

## MONTEREY COUNTY PLANNING COMMISSION

<b>Meeting:</b> August 31, 2011 Time: 11:00 A.M.	<b>Agenda Item No.:</b> 4
<b>Project Description:</b> Combined Development Permit consisting of: 1) an Amendment to the Moss Landing Power Plant Master Plan; 2) a Coastal Development Permit to allow the expansion of the existing PG&E Moss Landing substation to include: the expansion and reconfiguration of the existing 115 kilovolt (kV) and 230 kV transformer banks, the removal or relocation of the lattice towers and their replacement with new tubular steel poles, the relocation of an existing microwave telecommunications tower and the relocation of an existing outdoor test facility; and 3) a Coastal Development Permit to allow development on a parcel with a positive archaeological report.	
<b>Project Location:</b> 7251 Highway 1 (north of the intersection of Dolan Road and Highway 1, approximately 240 feet south of Elkhorn Slough), Moss Landing	<b>APN:</b> 133-181-010-000
<b>Planning File Number:</b> PLN090274	<b>Owner:</b> Pacific Gas & Electric Company <b>Agent:</b> Christina Holstine, PG&E
<b>Planning Area:</b> North County Land Use Plan	<b>Flagged and staked:</b> No
<b>Zoning Designation:</b> HI (CZ) [Heavy Industrial (Coastal Zone)]	
<b>CEQA Action:</b> Negative Declaration	
<b>Department:</b> RMA - Planning Department	

### RECOMMENDATION:

Staff recommends that the Planning Commission adopt a resolution (**Exhibit C**) to:

- 1) Adopt the Negative Declaration; and
- 2) Approve PLN090274, based on the findings and evidence and subject to the conditions of approval (**Exhibit C**):

### PROJECT OVERVIEW:

The project site is the existing Pacific Gas and Electric (PG&E) substation and transmission yard located at 7251 Highway 1, immediately to the north of the Dynagy (formerly PG&E) power plant in Moss Landing. The project involves the expansion of the existing PG&E substation. The existing substation equipment will be removed and replaced with more efficient equipment. In addition, the existing transmission tower yard will be reconfigured and existing lattice towers will be removed and/or replaced with new towers. The new substation equipment will increase control, reliability and efficiency of PG&E's electrical transmission system. Because the substation must remain operational to maintain electrical service to PG&E customers, the project will be constructed in phases over an approximately 5-year period. See **Exhibit B** for further discussion.

**OTHER AGENCY INVOLVEMENT:** The following agencies and departments reviewed this project:

- √ RMA - Public Works Department
- √ Environmental Health Bureau
- Water Resources Agency
- North County Fire Protection District
- California Coastal Commission

Agencies that submitted comments are noted with a check mark ("√"). Conditions recommended by Public Works, Environmental Health Bureau, and Planning have been incorporated into the Condition Compliance Plan attached as **Exhibit 1** to the draft resolution (**Exhibit C**).

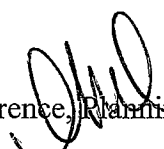
The project was referred to the North County Coastal Land Use Advisory Committee (LUAC) for review. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors per Resolution No. 08-338, this application did warrant referral to the LUAC because the project involves development subject to CEQA review. The LUAC reviewed the project on November 16, 2010 and made comments about the height of the towers and the disruption to neighbors during construction. The LUAC recommended approval of the project as proposed by a vote of 4-1, with the dissenting member citing disruption to the neighbors over the 5 year span of the project (**Exhibit E**).

Note: The decision on this project is appealable to the Board of Supervisors and the California Coastal Commission.

  
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Delinda Robinson, Senior Planner  
(831) 755-5198, robinsond@co.monterey.ca.us  
August 23, 2011

cc: Front Counter Copy; Planning Commission; North County Fire Protection District; Public Works Department; Environmental Health Bureau; Water Resources Agency; California Coastal Commission; Laura Lawrence, Planning Services Manager; Delinda Robinson, Project Planner; Carol Allen, Senior Secretary; Pacific Gas & Electric Company, Owner; Cristina Holstine, Agent; Planning File PLN090274

Attachments: Exhibit A Project Data Sheet  
Exhibit B Project Discussion  
Exhibit C Draft Resolution, including:  
1. Conditions of Approval  
2. Project Plans  
Exhibit D Vicinity Map  
Exhibit E North County LUAC Minutes  
Exhibit F Negative Declaration  
Exhibit G Moss Landing Bus Upgrade and Automation Project, Applicant Prepared Environmental Assessment  
Exhibit H Planning Commission Resolution No 94168  
Exhibit I Proposed Text Amendment to Moss Landing Power Plant Master Plan

