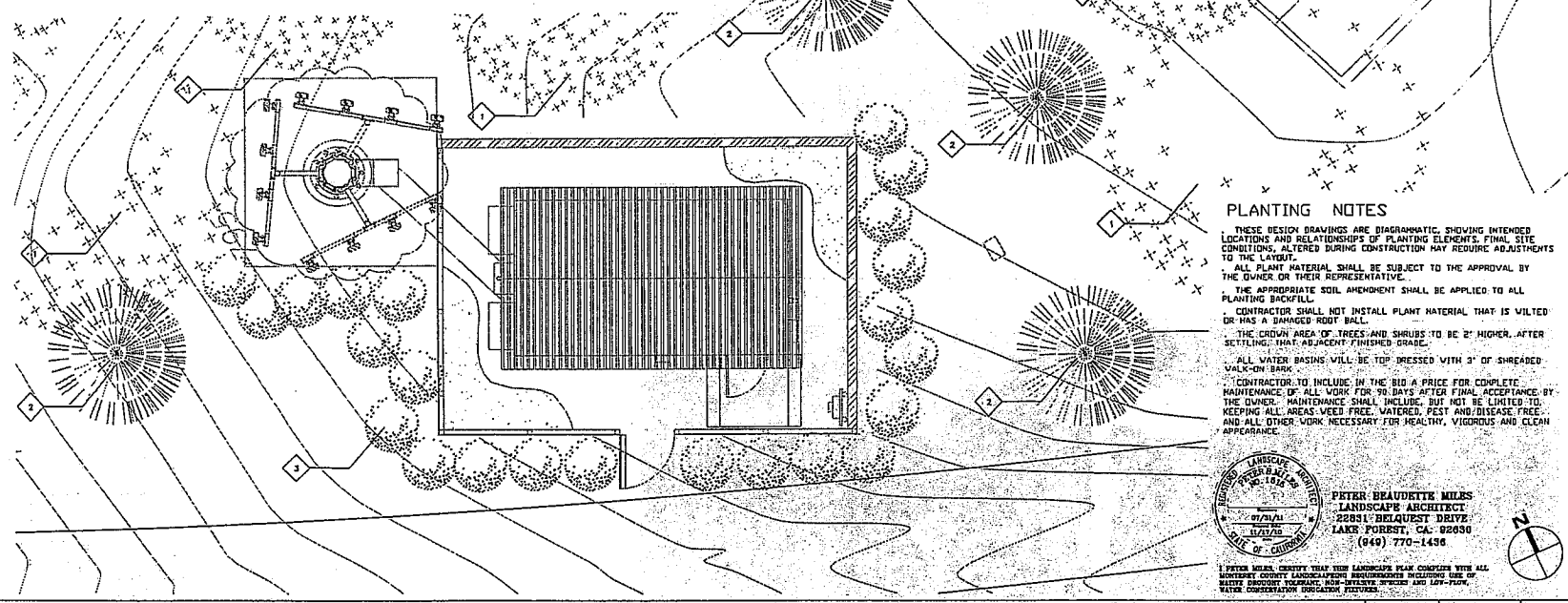
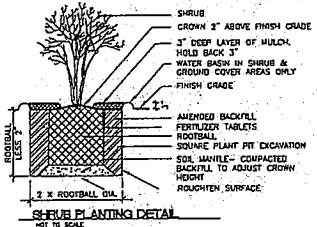
BOTANICAL NAME	COMMON NAME	QUANTITY		SIZE	REMARKS
		NEW	EXISTING		
QUERCUS AGRIFOLIA	COSTAL LIVE OAK			MATURE	PROTECT EXISTING IN PLACE
CERCOCARPUS BETULOIDES	MOUNTAIN MAHOGANY	4		15 GALLON	
RHAMNUS CALIFORNICA	COFFEE BERRY	23		5 GALLON	

SOIL AMENDMENT SCHEDULE
GENERAL SITE PREPARATION

REMOVE ALL CONSTRUCTION TRASH AND RESTORE ORIGINAL GRADE.
TOP DRESS ALL NEW AND DISTURBED AREAS WITH 3" COURSE ROUND BARK MULCH.
MAINTAIN AREA FREE OF WEEDS AND TRASH.

GENERAL PLANT PIT BACKFILL (PER CUBIC YARD)

- 2/3 CUBIC YARD SITE TOP SOIL
- 1/3 CUBIC YARD KELLOGG GROUNDMULCH
- 6 POUNDS TRI-C HUMATE-PLUS
- 2 POUNDS 6-20-20 16 SG 15G
- 21 GRAM 20-10-5 1 2 4 TABLETS



PLANTING NOTES

THESE DESIGN DRAWINGS ARE DIAGNOSTIC, SHOWING INTENDED LOCATIONS AND RELATIONSHIPS OF PLANTING ELEMENTS. FINAL SITE CONDITIONS, ALTERED DURING CONSTRUCTION MAY REQUIRE ADJUSTMENTS TO THE LAYOUT.

ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL BY THE OWNER OR THEIR REPRESENTATIVE.

THE APPROPRIATE SOIL AMENDMENT SHALL BE APPLIED TO ALL PLANTING BACKFILL.

CONTRACTOR SHALL NOT INSTALL PLANT MATERIAL THAT IS WILTED OR HAS A DAMAGED ROOT BALL.

THE CROWN AREA OF TREES AND SHRUBS TO BE 2" HIGHER AFTER SETTLING THAT ADJACENT FINISHED GRADE.

ALL WATER BASINS WILL BE TOP DRESSED WITH 3" OF SHREDED WALK-ON BARK.

CONTRACTOR TO INCLUDE IN THE BID A PRICE FOR COMPLETE MAINTENANCE OF ALL WORK FOR 90 DAYS AFTER FINAL ACCEPTANCE BY THE OWNER. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO KEEPING ALL AREAS WEED FREE, WATERED, PEST AND DISEASE FREE, AND ALL OTHER WORK NECESSARY FOR HEALTHY, VIGOROUS AND CLEAN APPEARANCE.



PETER BRAUDETTE MILES
LANDSCAPE ARCHITECT
22881 BELLAIR DRIVE
LAKE FOREST, CA 92039
(949) 770-1436

PETER MILES CERTIFY THAT THIS LANDSCAPE PLAN COMPLIES WITH ALL APPLICABLE COUNTY LANDSCAPE REQUIREMENTS INCLUDING SIZE OF WATER EFFICIENT PLANTING, NON-INVASIVE SPECIES AND LOT-PLANT WATER CONSERVATION DESIGNATION REQUIREMENTS.

SCALE: 1/4"=1'-0" 0 2' 4' 1

ENLARGED PLANTING SITE PLAN

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PREPARED FOR
at&t
4430 Rosewood Drive
Pleasanton, California 94588

APPROVALS

PLF. ENGINEER	DATE
SITE ACQS AND ZONING	DATE
ERICSSON CM	DATE
AT&T CM	DATE
OWNER APPROVAL	DATE

PROJECT NAME
CARMEL VALLEY RD

PROJECT NUMBER
CN3235-B

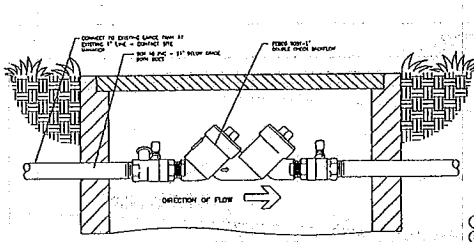
60 HOLMAN ROAD
CARMEL VALLEY, CA 93924
MONTEREY COUNTY

DRAWING DATES
05/30/10 SDC ZDS (P1)
11/05/10 100% ZDS (P2)
11/15/10 20 REVISIONS (P3)

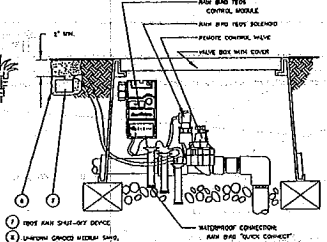
RFD5 REVISION LEVEL (PENDING)

SHEET TITLE
PLANTING SITE PLAN

L-1



**DOUBLE CHECK VALVE ASSEMBLY
PROTECTIVE PIT**



**REMOTE CONTROL VALVE WITH BATTERY
OPERATED TBOS CONTROLLER**

IRRIGATION LEGEND

SYMBOL	MANUFACTURER	MODEL #	DESCRIPTION	GALLONS PER MINUTE			RADIUS	PSI
				WAN	1/4	1/2		
●	RAINBIRD	RWS-M-C-1401	ROOT WATERING SYSTEM	-	-	-	0.25	30
⊕	RAINBIRD	PESB	ELECTRIC CONTROL VALVE (LOW FLOW) WITH TBOS CONTROLLER					
⊙	RAINBIRD	JRC	QUICK COUPLER VALVE					
⊠	FEBCO	BDSY-1"	DOUBLE CHECK BACKFLOW PREVENTER IN PROTECTIVE TRAFFIC VAULT					
---	NEW MAIN-SCH 40 P.V.C.							
---	LATERAL PIPING-SCH.40 P.V.C. SOLVENT WELD.							

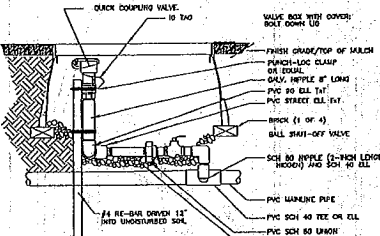
IRRIGATION NOTES

DO NOT WILLFULLY INSTALL THE SYSTEM AS DESIGNED, WHEN IT IS OBVIOUS THAT OBSTRUCTIONS OR GRADE DIFFERENCES EXIST THAT WERE NOT KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE BEFORE WORK IS INSTALLED, OTHERWISE THE CONTRACTOR MUST ASSUME FULL RESPONSIBILITY FOR ANY REQUIRED REVISIONS.

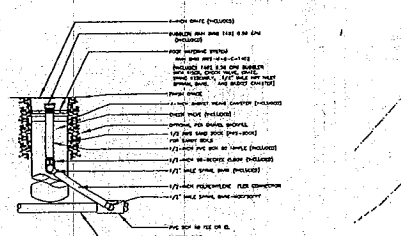
PROVIDE A MINIMUM COVERAGE OF 24" FOR PRESSURE LINES AND 12" FOR NON-PRESSURE LATERALS. PROVIDE SCHEDULE 40 SLEEVES WITH 24" COVER FOR ALL LINES IN DRIVE AREAS.

IRRIGATION CONTRACTOR SHALL FLUSH ALL LINES AND ADJUST BOTH VALVES CYCLE THRU MAINTENANCE.

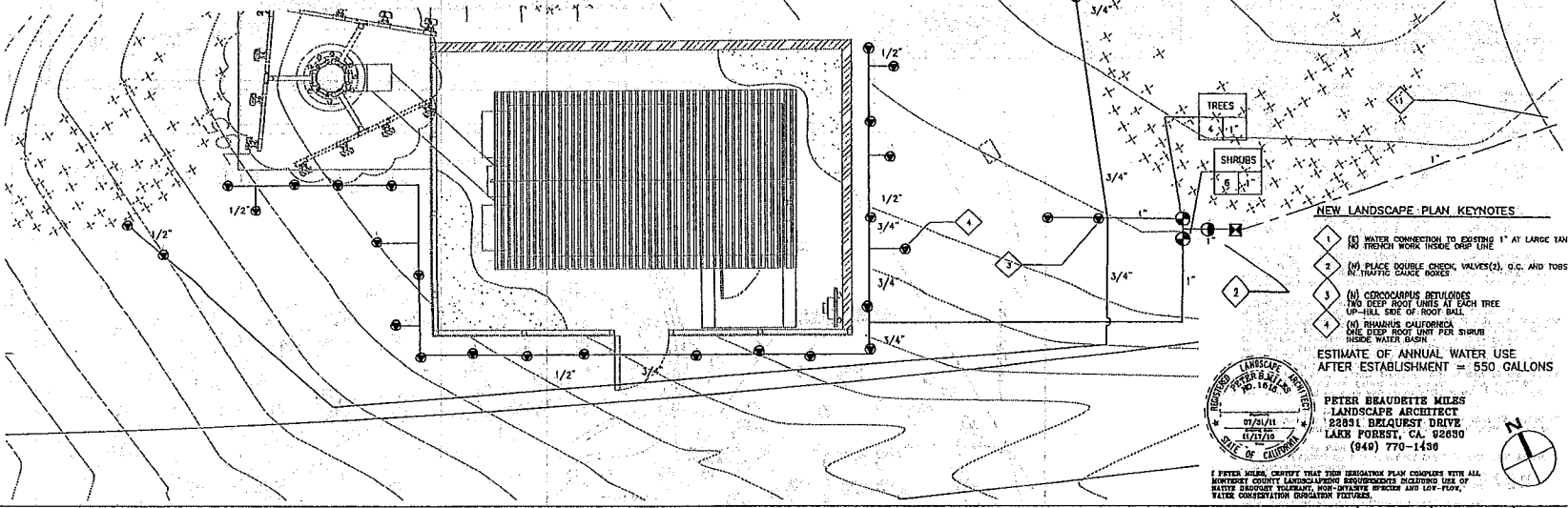
THE IRRIGATION SYSTEM SHALL BE FULLY GUARANTEED FOR ONE FULL YEAR FROM DATE OF ACCEPTANCE BY THE OWNER. ANY DEFECTIVE MATERIAL OR WORKMANSHIP SHALL BE REPLACED OR CORRECTED BY THE IRRIGATION CONTRACTOR AT NO COST TO THE OWNER.



**QUICK COUPLER VALVE
NOT TO SCALE**



**DEEP ROOT BUBBLER SHRUB
UNIT-RWS-M-C-1401**



ENLARGED IRRIGATION SITE PLAN

NEW LANDSCAPE PLAN KEYNOTES

- (1) WATER CONNECTION TO EXISTING 1" AT LARGE TANK. NO TRENCH WORK INSIDE DRP LINE.
 - (2) PLACE DOUBLE CHECK VALVES (2), O.C. AND TBOS IN TRAFFIC CAUSEWAYS.
 - (3) (M) CERCOCARPUS BETULOIDES TWO DEEP ROOT UNITS AT EACH TREE UP-HILL SIDE OF ROOT BALL.
 - (4) (M) PRUNUS CALIFORNICA ONE DEEP ROOT UNIT PER SHRUB INSIDE WATER BASIN.
- ESTIMATE OF ANNUAL WATER USE AFTER ESTABLISHMENT = 550 GALLONS



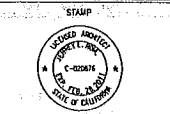
**PETER BRAUDETTE MILES
LANDSCAPE ARCHITECT**
22831 BELQUEST DRIVE
LAKE FOREST, CA. 92650
(849) 770-1430

I HEREBY CERTIFY THAT THIS IRRIGATION PLAN COMPLIES WITH ALL NORTHERN CALIFORNIA LANDSCAPE ARCHITECTURE BOARD'S REGULATORY USE OF WATER WITHOUT POLLUTANT, NON-DESTRUCTIVE SPECIES AND LOW-FLUX, WATER CONSERVATION DESIGNATION FEATURES.

SCALE: 1/4"=1'-0" 0 2' 4" 1

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Architects & Landscape Architects
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Tempe, AZ 85281
Phone: (480) 540-3824
Fax: (480) 760-3821

PROPRIETARY INFORMATION
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PREPARED FOR
at&t
4435 Redwood Drive
Pleasanton, California 94588

APPROVALS:

R.F. ENGINEER DATE _____
SITE ACOS AND ZONING DATE _____
ERECTOR CN DATE _____
AT&T CN DATE _____
OWNER APPROVAL DATE _____

PROJECT NAME
CARMEL VALLEY RD

PROJECT NUMBER
CN3235-B
80 HOLLAND ROAD
CARMEL VALLEY, CA 93924
MONTEREY COUNTY

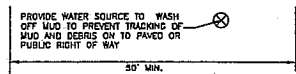
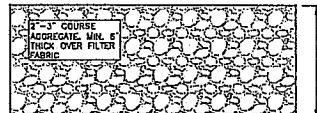
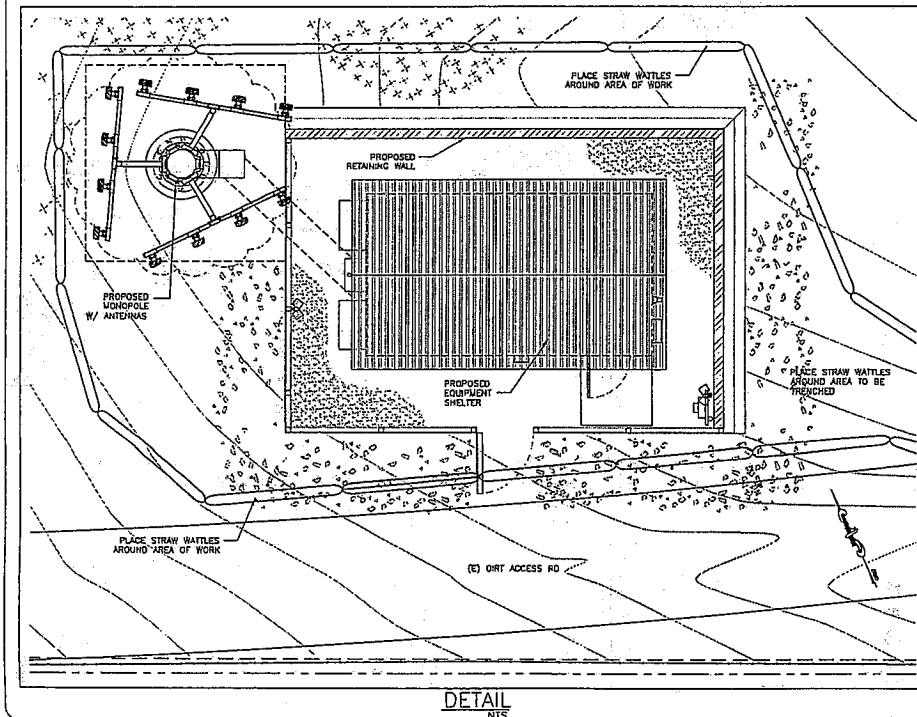
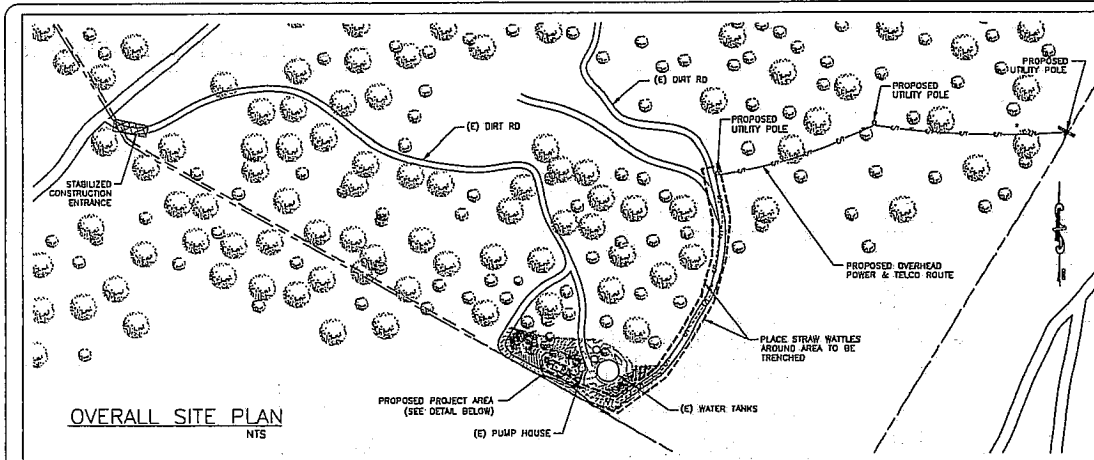
DRAWING DATES
09/30/10 60x 205 (P1)
11/05/10 100x 205 (P2)
11/15/10 20 REVISIONS (P-3)

REVISION LEVEL (PENDING)
SHEET TITLE:

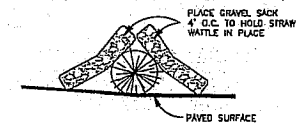
IRRIGATION SITE PLAN

L-2

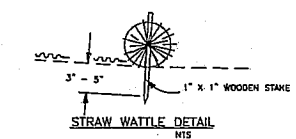
PROJECT NUMBER 101076



STABILIZED CONSTRUCTION ENTRANCE
NTS



STRAW WATTLE INSTALLATION ON PAVED SURFACE DETAIL
NTS



EROSION CONTROL NOTES

1. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO STOP SEDIMENT DURING THE RAINY SEASON. MEASURES ARE TO BE IN PLACE BY OCTOBER 15TH. 40 PERCENT CHANGE OF SOIL OR AS NEEDED. ALL DISTURBED AREAS SHALL BE PROTECTED (COVER) BY OCTOBER 1ST.
2. CONTRACTOR SHALL MAINTAIN THE EROSION CONTROL MEASURES IN A WORKABLE STATE THROUGHOUT THE WINTER. MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - A) THE EROSION CONTROL MEASURES SHALL BE INSPECTED EVERYDAY AND AFTER EACH STORM.
 - B) STRAW WATTLES, BERMS, SWALES, AND MODIFICATIONS ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED TO IMPROVE EFFECTIVENESS.
3. ALL PUBLIC RIGHT OF WAY AND PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS YEAR ROUND. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LAUNCH RUNOFF TO ANY WET OR DRY WATER COURSE. STORM DRAINAGE SWALES AND STORM DRAINAGE INLETS, PLACE STRAW WATTLES AND GRAVEL OR SAND BAGS AS NEEDED TO PROTECT SAID AREAS FROM BEING POTENTIALLY AFFECTED BY CONSTRUCTION OPERATION. PAVED AREAS SHALL BE CLEANED DAILY OR AS REQUIRED BY THE COUNTY, OWNER OR LOCAL JURISDICTIONAL AGENCY TO REMOVE CONSTRUCTION GENERATED DIRT, MUD AND DEBRIS. LOCATION OF DIRT, MUD, AND DEBRIS INTO THE PUBLIC RIGHT OF WAY IS PROHIBITED AND WILL STRICTLY ENFORCED.
4. ACCESS TO WORK SITE IS VIA EXISTING DIRT ROAD. IF WORK IS TO BE PERFORMED DURING THE RAINY SEASON OR WHEN SITE OR ACCESS TO SITE IS MUDDY, CONTRACTOR SHALL CONSTRUCT A STABILIZED ENTRY AT HOLMAN ROAD. ALL MUD AND DEBRIS SHALL BE REMOVED PRIOR TO ENTRY ON TO HOLMAN ROAD.
5. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED. CHANGES TO THIS EROSION CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS AND APPROVED BY THE GOVERNING LOCAL JURISDICTION.
6. ALL STOCKPILED MATERIAL SHALL BE ENCLOSED WITH STRAW WATTLE/ GRAVEL SANDS. STOCKPILED MATERIAL SHALL BE COVERED WITH WEIGHTED DOWN WATERPROOF TARP AS NEEDED, TO PREVENT RAINOFF.
7. PAINT AND OTHER HAZARDOUS MATERIALS/FLUIDS SHALL BE STORED AND DISPOSED OF IN A SAFE MANNER. CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGNATING AN AREA FOR HAZARDOUS MATERIAL AND WASTE STORAGE. DESIGNATED AREA SHALL BE LOCATED AWAY FROM ALL WET OR DRY WATER COURSE, STORM DRAINAGE SWALES AND STORM DRAINAGE INLETS. PROMISONS SHALL BE IMPLEMENTED TO ELIMINATE ALL POTENTIAL OF HAZARDOUS POLLUTANTS FROM ENTERING SAID AREAS. CONTRACTOR SHALL INSPECT DESIGNATED AREA DAILY AND IMMEDIATELY MAKE ALL REPAIRS AND CLEANUPS, AS REQUIRED.
8. CONCRETE WASHOUT AREA SHALL BE CONSTRUCTED PER CALIFORNIA BHP DETAIL WA-8. CONCRETE WASHOUT AREA SHALL NOT BE PLACED NEAR ANY WET OR DRY WATER COURSE, STORM DRAINAGE SWALES AND STORM DRAINAGE INLETS. ALLOW WATER TO EVAPORATE OR PERCOLATE INTO GROUND AND PROPERLY DISPOSE OF HARDCENED CONCRETE MATERIAL.
9. THIS PLAN MAY NOT COVER ALL SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS MAY BE MADE TO THE PLAN IN THE FIELD SUBJECT TO THE APPROVAL OF THE COUNTY, OWNER AND/OR LOCAL JURISDICTIONAL AGENCY.

STRAW WATTLES

LAY THE WATTLE ALONG THE TRENCHES FITTING IT snugly AGAINST THE SOIL. MAKE SURE NO GAPS EXIST BETWEEN THE SOIL AND THE STRAW WATTLE.
USE A STRAP BAR TO DRIVE HOLES THROUGH THE WATTLE AND INTO THE SOIL FOR THE WOODEN STAKES.
DRIVE THE STAKE THROUGH THE PREPARED HOLE INTO THE SOIL. LEAVE ONLY ONE OR TWO INCHES OF STAKE EXPOSED ABOVE WATTLE.
INSTALL STAKES AT LEAST EVERY FOUR FEET APART THROUGH WATTLE.

STABILIZED CONSTRUCTION ENTRANCE

1. STABILIZED CONSTRUCTION ENTRANCE SHALL CONSIST OF 2-3" COURSE AGGREGATE MINIMUM 6" THICK OVER FILTER FABRIC.
2. ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOW OF SEDIMENT ONTO PUBLIC RIGHT OF WAY OR PAVED ROADWAY. THIS MAY INCLUDE PERIODIC TOP DRESSING WITH ADDITIONAL AGGREGATE AND CLEANING OF ANY MATERIALS USED TO TRAP SEDIMENT AND MUD. ALL SEDIMENT AND MUD TRACKED ON TO PUBLIC RIGHT OF WAY SHALL IMMEDIATELY BE REMOVED.
3. CONTRACTOR SHALL PROVIDE WATER SOURCE, SO WHEN NECESSARY, WHEELS CAN BE CLEAN TO REMOVE MUD. PRIOR TO ENTERING PUBLIC RIGHT OF WAY, WHEELS SHALL BE CLEANED SUCH THAT MUD AND SEDIMENT WILL FLOW INTO SEDIMENT BASIN. ALL MUD AND SEDIMENT SHALL BE PREVENTED FROM FLOWING INTO A WATER COURSE, STORM DRAIN DITCH OR STORM DRAIN THROUGH USE OF STRAW WATTLES, SAND OR GRAVEL BAGS OR OTHER APPROVED METHODS.

J E S ENGINEERING, INC.
1355 WILLOW WAY, SUITE 105
CONCORD, CA 94520
PHONE: 925.874.1151
FAX: 925.874.1314

PROPRIETARY INFORMATION
THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THIS MOBILITY IS STRICTLY PROHIBITED.

STAMP
No. C33249
STATE OF CALIFORNIA

PREPARED FOR
at&t
4433 Reservoir Drive
Pleasanton, California 94588

APPROVALS

R.F. ENGINEER	DATE
SITE ACOS AND ZONING	DATE
ERICSSON CU	DATE
AT&T CM	DATE
OWNER APPROVAL	DATE

PROJECT NAME
CARMEL VALLEY RD

PROJECT NUMBER
CN3235-B

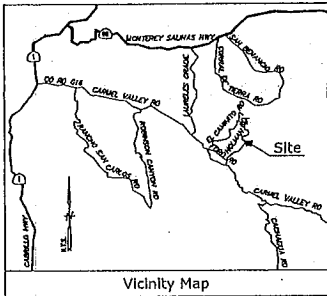
EQ. HOLMAN ROAD
CARMEL VALLEY, CA 93924
MONTEREY COUNTY

DRAWING DATES
11/2/10

REVISION LEVEL
SHEET TITLE

EROSION CONTROL

EC-1



Title Report

THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE REPORT.
PREPARED BY:
CIVIL ENGINEER
DATED:

Legal Description

A PORTION OF THAT CERTAIN MAP ENTITLED "THE EAST PORTION OF PARCEL NO. 4," IN THE CITY OF CARMEL VALLEY, COUNTY OF MONTEREY, STATE OF CALIFORNIA, FILED IN PAGE 120, VOLUME 3, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

Assessor's Parcel No.
187-481-001

Easements
NOT AVAILABLE

Access Easement/Lease Area
TO BE DETERMINED

Geographic Coordinates
TO BE DETERMINED

CERTIFICATION:
THE LATITUDE AND LONGITUDE SHOWN ABOVE ARE ACCURATE TO WITHIN 0.1 FEET HORIZONTALLY AND THAT THE ELEVATIONS SHOWN ABOVE ARE ACCURATE TO WITHIN 0.3 FEET VERTICALLY. THE HORIZONTAL DATA (GEODESIC COORDINATES) IS IN TERMS OF THE NORTH AMERICAN DATUM OF 1983 (NAD 83) AND IS EXPRESSED IN DECIMETRES (1/10 METERS) AND SECONDS (1/1000) TO THE NEAREST HUNDREDTH OF A SECOND. THE VERTICAL DATA (ELEVATIONS) IS IN TERMS OF THE NORTH AMERICAN HORIZONTAL DATUM OF 1983 (NAD 83) AND IS DETERMINED TO THE NEAREST TENTH OF A FOOT.

Basis of Bearings

THE STATE PLANE COORDINATE SYSTEM OF 1983 (NAD 83), CALIFORNIA ZONE 4.