This report was reviewed by Laura Lawrence,  Planning Services Manager

**EXHIBIT A**

**Project Information for PLN090274**

**Owner Name:** Pacific Gas & Electric Co  
**Location:** 7251 Hwy 1, Moss Landing  
**Applicable Plan:** North County LCP  
**Permit Type:** Combined Development Permit  
**Environmental Status:** Negative Declaration  
**Advisory Committee:** North County-Coastal Advisory Committee

**Primary APN:** 133-181-010-000  
**Coastal Zone:** Yes  
**Zoning:** HI (CZ)  
**Land Use Designation:** Heavy Industrial-Coast Depend.  
**Final Action Deadline (884):** 8/29/2011

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**Project Site Data:**

**Lot Size:** 134  
**Existing Structures (sf):** 0  
**Proposed Structures (sf):** 0  
**Total Sq. Ft.:** 0

**Coverage Allowed:** 50%  
**Coverage Proposed:** 0%  
**Height Allowed:** 35'  
**Height Proposed:** 150'

**Special Setbacks on Parcel:** No  
**FAR Allowed:** N/A  
**FAR Proposed:** N/A

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**Resource Zones and Reports:**

**Seismic Hazard Zone:** VI  
**Erosion Hazard Zone:** Moderate  
**Fire Hazard Zone:** Urban/Ag  
**Flood Hazard Zone:** Yes  
**Archaeological Sensitivity:** High  
**Viewshed:** No

**Soils Report #:** LIB100374  
**Biological Report #:** LIB100373 & 100377  
**Forest Management Rpt #:** N/A  
**Geologic Report #:** N/A  
**Archaeological Report #:** LIB100378 & 100379  
**Traffic Report #:** N/A

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**Other Information:**

**Water Source:** N/A  
**Water Dist/Co:**  
**Fire District:** North County FPD  
**Tree Removal:** 0

**Sewage Disposal (method):** N/A  
**Sewer District Name:** N/A  
**Grading (cubic yds.):** 28000

## EXHIBIT B DISCUSSION

### Project Description

Pacific Gas and Electric Company (PG&E) is proposing the Moss Landing Bus Upgrade and Automation Project (project) to increase substation control and enhance electrical system reliability. The Moss Landing Substation currently occupies approximately 26 acres. The project proposes to expand the Substation by approximately 5.2 acres (150 feet by 1,500 feet) into the existing transmission tower yard area which is located outside and to the north of the fenced substation area. The project involves the removal of the existing 230 kilovolt (kV) and 115 kV substation equipment and installation of new, more efficient substation equipment. Transmission lines and towers located to the north of the substation outside of the existing fence line (transmission tower yard) would be reconfigured. The existing microwave communications tower and control building will be relocated approximately 300 feet northwest of the existing tower and control building. The existing outdoor materials testing yard and meteorological tower would be moved approximately 1,000 feet to the west of the existing yard, with the tower located in the northeast corner of the test facility. The project will also involve grading of approximately 28,000 cubic yards (17,000 cubic yards cut/11,000 cubic yards fill), which will be balanced onsite to the extent feasible.

The project site is located off of Highway 1 between the Dynagy-owned Moss Landing Power Plant to the south and the Elkhorn Slough to the north. The substation controls are currently located within the power plant. Because PG&E originally built, owned and operated the power plant, the substation controls are located inside the power plant. Now that the power plant is owned by Dynegy, PG&E substation operators have limited access to substation controls inside the power plant because of Dynagy's security protocols. With the implementation of the project, the substation controls would be relocated to the PG&E-owned substation property. See the Negative Declaration prepared for the project (**Exhibit F**) for a complete description of the project.

### Issues & Environmental Review

#### *Master Plan*

LUP Policy 5.5.2.2 requires major industrial activities to prepare a master plan for County approval prior to the issuance of any County permits. Future expansion, improvement or other development is to be considered in accordance with the approved master plan. On October 26, 1994, the Planning Commission adopted the Moss Landing Power Plant Master Plan (PC94169), which addresses the long-range development and operation of the Moss Landing Power Plant facilities. Resolution 94168 (**Exhibit H**) approving the Moss Landing Power Plant Master Plan (Master Plan) states that future projects not specified in the Master Plan shall not be approved until the Master Plan is amended to include such proposal. Thus, the Master Plan must be amended prior to granting of the Combined Development Permit for the proposed project by the Planning Commission. To comply with the requirements of Section 20.144.160 and Resolution 94168, an amendment to the Master Plan (**Exhibit I**) has been prepared for the proposed development.

#### *CEQA*

The Draft Negative Declaration ("ND") for PLN090274 was prepared in accordance with CEQA and circulated for public review from June 7, 2011 through July 6, 2011 (SCH#: 2011061020). Issues that were analyzed in the Draft Negative Declaration include Aesthetics, Air Quality, Biological Resources, Cultural Resources, Geology/Soils, Greenhouse Gas Emissions, PACIFIC GAS & ELECTRIC COMPANY (PLN090274)

Hazards/Hazardous Materials, Hydrology/ Water Quality, and Noise. The applicant submitted the “Moss Landing Bus Upgrade and Automation Project, Applicant Prepared Environmental Assessment” as part of the project application. The document describes project specific plans, best management practices and applicant proposed-measures (APMs), which have been incorporated into the design and implementation of the project to reduce potential environmental impacts to a less than significant level. A non-standard condition (Condition No. 7) requiring the applicant to report on the implementation and success of all of the APMs has been incorporated into **Exhibit 1**.

### *Visual Resources*

The North County Land Use Plan stresses that development permitted in scenic areas should be sited and designed to be visually compatible and subordinate to the natural setting. Structures should be located where existing topography and vegetation provide natural screening. The project site is located to the east of Highway 1 and south of Elkhorn Slough. LUP Policy 2.2.4.6 calls for Elkhorn Slough to be designated a State Scenic Waterway and states that the visual character of the adjacent scenic corridor shall be preserved. Existing trees located on the western property line and on adjacent properties to the north generally screen the project site from view from both Highway 1 and Elkhorn Slough. The height of the new substation equipment will range from 20 to 30 feet, which is approximately 10 feet lower than the existing equipment. Ten existing lattice towers and one tubular steel pole (TSP) will be removed and will be replaced with five new lattice towers and seven TSPs of similar height. The lattice towers will range in height from approximately 110 feet to 145 feet and the TSPs will range in height from approximately 75 feet to 130 feet. The new lattice towers and TSPs will be shorter than those currently existing on site, which are more than 145 feet tall. Visual simulations prepared for the project show that the overall visual change to the site as a result of the substation expansion and lattice tower and tubular steel pole (TSP) reorientation would be minimal.

### *Biological Resources*

Because the project site is located approximately 230 feet south of Elkhorn Slough and the project involves disturbance of land that has not previously been developed and in accordance with the requirements of the North County Land Use Plan, a biological report was required for the project. The existing substation site is a flat, graveled area that is developed with substation equipment on the surface and underground conduits. The transmission tower yard to the north is a ruderal grassland that has been used for grazing. Although the report found that no environmentally sensitive habitat exists on or within 100 feet of the project site, the potential for impacts to a number of sensitive species was identified. The ND found that the implementation of applicant proposed measures APM-BIO-01 through APM-BIO-15 would reduce the potential for project related impacts to biological resources to a less than significant level.

### *Cultural Resources*

Two known archaeological sites are located on the property. One, to the west of the project site, will not be affected by the project. No impacts to cultural resources are expected to occur in the project demolition area because this area has been previously extensively graded for construction of the 115kV and 230kV switchyards. In accordance with LUP policies and CIP regulations as well as the recommendation of the Master Plan Cultural Resource Guidelines, an archaeological assessment and archaeological testing were conducted for the project. The testing concluded that although cultural materials are dispersed throughout the site, the cultural material found in the proposed project area lacks integrity and data potential because of its sparse and discontinuous nature and prior disturbances, which have damaged the context of the deposits. The project has been designed to avoid construction or any disturbance of the significant portion of the archaeological site. The ND found that the implementation of applicant proposed measures

APM-CUL-01 through APM-CUL-04 would reduce the potential for project related impacts to cultural resources to a less than significant level. These measures include protective fencing around the site for the duration of the project to prevent inadvertent trespass and monitoring by a qualified archaeologist and a Native American tribal representative during all subsurface construction disturbances in the work area. In addition, standard conditions of approval for sites with positive archaeological reports including a condition requiring dedication of a Resource Conservation Easement over those areas portions of the property where known archaeological resources exist, have been incorporated into **Exhibit 1**.

#### *Geology/Soils*

The potential for erosion associated with grading will be addressed by the implementation of the project's Stormwater Pollution Prevention Plan (prepared to comply with National Pollution Discharge Elimination System (NPDES) General Permit for Stormwater Discharges Associated with construction and Land Disturbance Activities) and PG&E standard Water Quality Construction Best Management Practices. The main geotechnical concern is the potential for caving during excavation. The project will implement the construction practices recommended in the geotechnical report prepared for the project (LIB100374) including reinforcing excavations and having a geotechnical representative present to observe drilled holes as described in APM-GEO-01. This will reduce potential impacts due to soil instability to a less than significant level.

#### *Greenhouse Gas Emissions*

Due to the relatively long-term construction duration (approximately 5 years) and the projected limited and intermittent use of heavy equipment, criteria air pollutant and greenhouse gas (GHG) emissions are not expected to cause a significant impact. Sulfur hexafluoride (SF<sub>6</sub>) in transformers and circuit breakers poses a GHG concern because of its extremely high global warming potential. However, the new substation equipment which will have a lower potential for leakage and PGE's continued monitoring and maintenance programs will result in a reduced overall potential for SF<sub>6</sub> emissions and a less than significant impact. See also Finding 5, Evidence k.