Bench Mark

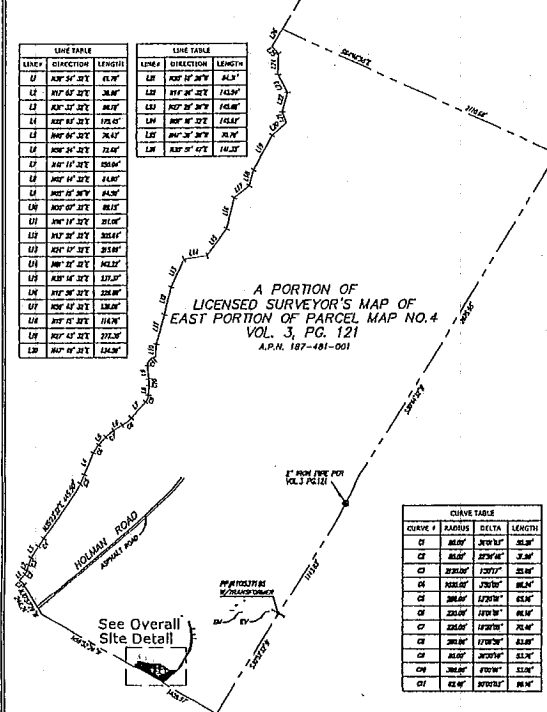
THE CALIFORNIA SPATIAL REFERENCE COORDINATE SYSTEM
ELEVATION = 1581.33 FEET (NAD 83)

Date of Survey

SEPTEMBER 12, 2010

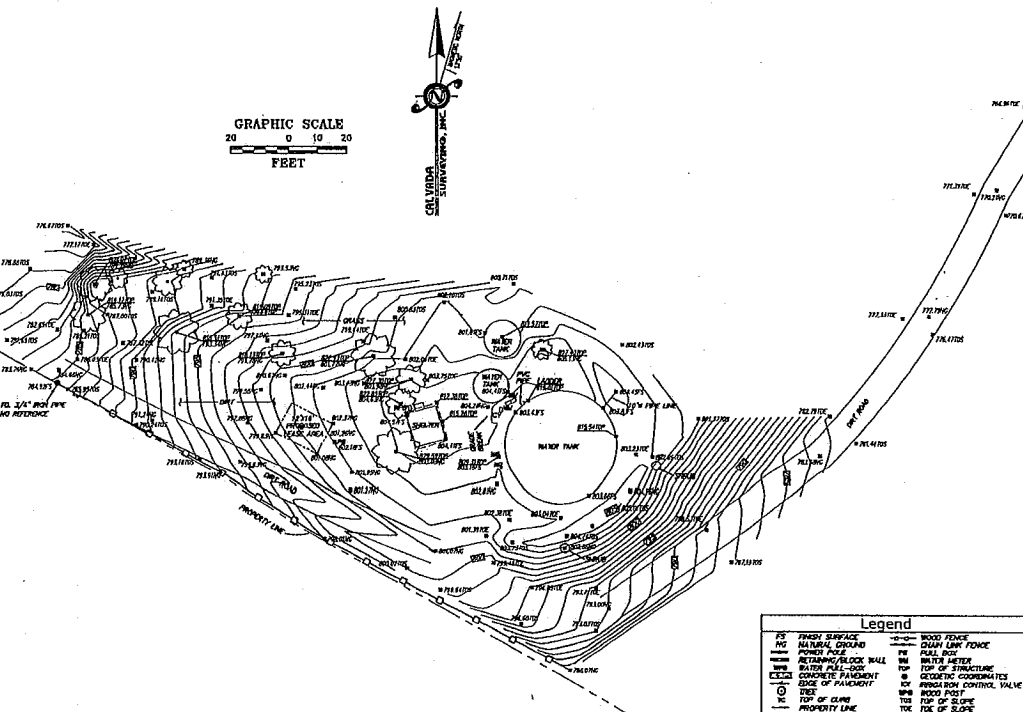
Boundary Detail

SCALE: 1"=100'



Overall Site Detail

SCALE: 1"=20'



JRA
Jeffrey Rome & Associates, Inc.
Professional & Engineering
1 San Jose Plaza, Suite 200
Pajaro Valley, California 95060
Phone: (831) 768-3928
Fax: (831) 768-3931

CONSULTANT
CALVADA SURVEYING, INC.
475 South St., 4th Floor, San Jose, CA 95128
Phone: (408) 299-9999 Fax: (408) 299-9999
Toll Free: (800) 451-1111
JRS No. 1001

PREPARED FOR
at&t
4430 Redwood Drive
Palo Alto, California 94308

APPROVALS

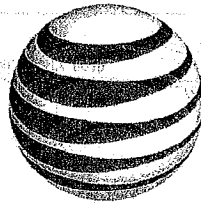
R.F.	DATE
SAG AND ZONING	DATE
ERICSSON CH	DATE
AT&T CH	DATE
OWNER APPROVAL	DATE

PROJECT NAME
HOLMAN RANCH
PROJECT NUMBER
CN32358
60 HOLMAN ROAD,
CARMEL VALLEY, CA 95024
MONTEREY COUNTY

DATE	DESCRIPTION	BY
09/22/10	PRELIMINARY	JH

SHEET TITLE
TOPOGRAPHIC SURVEY

C-1
SHEET 1 OF 1



at&t

CN3235 COW
 CARMEL VALLEY RD
 60 HOLMAN ROAD
 CARMEL VALLEY, CALIFORNIA 93924

JRA
 Jeffrey Rowe & Associates, Inc.
 Architects & Telecommunications
 1 San Jacinto Plaza, Suite 250
 Newport Beach, California 92660
 Phone: (949) 760-3929
 Fax: (949) 760-3831

PROPRIETARY INFORMATION
 THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AT&T MOBILITY IS STRICTLY PROHIBITED.



4430 Rosewood Drive
 Pleasanton, California, 94588

APPROVALS

R.F., ENGINEER	DATE
ERICSSON CM	DATE
AT&T CM	DATE
OWNER APPROVAL	DATE

PROJECT NAME
CARMEL VALLEY RD

PROJECT NUMBER
CN3235 COW
 60 HOLMAN ROAD
 CARMEL VALLEY, CA 93924
 MONTEREY COUNTY

DRAWING DATES
 03/10/11 TDWP COW (P1-B1)
 03/17/11 100% COW DRAWING (P1-B2)

RFD5 REVISION LEVEL 1.3

SHEET TITLE
TITLE SHEET

T-1

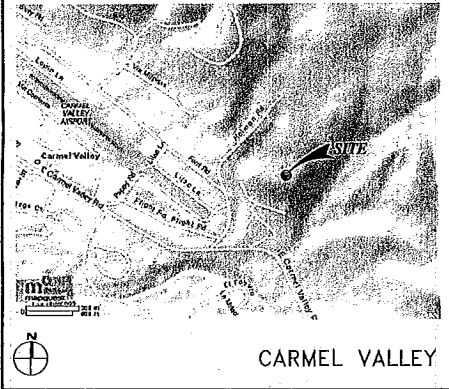
JRA PROJECT NUMBER: 100726

SPECIAL INSPECTIONS

1. CONCRETE	13.1 VERIFY SOIL CONDITIONS ARE SUBSTANTIALLY IN CONFORMANCE WITH THE SOIL INVESTIGATION REPORT
2. BOLTS INSTALLED IN CONCRETE	13.2 VERIFY THAT FOUNDATION EXCAVATIONS EXTEND TO PROPER DEPTH AND BEARING STRATA
3. CONCRETE MOMENT-RESISTING SPACE FRAME	13.3 PROVIDE SOIL COMPACTION TEST RESULTS, DEPTH OF FULL RELATIVE DENSITY, SOAKING VALUES
4. REINFORCING STEEL AND PRESTRESSING STEEL	13.4 PROVIDE SOIL EXPANSION TEST RESULTS, EXPANSION INDEX RECOMMENDATIONS FOR FOUNDATIONS, ONE-GRADE FLOOR SLAB DESIGN FOR EACH BUILDING SITE
5. ALL STRUCTURAL WELDING	14. SMOKE CONTROL SYSTEM
5.2 WELD TESTING DOUBLE MOMENT-RESISTING STEEL FRAME	15. SPECIAL CODES (DISCREP)
6. WELDING REINFORCING STEEL	16. OFF-SITE FABRICATION OF BUILDING COMPONENTS
6.1 WELD-STRENGTH BOLTING	17. OTHER SPECIAL INSPECTIONS AS REQUIRED BY DESIGNER
7. STRUCTURAL MASONRY	
8. REINFORCED CIP/SALU CONCRETE	
9. INSULATING CONCRETE WALL	
10. SPRAY-APPLIED FIREPROOFING	
11. DEEP FOUNDATIONS (PILING, DRILLED & CASINGS)	
12. SHOTCRETE	

NO.	DESCRIPTION OF TYPE OF INSPECTION REQUIRED, LOCATION, REMARKS.

VICINITY MAP



CONSULTANT TEAM

CLIENTS REPRESENTATIVE:
 ERICSSON INC.
 6160 STONERIDGE HALL ROAD
 SUITE 400
 PLEASANTON, CALIFORNIA 94588

CONSTRUCTION MANAGER:
 JOHN FULLON
 PHONE: (510) 918-9391

BLACK DOT WIRELESS
 27271 LAS RAMBLAS, SUITE 200
 MISSION VIEJO, CALIFORNIA 92691
 PHONE: (949) 562-3800
 FAX: (949) 271-7940

SITE ACQUISITION & ZONING:
 TYLER POTTER
 DENISE DUFFY & ASSOCIATES
 PHONE: (831) 373-4341

RF ENGINEER:
 DAVID PALOMA (AT&T)
 PHONE: (562) 334-7443

ARCHITECT:
 JEFFREY ROWE AND ASSOCIATES
 1 SAN JACINTO PLAZA
 SUITE 250
 NEWPORT BEACH, CALIFORNIA 92660
 PHONE: (702) 324-4330
 FAX: (949) 760-3931
 CONTACT: ROBIN NELSON

LAND SURVEYOR:
 CAL VADA SURVEYING, INC.
 411 JENNINGS CIRCLE, SUITE 205
 CORONA, CALIFORNIA 92680
 PHONE: (951) 280-9960
 FAX: (951) 280-9748
 CONTACT: RAMON GONZALEZ

DEVELOPMENT SUMMARY

APPLICANT: AT&T MOBILITY
 4430 ROSEWOOD DRIVE
 PLEASANTON, CALIFORNIA 94588

OWNER: HOLMAN RANCH
 PO BOX 149
 CARMEL VALLEY, CALIFORNIA 93924
 CONTACT: TODD KENTON
 PHONE: (831) 659-2640

OTHER ON-SITE TELECOM FACILITIES: NONE

PROJECT ADDRESS: 60 HOLMAN ROAD
 CARMEL VALLEY, CALIFORNIA 93924

ASSESSORS PARCEL NUMBER: 157-181-001

LATITUDE: 36° 28' 44.62" N

LONGITUDE: 121° 43' 07.30" W

LAT/LONG TYPE: NAD-83

EXISTING ZONING AND GEN. PLAN: RDR/10-D-S (RURAL DENSITY RESIDENTIAL)

PROPOSED PROJECT AREA: 944 SQ. FT./0.001% OF LOT

PROPOSED TYPE OF CONSTRUCTION: TYPE V-B

PROPOSED OCCUPANCY: U1

EXISTING TYPE OF CONSTRUCTION: NOT APPLICABLE

EXISTING OCCUPANCY: NOT APPLICABLE

JURISDICTION: COUNTY OF MONTEREY

COUNTY: MONTEREY

PROJECT DESCRIPTION

AT&T MOBILITY PROPOSES TO CONSTRUCT, OPERATE AND MAINTAIN AN UNMANNED WIRELESS COMMUNICATIONS FACILITY. THIS FACILITY WILL CONSIST OF THE FOLLOWING:

- INSTALL (6) PROPOSED AT&T ANTENNAS (2) MICROWAVE ANTENNAS MOUNTED ON A TEMPORARY CELL ON WHEELS (COW).
- INSTALL (24) RUNS OF 1/2" COAX AND (6) DTM'S.
- INSTALL INDOOR EQUIPMENT WITHIN A SUNSHIELD EQUIPMENT CABINET MOUNTED ON A TEMPORARY CELL ON WHEELS.
- ABOVEGROUND UTILITY RUNS FOR ELECTRICAL AND TELEPHONE.

LEGAL DESCRIPTION

A PORTION OF THAT CERTAIN MAP ENTITLED "THE EAST PORTION OF PARCEL NO. 4", IN THE CITY OF CARMEL VALLEY, COUNTY OF MONTEREY, STATE OF CALIFORNIA, FILED IN PAGE 121, VOLUME 3, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PENDING RECEIPT OF TITLE REPORT.

SHEET INDEX

T-1 TITLE SHEET

A-0 OVERALL SITE PLAN

A-1 SITE PLAN

A-1.1 ENLARGED SITE PLAN

A-2 EAST ELEVATIONS

A-3 SOUTH ELEVATIONS

A-4 COW SPECIFICATIONS

E-1 ELECTRICAL SITE PLAN, POWER PLAN, & GENERAL NOTES

E-2 SINGLE LINE DIAGRAM, PANEL SCHEDULE, & GROUNDING PLAN

E-3 ELECTRICAL DETAILS

C-1 SITE SURVEY (FOR REFERENCE ONLY)

C-2 SITE SURVEY (FOR REFERENCE ONLY)

APPLICABLE CODES

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:

2010 CALIFORNIA BUILDING CODE AND LOCAL AMENDMENTS

2010 CALIFORNIA MECHANICAL CODE AND LOCAL AMENDMENTS

2010 CALIFORNIA ELECTRIC CODE AND LOCAL AMENDMENTS

2010 CALIFORNIA PLUMBING CODE AND LOCAL AMENDMENTS

2010 CALIFORNIA FIRE CODE AND LOCAL AMENDMENTS

2010 CALIFORNIA ENERGY CODE

2010 REFERENCED STANDARD CODE

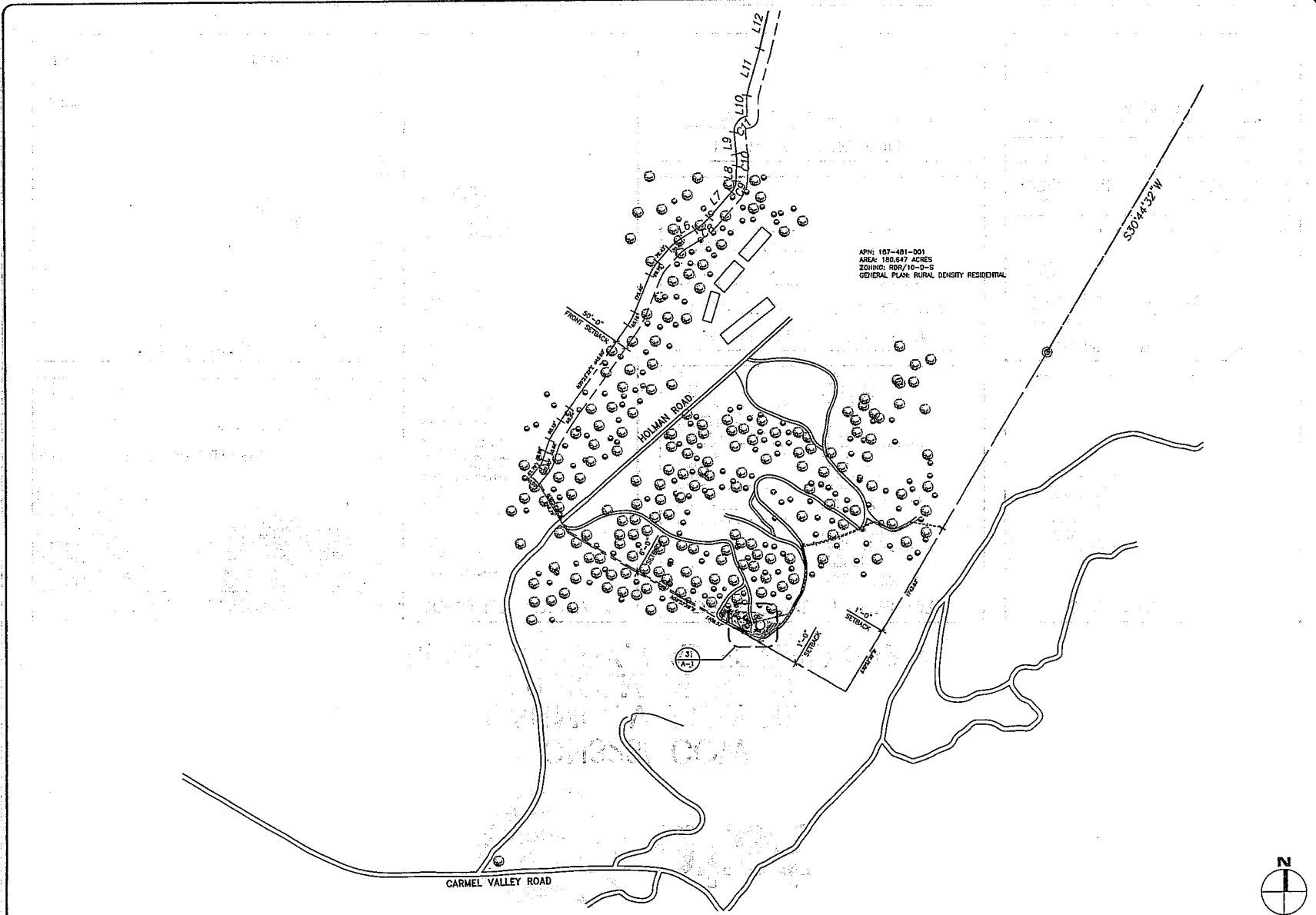
IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL.

ACCESSIBILITY DISCLAIMER

THIS PROJECT IS AN UNOCCUPIED WIRELESS TELECOMMUNICATIONS FACILITY AND IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.

SCALE

THE DRAWING SCALES SHOWN IN THIS SET REPRESENT THE CORRECT SCALE ONLY WHEN THESE DRAWINGS ARE PRINTED IN A 24"x36" FORMAT. IF THIS DRAWING SET IS NOT 24"x36", THIS SET IS NOT TO SCALE.



APN: 187-481-001
 AREA: 180.647 ACRES
 ZONING: RM/10-D-S
 GENERAL PLAN: RURAL DENSITY RESIDENTIAL

OVERALL SITE PLAN

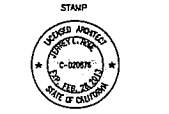
SCALE: 1"=200'
 0 50' 100' 200'



JRA
 Jeffrey Rowe & Associates, Inc.
 Architects & Telecommunications
 1 San Joaquin Plaza, Suite 250
 Menlo Park, California 94025
 Phone: (415) 760-3922
 Fax: (415) 760-3951

PROPRIETARY INFORMATION

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PREPARED FOR

4430 Rosewood Drive
 Pleasanton, California 94566

APPROVALS

R.T. ENGINEER	DATE
SITE ACES AND ZONING	DATE
ERICSSON CM	DATE
AT&T CM	DATE
OWNER APPROVAL	DATE

PROJECT NAME
CARMEL VALLEY RD

PROJECT NUMBER
CN3235, COW

60 HOLLMAN ROAD
 CARMEL VALLEY, CA 93924
 MONTEREY COUNTY

DRAWING DATES

03/10/11	TEMP COW (P1-B1)
03/17/11	100% COW DRAWING (P1-B2)

R/D/S REVISION LEVEL 1.3

SHEET TITLE

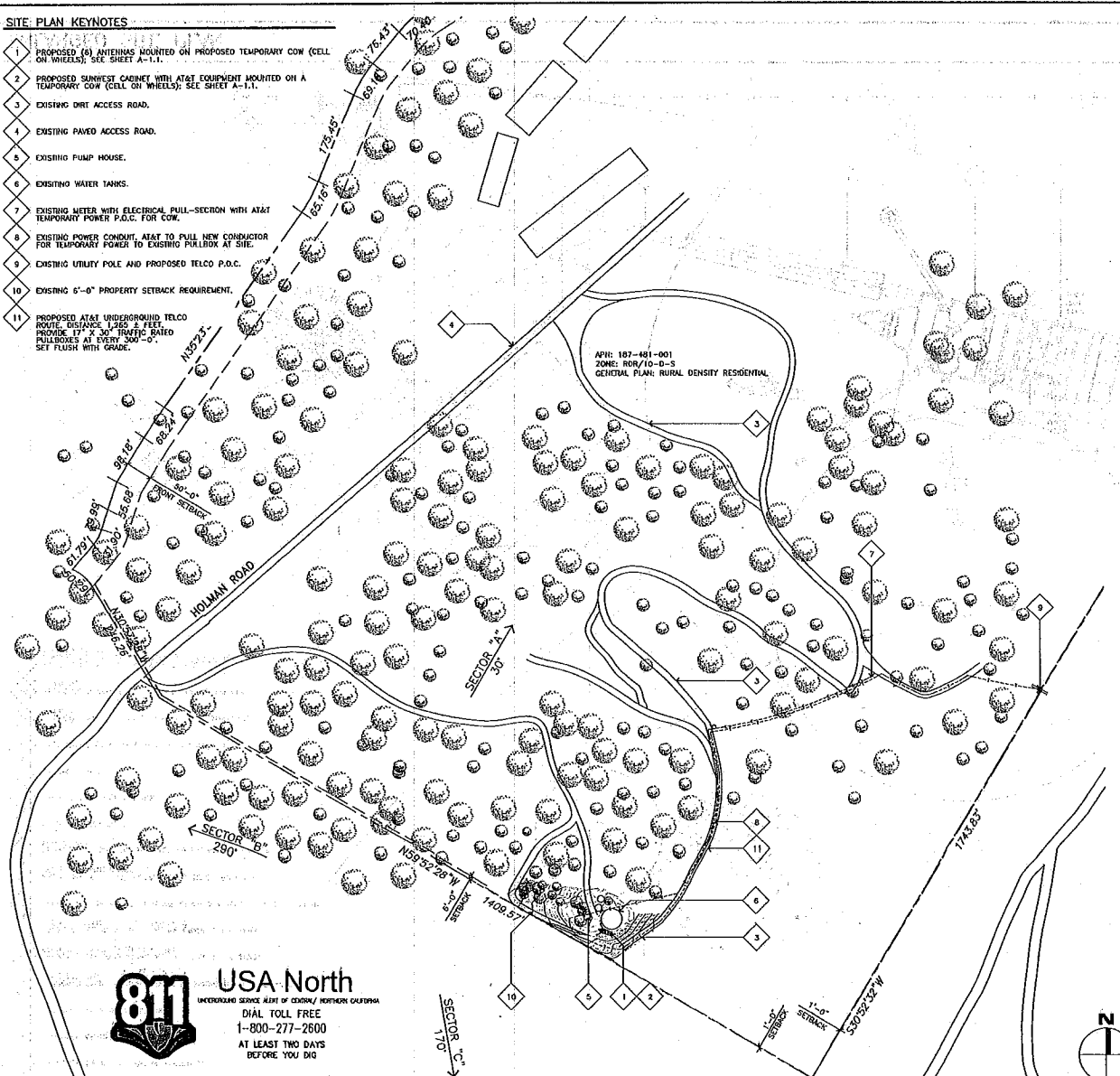
SITE PLAN

A-0

JRA PROJECT NUMBER 101078

SITE PLAN KEYNOTES

- 1 PROPOSED (6) ANTENNAS MOUNTED ON PROPOSED TEMPORARY COW (CELL ON WHEELS); SEE SHEET A-1, I.
- 2 PROPOSED SUNSHINE CABINET WITH AT&T EQUIPMENT MOUNTED ON A TEMPORARY COW (CELL ON WHEELS); SEE SHEET A-1, I.
- 3 EXISTING DIRT ACCESS ROAD.
- 4 EXISTING PAVED ACCESS ROAD.
- 5 EXISTING PUMP HOUSE.
- 6 EXISTING WATER TANKS.
- 7 EXISTING METER WITH ELECTRICAL PULL-SECTION WITH AT&T TEMPORARY POWER P.O.C. FOR COW.
- 8 EXISTING POWER CONDUIT, AT&T TO PULL NEW CONDUCTOR FOR TEMPORARY POWER TO EXISTING PULLBOX AT SITE.
- 9 EXISTING UTILITY POLE AND PROPOSED TELCO P.O.C.
- 10 EXISTING 6'-0" PROPERTY SETBACK REQUIREMENT.
- 11 PROPOSED AT&T UNDERGROUND TELCO ROUTE, DISTANCE 3,260.5 FEET. PROVIDE 1/2" x 3/4" TORQUE BANDAID PULLBOXES AT EVERY 300'-0". SET FLUSH WITH GRADE.



811 USA North
 UNRECORDED SERVICE ALERT OF CALIFORNIA / NORTHERN CALIFORNIA
 DIAL TOLL FREE
 1-800-277-2600
 AT LEAST TWO DAYS BEFORE YOU DIG

SITE PLAN

SCALE: 1"=100'
 0 25' 50' 100'

SECTOR	DIRECTION	ADJACENT	ANTENNA MODEL NO.	COAX CABLE LENGTH (4.5')	JUMPER LENGTH (4')	COAX SIZE
A1	NORTH	WEST	182881 712-261	25'	10'	7/8"
A2	NORTH	WEST	182881 712-261	25'	10'	7/8"
B1	SOUTH	WEST	182881 712-261	25'	10'	7/8"
B2	SOUTH	WEST	182881 712-261	25'	10'	7/8"
C1	SOUTH	EAST	182881 712-261	25'	10'	7/8"
C2	SOUTH	EAST	182881 712-261	25'	10'	7/8"

ANTENNA COAXIAL CABLE SCHEDULE 2

1. CONTRACTOR TO PROVIDE ALL LABOR TO INSTALL 24 RUNS OF COAX, 6 ANTENNAS AND 6 ANTENNAS.
2. ERICSSON TO PROVIDE ALL COAX, CONNECTORS, ANCILLARY EQUIPMENT (INCLUDING WEATHER STRIPPING, GROUND KITS, ETC.).
3. CONTRACTOR TO COLOR CODE ALL COAX. COLORED BANDS OF TAPE ON COAX IDENTIFY SECTOR, FREQUENCY, TECHNOLOGY, AND TRANSMIT GROUP AS FOLLOWS:

SECTOR "A"						
GSN 1900	TX 1/RX 1	TX 3	TX 2/RX 2	TX 4	TX 5	TX 6
	2 BROWN	2 BROWN/1 RED	2 ORANGE	2 ORANGE/1 RED	2 ORANGE/2 RED	2 ORANGE/2 RED
GSN 850	TX 1/RX 1	TX 3	TX 2/RX 2	TX 4	TX 5	TX 6
	3 BROWN	3 BROWN/1 RED	3 ORANGE	3 ORANGE/1 RED	3 ORANGE/2 RED	3 ORANGE/2 RED
UMTS 1900	TX 1/RX 1	TX 3/RX 3	TX 2/RX 2	TX 4/RX 4	TX 5/RX 5	TX 6/RX 6
	4 BROWN	4 BROWN/1 RED	4 ORANGE	4 ORANGE/1 RED	4 ORANGE/2 RED	4 ORANGE/2 RED
UMTS 850	TX 1/RX 1	TX 3/RX 3	TX 2/RX 2	TX 4/RX 4	TX 5/RX 5	TX 6/RX 6
	5 BROWN	5 BROWN/1 RED	5 ORANGE	5 ORANGE/1 RED	5 ORANGE/2 RED	5 ORANGE/2 RED
LTE 700	TX 1/RX 1	TX 2/RX 2	TX 3/RX 3	TX 4/RX 4	TX 5/RX 5	TX 6/RX 6
	6 BROWN	6 BROWN/1 RED	6 ORANGE/1 RED	6 ORANGE/2 RED	6 ORANGE/2 RED	6 ORANGE/2 RED
LTE 1700/2100	TX 1/RX 1	TX 2/RX 2	TX 3/RX 3	TX 4/RX 4	TX 5/RX 5	TX 6/RX 6
	7 BROWN	7 BROWN/1 RED	7 ORANGE/1 RED	7 ORANGE/2 RED	7 ORANGE/2 RED	7 ORANGE/2 RED

SECTOR "B"						
GSN 1900	TX 1/RX 1	TX 3	TX 2/RX 2	TX 4	TX 5	TX 6
	2 YELLOW	2 YEL/1 RED	2 BLUE	2 BLUE/1 RED	2 YEL/2 RED	2 BLUE/2 RED
GSN 850	TX 1/RX 1	TX 3	TX 2/RX 2	TX 4	TX 5	TX 6
	3 YELLOW	3 YEL/1 RED	3 BLUE	3 BLUE/1 RED	3 YEL/2 RED	3 BLUE/2 RED
UMTS 1900	TX 1/RX 1	TX 3/RX 3	TX 2/RX 2	TX 4/RX 4	TX 5/RX 5	TX 6/RX 6
	4 YELLOW	4 YEL/1 RED	4 BLUE	4 BLUE/1 RED	4 YEL/2 RED	4 BLUE/2 RED
UMTS 850	TX 1/RX 1	TX 3/RX 3	TX 2/RX 2	TX 4/RX 4	TX 5/RX 5	TX 6/RX 6
	5 YELLOW	5 YEL/1 RED	5 BLUE	5 BLUE/1 RED	5 YEL/2 RED	5 BLUE/2 RED
LTE 700	TX 1/RX 1	TX 2/RX 2	TX 3/RX 3	TX 4/RX 4	TX 5/RX 5	TX 6/RX 6
	6 YELLOW	6 YEL/1 RED	6 BLUE/1 RED	6 YEL/2 RED	6 BLUE/2 RED	6 BLUE/2 RED
LTE 1700/2100	TX 1/RX 1	TX 2/RX 2	TX 3/RX 3	TX 4/RX 4	TX 5/RX 5	TX 6/RX 6
	7 YELLOW	7 YEL/1 RED	7 BLUE/1 RED	7 YEL/2 RED	7 BLUE/2 RED	7 BLUE/2 RED

SECTOR "C"						
GSN 1900	TX 1/RX 1	TX 3	TX 2/RX 2	TX 4	TX 5	TX 6
	2 VIOLET	2 VIO/1 RED	2 WHITE	2 WHI/1 RED	2 VIO/2 RED	2 VIO/2 RED
GSN 850	TX 1/RX 1	TX 3	TX 2/RX 2	TX 4	TX 5	TX 6
	3 VIOLET	3 VIO/1 RED	3 WHITE	3 WHI/1 RED	3 VIO/2 RED	3 VIO/2 RED
UMTS 1900	TX 1/RX 1	TX 3/RX 3	TX 2/RX 2	TX 4/RX 4	TX 5/RX 5	TX 6/RX 6
	4 VIOLET	4 VIO/1 RED	4 WHITE	4 WHI/1 RED	4 VIO/2 RED	4 VIO/2 RED
UMTS 850	TX 1/RX 1	TX 3/RX 3	TX 2/RX 2	TX 4/RX 4	TX 5/RX 5	TX 6/RX 6
	5 VIOLET	5 VIO/1 RED	5 WHITE	5 WHI/1 RED	5 VIO/2 RED	5 VIO/2 RED
LTE 700	TX 1/RX 1	TX 2/RX 2	TX 3/RX 3	TX 4/RX 4	TX 5/RX 5	TX 6/RX 6
	6 VIOLET	6 VIO/1 RED	6 WHI/1 RED	6 VIO/2 RED	6 WHI/2 RED	6 WHI/2 RED
LTE 1700/2100	TX 1/RX 1	TX 2/RX 2	TX 3/RX 3	TX 4/RX 4	TX 5/RX 5	TX 6/RX 6
	7 VIOLET	7 VIO/1 RED	7 WHI/1 RED	7 VIO/2 RED	7 WHI/2 RED	7 WHI/2 RED

4. WHEN ANTENNA LINES ARE DEPLETED, THE COLOR CODE OF THE HIGHEST FREQUENCY PREMIUMS (I.E. LINES DEPLETED WITH TOWER SHOULD HAVE COLOR 4, 5, 6, 7).
5. ALL ANTENNAS AND ANTENNA CABLE SHALL BE FURNISHED BY ERICSSON INC. AND INSTALLED BY ANTENNA INSTALLATION CONTRACTOR.
6. PRIOR TO PLACEMENT OF ANTENNA POLE MOUNTS, THE CONTRACTOR SHALL VERIFY THAT THE AZIMUTH AND DIMENSIONS SHOWN ON THE PLANS MATCH ACTUAL FIELD CONDITIONS. ALLOWABLE TOLERANCE: HORIZONTAL ALIGNMENT = ±5'; VERTICAL ALIGNMENT = ±1'.
7. ANTENNA INSTALLATION CONTRACTOR SHALL PROVIDE ALL CONDUIT, CABLE TRAY, GROUNDING, ETC. FOR COMPLETE INSTALLATION OF ANTENNAS AND CABLES SHOWN AND INDICATED AS REQUIRED FOR A COMPLETE OPERATING SYSTEM IN ACCORDANCE WITH ERICSSON INC. STANDARDS.
8. IN NO CASE SHALL THERE BE ANY MORE THAN TWO (2) 90° BENDS (OR EQUIVALENT) IN ANY CONTINUOUS LENGTH OF CONDUIT BETWEEN PULL BOXES OR SIMILAR FEATURES.
9. ANTENNA CONDUIT SHALL ONLY INCLUDE FACTORY-MADE LARGE RADIUS SWEEPS AT ALL CHANGES IN DIRECTION. SWEEP RADIUS SHALL BE 18" MINIMUM ABOVE GROUND AND 36" MINIMUM BELOW GROUND.
10. CONDUIT SHALL BE 3/4" MINIMUM. ALL UNDERGROUND CONDUIT SHALL BE SCHEDULE 40 PVC. ALL EXPOSED CONDUIT ABOVE GRADE LEVEL SHALL BE W/6 OR R/10 GALVANIZED. ALL EXPOSED CONDUIT PROTECTED IN A BUILDING OR ON A ROOF SHALL BE EMT OR UV STABILIZED PAINTED SCHEDULE 80 PVC.
11. IN HIGH TRAFFIC AREAS OR WHERE SUSCEPTIBLE TO DAMAGE CONTRACTOR SHALL PROVIDE FORMED GRIP STRIP COVER OVER COAXIAL CABLE ROUTES. WHERE CABLE IS RUN ON THE WALL, ATTACH UNIFORM TO WALL AND COVER WITH 1/4" GALVANIZED FORMED SHEET METAL COVER OR MATERIAL AS DIRECTED BY ERICSSON INC. CONSTRUCTION MANAGER.
12. VERIFY ROUTE AND LENGTH OF CABLE PRIOR TO CUTTING. ADJUST INDICATED ROUTE AS REQUIRED TO CLEAR (X) EQUIPMENT AT FACILITIES.
13. MAXIMUM LENGTH OF 7/8" COAX CABLE SHALL BE 140'-0". MAXIMUM LENGTH OF 1-1/4" COAX CABLE SHALL BE 190'-0". MAXIMUM LENGTH OF 1-5/8" COAX CABLE SHALL BE 235'-0".
14. VERIFY MODEL NUMBERS OF ANTENNAS WITH ERICSSON INC. SERVICES.
15. THE CONTRACTOR SHALL PROVIDE TESTING OF ANTENNAS AND SHALL PROVIDE DOCUMENTATION TO THE ERICSSON INC. PROJECT MANAGER.
16. GENERAL CONTRACTOR TO VERIFY ALL TORQUE TOLERANCES PER THE MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS.

3 GENERAL ANTENNA & CABLE NOTES 1

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PROPRIETARY INFORMATION
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PREPARED FOR:

 4130 Rosewood Drive
 Pleasanton, California 94588

APPROVALS:
 R.F. ENGINEER: _____ DATE: _____
 SHE AGOS AND ZONING: _____ DATE: _____
 ERICSSON CM: _____ DATE: _____
 AT&T CM: _____ DATE: _____
 OWNER APPROVAL: _____ DATE: _____

PROJECT NAME:
CARMEL VALLEY RD
 PROJECT NUMBER:
CN3235_COW
 60 HOLLIAN ROAD
 CARMEL VALLEY, CA 93924
 MONTEREY COUNTY

DRAWING DATES:
 03/10/11 T&P COW (P1-B1)
 03/17/11 100% COW DRAWING (P1-B2)

REFS: REVISION LEVEL 1.3

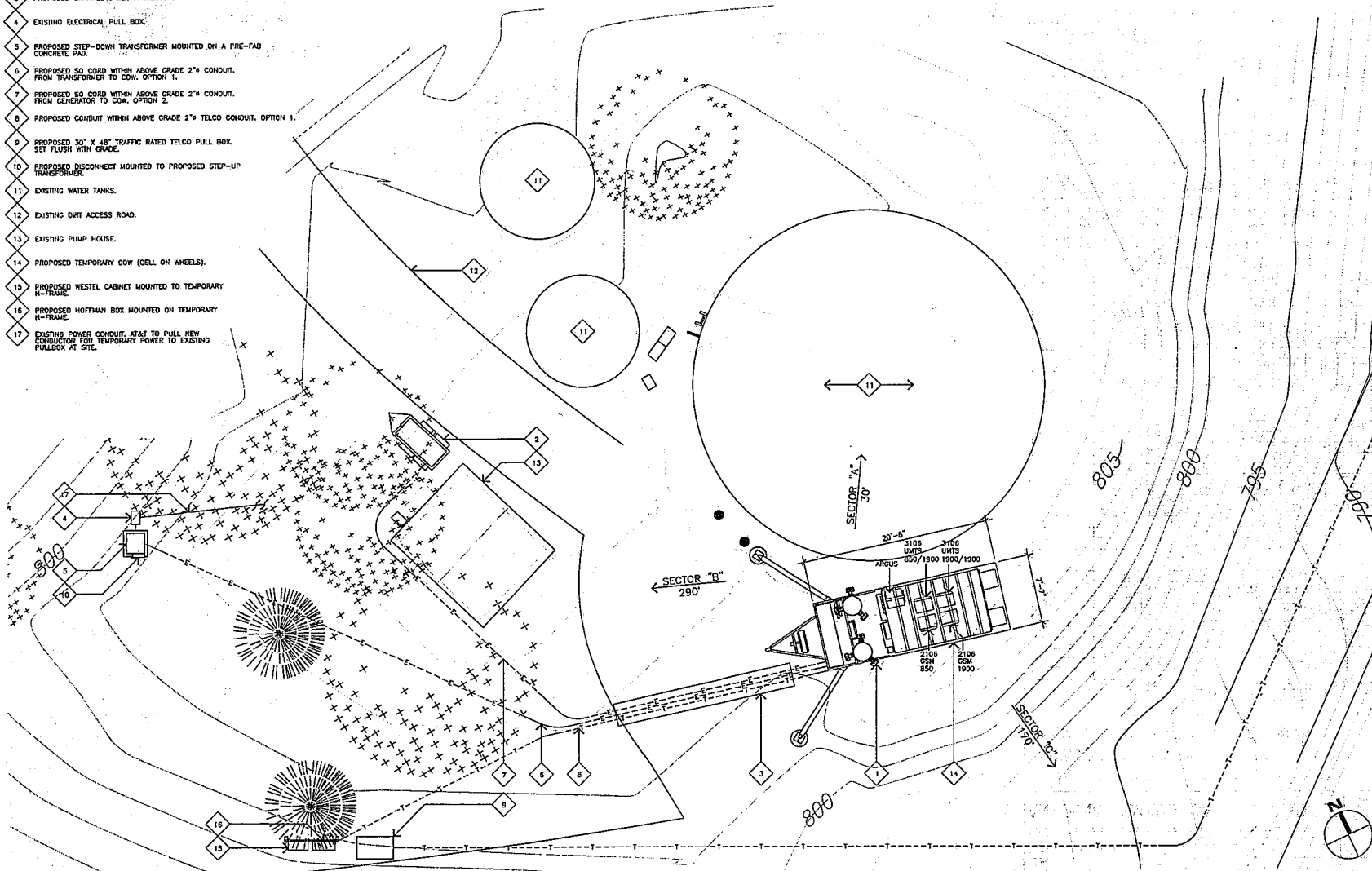
SHEET TITLE:
OVERALL SITE PLAN

A-1

JRA PROJECT NUMBER 101070

ENLARGED SITE PLAN KEYNOTES

- 1 PROPOSED AT&T ANTENNAS (2 PER SECTOR, 3 SECTORS) MOUNTED ON (2) MASTS ON A TEMPORARY COW (CELL ON WHEELS).
- 2 PROPOSED DIESEL GENERATOR, OPTION 2.
- 3 PROPOSED CHANNEL CABLE PROTECTOR.
- 4 EXISTING ELECTRICAL PULL BOX.
- 5 PROPOSED STEP-DOWN TRANSFORMER MOUNTED ON A PRE-FAB CONCRETE PAD.
- 6 PROPOSED 50 CORD WITH ABOVE GRADE 2" CONDUIT FROM TRANSFORMER TO COW, OPTION 1.
- 7 PROPOSED 50 CORD WITH ABOVE GRADE 2" CONDUIT FROM GENERATOR TO COW, OPTION 2.
- 8 PROPOSED CONDUIT WITHIN ABOVE GRADE 2" TELCO CONDUIT, OPTION 1.
- 9 PROPOSED 30" X 48" TRAFFIC RATED TELCO PULL BOX, SET FLUSH WITH GRADE.
- 10 PROPOSED DISCONNECT MOUNTED TO PROPOSED STEP-UP TRANSFORMER.
- 11 EXISTING WATER TANKS.
- 12 EXISTING DIRT ACCESS ROAD.
- 13 EXISTING PUMP HOUSE.
- 14 PROPOSED TEMPORARY COW (CELL ON WHEELS).
- 15 PROPOSED WESTEL CABINET MOUNTED TO TEMPORARY H-FRAME.
- 16 PROPOSED HOFFMAN BOX MOUNTED ON TEMPORARY H-FRAME.
- 17 EXISTING POWER CONDUIT AT&T TO PULL NEW CONDUIT FOR TEMPORARY POWER TO EXISTING PULLBOX AT SITE.



ENLARGED SITE PLAN

SCALE: 3/16"=1'-0" 1

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PREPARED FOR

 4430 Rosewood Drive
 Pleasanton, California 94588

APPROVALS

R.F. ENGINEER:	DATE:
SITE ACDS AND ZONING:	DATE:
ERICSSON CU:	DATE:
AT&T CU:	DATE:
OWNER APPROVAL:	DATE:

PROJECT NAME
CARMEL VALLEY RD

PROJECT NUMBER
CN3235 COW

60 HOLLAND ROAD
 CARMEL VALLEY, CA 93924
 MONTEREY COUNTY

DRAWING DATES
 03/10/11 TEMP COW (P1-B1)
 03/17/11 100% COW DRAWING (P1-B2)

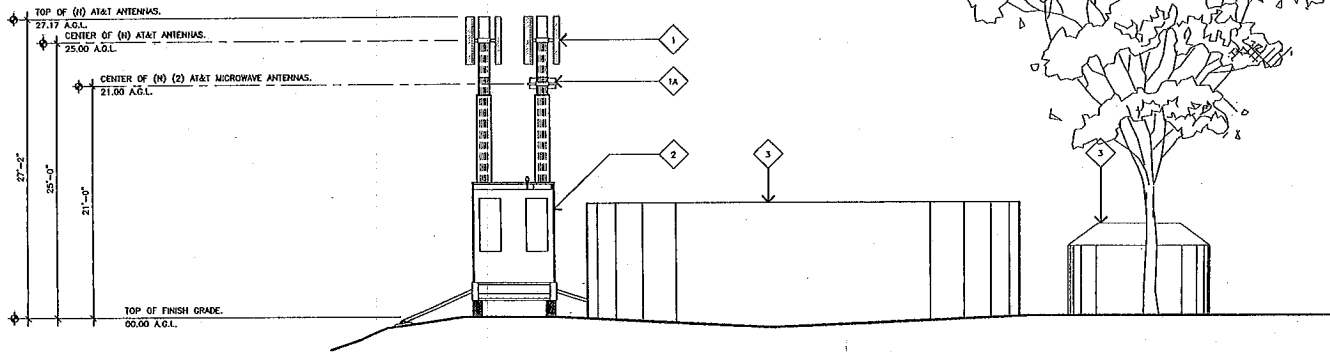
RFDIS REVISION LEVEL 1:3

SHEET TITLE
ENLARGED SITE PLAN

A-1.1

ELEVATION KEYNOTES

- 1 PROPOSED AT&T ANTENNAS (2 PER SECTION, 3 SECTIONS) MOUNTED ON A PROPOSED TEMPORARY COW (CELL ON WHEELS).
- 1A PROPOSED AT&T (2) 12X12 FLAT PANEL MICROWAVE ANTENNAS MOUNTED ON A PROPOSED TEMPORARY COW (CELL ON WHEELS).
- 2 PROPOSED TEMPORARY COW (CELL ON WHEELS).
- 3 EXISTING WATER TANKS.



EAST ELEVATION

SCALE: 3/16"=1'-0"



1

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PREPARED FOR

 4430 Rosewood Drive
 Pleasanton, California 94588

APPROVALS

R.F. ENGINEER	DATE
SITE ACQS AND ZONING	DATE
ERICSSON CW	DATE
AT&T CW	DATE
OWNER APPROVAL	DATE

PROJECT NAME
CARMEL VALLEY RD
 PROJECT NUMBER
CN3235 COW
 60 HOLMWAY ROAD
 CARMEL VALLEY, CA 93924
 MONTEREY COUNTY

DRAWING DATES

03/10/11	TEMP COW (P1-B1)
03/17/11	100% COW DRAWING (P1-B2)

RFDS REVISION LEVEL 1.3

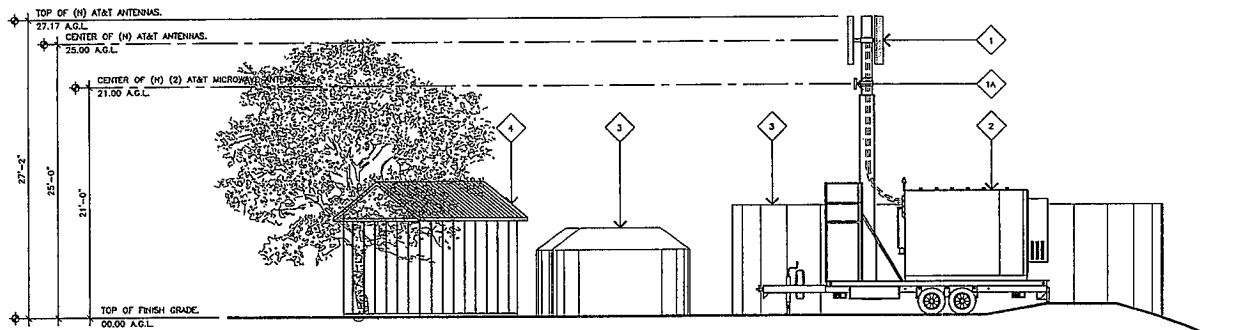
SHEET TITLE
EAST ELEVATIONS

A-2

JRA PROJECT NUMBER 101076

ELEVATION KEYNOTES

- 1 PROPOSED AT&T ANTENNAS (2 PER SECTOR, 3 SECTORS) MOUNTED ON A PROPOSED TEMPORARY COW (CELL ON WHEELS).
- 1A PROPOSED AT&T (2) 12X12 FLAT PANEL MICROWAVE ANTENNAS MOUNTED ON A PROPOSED TEMPORARY COW (CELL ON WHEELS).
- 2 PROPOSED TEMPORARY COW (CELL ON WHEELS).
- 3 EXISTING WATER TANKS.
- 4 EXISTING PUMP HOUSE; SEE 2/A-2.



SOUTH ELEVATION

SCALE: 3/16"=1'-0" 0 3' 6" 1

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STAMP



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4430 Rosewood Drive
 Pleasanton, California 94588

APPROVALS

R.T. ENGINEER	DATE
SITE ACOS AND ZONING	DATE
ERICSSON CM	DATE
AT&T CM	DATE
OWNER APPROVAL	DATE

PROJECT NAME
 CARMEL VALLEY RD

PROJECT NUMBER
 CN3235 COW
 60 HOLMAN ROAD
 CARMEL VALLEY, CA 93924
 MONTEREY COUNTY

DRAWING DATES
 03/10/11 TEMP COW (P1-B1)
 03/17/11 100% COW DRAWING (P1-B2)

RFD'S REVISION LEVEL 1.3

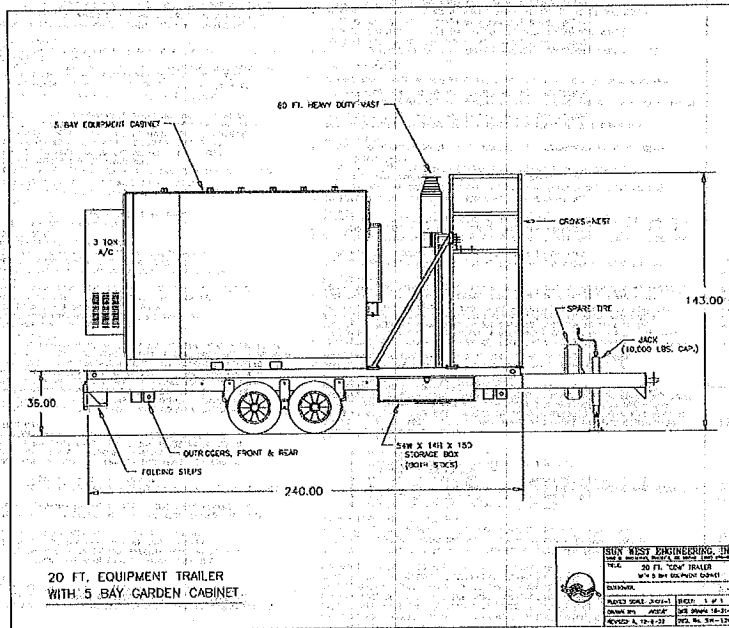
SHEET TITLE

SOUTH ELEVATIONS

A-3

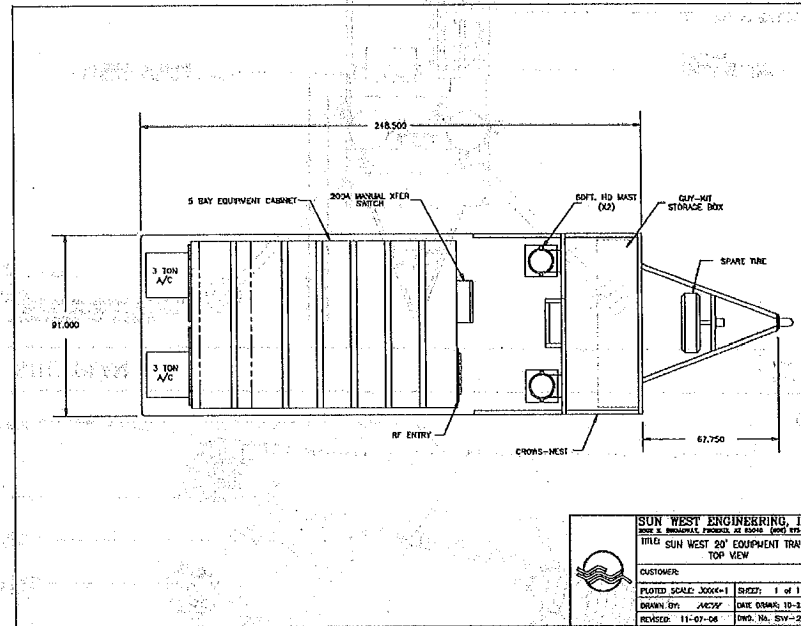
CELL ON WHEELS SPECIFICATIONS

CELL ON WHEELS SPECIFICATIONS



20 FT. EQUIPMENT TRAILER WITH 5 BAY GARDEN CABINET

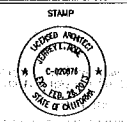
SUN WEST ENGINEERING, INC.
 30 FT. "COW" TRAILER
 W/ 5 BAY EQUIPMENT CABINET
 DRAWN BY: JACW
 CHECKED BY: JACW
 DATE: 11-07-06
 DWG. NO. SW-20091



SUN WEST ENGINEERING, INC.
 30 FT. "COW" TRAILER
 W/ 5 BAY EQUIPMENT CABINET
 TITLE: SUN WEST 20' EQUIPMENT TRAILER TOP VIEW
 CUSTOMER:
 PLOTTED SCALE: 3/32"=1' SHEET: 1 of 1
 DRAWN BY: JACW DATE: 10-23-08
 REVISED: 11-07-06 DWG. NO. SW-20091

JRA
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 Architecture & Telecommunications
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 4450 Rosewood Drive
 Pleasanton, California 94588

APPROVALS

R.F. ENGINEER	DATE
SHE ACOS AND ZORING	DATE
ERICSSON CW	DATE
AT&T CW	DATE
OWNER APPROVAL	DATE

PROJECT NAME
CARMEL VALLEY RD

PROJECT NUMBER
CN3235 COW

60 HOLMAN ROAD
 CARMEL VALLEY, CA 93924
 MONTEREY COUNTY

DRAWING DATES
 03/10/11 TEMP COW (P1-B1)
 03/17/11 100% COW DRAWING (P1-B2)

RFDS REVISION LEVEL 1.3

SHEET TITLE
COW SPECIFICATIONS

A-4

CELL ON WHEELS SPECIFICATIONS

SCALE: 1
 NONE

JRA PROJECT NUMBER 101076

GENERAL AND TELCO NOTES:

1. CODES AND REGULATIONS: THE NATIONAL ELECTRICAL CODE AND APPLICABLE FEDERAL, STATE, COUNTY AND MUNICIPAL BUILDING CODES, ORDINANCES, RULES AND REGULATIONS OF AGENCIES HAVING JURISDICTION OVER THE CONSTRUCTION OF THIS PROJECT, SHALL APPLY THROUGHOUT.
2. PERMITS, FEES AND INSPECTIONS: ARRANGE AND PAY FOR REQUIRED ELECTRICAL BUILDING PERMITS, FEES AND INSPECTIONS.
3. GUARANTEES: INSTALLATION SHALL BE COMPLETED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE. DEFECTIVE MATERIAL, EQUIPMENT OR INFERIOR WORKMANSHIP SHALL BE CORRECTED IMMEDIATELY TO THE SATISFACTION OF THE OWNER. IF, AFTER THIRTY (30) DAYS THE CORRECTIONS ARE NOT COMPLETE THE OWNER RESERVES THE OPTION OF AWARDING FOR THE NECESSARY REPAIRS AND BACKCHARGING THE ORIGINAL CONTRACTOR FOR THE WORK.
4. CHANGES: NO ADDITIONAL COSTS FOR LABOR OR MATERIALS WILL BE ALLOWED FOR CHANGES OR MODIFICATIONS MADE UNLESS PRIOR WRITTEN APPROVAL IS OBTAINED FROM THE ARCHITECT, ENGINEER, OR OWNER, IN THE FORM OF A CHANGE ORDER.
5. PROJECT WORK: TO INCLUDE THE FURNISHING OF LABOR, TOOLS, EQUIPMENT, AND MATERIALS AS REQUIRED TO INSTALL COMPLETE AND IN OPERATING CONDITION, THE ELECTRICAL SYSTEM SHOWN OR IMPLIED ON THESE DRAWINGS.
6. DRAWINGS: ELECTRICAL DRAWINGS ARE DIAGNAMATIC IN NATURE. CONDUIT ROUTING IS SHOWN AS A GUIDE ONLY. ACTUAL CONDUIT PLACEMENT IS TO BE DONE IN A PROFESSIONAL MANNER.
7. DISCREPANCIES: DISCREPANCIES ON THESE PLANS, SPECIFICATIONS, CODES ETC. MUST BE IMMEDIATELY REPORTED TO THE ATTENTION OF THE ENGINEER.
8. SURVEY AND CONDITIONS: VISIT THE JOB SITE PRIOR TO SUBMITTING BID, AND MAKE A SURVEY. EXTENDING TO THE WORK SHALL BE GIVEN FOR SITE CONDITIONS.
9. COOPERATION: COOPERATE WITH OTHER CONTRACTORS AND SUBCONTRACTORS ON DATE OF INSTALLATION AND EXECUTE WORK IN SUCH A MANNER AS REQUIRED FOR THE SATISFACTORY AND EFFICIENT CONSTRUCTION OF THIS PROJECT BY ALL TRADES CONCERNED.
10. TESTS AND REPORTS: FEEDERS SHALL BE TESTED AND TEST REPORT SHALL BE PROVIDED TO THE OWNER BEFORE FINAL ACCEPTANCE.
11. AS BUILTS: ELECTRICAL CONTRACTOR SHALL PROVIDE AS-BUILTS TO THE ARCHITECT AT THE COMPLETION OF THE PROJECT.
12. MATERIALS AND WORKMANSHIP: PROVIDE MATERIALS NEW AND OF SPECIFICATION GRADE WITH UL LABELS. WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE BEST PRACTICES OF THE TRADE INSTALLED BY JOURNETHMAN ELECTRICIANS UNDER THE DIRECT SUPERVISION OF A COMPETENT FOREMAN.
13. CONDUIT SYSTEM: RIGID STEEL, HEAVY-WALL CONDUIT, INCLUDING COUPLINGS, LOCK-NUTS, BUSHINGS, NIPPLES AND OTHER FITTINGS SHALL BE HOT DIPPED GALVANIZED, SCHEDULED, OR LIME COATED. METALLIC METALLIC TUBING (EWT), INCLUDING COUPLINGS, CONNECTORS, AND OTHER FITTINGS SHALL BE GALVANIZED OR SCHEDULED. ALL FITTINGS FOR EWT SHALL BE OF THE SEE SCREW OR COMPRESSION TYPE. ALL FITTINGS INSTALLED FOR FUTURE USE SHALL BE INSTALLED WITH A MINIMUM 3/8" POLY BUT ROP WITH WEARING TIPS TO DETERMINE AS BUILT CONDUIT LENGTH. BOTH MUST BE IN ONE CONTINUOUS LENGTH. ELECTRICAL CONDUIT SHALL BE AS FOLLOWS:
 a. MINIMUM 1" RIGID GALVANIZED STEEL IN EXPOSED AREAS SUBJECT TO WEATHER OR PHYSICAL DAMAGE.
 b. MINIMUM 1" ELECTRICAL METALLIC TUBING (EWT) INDOORS.
 c. MINIMUM 1" LIQUID TIGHT FLEX FOR WEATHERPROOF CONNECTIONS TO EQUIPMENT.
 d. UNDERGROUND CONDUITS SHALL BE SCHEDULE 40 PVC WITH SCHEDULE 80 BENDS, AND RISERS. PVC CONDUITS SHALL COMPLY A GROUNDED WIRE PER NEC TABLE 550-94.
 1. UTILITY BENDS MAY BE PER LOCAL UTILITY RECOMMENDATIONS.
 TELCO CONDUIT SHALL BE AS FOLLOWS:
 MINIMUM 2" DIAMETER DUCT OF APPROVED MATERIAL (SEE ABOVE)
14. IN LINE PULL BOXES: MINIMUM DIMENSIONS 24" LONG, 6" WIDE, BY 6" DEEP. PREFERRED DIMENSIONS 30" LONG, 6" WIDE, BY 6" DEEP.
 a. PULL BOXES SHALL NOT BE USED FOR 90 DEGREE TRANSITIONS UNLESS 10' BENDING RADIUS CAN BE MAINTAINED.
 b. MAXIMUM OF TWO 90 DEGREE BENDS BETWEEN PULL BOXES.
 c. MINIMUM CONDUIT BEND RADIUS OF 10 TIMES CONDUIT DIAMETER.
 d. VERTICAL CONDUIT RUNS SHALL HAVE A BULBOUT EVERY 100 FEET.
 e. ELECTRICAL ELBOWS OR CONDULETS SHALL NOT BE USED AS PULL BOXES.
15. STANDOFF PULL BOXES: MINIMUM 17" WIDE BY 30" LONG.
 a. TELCO PULL BOXES ARE TO BE OF AT LEAST 24" L x 6" W x 6" D.
 b. PREFERRED TELCO PULL BOX DIMENSIONS 30" L x 6" W x 6" D.
 c. TELCO PULL BOXES MUST BE ACCESSIBLE. TELEPHONE COMPANIES WILL NOT REMOVE CLOSING LIDS.
 d. CONDUIT TO ENTER AND LEAVE PULL BOX IN A STRAIGHT LINE, DO NOT TURN UP CONDUIT.
16. WIRE: MINIMUM #12 EXCEPT WHERE OTHER SIZES ARE SPECIFICALLY INDICATED. THE NUMBER OF WIRES IN A CONDUIT ARE INDICATED BY MEANS OF CROSS MARKS (NEUTRAL BEING LONGER) WHERE THREE OR MORE WIRES ARE NECESSARY. REFER TO HUB TABLE 5B FOR CONDUIT FILL REQUIREMENTS WHERE LARGER THAN 1/2" CONDUIT IS REQUIRED FOR THE NUMBER OF WIRES INDICATED.
 WIRE SHALL BE AS FOLLOWS:
 #10 OR SMALLER WIRE SHALL BE 75C RATED SOLID COPPER, WITH THIN/TWNY AWG. INSULATION.
 #8 AND LARGER WIRE SHALL BE 75C RATED STRANDED COPPER, WITH THIN/TWNY AWG. INSULATION.
17. FUSES: FUSE TYPE SHALL BE CLASS C TYPE "TIN" FAST ACTING RATED FOR LOAD WITH DOWN STREAM CIRCUITS.
18. SERVICE EQUIPMENTS: VERIFY WITH THE SERVING UTILITY THAT THE SERVICE EQUIPMENT PROPOSED MEETS THEIR REQUIREMENTS AND IS RATED FOR THE MAXIMUM SHORT CIRCUIT DUTY AVAILABLE, AND SUBMIT SHOP DRAWINGS IF REQUESTED. EQUIPMENT MAY BE SIZED RATED PER MANUFACTURER'S RECOMMENDATIONS, AND RESPONSIBILITY.
19. TELEPHONE SERVICE ENTRANCE: PROVIDE AND INSTALL TELEPHONE ENTRANCE COORDINATE PER PCW PROJECT MANAGER AND COORDINATE PRIMARY SERVICE LOCATION.
20. TELCO SPLICE BOXES: TELCO SPLICE BOXES WILL BE SIZED BY SERVING TELEPHONE UTILITY. DETAILS WILL BE PROVIDED BY INTERCONNECT ENGINEER OR BY SERVING TELEPHONE UTILITY.