#### *Hazards/Hazardous Materials*

The risk of exposure to hazardous materials as a result of the project is low. The ND found that with the implementation of applicant proposed measures APM-HAZ-01 through APM-HAZ-02 and the continued use of PG&E's existing Spill Prevention and Control and Countermeasure Plan (required by the Clean Water Act), the potential for impacts associated with hazardous materials is less than significant.

#### *Noise*

The potential for noise impacts to the residential neighbors was brought up by the LUAC. However, no comments from the neighbors have been received. Although construction would occur primarily during daylight hours, sporadic periods of night or weekend construction may occur. Noise generated by heavy equipment would be concentrated in short periods of activity over a construction period of approximately 5 years. The range of noise level generated by the types of equipment (as measured 50 feet from the source) which will be used for the project is equal to or lower than the maximum allowed by Monterey County Code (85 dBA at 50 feet). The nearest residence is approximately 200 feet from the nearest construction location on the site. For all of these reasons, the ND determined that impacts due to noise would be less than significant.

No comments from the public were received. No unresolved issues remain.

Recommendation

Staff recommends that the Planning Commission adopt the Negative Declaration and approve the project subject to the recommended conditions of approval.

**EXHIBIT C  
DRAFT RESOLUTION**

**Before the Planning Commission in and for the  
County of Monterey, State of California**

In the matter of the application of:

**PACIFIC GAS & ELECTRIC COMPANY (PLN090274)**

**RESOLUTION NO. [REDACTED]**

Resolution by the Monterey County Planning  
Commission:

- 1) Adopting the Negative Declaration; and
- 2) Approving the Combined Development Permit consisting of: 1) an Amendment to the Moss Landing Power Plant Master Plan; 2) a Coastal Development Permit to allow the expansion of the existing PG&E Moss Landing substation to include: the expansion and reconfiguration of the existing 115 kilovolt (kV) and 230 kV transformer banks, the removal or relocation of the lattice towers and their replacement with new tubular steel poles, the relocation of an existing microwave telecommunications tower and the relocation of an existing outdoor test facility; and 3) a Coastal Development Permit to allow development on a parcel with a positive archaeological report.

[PLN090274, Pacific Gas & Electric Company, 7251 Highway 1, Moss Landing, North County Land Use Plan (APN: 133-181-010-000)]

The Pacific Gas & Electric Company application (PLN090274) came on for public hearing before the Monterey County Planning Commission on August 31, 2011. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Planning Commission finds and decides as follows:

**FINDINGS**

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.  
**EVIDENCE:** a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
  - 1982 Monterey County General Plan;
  - North County Land Use Plan (LUP);
  - Moss Landing Community Plan;
  - Monterey County Coastal Implementation Plan Part 2 (CIP); and
  - Monterey County Zoning Ordinance (Title 20).No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies



- with the text, policies, and regulations in these documents.
- b) The property is located at 7251 Highway 1, Moss Landing (Assessor's Parcel Number 133-181-010-000, North County Land Use Plan. The parcel is zoned HI (CZ) [Heavy Industrial (Coastal Zone)], which allows public utility structures and uses and development on parcels with positive archaeological reports with Coastal Development Permits. Therefore, the project is an allowed land use for this site.
  - c) The project planner conducted a site inspection on August 13, 2009 to verify that the project on the subject parcel conforms to the plans listed above.
  - d) The project is consistent with LUP policies pertaining to Archaeological Resources. The project site contains two known archaeological sites. Pursuant to CIP Section 20.144.110.A.1, a Coastal Development Permit for development within 750 feet of a known archaeological resource is part of the project application. See also Finding and Evidence No. 5).
  - e) The project is consistent with LUP Policy 5.5.2.1 and Section 20.144.160.C.1.a, which direct coastal dependent industrial facilities to expand within existing sites before offsite expansion is considered. The proposed project will be entirely within the existing PG&E site.
  - f) The project is consistent with LUP Policy 5.5.2.2 and Section 20.144.160.C.1.c of the CIP, which require improvements at the PG&E Power Plant to be addressed and included in the Moss Landing Power Plant Master Plan (Master Plan). The Master Plan was adopted by the Planning Commission on October 26, 1994 (PC94169). Resolution 94168 (**Exhibit H of the August 31, 2011 staff report**) approving the Master Plan states that future projects not specified in the Master Plan shall not be approved until the Master Plan is amended to include such proposal. To comply with the requirements of Section 20.144.160 and Resolution 94168, an amendment to the Master Plan has been prepared for the proposed development.
  - g) The project is consistent with LUP Policy 5.5.2.3, which directs that the least environmentally damaging alternative should be selected for on-site modernization and upgrading of existing facilities. The project has been designed to avoid environmental damage. See also Finding & Evidence No. 5.
  - h) The project is consistent with LUP policies addressing environmentally sensitive habitat. The project area is located within annual non-native grassland (ruderal) pasture, approximately 230 feet south of the Elkhorn Slough. The biological report prepared for the project (LIB100373) found that no environmentally sensitive habitat exists within or within 100 feet of the proposed project area. Surveys for sensitive species, including a protocol level survey for California Tiger Salamander, were conducted but other than one juvenile Red legged frog, no individuals were identified on the site. The project incorporates measures designed to prevent impacts to biological resources on the site. See also Finding and Evidence No. 5.
  - i) The project is consistent with LUP Key Policy 2.9.1, which requires projects to incorporate all site planning and design features necessary to minimize or avoid impacts to archaeological resources. See also Finding and Evidence No. 5.
  - j) The project is consistent with Section 20.64.160.C of Title 20 which