EXECUTION

21. ACCEPTANCE: BEFORE ACCEPTANCE OF THE WORK, INSPECT THE BUILDING IN THE PRESENCE OF THE OWNER AND DEMONSTRATE THAT ELECTRICAL SYSTEMS ARE IN OPERATING CONDITION SATISFACTORY TO THE ARCHITECT.
22. CUTTING AND PATCHING: CUTTING AND PATCHING OF CONSTRUCTION REQUIRED FOR PROPER INSTALLATION OF HIS WORK IS THE RESPONSIBILITY OF THE CONTRACTOR AND CUTTING OF STRUCTURAL MEMBERS SHALL BE DONE WITHOUT PRIOR APPROVAL OF THE STRUCTURAL ENGINEER.
23. LOCATION AND ARRANGEMENTS: DRAWINGS INDICATE DIAGRAMMATICALLY THE DESIRED LOCATION OF EQUIPMENT, FIXTURES, SWITCHES, ETC. AND ARE NOT TO BE SCALED. PROPER JUDGMENT MUST BE EXERCISED IN THE EXECUTION TO INSURE THE BEST POSSIBLE INSTALLATION.
24. FIRE RATED AREAS: FIRE STOPPING REQUIRED WHEN PENETRATIONS ARE MADE IN FIRE RATED BARRIERS.
25. PARALLEL CONDUCTORS: IT IS IMPERATIVE THAT PARALLEL CONDUCTORS BE OF EQUAL LENGTHS AND MUST BE TESTED IN THE PRESENCE OF THE ELECTRICAL INSPECTOR TO INSURE PHASE CONTINUITY.
26. EXTERIOR EQUIPMENT: ELECTRICAL DEVICES, EQUIPMENT, CONDUITS, CONNECTORS, ETC., LOCATED OUTSIDE THE BUILDING ENVELOPE SHALL BE WEATHERPROOF.
27. EQUIPMENT LOCATIONS: LOCATION OF EQUIPMENT SHALL BE FIELD VERIFIED.
28. EQUIPMENT REQUIREMENTS: FIELD VERIFY WITH EQUIPMENT NAMEPLATE, CIRCUIT BREAKER, FUSE, AND FEEDER SIZES FOR EQUIPMENT INSTALLED, AND INSURE THAT THE INSTALLATION COMPLETES.
29. GROUNDING: GROUNDING OF THE ELECTRICAL EQUIPMENT AND SYSTEM SHALL BE IN ACCORDANCE WITH DETAILS ON THESE PLANS AND ARTICLE 250 OF THE NATIONAL ELECTRICAL CODE AND LOCAL CODES OR ORDINANCES.
 TELCO BONDING AND GROUNDING:
 #6 AWG SOLID COPPER INSULATED WIRE 24" COATED IN TELCO SERVICE BOX WITH BONDING CABLES IN PLACE. THE TELEPHONE BONDING SHALL BE BONDING TO THE POWER GROUNDING. THE TELEPHONE SERVICE CABINET MUST BE BOND TO THE TELEPHONE. GROUND WIRE, ANY QUESTIONS REGARDING TELEPHONE GROUNDING SHOULD BE REFERRED TO THE INTERCONNECT ENGINEER.
 IF TELEPHONE SERVICE IS TO BE MOUNTED ON A BACKBOARD (NO TELCO BOX PLACED) A BUSS BAR MUST BE PLACED AND A #6 SOLID COPPER INSULATED GROUNDING BOND TO THE NEW CONDUIT AND A 24" COR LEFT NEVADA AREA SERVICE BOX.
 d. MINIMUM DIMENSIONS = 30" W x 56" H x 9" D
 e. 3/4" PLYWOOD BACKBOARD MOUNTED IN SERVICE BOX
 f. 2" CLEARANCE FROM GROUND LEVEL TO BOTTOM OF SERVICE BOX PREFERRED
 g. FULL ACCESS FROM FRONT OF BOX; MINIMUM 36" WORKING SPACE
 h. BOX MUST BE WATER RESISTANT
 i. GALVANIZED STEEL BOX PAINTED INSIDE AND OUT
 j. HATCH REQUIRED

GROUNDING NOTES:

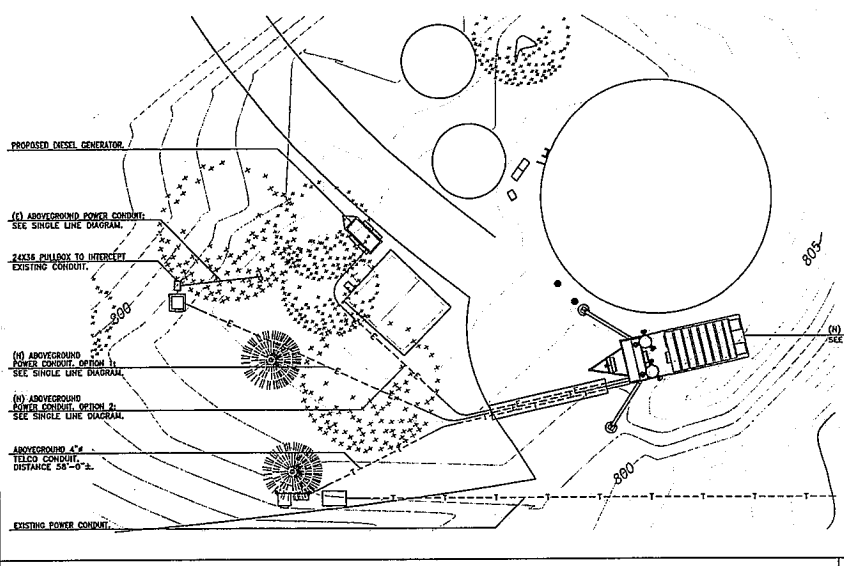
1. GROUND ANTENNA BASES, FRAMES, CABLE RUNS AND OTHER METALLIC COMPONENTS USING #2 GROUND WIRES AND CONNECT TO SURFACE MOUNTED GROUND BUS BARS AS SHOWN. FOLLOW ANTENNA AND ITS MANUFACTURER'S PRACTICES FOR GROUNDING REQUIREMENTS. GROUND CABLES AT BOTH ENDS USING MANUFACTURER'S PRACTICES. UNDERGROUND WATER PIPES, METAL CONDUITS AND GROUNDS THAT ARE A PART OF THIS SYSTEM SHALL BE BONDED TOGETHER.
2. GROUND CONNECTIONS SHALL BE #2 AWG ALUM. WIRE SHALL BE COPPER THIN/TWNY. GROUND WIRE SHALL BE TIN COATED OR GREEN INSULATED.
3. CONTRACTOR TO PERFORM A FALL-OF-POTENTIAL GROUND RESISTANCE MEASUREMENT TEST AND RESULTS MUST NOT EXCEED A RESISTANCE READING OF 5 OHMS MAXIMUM PROVIDE SUPPLEMENT GROUNDING OR 20 FEET RIGID AS REQUIRED TO ACHIEVE THE TEST RESULTS. SPECIFIC GROUNDING CONTRACTOR SHALL BE RESPONSIBLE FOR OTHER OPTIONAL TESTING AS DIRECTED AND TO BE WITNESSED BY A PHS REPRESENTATIVE.
4. NONFERROUS SUB-GROUNDING CONDUIT SHALL BE INSTALLED MINIMUM 60" BELOW GRADE IN TRENCH, U.G.A., AND BACK FILL SHALL BE COMPACTED AS REQUIRED BY ARCHITECT.
5. GROUND CONDUCTORS SHALL BE RHN AS STRAIGHT AND SHORT AS POSSIBLE, WITH A MINIMUM 18" BENDING RADIUS NOT LESS THAN 90 DEGREES.
6. ALL SUPPORT STRUCTURES, CABLE CHANNEL WAYS OR WIRE GUIDES SHALL BE BONDED TO GROUND SYSTEM AT A POINT NEAREST THE MAIN GROUNDING BUS "MGB" WITH A MINIMUM #6 5 THINNE COPPER CONDUCTOR AND (2) -SOLE COMPRESSION CONNECTOR AT BUS.
7. ACCEPTABLE CONNECTIONS FOR GROUNDING SYSTEM SHALL BE:
 a. BURNT, HY-SGRADE LUL LISTED CONNECTORS (MECHANICAL CONNECTIONS).
 b. CADWELD, EXOTHERMIC WELDS (WELDED CONNECTIONS).
 c. TWO (2) MOLE TIGHT COPPER COMPRESSION FITTINGS (BUS BAR CONNECTIONS).
8. CRIMPED CONNECTIONS SHALL HAVE EMBOSSED MANUFACTURER'S DIAMARK VISIBLE AT THE CRIMP.
9. GROUND CONNECTIONS SHALL BE BUSHINGS AND SHALL HAVE A COATING OF KOPR-SHIELD OR "NO-OX-ID" APPLIED TO THE CONNECTION.
10. ALL CONNECTION HARDWARE AT EQUIPMENT SHALL BE TYPE 316 SS, OR DUREM BROS. "KOPR-SHIELD" OR "NO-OX-ID" APPLIED TO THE CONNECTION.
11. GROUND RING SHALL BE INSTALLED 24" MINIMUM BEYOND ANY BUILDING DRIP LINE.

TRENCHING NOTES:

1. MINIMUM COVERAGE OF DUCT ON PRIVATE PROPERTY UNDER PREPARED SURFACE SHALL BE 18" OR AS SPECIFIED BY PERMITTING OWNER/AGENT
2. MINIMUM COVERAGE OF DUCT ON PRIVATE PROPERTY UNDER DIRT SURFACE SHALL BE 24" OR AS SPECIFIED BY PERMITTING OWNER/AGENT
3. MINIMUM COVERAGE OF DUCT IN PUBLIC RIGHT OF WAY SHALL BE 30" BELOW GUTTER GRADE OR AS SPECIFIED BY PERMITTING OWNER/AGENT
4. MINIMUM SEPARATION IN SHARED TRENCH SHALL BE 12" BETWEEN POWER AND TELEPHONE.

ABBREVIATIONS & SYMBOL LIST

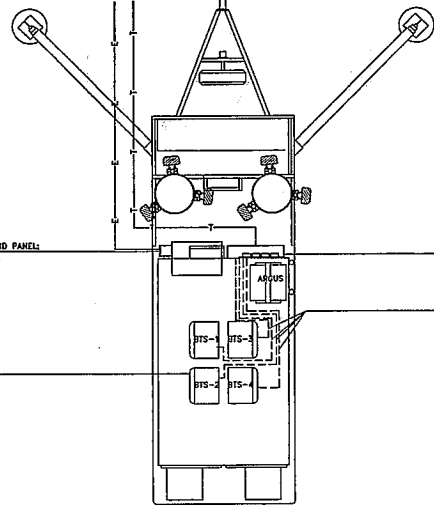
A	AMPERE	MGB	MAIN INTERIOR GROUND BUS
(E)	INDICATES EXISTING	C.C.	CENTRAL CONTRACTOR
NEMA	NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION	O.E.B.	EQUIPMENT GROUND BUS
AWG	AMERICAN WIRE GAUGE	BPG	BUILDING PRINCIPAL GROUND
WP	WEATHER PROOF	ABG	ANTENNA GROUND BUS
C.O.	CONDUIT ONLY (WITH PULL WIRE)	TELCO	TELEPHONE COMPANY
C.	CONDUIT	RECEP	RECEPTACLE
W	WIRE	+	MAIN GROUND ROD (SEE MAIN GROUND ROD BOX DETAIL)
P	POLE	○	GROUND RING GROUND ROD
PH	PHASE	⊕	GROUNDING CONNECTION
CRD	GROUND	⊖	PULL OUT FUSES CLASS C TYPE TUN FAST ACTING
UMPS	UNDERGROUND PULL SECTION		
LNA	LOW NOISE AMPLIFIER		



TEMP SITE PLAN

NOTE:

1. CONTRACTOR TO FIELD MEASURE AND COORDINATE CONDUIT STUB-UP LOCATIONS AT UTILITY RACK AND EQUIPMENT CABINETS. SEE ARCHITECTURAL FOR UTILITY RACK MOUNT LOCATION.
2. USE SEAL-TIGHT FASTENERS AT ALL CONNECTIONS.



TEMP SITE POWER PLAN

NOTES & ABBREVIATIONS

JRA
 Jeffrey Roma & Associates, Inc.
 Architects & Telecommunications
 1 San Joaquin Plaza, Suite 250
 Newark, CA 94560
 Phone: (949) 260-3323
 Fax: (949) 760-9551

PROPRIETARY INFORMATION

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AT&T MOBILITY IS STRICTLY PROHIBITED.



PREPARED FOR

 4450 Riverside Drive
 Pleasanton, CA 94588

APPROVALS

R.F. DIGNIDER	DATE
SITE ACES AND ZONING	DATE
ERRISSON CA	DATE
AT&T CA	DATE
OWNER APPROVAL	DATE

PROJECT NAME
CARMEL VALLEY RD

PROJECT NUMBER
CN3235 COW

60 HOLMAN ROAD
 CARMEL VALLEY, CA 95024
 MONTEREY COUNTY

DRAWING DATES
 03/10/11 TEMP COW (P1-B1)
 03/17/11 100% COW DRAWING (P1-B2)

REVISION LEVEL 1.3

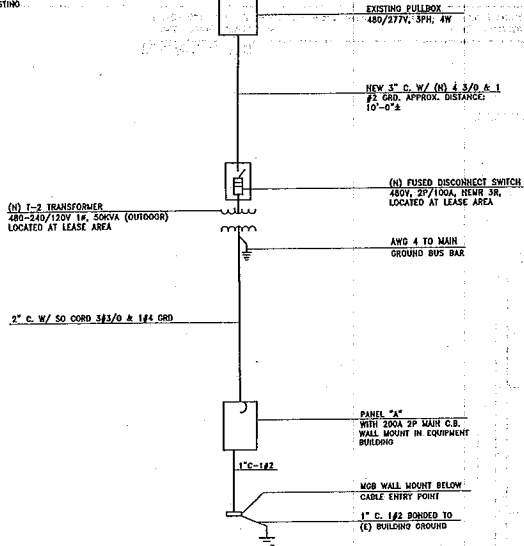
SHEET TITLE
**GENERAL & TELCO NOTES
 SYMBOLS, PLANNING SHEETS
 CONTACT LOG AND
 SINGLE LINE DIAGRAM**

E-1

3

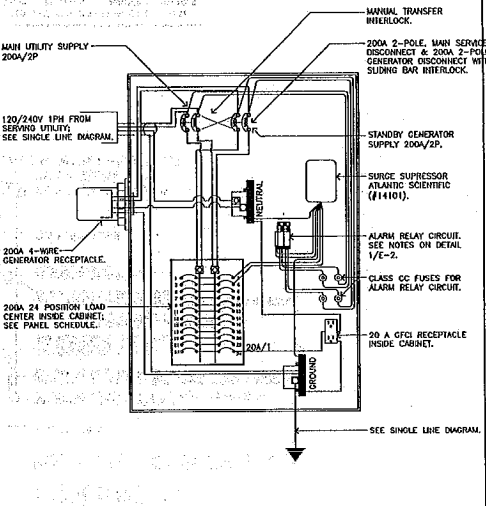
1

ELECTRICAL EQUIPMENT SHOWN IS TO BE PROVIDED AND INSTALLED UNLESS IDENTIFIED AS EXISTING



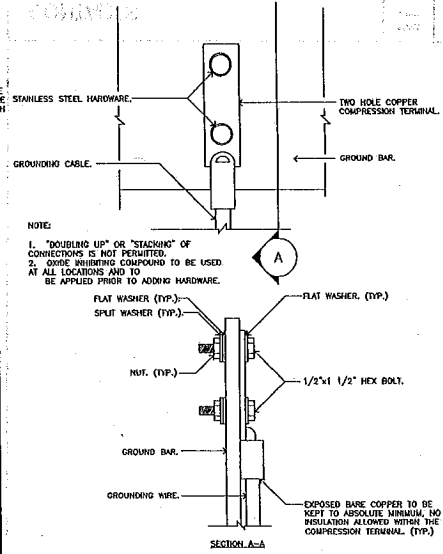
SINGLE LINE DIAGRAM

SCALE: NONE 4



EMERSON CABINET SCHEMATIC

SCALE: NONE 3



TYPICAL GROUND BAR CONNECTION

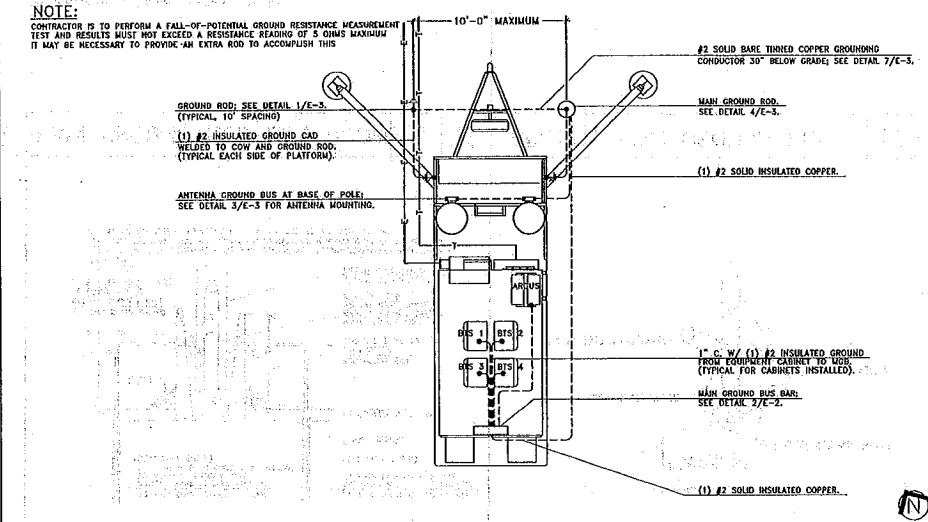
SCALE: NONE 2

A.I.C 42 KA RACK MOUNT		PANEL "A" 120/240V, 1PH, 3W.												200 AMP MAIN 200 AMP BUS			
DESCRIPTION	WATTAGE		L	R	M	W	S	C	B	C	R	C	S	L	WATTAGE		DESCRIPTION
	A	B													A	B	
SURGE SUPPRESSOR	100														1332		RECTIFIER #1
"		100													1332		RECTIFIER #2
CU-1	3648														1332		RECTIFIER #3
"		3648													1332		RECTIFIER #4
CU-2	3648														1332		RECTIFIER #5
"		3648													1332		RECTIFIER #6
MAINTENANCE	180																SPACE
SPACE																	
TELCO BACKBOARD	360														10		SMOKE DETECTOR
LEAD/LAG CONTROL	100														180		EXHAUST FAN
RECEPTACLES	900														140		LIGHTS
WATTS	A= 15,718														B= 15,668		WITH LCL
TOTAL WATTS	= 31,386		AMPS= 130														

NOTES:
 1) A PERMANENT PLaque OR DIRECTORY MUST BE INSTALLED AT EACH SERVICE DISCONNECT LOCATION DENOTING ALL OTHER SERVICES, FEEDERS AND BRANCH CIRCUITS SUPPLYING THAT BUILDING OR STRUCTURE AND THE AREA SERVED BY EACH.
 2) ALL CIRCUIT BREAKERS AND/OR FUSES SHALL BE FULLY RATED TO WITHSTAND THE MAXIMUM AVAILABLE FAULT CURRENT INDICATED.

PANEL SCHEDULE

SCALE: NONE 3



GROUNDING PLAN

SCALE: NONE 1

JRA
 Jeffrey Rowe & Associates, Inc.
 Architecture & Telecommunications
 1 San Joaquin Plaza, Suite 220
 Newport Beach, California 92660
 Phone: (949) 760-3929
 Fax: (949) 760-3931

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PREPARED FOR

 4430 Rosewood Drive
 Pleasanton, California 94588

APPROVALS:
 R.F. ENGINEER DATE
 SHE ACOS AND ZORING DATE
 ERICSSON CM DATE
 AT&T CM DATE
 OWNER APPROVAL DATE

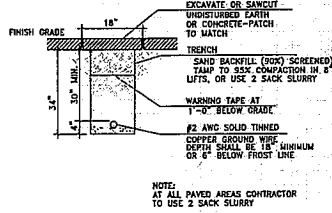
PROJECT NAME
CARMEL VALLEY RD
 PROJECT NUMBER
CN3235 COW
 60 HOLMAN ROAD
 CARMEL VALLEY, CA 93924
 MONTEREY COUNTY

DRAWING DATES:
 03/10/11 T&P COW (P1-B1)
 03/17/11 100% COW DRAWING (P1-B2)

REDS REVISION LEVEL 1.3
 SHEET TITLE
LEASE AREA GROUNDING PLAN & DETAILS

E-2

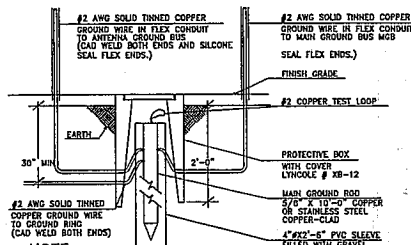
JRA PROJECT NUMBER 101076



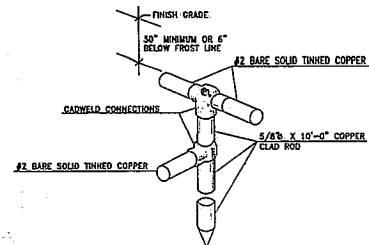
ALARM NOTES:

ALARM	Wiring Color	TYPE	SEVERITY LEVEL
1) PWR COMMERCIAL	WHT/BLU	BREAKING	1
2) GENERATOR SHUTDOWN	WHT/ORN	BREAKING	2
3) PWR SOURCE PROTECT	WHT/GRN	BREAKING	2

The standard is Normally Closed and should be wired as such of the relay inside the power panel.
 The civils team is responsible for running the CATS, mounting the 66 block and connect to the block from the power panel relays.
 The commissioning team is responsible for connecting to the other side of the block and to the cabinet and getting (and testing) the external alarms. They are also responsible to install bridge clips on the block if needed. If anything is missing or not done and is preventing them from completing this, they need to reach out to their contact at AT&T to get it rectified.
 The civils and commissioning team need to work together to troubleshoot any alarms that do not function properly.



NOTE:
 CONTRACTOR IS TO PERFORM A FALL-OF-POTENTIAL GROUND RESISTANCE MEASUREMENT TEST AND RESULTS MUST NOT EXCEED A RESISTANCE READING OF 5 OHMS MAXIMUM. IT MAY BE NECESSARY TO PROVIDE AN EXTRA ROD TO ACCOMPLISH THIS.



GROUNDING TRENCH

SCALE: NONE

6

ALARM NOTES

SCALE: NONE

5

MAIN GROUND ROD BOX DETAIL

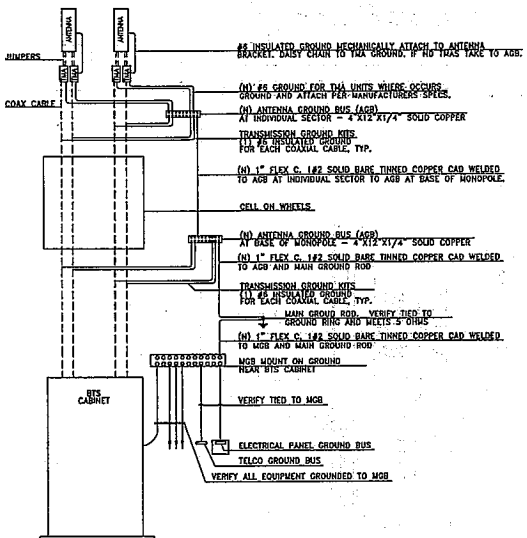
SCALE: NONE

4

GROUND RING GROUND ROD

SCALE: NONE

2



GENERAL NOTES:

1. SPLICE GROUND CONNECTIONS.
2. FOLLOW COAXIAL CABLE MANUFACTURERS RECOMMENDATIONS (TYPICAL)
3. ALL INSULATED GROUND WIRES TO BE STRANDED, AWG WIRE UNLESS NOTED OTHERWISE.
4. THIS IS TYPICAL FOR ONE SECTOR OF ANTENNAS. SEE PLANS FOR NUMBER OF SECTORS.

COAX CABLE GROUNDING SCHEMATIC

SCALE: NONE

3

CONTACTS

SCALE: NONE

1

JRA

Jeffrey Roma & Associates, Inc.
 Architecture & Telecommunications
 1 San Joaquin Plaza, Suite 250
 Newport Beach, California 92660
 Phone: (949) 760-3329
 Fax: (949) 760-3321

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PREPARED FOR



4430 Rosewood Drive
 Pleasanton, California 94588

APPROVALS

RF. ENGINEER	DATE
SITE ACOS AND ZONING	DATE
EROSION CM	DATE
AT&T CM	DATE
OWNER APPROVAL	DATE

PROJECT NAME
CARMEL VALLEY RD

PROJECT NUMBER
CN3235 COW

60 HOLMAN ROAD
 CARMEL VALLEY, CA 93924
 MONTEREY COUNTY

DRAWING DATES
 03/10/11 TEMP COW (P1-B1)
 03/17/11 100% COW DRAWING (P1-B2)

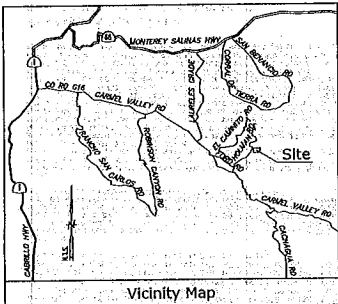
RFDS REVISION LEVEL: 1.3

SHEET TITLE

TEMP SITE DETAILS

E-3

JRA PROJECT NUMBER: 101078



Title Report

PREPARED BY: FIRST AMERICAN TITLE COMPANY
 ORDER: 270-282720
 DATED: OCTOBER 1, 2010

Legal Description

SEE SHEET C-2

Assessor's Parcel Nos.

187-011-003, 187-011-004, 187-011-001 & 189-841-003

Easements

SEE SHEET C-2

Access Route

THAT PORTION OF REAL PROPERTY IN THE UNINCORPORATED AREA OF THE COUNTY OF MONTEREY, STATE OF CALIFORNIA, BEING A STRIP OF LAND, 52.00 FEET WIDE, 1.00 ACRE IN AREA, LINGO 2.00 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:

BEGINNING AT THE NORTHERLY TERMINUS OF THE CENTERLINE OF THAT CERTAIN 80 FOOT WIDE STRIP OF LAND DESCRIBED AS PARCEL 189-841-003 DEED RECORDED JUNE 30, 2008 AS DOCUMENT NO. 200808037 OF PUBLIC RECORDS OF SAID COUNTY; THENCE S89°07'00" W 163.25 FEET; THENCE THEREABOUTS 60.15 FEET; THENCE S89°07'00" W 70.89 FEET; THENCE S89°07'00" W 62.81 FEET; THENCE S89°07'00" W 66.15 FEET; THENCE S89°07'00" W 62.79 FEET; THENCE S89°07'00" W 66.15 FEET; THENCE S89°07'00" W 248.06 FEET; THENCE S48°30'07" W 163.77 FEET; THENCE S87°30'00" W 116.48 FEET; THENCE S07°07'00" W 68.33 FEET; THENCE S01°14'14" W 44.78 FEET; THENCE S23°04'47" W 63.08 FEET; THENCE N02°17'17" W 247.33 FEET; THENCE S05°07'00" W 104.08 FEET; THENCE S77°43'50" W 86.49 FEET; THENCE S09°04'00" W 34.48 FEET; THENCE S24°29'23" W 49.51 FEET; THENCE S41°17'32" W 85.01 FEET; THENCE S41°17'32" W 48.84 FEET; THENCE S04°27'00" W 118.04 FEET; THENCE S01°14'14" W 92.78 FEET; THENCE S03°27'21" W 87.34 FEET; THENCE S09°27'59" W 122.04 FEET; THENCE S48°30'07" W 99.47 FEET; THENCE S24°29'23" W 92.14 FEET; THENCE N01°57'58" W 110.78 FEET; THENCE N45°27'12" W 16.00 FEET; THENCE S03°29'23" W 8.00 FEET TO A POINT HEREINAFTER REFERRED TO AS POINT "A" AND THE END OF SAID STRIP.

Lease Area

BEING AT POINT "A" AS DESCRIBED ABOVE; THENCE N59°57'16" W 14.17 FEET; THENCE N40°04'16" W 12.31 FEET; THENCE N49°02'12" W 14.00 FEET; THENCE N00°04'48" W 14.00 FEET; THENCE S59°57'16" W 14.00 FEET; THENCE S00°04'48" W 14.00 FEET; THENCE S09°02'12" W 23.33 FEET; THENCE N59°57'16" W 14.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 344 SQUARE FEET, MORE OR LESS.

Utility Route

BEING A STRIP OF LAND, 8.00 FEET WIDE, 1.00 ACRE IN AREA, LINGO 2.00 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:

BEGINNING AT POINT "B" AS DESCRIBED ABOVE; THENCE S00°07'48" W 2.49 FEET; THENCE S64°04'07" W 108.17 FEET; THENCE N49°02'12" W 30.06 FEET; THENCE N40°04'48" W 16.02 FEET; THENCE N49°02'12" W 178.87 FEET; THENCE N00°04'48" W 16.00 FEET; THENCE N49°02'12" W 30.12 FEET; THENCE S00°07'48" W 23.33 FEET TO AN EXISTING POWER POLE #110537188 AND THE END OF SAID STRIP.

Geographic Coordinates at Proposed Broadleaf Monopole

1983 DATUM: LATITUDE: 38°28' 44.62" N; LONGITUDE: 121° 13' 07.99" W; ELEVATION: 798.3 FEET ABOVE MEAN SEA LEVEL.

CERTIFICATION:
 THE LATITUDE AND LONGITUDE SHOWN ABOVE ARE ACCURATE TO WITHIN +/- 1/8" FEET HORIZONTALLY AND THAT THE ELEVATIONS SHOWN ABOVE ARE ACCURATE TO WITHIN +/- 3 FEET VERTICALLY. THE HORIZONTAL DATUM GEOGRAPHIC COORDINATES IS IN TERMS OF THE NORTH AMERICAN DATUM OF 1983 (NAD 83) AND EXPRESSED IN DEGREES (°), MINUTES (') AND SECONDS ("). TO THE NEAREST 1/1000TH OF A SECOND. THE VERTICAL DATUM ELEVATIONS IS IN TERMS OF THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) AND IS DETERMINED TO THE NEAREST TENTH OF A FOOT.

Basis of Bearings

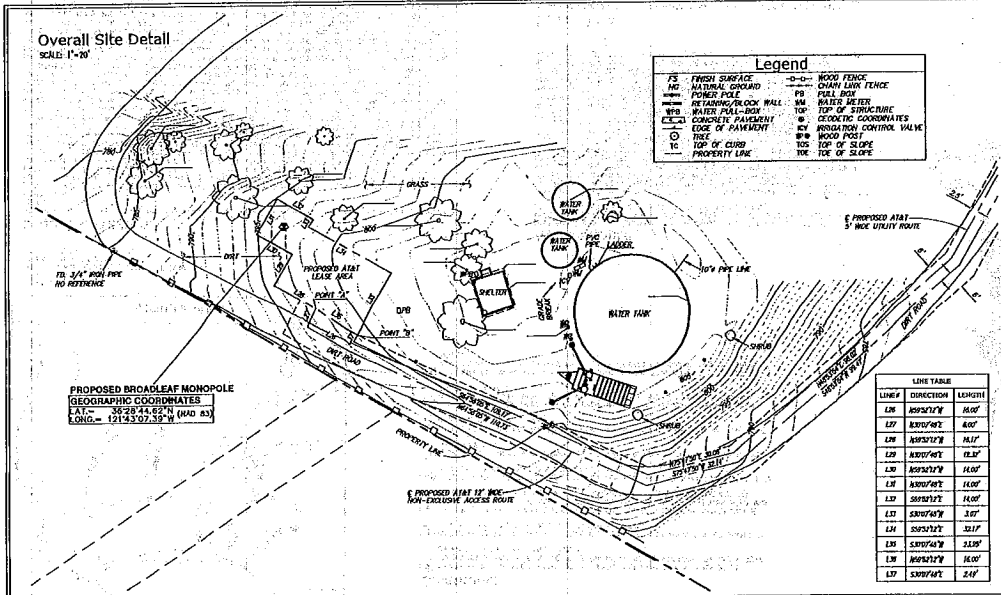
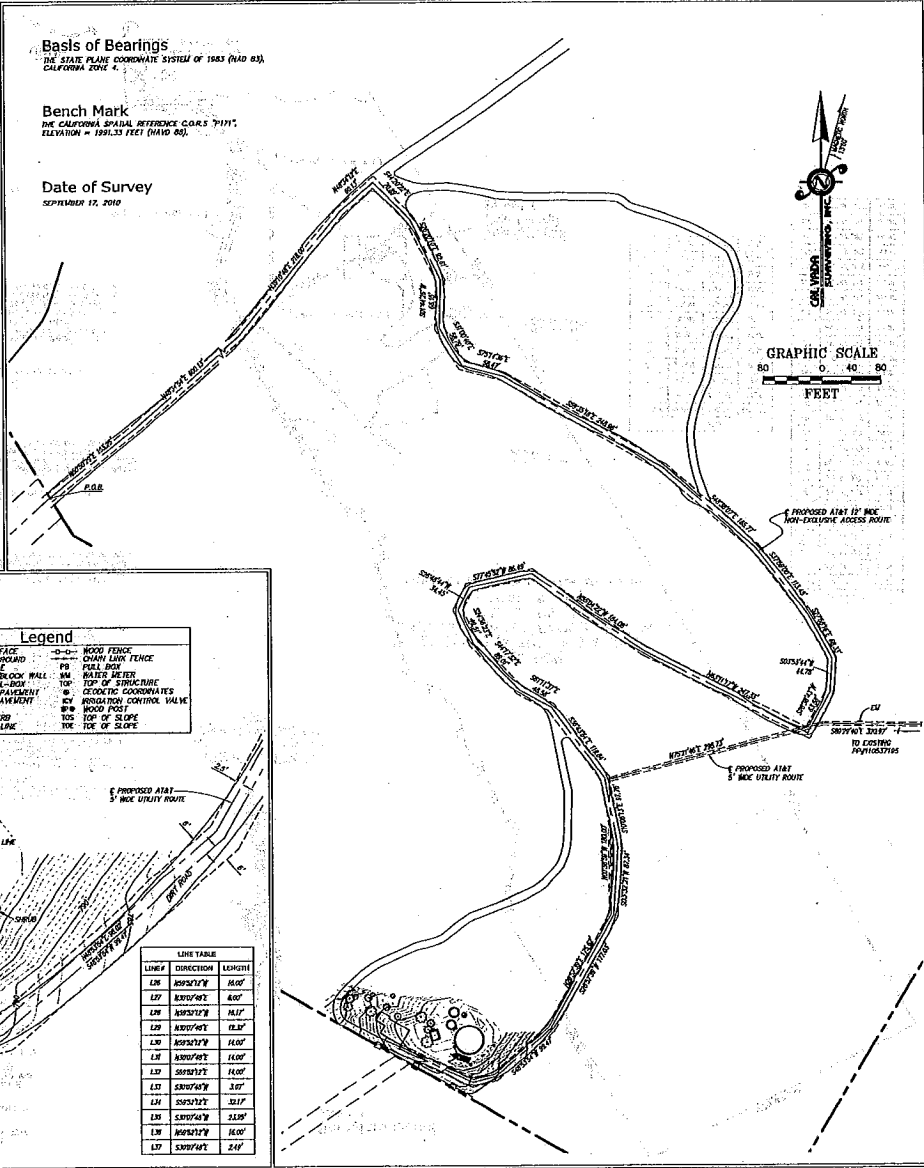
THE STATE PLANE COORDINATE SYSTEM OF 1983 (NAD 83), CALIFORNIA ZONE 4.

Bench Mark

THE CALIFORNIA SPATIAL REFERENCE CORNER 7917, ELEVATION = 1291.33 FEET (NAVD 88).

Date of Survey

SEPTEMBER 17, 2010



Legend

FS	FRESH SURFACE	CD	WOOD FENCE
NG	NATURAL GROUND	CL	CHAIN LINK FENCE
PO	POWER POLE	WA	WATER TOWER
WM	WATER MAIN	WM	WATER METER
WM	WATER PULL-BOX	TR	TRAIL
CC	CONCRETE CURB	TO	TOP OF SURFACE
CP	CONCRETE PAVEMENT	CO	CENTRIC COORDINATES
OP	EDGE OF PAVEMENT	CV	ROADWAY CONTROL VALVE
TR	TREE	MP	WOOD POST
TC	TOP OF CURB	MS	MOUND
PL	PROPERTY LINE	TS	TOP OF SLOPE
		TL	TOE OF SLOPE

LINE TABLE

LINE#	DIRECTION	LENGTH
L01	S00°07'48" W	16.00'
L02	S59°57'16" W	14.00'
L03	N59°57'16" W	14.17'
L04	N40°04'48" W	12.31'
L05	N49°02'12" W	14.00'
L06	N00°04'48" W	14.00'
L07	S00°04'48" W	14.00'
L08	S09°02'12" W	23.33'
L09	S00°07'48" W	3.07'
L10	S00°07'48" W	3.07'
L11	N01°57'58" W	16.00'
L12	N45°27'12" W	16.00'
L13	S03°29'23" W	8.00'
L14	S03°29'23" W	2.49'

JRA
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 Architecture & Telecommunications
 3 San Joaquin Plaza, Suite 155
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 Phone: (949) 766-3329
 Fax: (949) 766-3631

PROPRIETARY INFORMATION
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CONSULTANT
CAL VADA
 SURVEYING, INC.
 4134 14th, Suite 100, Corona, CA 92626
 Phone: 951-261-8888
 Fax: 951-261-8888
 www.calvada.com
 2004-10-1 10079

PREPARED FOR

 4130 Rosewood Drive
 Pleasanton, California 94588

APPROVALS

R.F.	DATE
SAC AND ZONING	DATE
ERICSSON CM	DATE
A&T CM	DATE
OWNER APPROVAL	DATE

PROJECT NAME
 Carmel Valley Rd.
 PROJECT NUMBER
 CN3235B
 60 HOLMAN ROAD,
 CARMEL VALLEY, CA 93924
 MONTEREY COUNTY

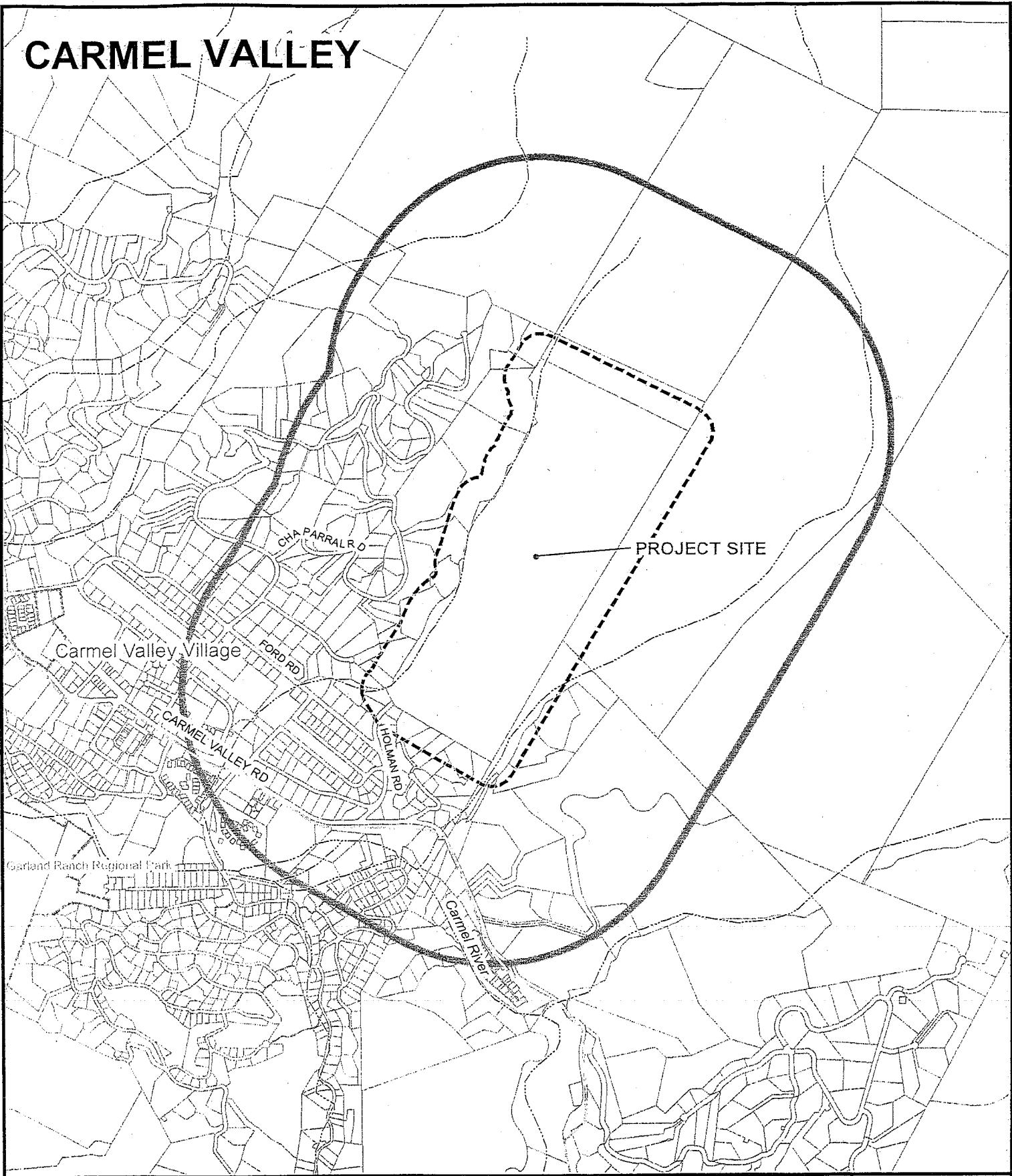
DATE: 09/22/10 DESCRIPTION: PRELIMINARY BY: MN
 11/19/10 TITLE REPORT / FINAL RAS

SHEET TITLE
 TOPOGRAPHIC SURVEY

C-1
 SHEET 1 OF 2

EXHIBIT D

CARMEL VALLEY

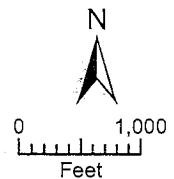


APPLICANT: HOLMAN RANCH HOLDINGS LLC

APN: 187-481-001-000

FILE # PLN090385

Water 2500' Limit 300' Limit City Limits



PLANNER: BRADLEY

EXHIBIT E

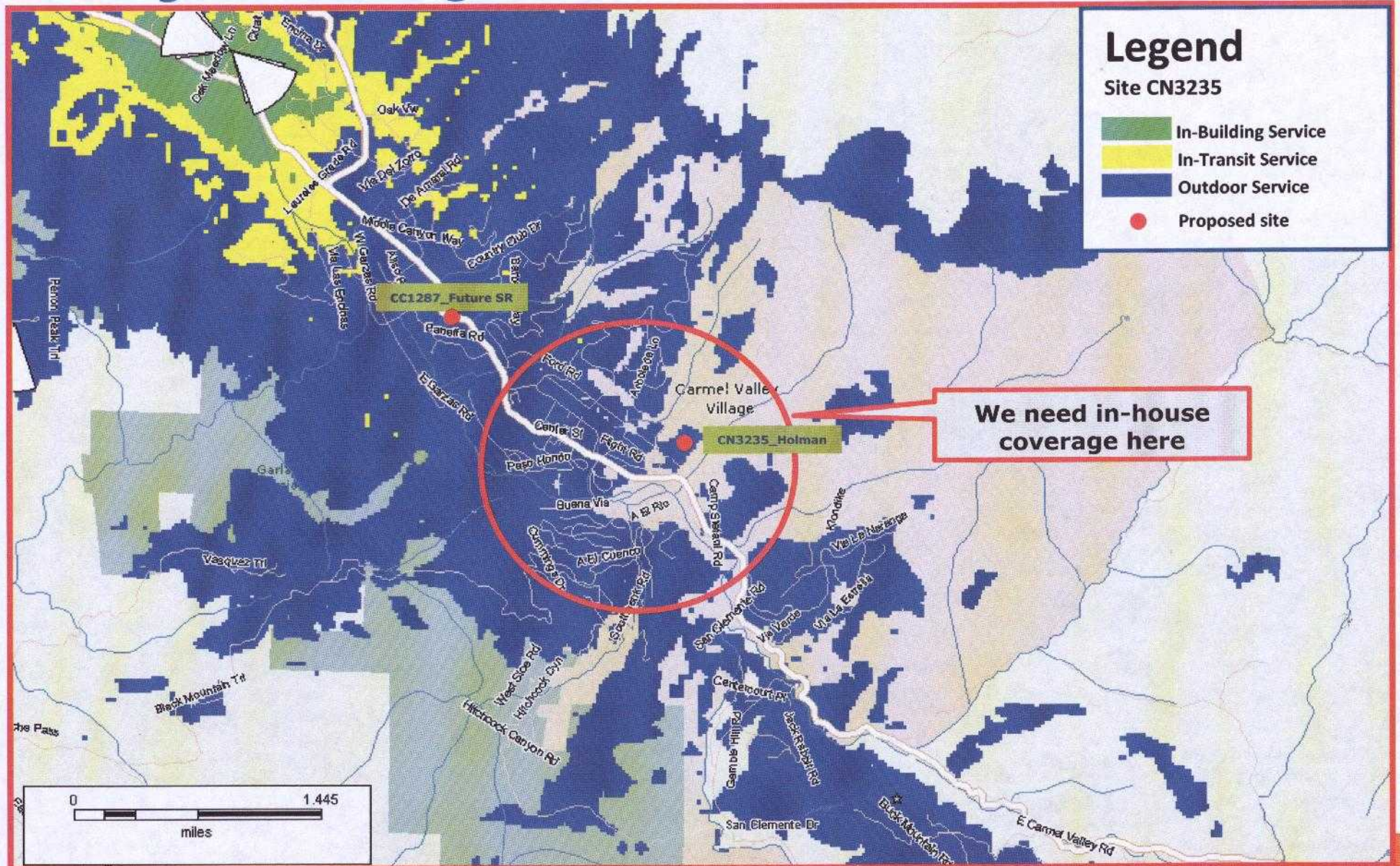
CN3235 Permanent Site Propagation Map

November 17th 2010

Site Objective: Provide coverage in the Carmel Valley Village as well as south of Carmel Valley Rd (2 mile south from Klondike rd & Carmel Valley rd.) in Monterey county.

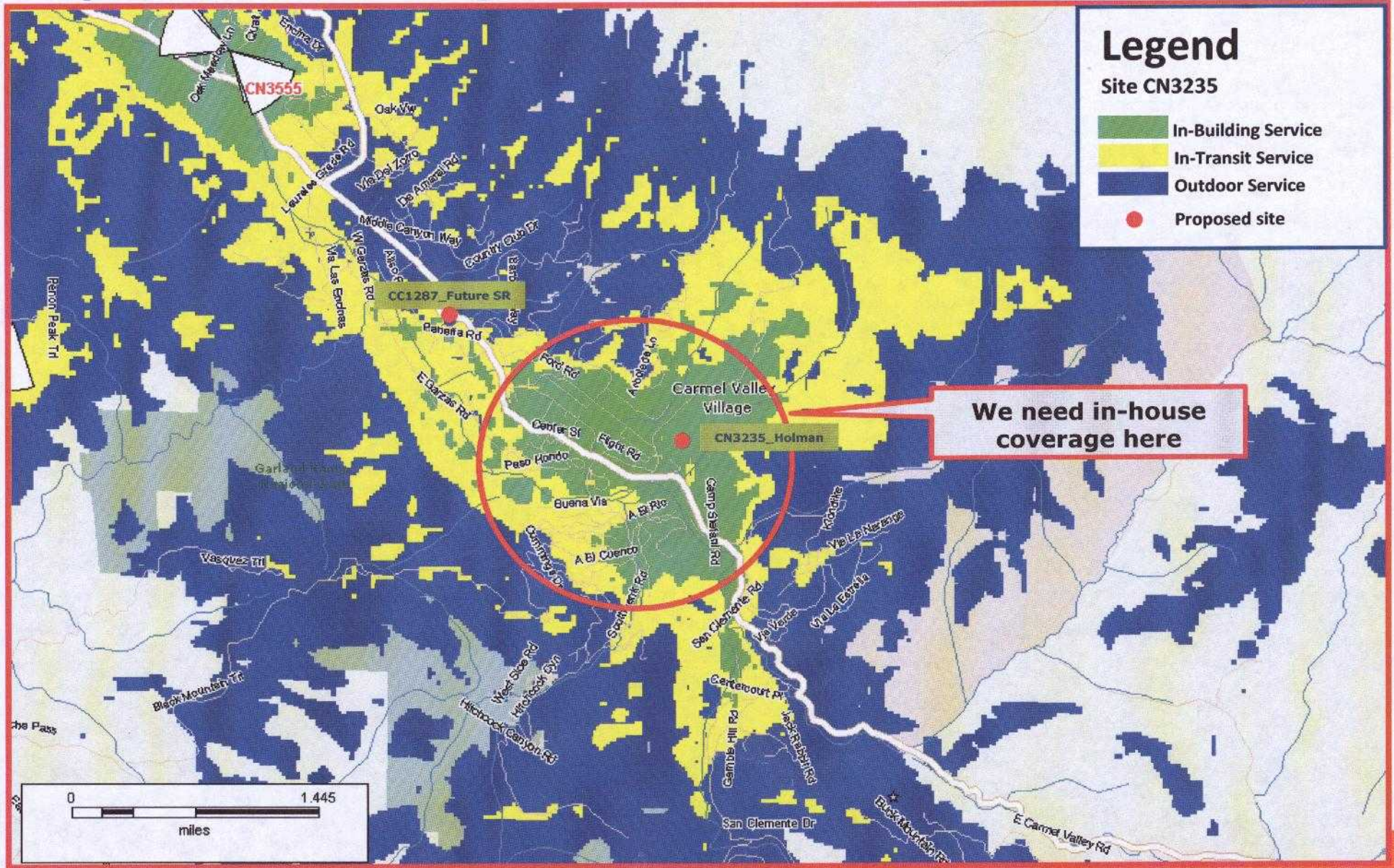
Existing 850 Coverage

November 17, 2010



Proposed 850 Coverage – Holman Ranch

November 17, 2010



Legend

Site CN3235

- In-Building Service
- In-Transit Service
- Outdoor Service
- Proposed site

We need in-house coverage here

EXHIBIT F

FLN090385
FILE COPY

MINUTES
Carmel Valley Land Use Advisory Committee
Monday, January 3, 2011

1. **Site visit at 3:30 PM at 60 HOLMAN RANCH RD CARMEL VALLEY (HOLMAN RANCH HOLDINGS LLC)**

ATTENDEES: Janet Brennan, Charles Franklin, Judy MacClelland, Doug Pease, Neil Agron

2. Meeting called to order by Janet Brennan at 6:32 pm

3. **Roll Call**

Members Present: Janet Brennan, Charles Franklin, Judy MacClelland, Doug Pease, John Anzini, Neil Agron, David Burbridge

Members Absent: None

4. **Approval of Minutes:**

A. December 6, 2010 minutes

Motion: John Anzini (LUAC Member's Name)

Second: Doug Pease (LUAC Member's Name)

Ayes: 7

Noes: 0

Absent: 0

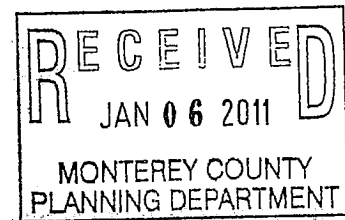
Abstain: 0

5. **Public Comments:** The Committee will receive public comment on non-agenda items that are within the purview of the Committee at this time. The length of individual presentations may be limited by the Chair.

None

FRANK HENNESSY ARCHITECT

100 ARBOLEDA LANE
CARMEL VALLEY CA 93924
T. 831 659 0447 F. 831 659 1925
E. fh1@redshift.com



Memorandum

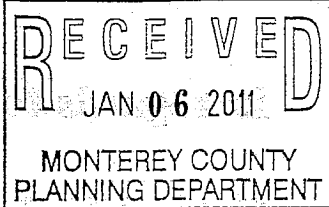
To: Carmel Valley Land Use Advisory Committee
From: Frank Hennessy, AIA
Date: January 3, 2011
Re: Proposed AT&T Tower on Holman Ranch Property

Dear Committee Members:

I moved to Carmel Valley in 1992 after looking for a long time for a house with a pristine view, uncluttered by power lines and ugly development. We are fortunate to have a beautiful natural view of Carmel Valley and the distant mountains. It is a constant joy in different lighting and weather and constitutes the primary component of our property's value. People walk up our street or park below our house, just to take in the view.

In the years I have lived here, I have seen miscellaneous insensitive houses, road cuts, transmission lines and water tanks negatively impact that view. We are right across from, and oriented directly toward, the proposed site. It is at eye-level with our window wall and deck. It is the closest hill to us and the most prominent foreground of our mountain view. The recently added water tanks and the story pole indicating the tower location are the ugly centerpiece in our view.

I am a land planner who has spent 40 years analyzing sites, particularly from the standpoint of visual sensitivity. I currently chair the design review board at the Santa Lucia Preserve whose main objective is to see that development is recessive and blends into the landscape. I understand the difficulty of finding a site no one objects to, but, frankly, I am not convinced AT&T has looked hard enough. The hundred-foot tower at the fire station was not a comparable alternative. As I look out from my deck at the vast hills, I can not believe there is not a better site that would work just as well without seriously impacting so many private views. I am also not impressed with the threat that we might lose cell reception if we don't rush this through. I happen to be an AT&T customer, but if it comes to preserving my view or switching, the choice is obvious.



The Holman Ranch has been a good neighbor, and we, in turn, have been tolerant of various construction projects which have expanded their facilities over formerly natural terrain. We wish them well in their wine operations. They have done an excellent job of restoring the historic structures and also in addressing the noise concerns that had been an issue with past owners. They have graciously hosted community events which we have enjoyed and appreciated. We trust that they are seeking community input on this project and are sensitive to our concerns.

Speaking in general, I do not feel the monetary gain to a host property owner who is not significantly affected, (the tower will not be in their viewshed) is in balance with the loss of value to the neighbors who have to look at the tower.

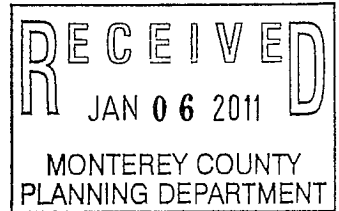
I understand the tower has to go someplace and that there are criteria for selecting an appropriate site. Obviously, there are many potential property owners who would welcome the tower, given the generous compensation. But you have to realize that everyone else whose view is marginalized or whose health is potentially threatened, or whose property value is diminished, is harmed in some measure. AT&T needs to find a spot with the least adverse affects, no matter how long it takes, or convince us that they have exhausted the possibilities.

I urge the Land Use Advisory Committee to recommend against approval of this site for a permanent AT&T transmission tower.

Sincerely,

A handwritten signature in black ink, appearing to read "Frank Hennessy". The signature is fluid and cursive.

Frank Hennessy



In regards to the

**Carmel Valley Land Use Advisory Committee meeting
that will consider a permit request by HOLMAN
RANCH HOLDINGS LLC**

File Number: PLN090385

Project Location: 60 HOLMAN RD CARMEL VALLEY

Project Planner: PAULA BRADLEY

Area Plan: CARMEL VALLEY MASTER PLAN

Project Description:

Combined Development Permit consisting of:

1) a Use Permit to allow the installation of a 40-foot high "treepole" wireless telecommunication facility, a 12 foot by 20 foot equipment shelter with a GPS antenna mounted to the shelter, a 20 foot long by 4 foot high CMU retaining wall, and a six foot wood fence enclosure;

2) a Use Permit for ridgeline development; and Design Approval. Grading is approximately 30 cubic yards cut and fill. The property is located at 60 Holman Road, Carmel Valley (Assessor's Parcel Number 187-481-001-000), Carmel Valley Master Plan Area.

Please consider my objection, as a neighbor to the Holman Ranch property, to allow the installation of the above described cell tower.

JORIE CLARK DESIGN

Jan. 3, 2011

To whom it may concern:

I strenuously object to the proposed AT&T cell tower on Holman Ranch, for various reasons

A. VIEWSHED

The proposed tower is directly in front of my main view, very close and highly visible. This is a view that I have enjoyed for close to twenty years. As Architect and designer, we purchased our property due to its superb and unobstructed view. I do not feel it is fair for our neighbor to gain 60,000.00-dollars per year, at our expense and devalue our property. The proposed tower does not affect the Holman ranch view. Also, it is my experience that many people come up our street on foot, walking their dogs, on bikes and in cars, just to enjoy this magnificent spanning valley view, every day. The tower will spoil their experience as well. I do not think it is good for the community at large for AT&T and the Holman Ranch to profit from our loss.

B. POTENTIAL HEALTH HAZARDS

Although there are standard regulations for radiation levels, most European countries keep their standards very low compared to US standards. Although the cell phone industry is very young, there is a growing concern that these levels of radiation can cause a myriad of negative health effects, including cancer, hormonal imbalances, and many other maladies. I do not wish to be subjected to this. The tower is located directly in front of our property and at a very close range, at the same elevation. The Holman Ranch complex is well below that level. I believe that there is a possibility that in time, more research will surface regarding the health hazards of this radiation, and I do not wish to look out and suffer the daily worry of feeling that I am subjected to it. That's why I live in this area, to avoid such possible negative health hazards.

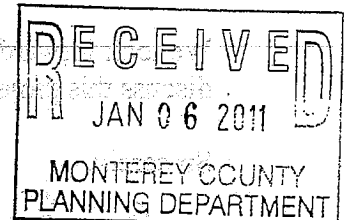
C. DEVALUING OF PERSONAL REAL ESTATE

I believe that the proposed tower could devalue our real estate for 1) aesthetic reasons and 2) because it may be viewed to be a potential health threat.

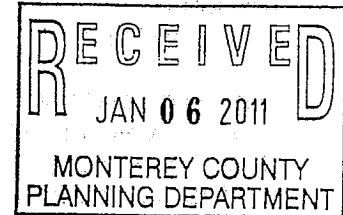
Coming to local residents with a last minute "OR ELSE" ultimatum, because of AT&T's inability to renew their temporary permit is outlandish.

They can find an acceptable rural site that does not ruin the public and private view shed. I sincerely hope that At& T will come up with a better solution, and optional locations, and give Carmel Valley residents the time to consider them.

Jorie Clark



Carmel Valley Association
P.O. Box 157, Carmel Valley, California 93924
www.carmelvalleyassociation.org



January 3, 2011

LUAC, Carmel Valley
PN 090385, Holman Ranch Holdings, Inc.
Cell Tower

Dear Chair Brennan and Committee Members,

We are writing concerning the application by Holman Ranch to install a cell tower on a ridgeline on their property.

We have the following questions:

1. In the previous application by Holman Ranch (heard January 13, 2010, Planning Commission, PLN 080450) for a wine cave and production plant, condition #14 required the filing of a Scenic Easement: "A scenic easement shall be conveyed to the County over those portions of the property where the slope exceeds 30%. The easement shall be developed in consultation with certified professional. A scenic easement deed shall be submitted to, and approved by, the Director of the RMA – Planning Department prior to issuance of grading or building permits." **How does the current application for a cell tower interface with the scenic easement concerns addressed previously? Has the scenic easement been conveyed yet? If not, should a decision on this project be postponed based on the finished scenic easement conveyance?**
2. Additionally, in the previously mentioned list of conditions, grading was limited for the prior project to no winter grading. Condition #8, "No land clearing or grading shall occur on the subject parcel between October 15 and April 15, unless authorized by the Director of RMA – Building Services Department." **We would ask that the same condition be imposed on this project.**

We look forward to hearing answers to our concerns, and having them considered as you discuss this project. Thank you.

Sincerely,

Christine Williams, President

"To preserve, protect and defend the natural beauty and resources of Carmel Valley"

EXHIBIT G

County of Monterey
 State of California
NEGATIVE DECLARATION

FILE COPY

FILED

FEB 23 2011

STEPHEN L. VAGNINI
 MONTEREY COUNTY CLERK
 DEPUTY

Project Title:	AT&T Permanent Facility-Holman Ranch
File Number:	PLN090385
Owner:	Holman Ranch, LLC., Contact: Todd Kenyon General Manager, AT&T Mobility, Contact: Tasha Skinner, Real Estate Manager.
Project Location:	60 Holman Road off Carmel Valley Road, Carmel Valley Master Plan Area.
Primary APN:	187-481-001-000
Project Planner:	Paula Bradley, Project Planner
Permit Type:	Combined Development Permit / Use Permit
Project Description:	A Combined Development Permit consisting of: 1) a Use Permit to allow the temporary deployment and location of a Cellular site On-Wheels (COW); and the more permanent installation of a 40-foot high "tree-pole" wireless telecommunication facility, including a 12 foot by 20 foot equipment shelter with mounted GPS antenna, a 20 foot long by 4 foot high CMU retaining wall, and a six foot tall wood fence enclosure; and 2) a Use Permit for ridgeline development; and Design Approval. Grading is approximately 30 cubic yards cut and fill.

THIS PROPOSED PROJECT WILL NOT HAVE A SIGNIFICANT EFFECT ON THE ENVIRONMENT AS IT HAS BEEN FOUND:

- a) That said project will not have the potential to significantly degrade the quality of the environment.
- b) That said project will have no significant impact on long-term environmental goals.
- c) That said project will have no significant cumulative effect upon the environment.
- d) That said project will not cause substantial adverse effects on human beings, either directly or indirectly.

Decision Making Body:	Monterey County Planning Commission
Responsible Agency:	County of Monterey
Review Period Begins:	February 24, 2011
Review Period Ends:	March 28, 2011

Further information, including a copy of the application and Initial Study are available at the Monterey County Resource Management Agency, Planning Services Counter, 168 West Alisal St, 2nd Floor, Salinas, CA 93901 (831) 755-5025.

MONTEREY COUNTY

RESOURCE MANAGEMENT AGENCY – PLANNING DEPARTMENT
168 WEST ALISAL, 2ND FLOOR, SALINAS, CA 93901
(831) 755-5025 FAX: (831) 755-9516



NOTICE OF INTENT TO ADOPT A NEGATIVE DECLARATION MONTEREY COUNTY PLANNING COMMISSION

NOTICE IS HEREBY GIVEN that the Monterey County Resource Management Agency – Planning Department has prepared a draft Negative Declaration, pursuant to the requirements of CEQA, for a Combined Development Permit (AT&T Permanent Cellular Facility-Holman Ranch, File Number #PLN090385) at 60 Holman Road off Carmel Valley Road. (APN #187-481-001-000) (See description below). The proposed project includes two main components: 1) the temporary deployment and location of a Cellular site On Wheels (COW); and 2) the installation of a permanent communication facility. The COW is intended to allow AT&T continued coverage and service in the Carmel Valley area while a permanent facility is under construction. The Negative Declaration and Initial Study, as well as referenced documents, are available for review at the Monterey County Resource Management Agency – Planning Department, 168 West Alisal, 2nd Floor, Salinas, California. The Planning Commission will consider this proposal at a meeting on March 30, 2011 at 9:00 am in the Monterey County Board of Supervisors Chambers, 168 West Alisal, 2nd Floor, Salinas, California. Written comments on this Negative Declaration will be accepted from February 24, 2011 to March 28, 2011. Comments can also be made during the public hearing.

- roject Description:

A Combined Development Permit consisting of: 1) A Use Permit to allow the temporary use of a Cellular on Wheels (COW) portable telecommunication facility to be used during the construction period of formal telecommunications facilities; and 2) a Use Permit to allow the installation of a 40 foot high "tree-pole" telecommunication facility, a 12 foot by 20 foot equipment shelter with a GPS antenna mounted to the shelter, a 20 foot long by 4 foot high CMU retaining wall, and a six foot tall wood fence enclosure; and 3) a Use Permit for ridgeline development; and Design Approval. Grading is approximately 30 cubic yards cut and fill. The property is located at 60 Holman Road, Carmel Valley (Assessor's Parcel Number 187-481-001-000), Carmel Valley Master Plan Area.

All written comments on the Initial Study should be addressed to:

County of Monterey Resource Management Agency – Planning Department
Attn: Mike Novo, Director of Planning
168 West Alisal, 2nd Floor, Salinas, CA 93901

From: Agency Name: _____
Contact Person: _____
Phone Number: _____

- No Comments provided
 Comments noted below
 Comments provided in separate letter

COMMENTS: _____

We welcome your comments during the 30-day public review period. You may submit your comments in hard copy to the name and address above. The Department also accepts comments via e-mail or facsimile but requests that you follow these instructions to ensure that the Department has received your comments. To submit your comments by e-mail, please send a complete document including all attachments to:

CEQAcomments@co.monterey.ca.us.

An e-mailed document should contain the name of the person or entity submitting the comments and contact information such as phone number, mailing address and/or e-mail address and include any and all attachments referenced in the e-mail. To ensure a complete and accurate record, we request that you also provide a follow-up hard copy to the name and address listed above. If you do not wish to send a follow-up hard copy, then please send a second e-mail requesting confirmation of receipt of comments with enough information to confirm that the entire document was received. If you do not receive e-mail confirmation of receipt of comments, then please submit a hard copy of your comments to ensure inclusion in the environmental record or contact the Department to ensure the Department has received your comments.

Facsimile (fax) copies will be accepted with a cover page describing the extent (e.g. number of pages) being transmitted. A faxed document must contain a signature and all attachments referenced therein. Faxed document should be sent to the contact noted above at **(831) 757-9516**. To ensure a complete and accurate record, we request that you also provide a follow-up hard copy to the name and address listed above. If you do not wish to send a follow-up hard copy, then please contact the Department to confirm that the entire document was received.

For reviewing agencies: The Resource Management Agency – Planning Department requests that you review the enclosed materials and provide any appropriate comments related to your agency's area of responsibility. The space below may be used to indicate that your agency has no comments or to state brief comments. In compliance with Section 15097 of the CEQA Guidelines, please provide a draft mitigation monitoring or reporting program for mitigation measures proposed by your agency. This program should include specific performance objectives for mitigation measures identified (CEQA Section 21081.6(c)). Also inform this Department if a fee needs to be collected in order to fund the mitigation monitoring or reporting by your agency and how that language should be incorporated into the mitigation measure.