allows public utility distribution and transmission line towers and poles for distribution of electricity without limitations as to height without the necessity of first obtaining a Coastal Development Permit unless otherwise required pursuant to Chapter 20.70. The project includes the construction of transmission towers and poles which will vary in height from 35 feet to 146 feet.

- k) The project was referred to the North County Coastal Land Use Advisory Committee (LUAC) for review. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors per Resolution No. 08-338, this application did warrant referral to the LUAC because the project involves development subject to CEQA review. The LUAC reviewed the project on November 16, 2010 and made comments about the height of the towers and the disruption to neighbors during construction. The LUAC recommended approval of the project as proposed by a vote of 4-1, with the dissenting member citing disruption to the neighbors over the 5 year span of the project.
- l) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN090274.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: RMA - Planning Department, North County Fire Protection District, Public Works, Environmental Health Bureau, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
  - b) Staff identified potential impacts to Biological Resources, Archaeological Resources, and Soils. Technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff independently reviewed these reports and concurs with their conclusions. The following reports have been prepared:
    - *“Moss Landing Bus Upgrade and Automation Project-Revised Biological Resources Technical Report” (LIB100373) prepared by Insignia Environmental, November 2010.*
    - *“Geotechnical Investigation Moss Landing Substation, Highway 1 and Dolan Road, Moss Landing, California” (LIB100374) prepared by Kleinfelder, San Jose, CA, October 14, 2010.*
    - *“Stormwater Pollution Prevention Plan for Moss Landing 230kV and 115kV Breaker and a Half Conversion Project” (LIB100376) prepared by ETIC Engineering, Inc., Pleasant Hill, CA, September 30, 2010.*
    - *“California Tiger Salamander Upland Study, Moss Landing Substation Project Site, Monterey County, California” (LIB100377) prepared by Biosearch Associates, Santa Cruz, CA, April 8, 2010.*

- *“Archaeological Assessment of the Moss Landing Bank Stabilization Project”, (LIB100378) prepared by Applied Earthworks, Inc., San Luis Obispo, CA, September, 2010.*
  - *“Paleontological Identification and Evaluation for the Proposed PG&E Bank Replacement Project, Moss Landing Power Plant Site, Monterey County, California” (LIB100379) prepared by Brady & Associates Geological Services, Fresno, CA, October 5, 2010.*
  - *“Moss Landing Bus Upgrade and Automation Project, Applicant Prepared Environmental Assessment” prepared by Insignia Environmental, Palo Alto, CA, December, 2010.*
- c) Staff conducted a site inspection on August 13, 2009 to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN090274.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by North County Fire Protection District, Public Works, Environmental Health Bureau, Water Resources Agency, Planning, and California Coastal Commission. The respective departments/agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- b) Necessary public facilities are available. Sewer service for the site is provided by Moss Landing County Sanitation District, potable water is provided by Pajaro Sunny Mesa and water for construction purposes will come from an onsite well. No new facilities requiring additional water or sewer capacity are proposed.
- c) Preceding findings and supporting evidence for PLN090274.

4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County RMA - Planning Department and Building Services Department records and is not aware of any violations existing on subject property.
- b) Staff conducted a site inspection on August 13, 2009 and researched County records to assess if any violation exists on the subject property.
- c) There are no known violations on the subject parcel.
- d) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the

proposed development are found in Project File PLN090274.

5. **FINDING: CEQA (Negative Declaration)** - On the basis of the whole record before the Monterey County Planning Commission, there is no substantial evidence that the proposed project as designed, conditioned and mitigated, will have a significant effect on the environment. The Negative Declaration reflects the independent judgment and analysis of the County.

- EVIDENCE:**
- a) Public Resources Code Section 21080.d and California Environmental Quality Act (CEQA) Guidelines Section 15064.a.1 require environmental review if there is substantial evidence that the project may have a significant effect on the environment.
  - b) The Monterey County Planning Department prepared an Initial Study pursuant to CEQA. The Initial Study is on file in the offices of the Planning Department and is hereby incorporated by reference (PLN090274).
  - c) The Initial Study provides substantial evidence based upon the record as a whole, that the project would not have a significant effect on the environment. Staff accordingly prepared a Negative Declaration (ND). The project has been designed to avoid the effects to a point where clearly no significant effects would occur. The Initial Study is on file in the RMA-Planning Department and is hereby incorporated by reference (PLN090274).
  - d) The Draft Negative Declaration (“ND”) for PLN090274 was prepared in accordance with CEQA and circulated for public review from June 7, 2011 through July 6, 2011 (SCH#: 2011061020). Issues that were analyzed in the Draft Negative Declaration (“ND”) include Aesthetics, Air Quality, Biological Resources, Cultural Resources, Geology/Soils, Greenhouse Gas Emissions, Hazards/Hazardous Materials, Hydrology/ Water Quality, and Noise.
  - e) The applicant prepared and submitted to the RMA-Planning Department, the Moss Landing Bus Upgrade and Automation Project Applicant Prepared Environmental Assessment (APEA). The APEA includes Applicant Proposed Measures (APMs), which have been incorporated into the project design and implementation by the applicant to reduce potential environmental impacts to a less than significant level. A non-standard condition (Condition No. 7) requiring implementation of all of the APMs has been incorporated into **Exhibit 1**.
  - f) Aesthetic Resources – Due to existing trees that generally screen the site from direct view, there are only limited views of the project site from Highway 1 and Elkhorn Slough. The height of the new equipment, towers and tubular steel poles will be lower than the existing. Visual simulations prepared for the project show that the overall visual change to the project site as a result of the substation expansion and lattice tower and tubular steel pole (TSP) reorientation would be minimal when viewed from Highway 1 and from Elkhorn Slough. New substation lighting will replace existing lighting and will only be used intermittently at night for security and safety reasons. The standard lighting condition has been incorporated to ensure that offsite glare is minimized.

- g) Air Quality – Because construction activities will be phased over a 5-year period, will involve relatively small crews of up to eight people and will involve limited construction equipment at any one time, the ND prepared for the project found that impacts to air quality will be less than significant.
- h) Biological Resources – The project site is located approximately 230 feet south of the Elkhorn Slough. A biological report (LIB100373) was prepared for the project pursuant to CIP Sections 20.144.040.A.1.b and c, which require that a biological report be prepared for development that may be located within or within 100 feet of environmentally sensitive habitat. Although the report found that there is no environmentally sensitive habitat on or within 100 feet of the project site, potential impacts to sensitive plant and wildlife species were identified in the ND prepared for the project. The ND determined that measures incorporated into the project by the applicant will reduce impacts to biological resources to a less than significant level [see Moss Landing Bus Upgrade and Automation Project, Applicant Prepared Environmental Assessment (**Exhibit G of the August 31, 2011 staff report**)].
- i) Cultural Resources – The project is located in a high archeological sensitivity area and three known prehistoric archaeological sites are located on or near the subject property. Pursuant to LUP Policy 2.9.3.1, an Initial Study was prepared for the project. Pursuant to LUP Policy 2.9.2.2.b, an archaeological assessment (LIB100378) and paleontological assessment (LIB100379) were prepared for the project. No impacts to cultural resources are expected to occur in the project demolition area because this area has been previously extensively graded for construction of the 115kV and 230kV switchyards. As recommended in the Master Plan Cultural Resource Guidelines and to identify the lateral extent of cultural deposits in relation to the proposed substation expansion on the site, 40 shovel probes were excavated on a grid at 30-meter intervals across potential impact areas. An additional 12 shovel probes and four test excavation units were excavated to gather additional information needed to evaluate the significance of the resources, further assess potential project impacts and to plan for any necessary impact mitigation. The report on the testing concludes that the project work area excludes the portion of the archaeological site which contains the significant qualities of the site and that the portion of the site that is currently proposed for development lacks integrity and data potential because of its sparse and discontinuous nature and prior disturbances, which have damaged the context of the deposits. The ND prepared for the project determined that measures incorporated into the project by the applicant will reduce impacts to cultural resources to a less than significant level [see Moss Landing Bus Upgrade and Automation Project, Applicant Prepared Environmental Assessment (**Exhibit G of the August 31, 2011 staff report**)]. In addition, standard conditions of approval for sites with positive archaeological reports, including a condition requiring dedication of a Resource Conservation Easement over those areas portions of the property where known archaeological resources exist, have been incorporated into **Exhibit 1**.