DISTRIBUTION

1. State Clearinghouse (15 copies)—include Notice of Completion
2. County Clerk's Office
3. Association of Monterey Bay Area Governments
4. Carmel Unified School District
5. Pacific Gas & Electric
6. Pacific Bell
7. Monterey Bay Unified Air Pollution Control District
8. Carmel Regional Fire Protection District
9. Monterey County Water Resources Agency
10. Monterey County Public Works Department
11. Monterey County Parks Department
12. Monterey County Division of Environmental Health
Monterey County Sheriff's Office
14. Holman Ranch, LLC., Contact: Todd Kenyon General Manager, Owner
15. Denise Duffy & Associates, Contact: Tyler Potter, Agent
16. AT&T Mobility, Contact Tasha Skinner, Real Estate Manager, Operator
17. Property Owners within 300 feet (Notice of Intent only)

MONTEREY COUNTY
RESOURCE MANAGEMENT AGENCY

PLANNING DEPARTMENT
168 WEST ALISAL ST., 2nd FLOOR, SALINAS, CA 93901
PHONE: (831) 755-5025 FAX: (831) 757-9516



INITIAL STUDY

I. BACKGROUND INFORMATION

Project Title: AT&T Permanent Facility-Holman Ranch

File No.: PLN090385

Project Location: 60 Holman Road off Carmel Valley Road.

Name of Property Owner: Holman Ranch, LLC., Contact: Todd Kenyon General Manager

Name of Applicant: Denise Duffy & Associates, Contact Tyler Potter for
AT&T Mobility, Contact Tasha Skinner, Real Estate Manager

Assessor's Parcel Number(s): 187-481-001-000

Acreage of Property: Approximately 175 Acres

General Plan Designation: Residential – Rural Density – 10ac/unit

Zoning District: RDR/10-D-S-RAZ

Lead Agency: Resource Management Agency – Planning Department

Prepared By: Taven M. Kinison Brown, Planning Services Manager

Date Prepared: February 20, 2011

Contact Person: Paula Bradley, Project Planner

Phone Number: 831-755-5158

II. DESCRIPTION OF PROJECT AND ENVIRONMENTAL SETTING

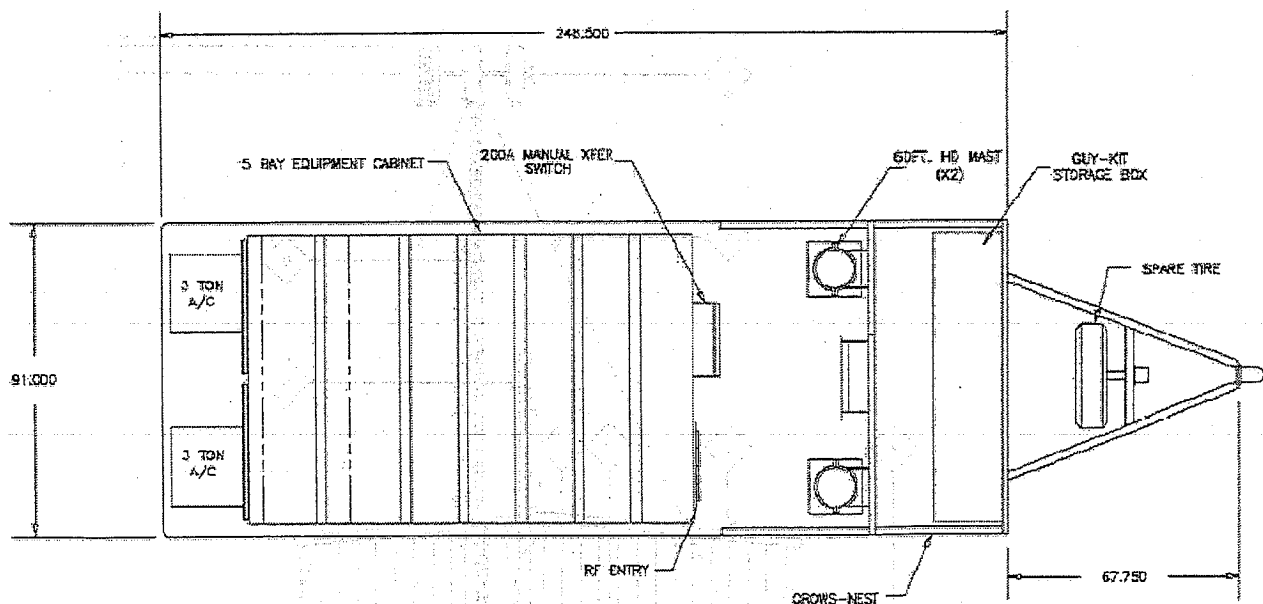
A. **Description of Project:** The proposed project includes two components: 1) the temporary deployment and location of a Cellular site On Wheels (COW); and 2) the installation of a permanent wireless communication facility. The COW is intended to allow AT&T continued coverage and service in the Carmel Valley area while a permanent facility is under construction.

The Cellular Facility on Wheels

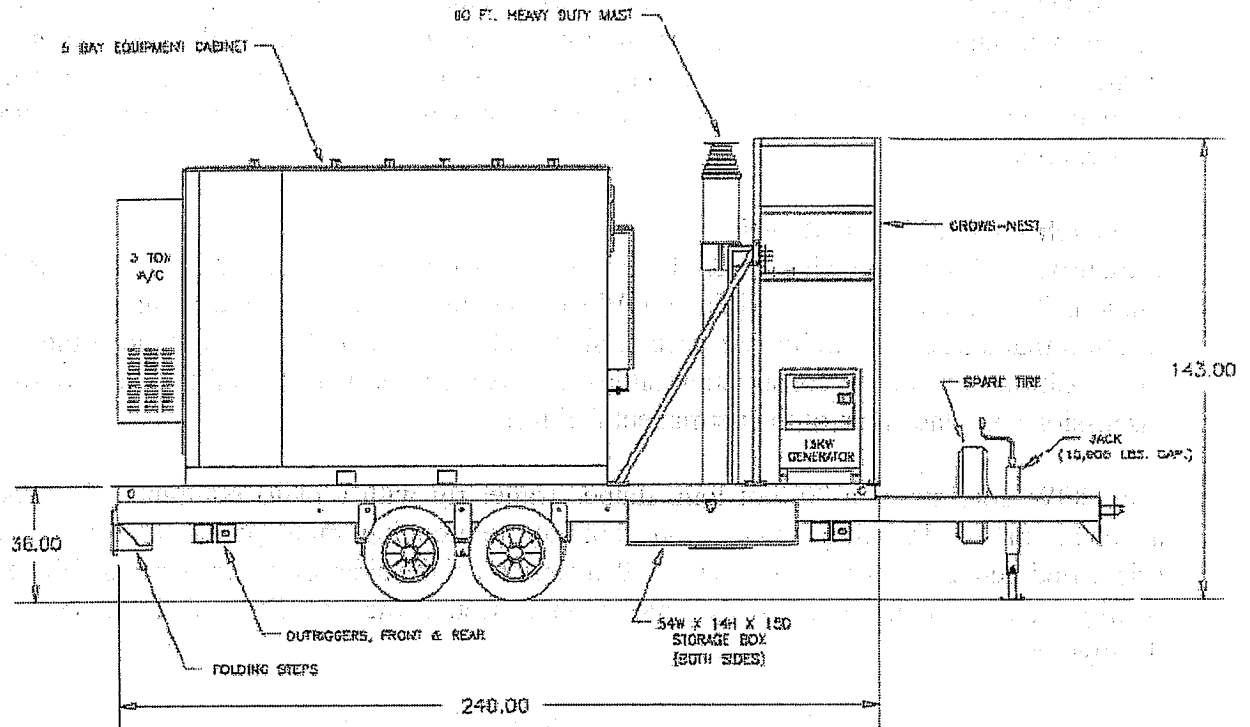
Presently, AT&T is operating a Cellular on Wheels (COW) facility at the Carmel Valley Fire Station. The mobility of a Cellular on Wheels facility allows its placement in most any location that a truck and trailer rig is accessible. Staff understands that ATT would move the COW into position next to the construction site of the desired permanent facility. (See following discussions on placement of the permanent facility).

The COW consists of a 20-foot long flatbed trailer rig with a radio equipment box/room, attached air conditioning units, a 60 foot tall telescoping multi-panel cellular antenna (identified here as a mast), outrigger feet that stretch off the sides of the trailer to stabilize the facility, and several guyed wires that further secure the stability of the antenna on deployment.

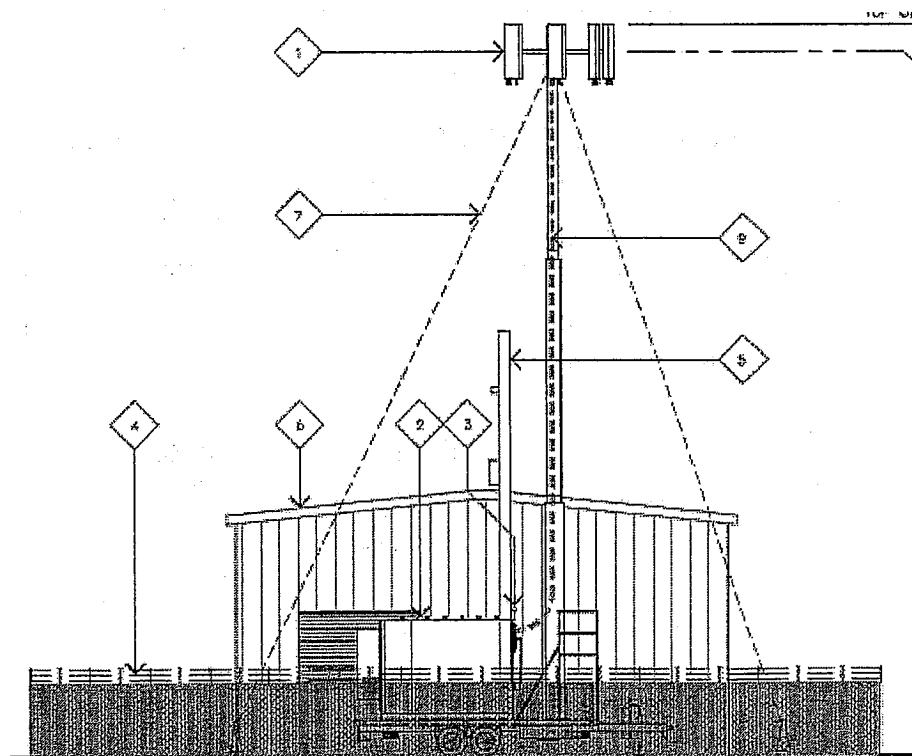
Plan view of the Cellular on Wheels rig.
(Units of measure are inches)



Elevation / Profile view of the Cellular on Wheels rig.
 (Units of measure are inches)



Rendering of the COW extended to height.



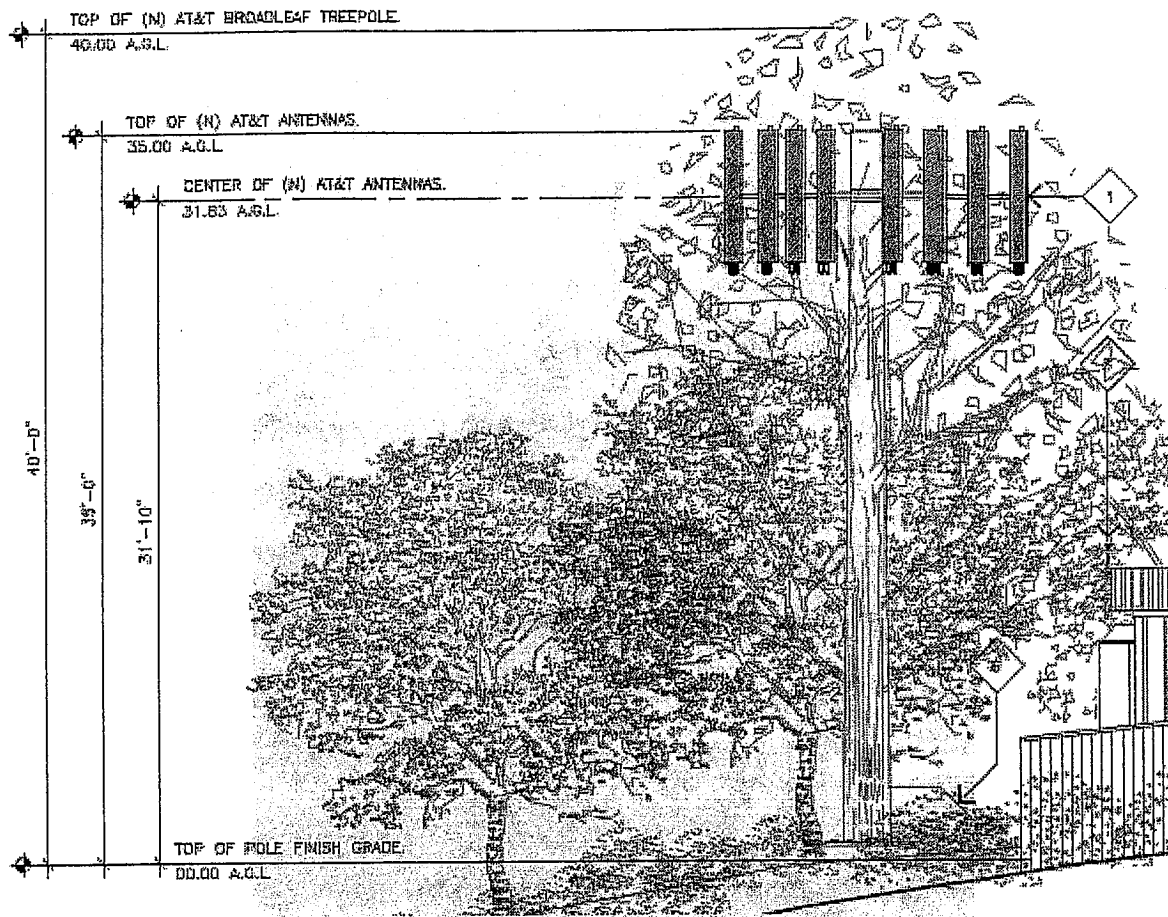
Field deployment photograph of the COW adjacent to the Carmel Valley Fire Station.



Accordingly, the mobile cellular facility would need to be wired into existing telecommunications lines by tying into existing poles in the vicinity. If wired power is not readily available to support the COW a generator unit will be temporarily brought in to power the site. Due to the relative remoteness of the site proximate to sensitive receptors, topographical considerations, and the temporary use of such a generator, noise issues are not anticipated. It has not been determined at this time whether a chain link security fence would be needed for the temporary deployment while a permanent facility is under construction. But if so, AT&T has secured such sites with 6-foot tall chain link fence, topped by three strands of barbed wire and somewhat-screened by the insertion of wood slats through the links.

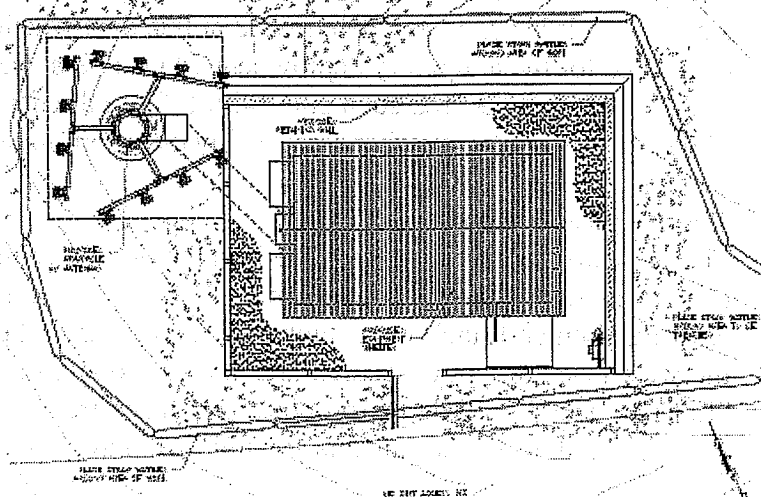
The Proposed Permanent Facility

The permanent facility includes the installation of a cellular antenna to look like a broad leaf tree at approximately 40 feet in height on a knoll on the Holman Ranch adjacent to an existing Holman Ranch water tank and pump house. The tree pole will be placed adjacent to the west fence of a new secured area and is proposed to resemble a broad leafed tree with a "full bark trunk." While the proposed simulated tree will have a maximum height of 40 feet from grade, the antennas disguised within will have a maximum height of 35 feet.

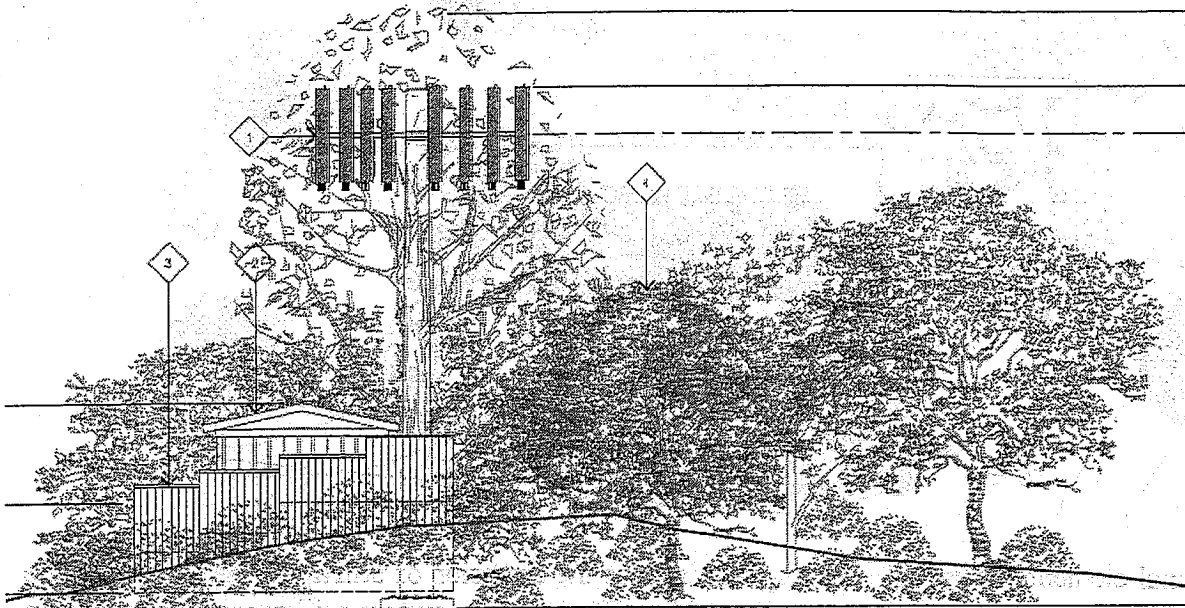


The project entails construction of a 12 foot by 20 foot (240 square foot) equipment shelter on top of a 655 square foot leveled pad area. The secured equipment shelter is proposed to match the materials and colors of the existing Holman pump house on the knoll by incorporating a metal corrugated roof and wood shingled siding painted to match the adjacent pump house.

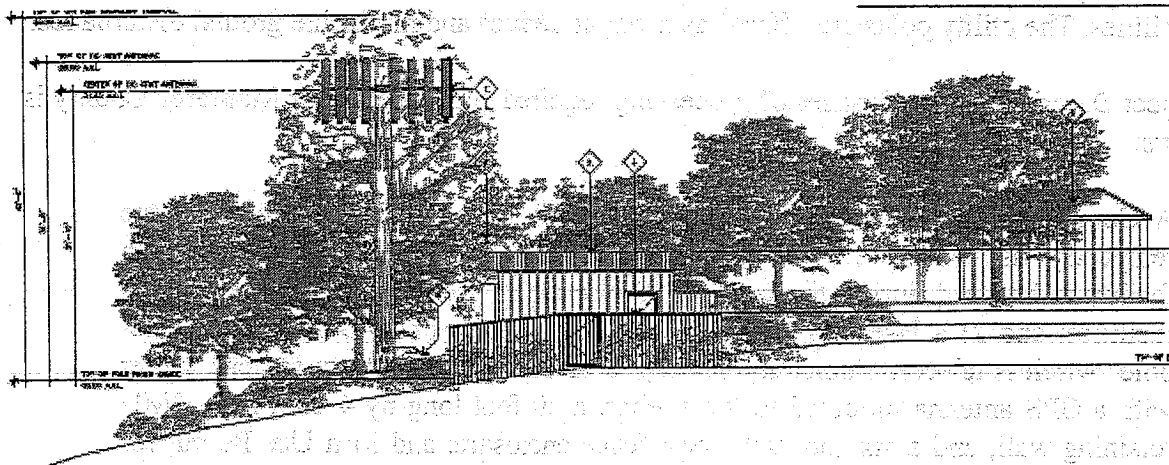
To accommodate the topography and pad, the northern rear and eastern walls of the pad area will incorporate a small to modest retaining wall and the southern front and western side of the pad area will be secured by a 6 foot tall wooden fence. Approximately 30 cubic yards of cut is anticipated to level the pad. The wood fence will "step up" along the gentle slope of the site giving a unified 6 foot height to the exterior of the equipment area to be secured. Surrounding the retaining wall on the northern and eastern sides will be a drainage swale to direct runoff around the small facility.



View of proposal looking westward.

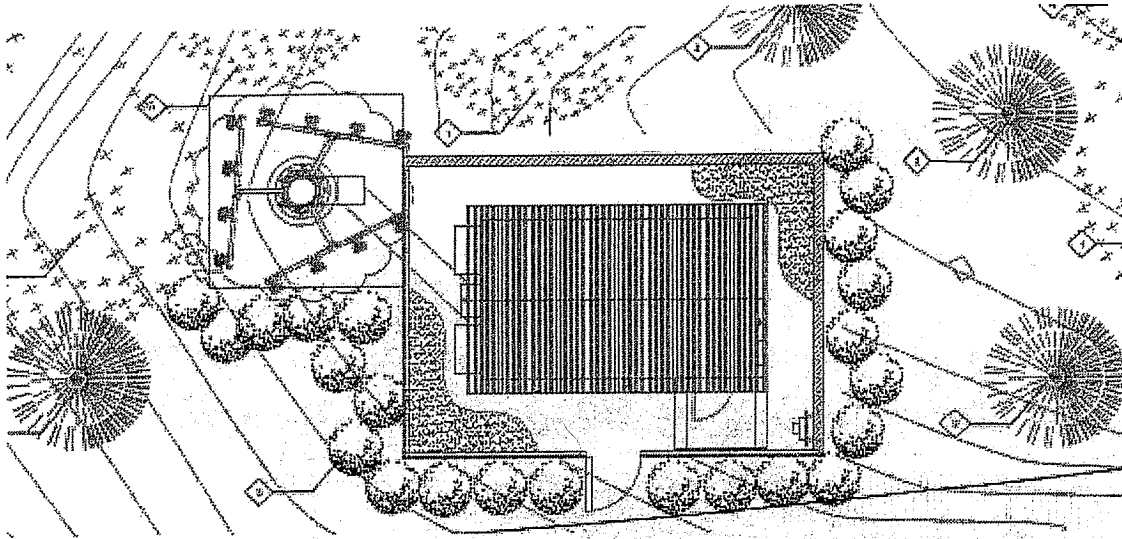


View of proposal looking northward.



Additionally, the applicants have proposed landscaping to reduce the visibility and awareness of the new facility. Immediately surrounding the 655 square foot secured pad area and the adjacent tree pole foundation area, the applicant has proposed to install approximately 40 coffee berry trees/shrubs. This landscape is proposed to be supplemented by the planting of four Mountain Mahogany Trees: one west, two east, and one to the north. An irrigation plan has been submitted to sustain the proposed landscaping until established.

Proposed Landscaping



Additional elements of the cellular proposal include the extension of utilities to and from the site such as electricity and telecommunication cables. The irrigation system will require an extension of water from the nearby storage tanks. These utilities will partly be undergrounded along existing ranch roads to the pump house and new cellular site, but will then translate to three or four new utility poles as the communication and power lines travel to the east for connection to other facilities. The utility poles are offered as a way to reduce and minimize ground disturbance.

The Project Description for purposes of processing required entitlements for Monterey County is as follows:

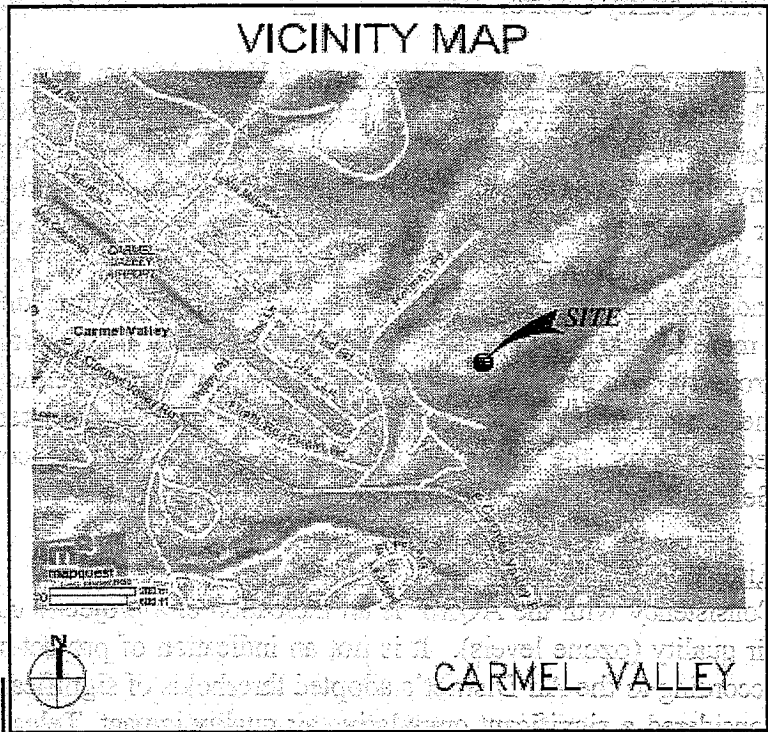
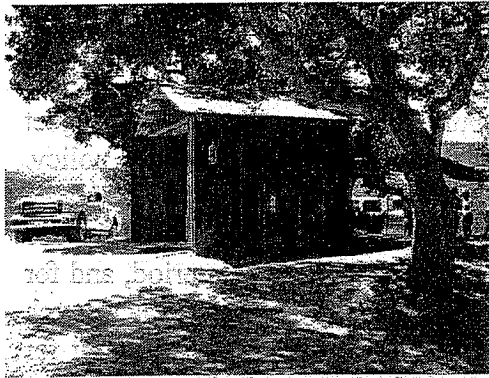
A Combined Development Permit consisting of: 1) A Use Permit to allow the temporary use of a Cellular on Wheels (COW) portable telecommunication facility to be used during the construction period of formal telecommunications facilities; and 2) a Use Permit to allow the installation of a 40 foot high "tree-pole" wireless telecommunication facility, a 12 foot by 20 foot equipment shelter with a GPS antenna mounted to the shelter, a 20 foot long by 4 foot high CMU retaining wall, and a six foot tall wood fence enclosure; and 3) a Use Permit for ridgeline development; and Design Approval. Grading is approximately 30 cubic yards cut and fill. The property is located at 60 Holman Road, Carmel Valley (Assessor's Parcel Number 187-481-001-000), Carmel Valley Master Plan Area.

While several environmental issues are discussed and expanded upon within this study, the main issues of concern are for **aesthetics** and **visibility**. The Holman Ranch knoll is a visible area from both east and west along Carmel Valley road, yet does not really stand out to attract one's eye as a traveler. As such, that would be the goal with siting a new feature on that knoll – to not have it stand out to attract one's eye as a traveler. Visual simulations have been submitted with the application and are presented below within the discussion on Aesthetics. The present water tanks

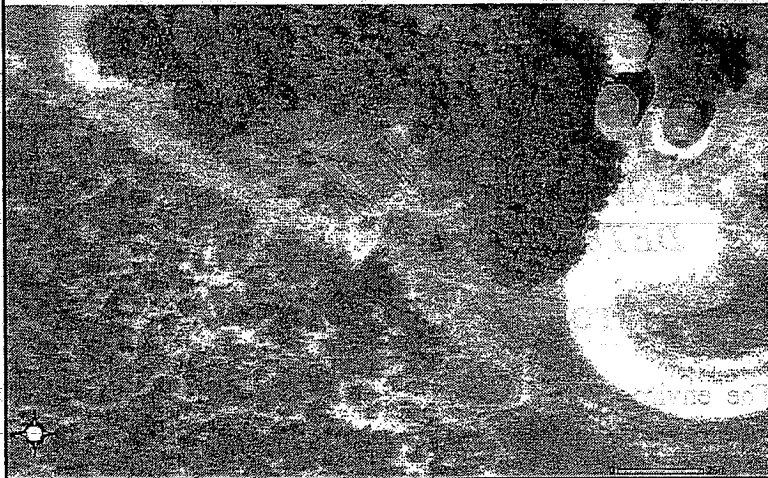
and pump house are modestly screened with existing and planted vegetative screening in keeping with the landscape in the vicinity. No other significant environmental issues are known.

B. Surrounding Land Uses and Environmental Setting:

The site is located within Holman Ranch on the north side of Carmel Valley southeast of the Carmel Valley Village. The Holman Ranch stables and office are to the north, and a few scattered residences are at the base of the slope to the southwest, with more dense residential development beyond. The hilltop just east of the site includes a large metal water tank, two smaller polyethylene water tanks, and an associated wooden pump house.



The proposed communication tower facility will be located at the top of a hill overlooking Carmel Valley to the southwest and Holman Ranch to the northeast. The site falls off moderately to the southwest with approximately 300 feet of relief and is covered with a moderate to heavy growth of native vegetation of mostly oaks and grasses, sparse pine trees, with pockets of dense chaparral and poison oak. The surrounding terrain consists of gently to moderately sloping hills and steep mountains dissected by steep canyons.



C. Other public agencies whose approval is required:
Monterey County Building Services Department

III. PROJECT CONSISTENCY WITH OTHER APPLICABLE LOCAL AND STATE PLANS AND MANDATED LAWS

Use the list below to indicate plans applicable to the project and verify their consistency or non-consistency with project implementation.

- | | | | |
|----------------------------|-------------------------------------|---------------------------|-------------------------------------|
| General Plan/Area Plan | <input checked="" type="checkbox"/> | Air Quality Mgmt. Plan | <input checked="" type="checkbox"/> |
| Specific Plan | <input type="checkbox"/> | Airport Land Use Plans | <input type="checkbox"/> |
| Water Quality Control Plan | <input type="checkbox"/> | Local Coastal Program-LUP | <input type="checkbox"/> |

Monterey County General Plan/Carmel Valley Master Plan

The proposal was reviewed for consistency with the 2010 Monterey County General Plan and the Carmel Valley Master Plan. Section VI.9 (Land Use and Planning) discusses whether the project physically divides an established community, conflicts with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project or conflicts with any applicable habitat conservation plan or natural community conservation plan. The project consists of the use and operation of a temporary telecommunications facility during the construction period, and for a more formal "camouflaged" telecommunication facility on top of a knoll on the Holman Ranch property. Subject to issuance of a Use Permit for Ridgeline Development, and a Use Permit for the telecommunications facility that demonstrates consistency with County Codes and zoning requirements, the proposed facility can be made to be consistent with the Monterey County General Plan and the Carmel Valley Master Plan.

Air Quality Management Plan (AQMP)

Consistency with the AQMP is an indication of a project's cumulative adverse impact on regional air quality (ozone levels). It is not an indication of project-specific impacts, which are evaluated according to the Air District's adopted thresholds of significance. Inconsistency with the AQMP is considered a significant cumulative air quality impact. Telecommunication facilities are evaluated on a case-by-case basis. This project should not result in a population increase and, therefore, would be consistent with the AQMP since it would not significantly contribute to cumulative impacts on regional air quality (Source #5).

IV. ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED AND DETERMINATION

A. FACTORS

The environmental factors checked below would be potentially affected by this project, as discussed within the checklist on the following pages.

- | | | |
|--|---|--|
| <input checked="" type="checkbox"/> Aesthetics | <input type="checkbox"/> Agriculture and Forest Resources | <input checked="" type="checkbox"/> Air Quality |
| <input checked="" type="checkbox"/> Biological Resources | <input checked="" type="checkbox"/> Cultural Resources | <input type="checkbox"/> Geology/Soils |
| <input type="checkbox"/> Greenhouse Gas Emissions | <input checked="" type="checkbox"/> Hazards/Hazardous Materials | <input type="checkbox"/> Hydrology/Water Quality |
| <input checked="" type="checkbox"/> Land Use/Planning | <input type="checkbox"/> Mineral Resources | <input type="checkbox"/> Noise |
| <input type="checkbox"/> Population/Housing | <input type="checkbox"/> Public Services | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Transportation/Traffic | <input type="checkbox"/> Utilities/Service Systems | <input checked="" type="checkbox"/> Mandatory Findings of Significance |

Some proposed applications that are not exempt from CEQA review may have little or no potential for adverse environmental impact related to most of the topics in the Environmental Checklist; and/or potential impacts may involve only a few limited subject areas. These types of projects are generally minor in scope, located in a non-sensitive environment, and are easily identifiable and without public controversy. For the environmental issue areas where there is no potential for significant environmental impact (and not checked above), the following finding can be made using the project description, environmental setting, or other information as supporting evidence.

FINDING: For the above referenced topics that are not checked off, there is no potential for significant environmental impact to occur from either construction, operation or maintenance of the proposed project and no further discussion in the Environmental Checklist is necessary.

EVIDENCE: The environmental factors listed above have been reviewed in light of the current proposed wireless communication facility. It has been determined that the proposed wireless communication facility will not have a significant effect on the environment because no significant physical changes are proposed as part of this application.

Based upon the planner's project analysis, many of the above topics on the checklist do not apply. Less than significant impacts are identified for **Aesthetics, Air Quality, Biological Resources, Cultural Resources, Hazards and Hazardous Materials, Land Use / Planning**. The project will have no quantifiable adverse environmental effect on the categories not checked above, as follows:

Agriculture and Forest Resources - Based upon the General Plan and County resource maps, the proposed project would not convert prime farmland or otherwise conflict with agricultural zoning or uses. The project site is not under a Williamson Act Contract. Project development will not result in conversion of farmland to non-agricultural use. The property is not zoned as forest

land or for timberland production. There is no present or historical agricultural production that could be affected by the proposed project (Source: 1 - 6).

Geology and Soils - According to the Monterey County Geographic Information System and resource maps, the property is located in a Seismic Hazard VI Zone (very high). The project site is located 1.2 miles northeasterly of the Monterey Bay - Tularcitos Fault, 8.1 miles southwesterly of the Rinconada Fault and 13 miles northeasterly of the San Gregorio Fault. The project site is also located approximately .6 miles south of the Laureles Fault, 1.2 miles southwesterly of the Chupines Fault and 1.2 miles northeasterly of the Cachagua Fault. Severe ground vibration will result from a major earthquake centered on any of the nearby faults. The proposed telecommunications facility should be designed to withstand severe shaking and lateral accelerations generated by a severe earthquake centered nearby on one of the area faults. The proposed project consists of the installation of a wireless communications antenna and support equipment structure. No structures built for human habitation are proposed. The construction of the tower is required to conform to the Uniform Building Code, which contains regulations to protect structures within active or potentially active seismic areas. The project will be conditioned to comply with the designs and recommendations of the Soils Survey and Geotechnical reports prepared for this project to assure compliance with the Uniform Building Code. It is not anticipated that the project will impact these geological hazards. The proposed project will not result in significant soil erosion nor be located on unstable or expansive soils. (Source: 1 - 6, 9, 10, 16).

Greenhouse Gas Emissions - During the construction period, various work vehicles and equipment will be used to construct the facility, but will not remain on the property for the life of the project. The telecommunications facility will not generate greenhouse gas emissions, either directly or indirectly or have a significant impact on the environment? The operation of such a facility will not conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases.

The enactment of AB 32, the Global Warming Solutions Act, which was signed into legislation by Governor Schwarzenegger in September 2006, requires that greenhouse gas emissions be reduced to 1990 levels by the year 2020. Increased emissions of greenhouse gases due to developmental pressures have resulted in multiple adverse environmental effects, including sea level rise, increased incidence and intensity of severe weather events (e.g., heavy rainfall, droughts), and extirpation or extinction of plant and wildlife species. Further, emissions contributing to climate change are attributable in large part to human activities associated with the industrial/manufacturing, utility, transportation, residential, and agricultural sectors. Given the significant adverse environmental effects associated with anthropogenic climate change, increased emissions have the potential to result in cumulatively considerable air quality impacts and indirect biological and hydrological impacts.

When analyzing a project's potential to affect climate change, it is important to note that neither CEQA nor current case law identifies thresholds or other direction in measuring or evaluating the effect of individual projects on global warming. As a result, in the absence of applicable methodology and thresholds, the significance of the project's effect on global warming cannot be

quantified. Furthermore, given the transboundary nature of greenhouse gases, the cumulative global emissions contributing to climate change can be attributed to every nation, region, and city, in addition to naturally occurring phenomenon.

The level of emissions resulting due to project-generated traffic would not be expected to exceed air quality standards. The project would generate infrequent maintenance trips to the site. Further, as identified in Section VI.3 - Air Quality, the development of the proposed project would not exceed applicable air quality standards as established by the air pollution district. Given the scale and nature of the proposed project, the proposed project is unlikely to substantially impact existing levels of greenhouses gases on a local, regional, or global scale. (Source: 1, 17)

Hydrology and Water Quality - The project would not violate water quality standards since the structure would not create a new source of storm water runoff. No disturbance to existing resources is anticipated. The project is not for human habitation and would not be affected by flood hazards. (Source: 1, 17)

Mineral Resources - Federal, state or local plans do not identify this site as significant for mineral resources nor will the project impact mineral resources. (Source: 1-3, 5, 6, 7)

Noise - The construction and on-going use of the project will not adversely affect current noise levels. Due to the relative remoteness of the site proximate to sensitive receptors, topographical considerations, and the potential temporary use of a power generator, noise issues are not anticipated. The formal telecommunications facility is not anticipated to produce new noise sources or impacts. The telecommunication use will not violate any County noise standards and will have no adverse affect on sensitive receptors. Temporary construction activities are required to comply with the County's noise requirements, as described in County Code, Chapter 10.60. (Source: 1 - 7)

Population/Housing - The project involves the erection of a wireless communication facility adjacent to an existing water storage tank. The project would not impact the local or regional population or housing situation. No residential development is proposed nor would existing residences be impacted. (Source: 1 - 7)

Public Services - The project would not result in increased demand for public services as it would not involve an increase in local population. The proposed project would improve telecommunications service to the area. (Source: 1 - 7)

Recreation - The property is zoned Rural Density Residential. The project will not increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated. The project does not include recreational facilities, nor require the construction or expansion of recreational facilities that might have an adverse physical effect on the environment. (Source: 1 - 7)

Transportation/Traffic - The project would not impact local traffic, emergency access, or parking, nor would it impact any air traffic patterns or conflict with adopted transportation

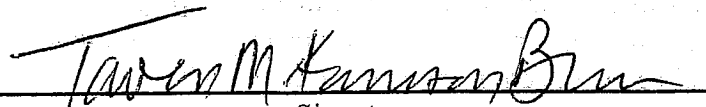
policies, plans, or programs. Construction equipment and occasional maintenance vehicles would use Holman Road to access the project site. This small amount of additional traffic would not result in a significant change to existing road service levels or traffic safety. The proposed project would improve telecommunications service to the area. (Source: 1 - 7)

Utilities/Service Systems: Other than minor landscape irrigation to assure the success of the vegetative screening, the project would not require the use of water resources or wastewater facilities, therefore no impact to existing stormwater or wastewater facilities is anticipated. The project would not create solid waste that would impact local landfill capacity. (Source: 1 - 7)

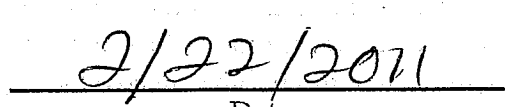
B. DETERMINATION

On the basis of this initial evaluation:

- I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
- I find that although the proposed project could have a significant effect on the environment there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
- I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
- I find that the proposed project MAY have a “potentially significant impact” or “potentially significant unless mitigated” impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.
- I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.


Signature

Taven M. Kinison Brown


Date

Planning Services Manager

V. EVALUATION OF ENVIRONMENTAL IMPACTS

- 1) A brief explanation is required for all answers except "No Impact" answers that are adequately supported by the information sources a lead agency cites in the parentheses following each question. A "No Impact" answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A "No Impact" answer should be explained where it is based on project-specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants, based on project-specific screening analysis).
- 2) All answers must take into account the whole action involved, including offsite as well as onsite, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
- 3) Once the lead agency has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. "Potentially Significant Impact" is appropriate if there is substantial evidence that an effect may be significant. If there are one or more "Potentially Significant Impact" entries when the determination is made, an EIR is required.
- 4) "Negative Declaration: Less Than Significant With Mitigation Incorporated" applies where the incorporation of mitigation measures has reduced an effect from "Potentially Significant Impact" to a "Less Than Significant Impact." The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level mitigation measures from Section XVII, "Earlier Analyses," may be cross-referenced).
- 5) Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration. Section 15063(c)(3)(D). In this case, a brief discussion should identify the following:
 - a) Earlier Analysis Used. Identify and state where they are available for review.
 - b) Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
 - c) Mitigation Measures. For effects that are "Less than Significant with Mitigation Measures Incorporated," describe the mitigation measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.

- 6) Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g., general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.
- 7) Supporting Information Sources: A source list should be attached, and other sources used or individuals contacted should be cited in the discussion.
- 8) The explanation of each issue should identify:
 - a) The significance criteria or threshold, if any, used to evaluate each question; and
 - b) The mitigation measure identified, if any, to reduce the impact to less than significance.

VI. ENVIRONMENTAL CHECKLIST

1. AESTHETICS		Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project:					
a)	Have a substantial adverse effect on a scenic vista? (Source: 1- 7, 11, 12, 14)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b)	Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway? (Source: 1- 7, 11, 12, 14)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c)	Substantially degrade the existing visual character or quality of the site and its surroundings? (Source: 1- 7, 11, 12, 14)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d)	Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area? (Source: 1- 7, 11, 12, 14)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion/Conclusion:

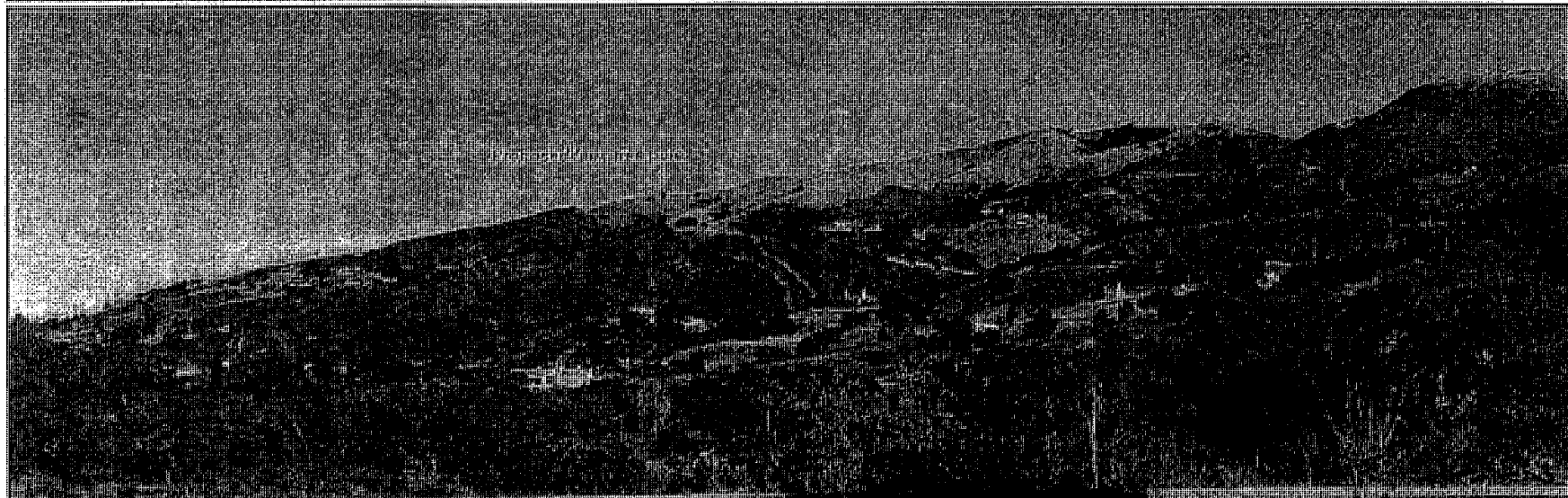
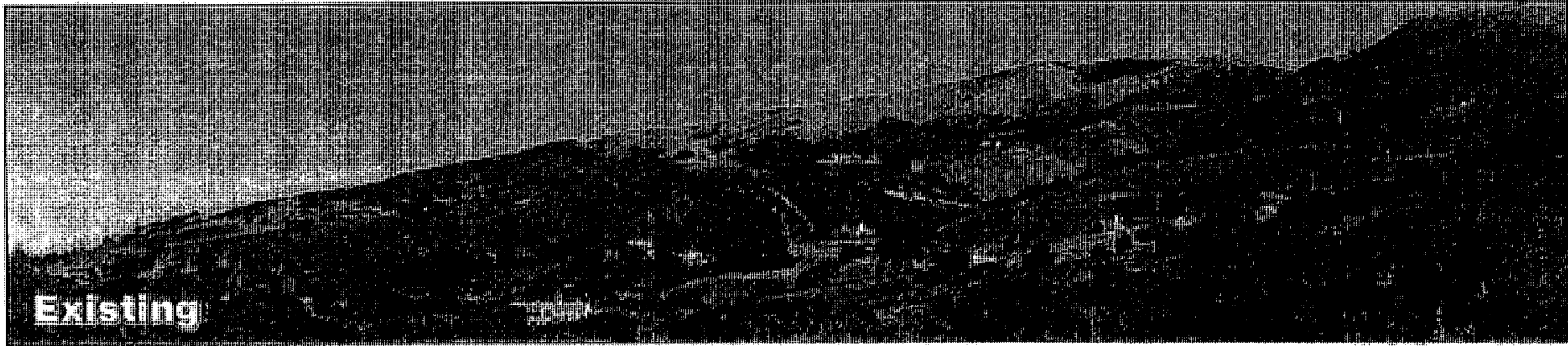
1(a) (b) (c): Less than Significant Impact.

The rural nature of this area of the county lends many of the vistas seen from County roads to be considered scenic vistas. The County's land use policies support that ridge top development and development on slopes exceeding 25% subtract from the natural and rural character and result in impacts to aesthetics. The subject property is located in an area visible from numerous vantage points. Please refer to the five full page photo simulations showing the proposal as it would be observed from East Carmel Valley Road (distance 5,000 feet), Chaparral Road (distance 2,000 feet), Carmel Valley Road near Paso Hondo (distance 3,300 feet), Holman Road (distance 1,000 feet), and E. Carmel Valley Road at Camp Stefani Road (distance 2,500 feet).


The antenna is proposed at a height of approximately 40 feet. Characteristic of cellular facilities, antennas must have a clear view of the sky and are most efficient with a "line of sight" type placement. The GPS antenna (mounted internal to the enclosure on the equipment facility) must be able to receive clear signals from a minimum of four satellites. The tree pole design and its placement on the Holman Ranch knoll meet these criteria, as well as meet the criteria of the Monterey County zoning code for Wireless Communications facilities (Chapter 21.64.310)

While not sited below a ridgeline due to the simple functionality of extending coverage to greater areas with fewer antenna poles, the facility has been sighted to minimize its visual impact. Considered a "special design" under the County design criteria for such facilities, the fully simulated broad leaf tree covered in bark, proximate to existing trees and enhanced with additional shrubbery and trees, demonstrates the applicant's sensitivity to the visual resources of Monterey County and the Carmel Valley.

Photosimulation of view looking northwest from E Carmel Valley Road, first clear view of the site. Distance to site: 5000 ft.

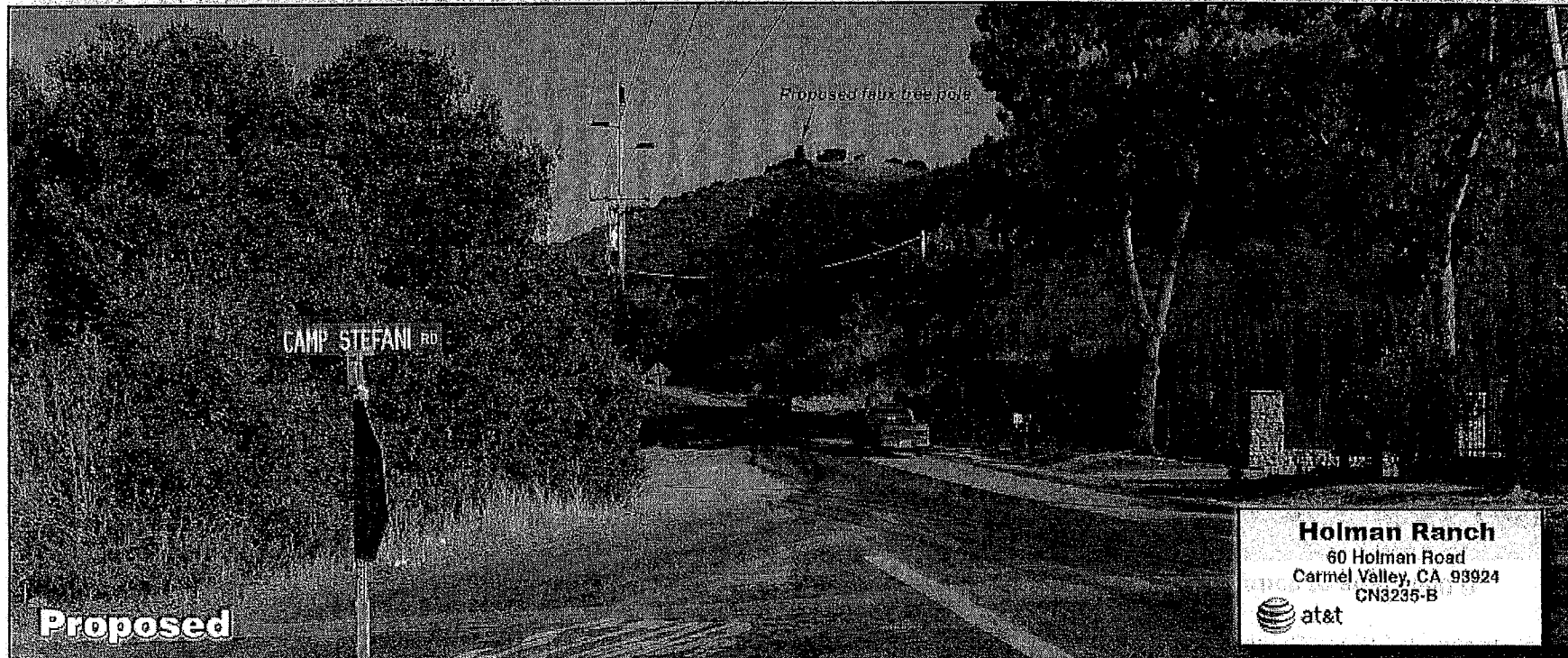
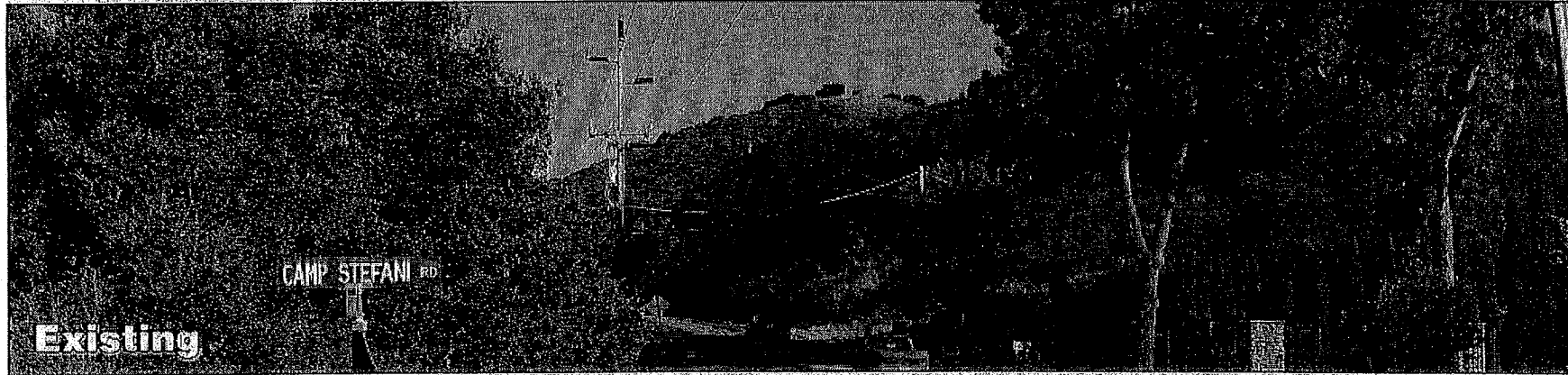


Holman Ranch
 60 Holman Road
 Carmel Valley, CA 93924
 CN3235-B



October 28, 2010

Photosimulation of view looking north from E Carmel Valley Road at Camp Stefani Road. Distance to site: 2500 ft.



Holman Ranch
 60 Holman Road
 Carmel Valley, CA 93924
 CN3235-B


at&t

October 28, 2010

Photosimulation of view looking southeast from Chaparral Road, overlooking the ranch. Distance to site: 2000 ft.

Existing

Proposed

Holman Ranch
60 Holman Road
Carmel Valley, CA 93924
CN3235-B


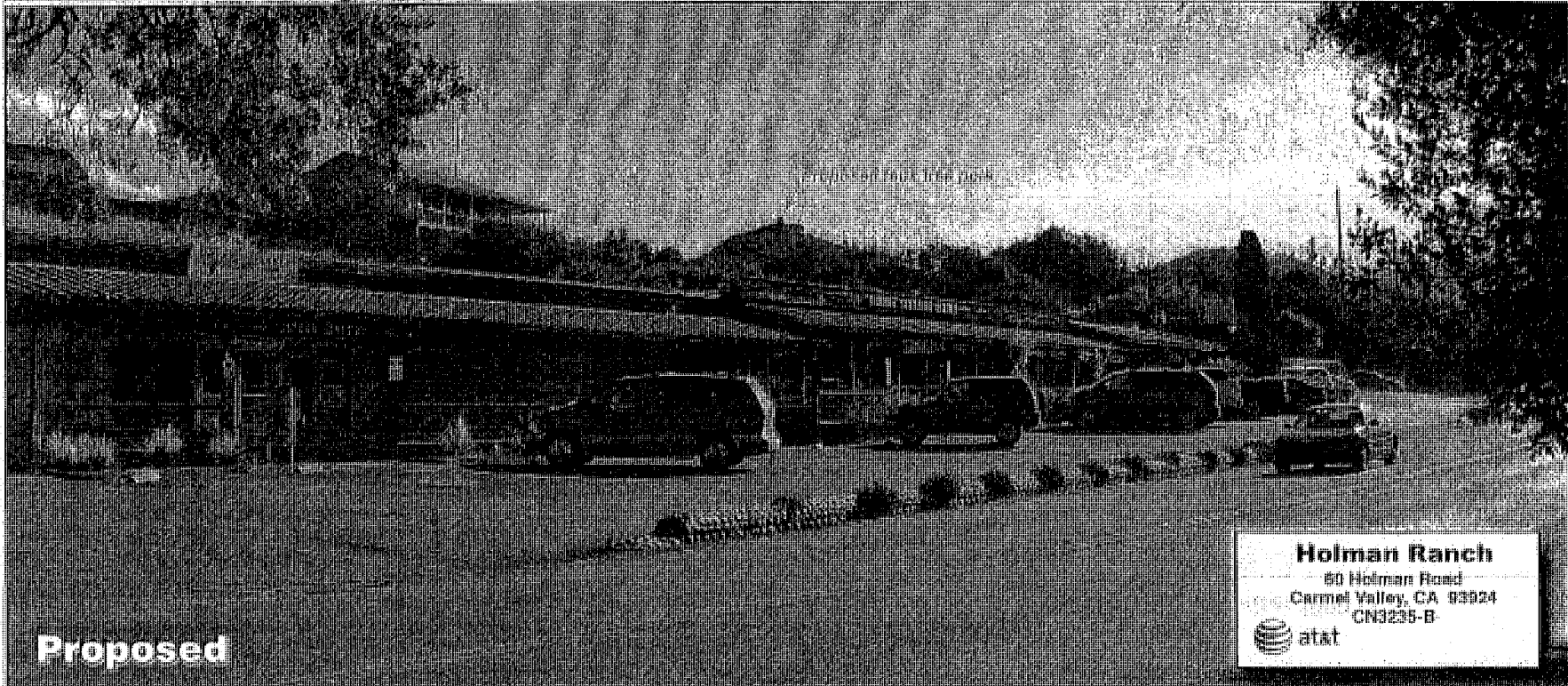
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AT&T Mobility-Holman Ranch Permanent Facility
PLN090385

Page 19

Photosimulation of view looking east from downtown, on Carmel Valley Road near Paso Hondo. Distance to site: 3300 ft.

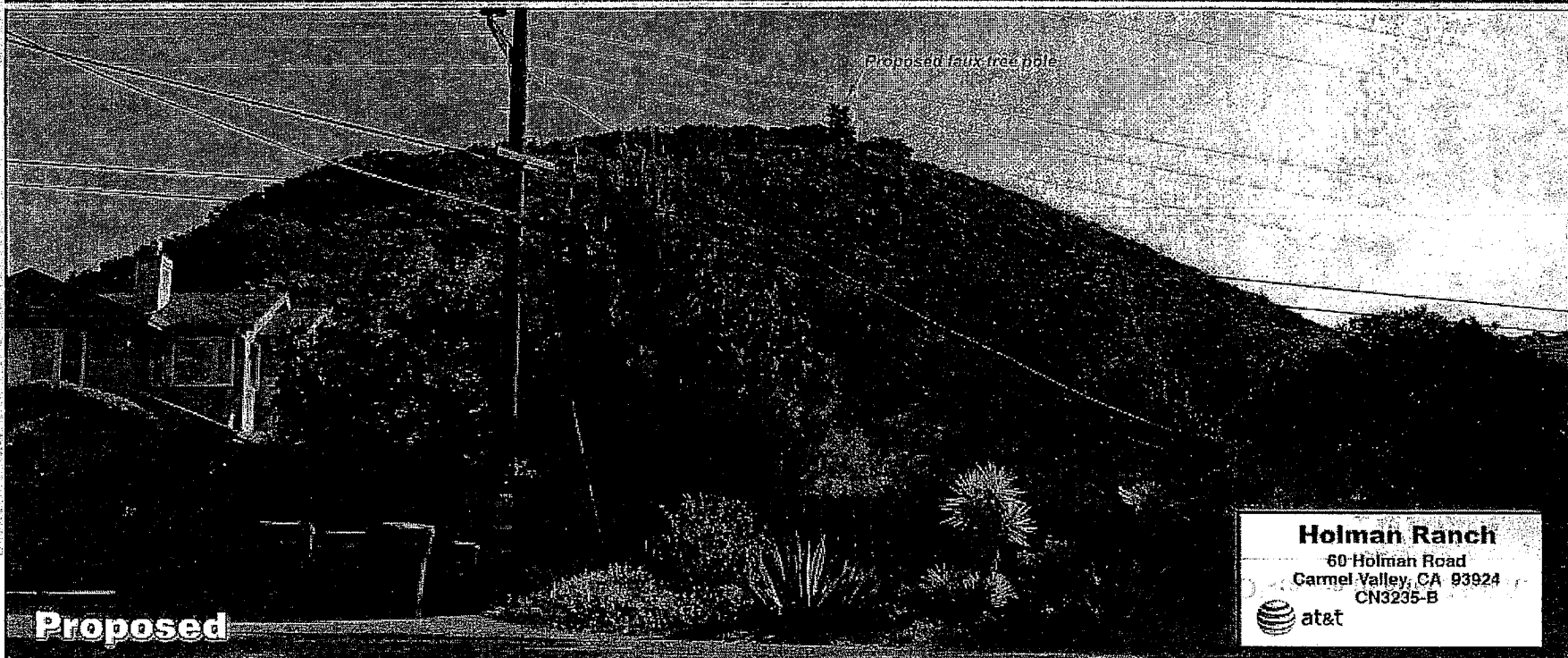
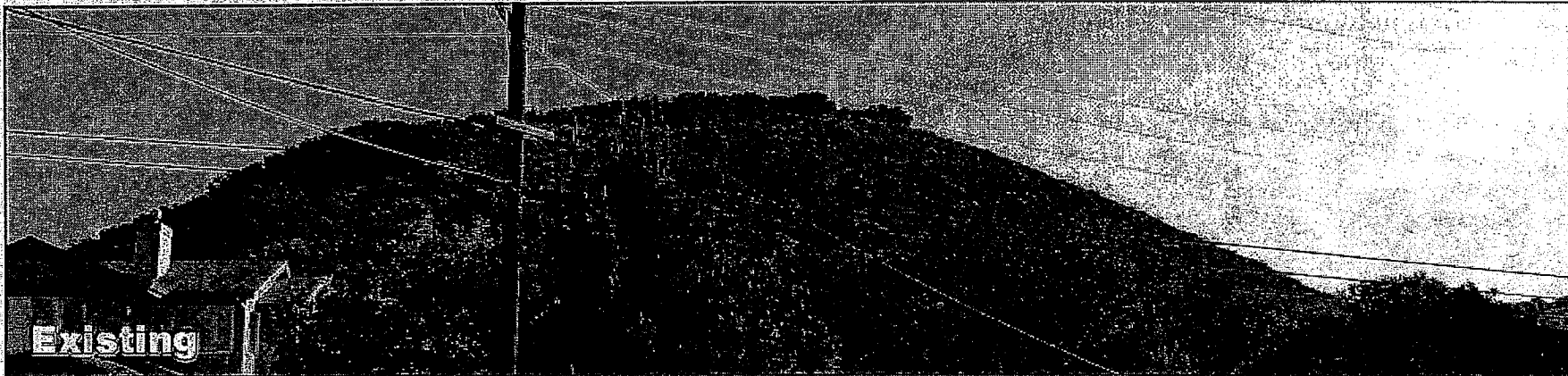


Holman Ranch
 80 Holman Road
 Carmel Valley, CA 93024
 CN3235-B




Photosimulation of view looking east from Holman Road at Ford Road. Distance to site: 1000 ft.

AT&T Mobility- Holman Ranch Permanent Facility
PLN090385



Holman Ranch
 60 Holman Road
 Carmel Valley, CA 93924
 CN3235-B



As outlined above, the proposed antenna has been located considering a variety of requirements. Placing the antenna in an alternative location would not necessarily reduce impacts to aesthetics. There are several existing structures in the area screened sufficiently by vegetation and the ATT facility would continue in this practice. From one of the more prominent vantage points along Holman Road leading to the property, numerous power lines and other detracting visual items are apparent. A tree pole with landscape screening will not detract from this landscape.

Therefore, it is anticipated that the project will have a *less than significant impact* on a scenic vista, scenic resources, (including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway) or the existing visual character or quality of the site and its surroundings.