- j) Geology/Soils – The project is located in an area identified as Seismic Hazard Zone IV (High) and the site was evaluated to have moderate potential for soil erosion. The ND determined that the implementation of the project’s Stormwater Pollution Prevention Plan (SWPPP) and PG&E standard Water Quality Construction BMPs will minimize soil erosion and the potential for impacts due to erosion to a less than significant level. The main geotechnical concern is the potential for caving during excavations for the construction of drilled piers and during excavation activities. The ND determined that the measures incorporated into the project by the applicant will reduce impacts due to soil instability to a less than significant level [see Moss Landing Bus Upgrade and Automation Project, Applicant Prepared Environmental Assessment (**Exhibit G of the August 31, 2011 staff report**)].
- k) Greenhouse Gas Emissions – The primary source of criteria air pollutant and greenhouse gas (GHG) emissions would stem from the use of heavy equipment such as crew trucks, bulldozers and cranes. However, heavy equipment use is anticipated to be intermittent and limited to demolition, site preparation and some construction activities over a period of approximately 5 years. Pollutant emissions resulting from heavy equipment use during construction are not anticipated to exceed significance thresholds established by the California Air Resources Board (CARB) because the duration of use is expected to be very limited. Thus, the ND determined that the impact would be less than significant. Sulfur hexafluoride (SF<sub>6</sub>) in transformers and circuit breakers also pose a GHG concern because of its extremely high global warming potential. SF<sub>6</sub> is present in the existing substation equipment and will be present in the new substation equipment. However, older equipment has been found to have a higher rate of SF<sub>6</sub> leakage, while newer equipment is expected to have minimal to zero leakage rates. In addition, PG&E’s current practice of monitoring SF<sub>6</sub> levels in equipment, identifying and repairing or replacing leaky equipment in a timely fashion will continue to be implemented as part of the proposed project. Therefore, the ND determined that the project will result in a reduced potential for SF<sub>6</sub> emissions and a less than significant impact to GHG emissions.
- l) Hazards/Hazardous Materials – The ND found that potential impacts resulting from use of hazardous materials during the construction phase of the project would be less than significant with the continued implementation of PG&E’s existing Spill Prevention and Control and Countermeasure (SPCC) Plan and the construction of a new retention basin. The ND found that measures incorporated into the project by the applicant, including conducting a Phase I and Phase II Environmental Site Assessment (ESA) on the project site and testing of existing equipment to be removed to determine appropriate recycle, reuse or disposal alternatives, reduce the potential for impacts due to demolition activities to a less than significant level.
- m) Hydrology/Water Quality – The ND found that implementation of the Stormwater Pollution Prevention Plan (LIB100376) prepared for the project as required by the State Water Resources Control Board would reduce potential impacts to water quality to a less than significant level. An existing well will be used as the primary source of water during

construction of the project. Water generated by de-watering activities may also be used if, after testing, the quality is found to be adequate. Approximately 6,000 gallons of water would normally be required daily for dust control during construction and up to 15,000 gallons per day would be required during grading and foundation construction. Because construction activities requiring water would be limited and short term, and water needs would be fairly sporadic during the 5-year construction term, the project is not expected to result in a net deficit in the aquifer volume or result in a significant lowering of the groundwater table. Thus, the ND found the potential impact to groundwater to be less than significant.

- n) Noise – The ND determined that noise impacts would be less than significant. The nearest residences to the project site are at least 200 feet from the project site. The major noise generating equipment to be used at the project site will operate at noise levels at or below the 85 dBA (measured at 50 feet) noise limit established by Monterey County Code. Due to the temporary and intermittent nature of project construction, the project's distance from residences and recreation areas, impacts due to groundborne vibration were found to be less than significant.
- o) Evidence that has been received and considered includes: the application, technical studies/reports (*see Finding 2/Site Suitability*), staff reports that reflect the County's independent judgment, and information and testimony presented during public hearings (as applicable). These documents are on file in the RMA-Planning Department (PLN090274) and are hereby incorporated herein by reference.
- p) Staff analysis contained in the Initial Study and the record as a whole indicate the project could result in changes to the resources listed in Section 753.5(d) of the Department of Fish and Game (DFG) regulations. All land development projects that are subject to environmental review are subject to a State filing fee plus the County recording fee, unless the Department of Fish and Game determines that the project will have no effect on fish and wildlife resources.  
The site has the potential to support one special status plant species and five special status wildlife species on the project site. For purposes of the Fish and Game Code, the project will have a significant adverse impact on the fish and wildlife resources upon which the wildlife depends. State Department of Fish and Game reviewed the ND to comment and recommend necessary conditions to protect biological resources in this area. Therefore, the project will be required to pay the State fee plus a fee payable to the Monterey County Clerk/Recorder for processing said fee and posting the Notice of Determination (NOD).
- q) No comments from the public were received.
- r) The Monterey County Planning Department, located at 168 W. Alisal, Second Floor, Salinas, California, 93901, is the custodian of documents and other materials that constitute the record of proceedings upon which the decision to adopt the negative declaration is based.