1(d) – No Impact

While the facility includes two service lights within the enclosed shelter area, the tree pole itself does not include illumination. It is anticipated that the approval of the project will have *no impact* on the creation of a new source of substantial light or glare, which would adversely affect day or nighttime views in the area.

2. AGRICULTURAL AND FOREST RESOURCES

In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board.

Would the project:	Less Than Significant			
	Potentially Significant Impact	With Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use? (Source:)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with existing zoning for agricultural use, or a Williamson Act contract?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104(g))?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

2. AGRICULTURAL AND FOREST RESOURCES

In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board.

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
d) Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion, Analysis and Conclusions: See previous Sections II. A (Project Description) and B (Environmental Setting) and Section IV. A. (Environmental Factors Potentially Affected), as well as the sources referenced.

3. AIR QUALITY

Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations.

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Conflict with or obstruct implementation of the applicable air quality plan? (Source: 1, 8, 17, 18)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation? (Source: 1, 8, 17, 18)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)? (Source: 1, 8, 17, 18)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

3. AIR QUALITY

Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations.

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
d) Result in significant construction-related air quality impacts? (Source: 1, 8, 17, 18)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Expose sensitive receptors to substantial pollutant concentrations? (Source: 1, 5, 8, 17, 18)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Create objectionable odors affecting a substantial number of people? (Source: 1, 5)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion/Conclusion/Mitigation:

3(a) – (f): Less Than Significant Impact. The CEQA Air Quality Guidelines for the Monterey Bay Region are prepared by the Monterey Bay Unified Air Pollution Control District (MBUAPCD) and address the attainment and maintenance of State and federal ambient air quality standards within the North Central Coast Air Basin. It is anticipated that the project will result in no increases in emissions from construction vehicles and dust generation. Construction will consist of the erection of a 655 square foot pad area, 240 square foot equipment shelter, 40 foot tall- full bark tree cellular antenna pole. A portable generator may be brought in to sustain the Cellular on Wheels during the construction period for the new cell antenna before utility poles are installed. As such, the generator is considered a mobile and temporary source. Therefore, this project will contribute in a less than significant manner and will not conflict with or obstruct implementation of the applicable air quality plan, violate air quality standards, contribute substantially to an existing or projected air quality violation, expose sensitive receptors to substantial pollutant concentrations, or create objectionable odors.

BIOLOGICAL RESOURCES

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service? (Source: 1 - 7, 14, 15)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, or regulations or by the California Department of Fish and Game or US Fish and Wildlife Service? (Source: 1 - 7, 14, 15)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means? (Source: 1 - 7, 14, 15)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites? (Source: 1 - 7, 14, 15)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance? (Source: 1- 5)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan? (Source: 1, 2, 3, 6)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion/Conclusion/Mitigation:

4 (a) – (e): Less than Significant Impact. In the recent review of the Holman Ranch winery, use permit for tree removal, small water system and wine storage cave, biological issues were thoroughly reviewed (County File PLN080450). It is evident from the biological report submitted for that project by Patrick Regan of Rana Creek Environmental Planning (Source 13), as well as staff visits to and evaluation of the cellular project site, that there will be less than significant impacts to biological resources. There will not be an adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service, nor will the cellular project have a substantial adverse

effect on federally protected wetlands as defined by Section 404 of the Clean Water Act through direct removal, filling, hydrological interruption, or other means. The project will not interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites, nor conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance. No trees will be removed with this proposal.

4(f): No Impact. Approval of the cellular facility project will not conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan. No such plans exist in this area.

5. CULTURAL RESOURCES	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
	Would the project:			
a) Cause a substantial adverse change in the significance of a historical resource as defined in 15064.5? (Source: 1 – 3, 5, 13, 14)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to 15064.5? (Source: 1 – 3, 5, 13, 14)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature? (Source: 1 – 3, 5, 13, 14)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Disturb any human remains, including those interred outside of formal cemeteries? (Source: 1 – 3, 5, 13, 14)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Discussion/Conclusion/Mitigation:

5(a): Less than Significant. The Holman Ranch was built in 1928 as a country retreat, and later converted to a guest ranch in the 1940s by Mr. and Mrs. C.E. Holman. Some of the buildings on the guest ranch are considered historically significant due to their age and exemplary architectural style, however, none of these potential historic resources will be negatively impacted by the proposed use of a COW and the permanent tree pole proposed on the knoll. There is great distance between and no visibility between the two sites. Therefore, the project would result in less than significant impacts to historical resources.

5(b): Less than Significant. According to County GIS Records, the subject property is within a highly sensitive archeological area and an Archaeological Reconnaissance Report was prepared for an earlier project on the subject property. From review of that report and a staff site visit to the cellular facility location, no perceived impact to archaeological resources is perceived. In the

event that cultural resources are found, a standard condition of approval imposed by the County of Monterey would require that land disturbance be halted and professionals consulted with to devise mitigation. Therefore, the project would result in less than significant impacts to cultural resources.

5(c): No Impact. No paleontological or unique geological features are known to exist on the site, therefore there will be no impact to such resources.

5(d): Less than Significant Impact. No human remains are known nor expected to be disturbed. As above, standard county practices will assure a less than significant impact to these cultural resources.

6. GEOLOGY AND SOILS	Less Than Significant			
	Potentially Significant Impact	With Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project:				
a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:				
i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
ii) Strong seismic ground shaking?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
iii) Seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
iv) Landslides?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion, Analysis and Conclusions: See previous Sections II. A (Project Description) and B (Environmental Setting) and Section IV. A (Environmental Factors Potentially Affected), as well as the sources referenced.

7. GREENHOUSE GAS EMISSIONS	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
	Would the project:			
a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion, Analysis and Conclusions: See previous Sections II. A (Project Description) and B (Environmental Setting) and Section IV. A (Environmental Factors Potentially Affected), as well as the sources referenced.

8. HAZARDS AND HAZARDOUS MATERIALS	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
	Would the project:			
a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials? (Source: 1-7, 17, 18)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment? (Source: 1-7, 17, 18)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school? (Source: 1-7, 17, 18)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment? (Source: 1-7, 17, 18)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

8. HAZARDS AND HAZARDOUS MATERIALS

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area? (Source: 1 – 7, 17, 18)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area? (Source: 1 – 7, 17, 18)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan? (Source: 1 – 7, 17, 18)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands? (Source: 1 – 7, 17, 18)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

8(a) - (b): Less Than Significant Impact. The project will involve the use of some known hazardous materials.

Battery Cabinet

The project involves the installation of a battery cabinet and a radio cabinet on top of a proposed cement slab next to the proposed wireless communication facility. These cabinets will serve to provide power to the antenna. Chemicals will not be used onsite. As conditions of approval, the Health Department has historically required that such cellular facilities:

1. Submit and maintain an up-to-date Business Response Plan that meets the standards found in the California Code of Regulations, Title 19, Division 2, Chapter 4 (Hazardous Material Release Reporting, Inventory, and Response Plans) and the California Health and Safety Code, Division 20, Chapter 6.95 (Hazardous Material Release Response Plans and Inventory);
2. Submit a signed Business Response Plan – Memorandum of Understanding that specifies an approved Business Response Plan must be on file with Hazardous Materials Management Services of Environmental Health prior to bringing hazardous materials on site and/or commencement of operation.; and
3. Comply with the California Code of Regulations, Title 22, Division 4.5 and the California Health and Safety Code, Chapter 6.50 for the proper handling, storage, and disposal of Hazardous Waste as approved by the Environmental Health Division (EHD). (Source: 1, 7, 12, 13)

Radio frequency exposure conditions are regulated by the Federal Communications Commission (FCC) and determined to not be a health hazard. Due to the existing regulatory requirements for hazardous materials and electromagnetic fields, it is anticipated that compliance with standard conditions of approval will result in *less than significant impacts* to the public or the environment through the use of hazardous materials.

8(c-g): No Impact. The project site is not located in a known area of hazardous material contamination. The project site is not within an airport land use plan or within the vicinity of a private airstrip. The proposed project will not impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan. The remote location is identified as an area of "high" fire hazard. The local fire protection district has reviewed the project plans and has recommended standard conditions of approval in compliance with the County Code.

8(h): Less than Significant. The remote location is identified as an area of "high" fire hazard. The local fire protection district has reviewed the project plans and has recommended standard conditions of approval.

9. HYDROLOGY AND WATER QUALITY

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
	a) Violate any water quality standards or waste discharge requirements?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Otherwise substantially degrade water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

9. HYDROLOGY AND WATER QUALITY

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
g) Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
j) Inundation by seiche, tsunami, or mudflow?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion, Analysis and Conclusions: See previous Sections II. A (Project Description) and B (Environmental Setting) and Section IV. A (Environmental Factors Potentially Affected), as well as the sources referenced.

10. LAND USE AND PLANNING

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Physically divide an established community? (Source: 1 - 7)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect? (Source: 1 - 7)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Conflict with any applicable habitat conservation plan or natural community conservation plan? (Source: 1 - 7)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion/Conclusion:

9(a): No Impact. The placement of a simulated tree cellular facility on the subject Holman Ranch site will not divide an established community. No new roads, walls or barriers are proposed.

9(b): Less than Significant Impact. The Policies of the 2010 Monterey County General Plan and the Carmel Valley Master Plan come to bear on this proposal. Also refer to the Aesthetic Section review above, Section 1.

2010 Monterey County General Plan Policies

1. OS-1.2. Development in designated Visually Sensitive Areas shall be subordinate to the natural features for the area.

This portion of the Holman Ranch is on the cusp of a Visually Sensitive Area as indicated on map resources from the 2010 General Plan. The proposed tree pole will not dominate the site and has been sited in a manner with landscape screening to be subordinate to the landscape and surroundings.

2. OS-1.3. To Preserve the County's scenic qualities, ridgeline development shall not be allowed. An exception to this policy may be made only after publicly noticed hearing and provided the following findings be made:

- The ridgeline development will not create a substantially adverse visual impact when viewed from a common public viewing area; and either,
- The proposed development better achieves the goals, policies and objectives of the Monterey County General Plan and applicable area plan than other development alternatives; or,
- There is no feasible alternative to the ridgeline development.

As evidenced by the Visual Simulations included in the Project Description and Aesthetics Section 1 above, the simulated tree pole will not create a substantial adverse visual impact when viewed from a common public viewing area. Other development alternatives have been explored for this proposal including locating such a facility at the Carmel Regional Fire Protection District station. The station site and proposal has been determined to be less than desirable for the County due to a proposed tower height of 100 feet that would have been much too intrusive to the landscape. Yet with the Carmel Regional Fire Protection District station proposal not being desirable, radio support services for first responders, such as the fire district are still needed. The "camouflaged" Holman Ranch site will provide for both general communication and public safety communications while not detracting from the visual landscape of the Carmel Valley. While it is likely that the proposed tree pole could be pulled down from the ridgeline, additional antenna locations would then be necessary to achieve the necessary coverage. It is the intent of the Zoning Code and other policies to not have such structures proliferate throughout the County, and that appropriate siting techniques be used to minimize the impacts of such structures. The present proposal does that.

3. OS-1.12. The significant disruption of views from designated scenic routes shall be mitigated through the use of appropriate materials, scale, lighting and siting of development.

There is no significant disruption of views by the present proposal by its mere placement on the Holman Ranch knoll, and complementary wood and tin materials have been

proposed for the support equipment structures. The broad-leafed tree pole design, among existing and new landscaping also demonstrates an appropriate treatment and use of materials and features common to the rural character of the Carmel Valley.

Carmel Valley Master Plan policies applicable to the project:

1. CV-1.1 All policies, ordinances, and decisions regarding Carmel Valley shall be consistent with the goal of preserving Carmel Valley's rural character. In order to preserve the rural character of Carmel Valley, development shall follow a rural architectural theme with design review.

As above, the use of materials proposed with the tree-pole and supporting structure draw from the existing environment and rural character.

2. CV-1.9 Structures proposed in open grassland areas that would be highly visible from Carmel Valley Road or Laureles Grade shall be minimized in number and be clustered near existing natural or man-made vertical features.

While not located in open grassland, the project has been sited near an existing pump house and water tanks on the subject property, and has been placed up to and near existing trees that do provide a vertical feature on the subject property. The site will not stand out or seem to stand alone and without other existing features for context.

3. CV-1.20 Design ("D") and site control ("S") overlay district designations shall be applied to the Carmel Valley area. Design review for all new development throughout the Valley, including proposals for existing lots of record, utilities, heavy commercial, and visitor accommodations, but excluding minor additions to existing development where those changes are not conspicuous from outside of the property, shall consider the following guidelines:
 - a. Proposed development encourages and furthers the letter and spirit of the Master Plan.
 - b. Development either shall be visually compatible with the character of the valley and immediate surrounding areas or shall enhance the quality of areas that have been degraded by existing development.
 - c. Materials and colors used in construction shall be selected for compatibility with the structural system of the building and with the appearance of the building's natural and man-made surroundings.
 - d. Structures should be controlled in height and bulk in order to retain an appropriate scale.
 - e. Development, including road cuts as well as structures, should be located in a manner that minimizes disruption of views from existing homes.
 - f. Minimize erosion and/or modification of landforms.
 - g. Minimize grading through the use of step and pole foundations.

As above, the materials and colors and use of the broad leafed simulated tree will be visually compatible with the character of the valley and immediate man-made and natural surroundings. The height and bulk of the proposed faux tree is consistent with trees and landscaping in the vicinity. Additionally, the D and S District requirements of the Zoning Code subject the proposal to Design Review, subjecting the proposal to public review and

further disclosure, to assure that the character of the vicinity and Carmel Valley are preserved.

4. CV-3.4 Alteration of hillsides and natural landforms caused by cutting, filling, grading, or vegetation removal shall be minimized through sensitive siting and design of all improvements and maximum feasible restoration including botanically appropriate landscaping. Where cut and fill is unavoidable on steep slopes, disturbed areas shall be revegetated.

Thirty cubic yards of grading have been proposed to cut the equipment structures into the existing landscape to minimize the bulk and appearance of the structures. Landscaping has been proposed to soften and blend the facility into the hilltop/knoll.

5. CV-3.18 Except where inconsistent with sound environmental planning, new aboveground transmission facilities shall incorporate the following design guidelines:
- a. follow the least visible route (e.g., canyons, tree rows, and ravines),
 - b. cross ridgelines at the most visually unobtrusive locations,
 - c. follow, not compete with, either natural features of the terrain or man-made features in developed areas,
 - d. Create a simple and unobtrusive appearance,
 - e. minimize the bulk of structures,
 - f. use the minimum number of elements permitted by good engineering practice, and
 - g. incorporate colors and materials compatible with local surroundings.

The three or four "telecom" poles that will be used to connect the facility to the power and telecommunications grid are placed northward and away from general public visibility. First, the telecom and power lines will be undergrounded for nearly 400 feet from the immediate structures along existing ranch roads adjacent to the pump house and water tanks. After this distance three wooden power poles are proposed to connect the telecom and power to existing transmission lines to the east of the property. The undergrounding along the existing ranch road and the use of common wood power / telephone poles, demonstrate sound environmental planning and adherence to these guidelines.

The project is consistent with the Monterey County General Plan, Carmel Valley Master Plan, and Zoning Ordinance with regard to policy conformance and allowed uses, therefore there will be a **less than significant impact** to land use planning.

9(c): No Impact. No habitat conservation plan or natural community conservation plan has been adopted for this area; therefore no conflict exists.

11. MINERAL RESOURCES

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion, Analysis and Conclusions: See previous Sections II. A (Project Description) and B (Environmental Setting) and Section IV. A (Environmental Factors Potentially Affected), as well as the sources referenced.

12. NOISE

Would the project result in:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Exposure of persons to or generation of excessive ground-borne vibration or ground-borne noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion, Analysis and Conclusions: See previous Sections II. A (Project Description) and B (Environmental Setting) and Section IV. A (Environmental Factors Potentially Affected), as well as the sources referenced.

13. POPULATION AND HOUSING

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact

- a) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)? Potentially Significant Impact, Less Than Significant With Mitigation Incorporated, Less Than Significant Impact, No Impact
- b) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere? Potentially Significant Impact, Less Than Significant With Mitigation Incorporated, Less Than Significant Impact, No Impact
- c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere? Potentially Significant Impact, Less Than Significant With Mitigation Incorporated, Less Than Significant Impact, No Impact

Discussion, Analysis and Conclusions: See previous Sections II. A (Project Description) and B (Environmental Setting) and Section IV. A (Environmental Factors Potentially Affected), as well as the sources referenced.

14. PUBLIC SERVICES

Would the project result in:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact

Substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

- a) Fire protection? Potentially Significant Impact, Less Than Significant With Mitigation Incorporated, Less Than Significant Impact, No Impact
- b) Police protection? Potentially Significant Impact, Less Than Significant With Mitigation Incorporated, Less Than Significant Impact, No Impact
- c) Schools? Potentially Significant Impact, Less Than Significant With Mitigation Incorporated, Less Than Significant Impact, No Impact
- d) Parks? Potentially Significant Impact, Less Than Significant With Mitigation Incorporated, Less Than Significant Impact, No Impact
- e) Other public facilities? Potentially Significant Impact, Less Than Significant With Mitigation Incorporated, Less Than Significant Impact, No Impact

Discussion, Analysis and Conclusions: See previous Sections II. A (Project Description) and B (Environmental Setting) and Section IV. A (Environmental Factors Potentially Affected), as well as the sources referenced.

15. RECREATION		Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project:					
a)	Increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b)	Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion, Analysis and Conclusions: See previous Sections II. A (Project Description) and B (Environmental Setting) and Section IV. A (Environmental Factors Potentially Affected), as well as the sources referenced.

16. TRANSPORTATION/TRAFFIC		Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project:					
a)	Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b)	Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c)	Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that result in substantial safety risks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d)	Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e)	Result in inadequate emergency access?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

16. TRANSPORTATION/TRAFFIC

Would the project:	Potentially Significant Impact	Less Than Significant	Less Than Significant	No Impact
		With Mitigation Incorporated	Impact	Impact

- f) Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities?

Discussion, Analysis and Conclusions: See previous Sections II. A (Project Description) and B (Environmental Setting) and Section IV. A (Environmental Factors Potentially Affected), as well as the sources referenced.

17. UTILITIES AND SERVICE SYSTEMS

Would the project:	Potentially Significant Impact	Less Than Significant	Less Than Significant	No Impact
		With Mitigation Incorporated	Impact	Impact

- a) Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?
- b) Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?
- c) Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?
- d) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?
- e) Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?
- f) Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?
- g) Comply with federal, state, and local statutes and regulations related to solid waste?

Discussion/Conclusion/Mitigation: Discussion, Analysis and Conclusions: See previous Sections II. A (Project Description) and B (Environmental Setting) and Section IV. A (Environmental Factors Potentially Affected), as well as the sources referenced.

VII. MANDATORY FINDINGS OF SIGNIFICANCE

NOTE: If there are significant environmental impacts which cannot be mitigated and no feasible project alternatives are available, then complete the mandatory findings of significance and attach to this initial study as an appendix. This is the first step for starting the environmental impact report (EIR) process.

Does the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory? (Source:)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Have impacts that are individually limited, but cumulatively considerable? (Source:) ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)? (Source:)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly? (Source:)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion/Conclusion:

(a) No Impact. Based upon the analysis throughout this Initial Study, the proposed project, as designed, and conditioned would not have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory. See previous Sections II. B (Project Description) and C (Environmental Setting) and Sections IV and V. A (Environmental Factors Potentially Affected), as well as the sources referenced

(b) No Impact. The project would involve installation of a faux tree-pole cellular communications antenna, and appurtenant facilities on a parcel designated for Rural Density Residential uses in the Monterey County General Plan and Carmel Valley Master Plan. The incremental air quality, transportation/traffic, public services, and utilities impacts of the project, when considered in combination with the effects of past projects, current projects, and probable future projects in the planning area, would result in less than significant impacts.

(c) No Impact. Conditions of approval that assure compliance with existing local, state and federal regulations would ensure consistency with relevant General Plan health and safety policies. All potential impact areas are deemed less than significant with County imposed conditions of approval.

VIII. FISH AND GAME ENVIRONMENTAL DOCUMENT FEES

Assessment of Fee:

The State Legislature, through the enactment of Senate Bill (SB) 1535, revoked the authority of lead agencies to determine that a project subject to CEQA review had a “de minimis” (minimal) effect on fish and wildlife resources under the jurisdiction of the Department of Fish and Game. Projects that were determined to have a “de minimis” effect were exempt from payment of the filing fees.

SB 1535 has eliminated the provision for a determination of “de minimis” effect by the lead agency; consequently, all land development projects that are subject to environmental review are now subject to the filing fees, unless the Department of Fish and Game determines that the project will have no effect on fish and wildlife resources.

To be considered for determination of “no effect” on fish and wildlife resources, development applicants must submit a form requesting such determination to the Department of Fish and Game. Forms may be obtained by contacting the Department by telephone at (916) 631-0606 or through the Department’s website at www.dfg.ca.gov.

Conclusion: The project will be required to pay the fee.

Evidence: Based on the record as a whole as embodied in the Planning Department files pertaining to PLN090385 and the attached Initial Study / Proposed Mitigated Negative Declaration.

IX. REFERENCES

1. Project Application/Plans
2. Monterey County General Plan Adopted October 2010
3. Carmel Valley Master Plan
4. Title 21 of the Monterey County Code (Zoning Ordinance).
5. Site visit conducted by the project planner on January 19, 2011.
6. Monterey County GIS Database.
7. Interdepartmental Review (IDR) Comments received from Monterey County Land Use Agencies.
8. CEQA Air Quality Guidelines, Monterey Bay Unified Air Pollution Control District, Updated 2008.
9. “*Geotechnical Engineering Investigation Proposed Communication Tower CN3235-B*” prepared by SALEM Engineering Group, Inc., Fresno, CA, dated November 5, 2010.

10. *"Slope Stability Evaluation Proposed Communication Tower CN3235-B"* prepared by SALEM Engineering Group, Inc., Fresno, CA, dated November 5, 2010.
11. *"Photo Simulation – Holman Ranch,"* prepared by Previsualists for AT&T, dated October 18, 2010,
12. *"AT&T Permanent Facility-Holman Ranch PLN090385 Alternatives Analysis."* Prepared by Denise Duffy & Associates, Inc. dated December 30, 2010.
13. *"Archaeological Consulting, Preliminary Archaeological Reconnaissance Report,* October 21, 2008.
14. *"Mitigated Negative Declaration prepared for the Holman Ranch Holdings LLC"* (County Project # PLN080450). Filed October 15, 2009. Prepared by Paula Bradley.
15. Biological assessment letter for the, *"Holman Ranch Artisan Winery PLN080450,"* prepared by Patrick Regan, Rana Creek Environmental Planning, dated January 16, 2009.
16. *"Geotechnical Investigation Report",* Soil Surveys Inc., August 13, 2008.
17. *"Initial Study / Mitigated Negative Declaration for Metro PCS, County File PLN070295,"* Prepared by Monterey County Resource Management Agency, December 11, 2009.
18. *"Initial Study / Mitigated Negative Declaration for Metro PCS, County File PLN060474,"* Prepared by Monterey County Resource Management Agency, September 26, 2007.

EXHIBIT H

MONTEREY COUNTY

RESOURCE MANAGEMENT AGENCY – PLANNING DEPARTMENT
168 WEST ALISAL, 2ND FLOOR, SALINAS, CA 93901
(831) 755-5025 FAX: (831) 755-9516



NOTICE OF INTENT TO ADOPT A NEGATIVE DECLARATION MONTEREY COUNTY PLANNING COMMISSION

NOTICE IS HEREBY GIVEN that the Monterey County Resource Management Agency – Planning Department has prepared a draft Negative Declaration, pursuant to the requirements of CEQA, for a Combined Development Permit (AT&T Permanent Cellular Facility-Holman Ranch, File Number #PLN090385) at 60 Holman Road off Carmel Valley Road. (APN #187-481-001-000) (See description below). The proposed project includes two main components: 1) the temporary deployment and location of a Cellular site On Wheels (COW); and 2) the installation of a permanent communication facility. The COW is intended to allow AT&T continued coverage and service in the Carmel Valley area while a permanent facility is under construction. The Negative Declaration and Initial Study, as well as referenced documents, are available for review at the Monterey County Resource Management Agency – Planning Department, 168 West Alisal, 2nd Floor, Salinas, California. The Planning Commission will consider this proposal at a meeting on March 30, 2011 at 9:00 am in the Monterey County Board of Supervisors Chambers, 168 West Alisal, 2nd Floor, Salinas, California. Written comments on this Negative Declaration will be accepted from February 24, 2011 to March 28, 2011. Comments can also be made during the public hearing.

Project Description:

A Combined Development Permit consisting of: 1) A Use Permit to allow the temporary use of a Cellular on Wheels (COW) portable telecommunication facility to be used during the construction period of formal telecommunications facilities; and 2) a Use Permit to allow the installation of a 40 foot high "tree-pole" telecommunication facility, a 12 foot by 20 foot equipment shelter with a GPS antenna mounted to the shelter, a 20 foot long by 4 foot high CMU retaining wall, and a six foot tall wood fence enclosure; and 3) a Use Permit for ridgeline development; and Design Approval. Grading is approximately 30 cubic yards cut and fill. The property is located at 60 Holman Road, Carmel Valley (Assessor's Parcel Number 187-481-001-000), Carmel Valley Master Plan Area.

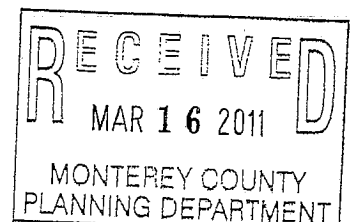
All written comments on the Initial Study should be addressed to:

County of Monterey Resource Management Agency – Planning Department
Attn: Mike Novo, Director of Planning
168 West Alisal, 2nd Floor, Salinas, CA 93901

From: Agency Name: homeowners - Valle Vista
Contact Person: Donald and Tiffany Buraglio
Phone Number: 659-4828

- No Comments provided
 Comments noted below
 Comments provided in separate letter

COMMENTS: _____



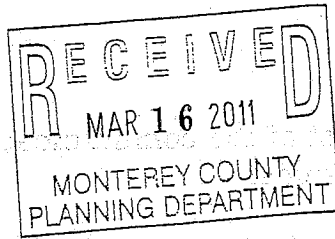
We welcome your comments during the 30-day public review period. You may submit your comments in hard copy to the name and address above. The Department also accepts comments via e-mail or facsimile but requests that you follow these instructions to ensure that the Department has received your comments. To submit your comments by e-mail, please send a complete document including all attachments to:

CEQAcomments@co.monterey.ca.us.

An e-mailed document should contain the name of the person or entity submitting the comments and contact information such as phone number, mailing address and/or e-mail address and include any and all attachments referenced in the e-mail. To ensure a complete and accurate record, we request that you also provide a follow-up hard copy to the name and address listed above. If you do not wish to send a follow-up hard copy, then please send a second e-mail requesting confirmation of receipt of comments with enough information to confirm that the entire document was received. If you do not receive e-mail confirmation of receipt of comments, then please submit a hard copy of your comments to ensure inclusion in the environmental record or contact the Department to ensure the Department has received your comments.

Facsimile (fax) copies will be accepted with a cover page describing the extent (e.g. number of pages) being transmitted. A faxed document must contain a signature and all attachments referenced therein. Faxed document should be sent to the contact noted above at (831) 757-9516. To ensure a complete and accurate record, we request that you also provide a follow-up hard copy to the name and address listed above. If you do not wish to send a follow-up hard copy, then please contact the Department to confirm that the entire document was received.

For reviewing agencies: The Resource Management Agency – Planning Department requests that you review the enclosed materials and provide any appropriate comments related to your agency's area of responsibility. The space below may be used to indicate that your agency has no comments or to state brief comments. In compliance with Section 15097 of the CEQA Guidelines, please provide a draft mitigation monitoring or reporting program for mitigation measures proposed by your agency. This program should include specific performance objectives for mitigation measures identified (CEQA Section 21081.6(c)). Also inform this Department if a fee needs to be collected in order to fund the mitigation monitoring or reporting by your agency and how that language should be incorporated into the mitigation measure.



March 13, 2011

Monterey County Resource Management Agency
Planning Department
168 West Alisal, 2nd Floor
Salinas, CA 93901
ATTN: Mike Novo, Director of Planning

Dear Mr. Novo,

We are writing to formally state our objection to the proposed telecommunication facility on the Holman Ranch property in Carmel Valley. We feel that it detracts significantly from the quality of life that residents enjoy here in Carmel Valley, and we believe that the responsible parties have not been completely forthcoming in revealing the impact such a facility will have on the surrounding community.

Currently on the hillside that overlooks our property there stands a 40' high pole which represents the location of the proposed "tree pole". This pole is glaringly visible from the two closest streets (Valle Vista and Holman Road), and that particular hillside is also visible from many locations in Carmel Valley Village such as the intersection of Carmel Valley Road and Delfino Place, and the open space that was the former Carmel Valley airstrip. It is worth noting that the view of the proposed tree pole from Valle Vista was **not** included in the environmental impact study report for the project.

Because of its prominence from multiple locations around the village, the hillside in question is an area of extreme visual sensitivity – therefore, any structures that are placed at that location constitute a clear violation of the Monterey County Zoning Ordinance (Title 21) prohibiting development that creates an adverse visual impact from common public viewing areas.

The fact that the communications facility will attempt to be disguised as a tree does not lessen the visual impact it will have in our community. From the vantage point of Valle Vista, it is difficult to see the surrounding oaks, and so all we will see is a tall, non-native tree standing out of place on the top of our hill. From Holman Road, the view will also be one of a glaringly obvious tall, non-native tree, planted in front of the majestic crop of oaks that currently resides on the hill. The only vantage point which will sufficiently camouflage the tree is the view from Holman Ranch, where they will only be able to see a few feet of the

top of the tree, and the rest of the communication facility will be covered by the hillside covered in trees.

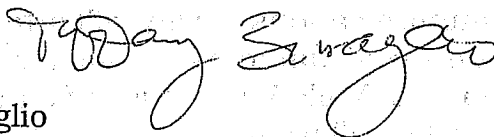
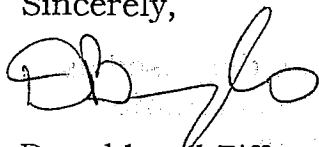
Furthermore, the current reference pole does not accurately reflect the extent of the construction that will take place on the hillside if this tree pole is approved. The Notice of Intent that was distributed around the neighborhood also indicates that in addition to the pole, construction plans also call for a 12' x 20' equipment shelter with a mounted GPS antenna, as well as a 20' long retaining wall and 6' tall wood fence enclosure. The combination of these structures is sure to cause an even greater visual impact than what is currently identified, and to leave these components out of the reference posting is intentionally deceitful.

While Holman Ranch owns the property in question and stands to gain a significant financial reward for erecting the telecommunication facility, the rest of the community will suffer a financial burden as a consequence. Several studies, most notably by the Appraisal Institute (the largest global professional membership organization for appraisers) have shown that cell towers in residential areas decrease property values in those neighborhoods by at least 2%. This is exacerbated by the fact that Holman Ranch suffers the **least** from the visual impact of the telecommunication facility, and the real neighborhoods that will suffer a decrease in property values will be the neighborhoods of Valle Vista and lower Holman Road.

Holman Ranch's attempt to gain financially by contributing to the urbanization and depreciation of its neighbors' property is especially insulting in the wake of a recent local election where both sides of the contentious issue of Carmel Valley incorporation pledged to be preserving the rural character of the community that we all love.

We urge you to consider these points and act in the best interest of the entire community by denying the proposed telecommunications facility as soon as possible.

Sincerely,



Donald and Tiffany Buraglio
120 Valle Vista
Carmel Valley, CA

659-4828