6. **FINDING: PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3

of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

- EVIDENCE:** a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.144.150 of the Monterey County Coastal Implementation Plan can be demonstrated.
- b) The subject property is not described as an area where the Local Coastal Program requires public access (Figure 4 in the North County Land Use Plan).
- c) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
- d) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN090274
- e) The project planner conducted a site inspection on August 13, 2009.

7. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission

- EVIDENCE:** a) Section 20.86.030 Monterey County Zoning Ordinance (Board of Supervisors).
- b) Section 20.86.080.A.3 Monterey County Zoning Ordinance (Coastal Commission). The project is subject to appeal by/to the California Coastal Commission because the project involves development that is permitted in the underlying zone as a conditional use.

### DECISION

**NOW, THEREFORE**, based on the above findings and evidence, the Planning Commission does hereby:

- A. Adopt the Negative Declaration; and
- B. Approve the Combined Development Permit consisting of: 1) an Amendment to the Moss Landing Power Plant Master Plan; 2) a Coastal Development Permit to allow the expansion of the existing PG&E Moss Landing substation to include: the expansion and reconfiguration of the existing 115 kilovolt (kV) and 230 kV transformer banks, the removal or relocation of the lattice towers and their replacement with new tubular steel poles, the relocation of an existing microwave telecommunications tower and the relocation of an existing outdoor test facility; and 3) a Coastal Development Permit to allow development on a parcel with a positive archaeological report; in general conformance with the attached sketch (**Exhibit 2**) and subject to the conditions (**Exhibit 1**), both exhibits being attached hereto and incorporated herein by reference.

**PASSED AND ADOPTED** this 31st day of August, 2011 upon motion of xxxxx, seconded by xxxxx, by the following vote:

AYES:  
NOES:  
ABSENT:  
ABSTAIN:



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Mike Novo, Secretary  
Planning Commission

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE DATE

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS / IS NOT APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning Department and Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

EXHIBIT 1

Monterey County Planning Department

DRAFT Conditions of Approval/Mitigation Monitoring Reporting Plan

PLN090274

Conditions of Approval and/or Mitigation Monitoring Measures	Responsible Department	Compliance or Monitoring Actions to be Performed
<p><b>1. PD001 - SPECIFIC USES ONLY</b></p> <p>This permit, a Combined Development Permit consisting of: 1) an Amendment to the Moss Landing Power Plant Master Plan; 2) a Coastal Development Permit to allow the expansion of the existing PG&amp;E Moss Landing substation to include: the expansion and reconfiguration of the existing 115 kilovolt (kV) and 230 kV transformer banks, the removal or relocation of the lattice towers and their replacement with new tubular steel poles, the relocation of an existing microwave telecommunications tower and the relocation of an existing outdoor test facility; and 3) a Coastal Development Permit to allow development on a parcel with a positive archaeological report, was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of the RMA - Planning Department. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning Department)</p>	Planning	The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.
<p><b>2. PD002 - NOTICE PERMIT APPROVAL</b></p> <p>The applicant shall record a Permit Approval Notice which states "A Combined Development Permit, Resolution Number 11-xxx, was approved by the Monterey County Planning Commission for Assessor's Parcel Number 133-181-010-000 on August 31, 2011. The permit was granted subject to 16 conditions of approval which run with the land. A copy of the permit is on file with the Monterey County RMA - Planning Department." Proof of recordation of this notice shall be furnished to the Director of the RMA - Planning Department prior to issuance of building permits or commencement of the use. (RMA - Planning Department)</p>	Planning	Prior to the issuance of grading and building permits or commencement of use, the Owner/Applicant shall provide proof of recordation of this notice to the RMA - Planning Department.

Conditions of Approval and/or Mitigation Monitoring Measures	Responsible Department	Compliance or Monitoring Actions to be Performed
<p>The resource conservation and proposed grading shall be staked with 18" stakes at intervals as necessary to clearly delineate the easement and grading. The staking shall be consistent with recorded easement lines and proposed grading as indicated in the official record at the Monterey County RMA - Building Services Department. The staking shall be verified at the grading pre-site inspection by the grading inspector. (RMA - Planning Department and Building Services Department)</p>	Planning	<p>Prior to the pre-site inspection, the Owner/Applicant shall stake the easement(s) and proposed grading with 18" stakes at intervals as necessary to clearly delineate the easement and grading. The staking shall be consistent with recorded easement lines and proposed grading as indicated in the official record at the Monterey County RMA- Building Services Department and shall be verified by the grading inspector at the pre-site inspection.</p>
<p><b>7. PDSP001 - VERIFICATION OF APPLICANT PROPOSED MEASURES (NON-STANDARD)</b>  All of the Applicant Proposed Measures (APMs) as proposed in the "Moss Landing Bus Upgrade and Automation Project, Applicant Prepared Environmental Assessment" prepared by Insignia Environmental, December, 2010 shall be implemented by the applicant/owner. The applicant shall provide to the RMA-Planning Department for review and approval: 1) verification of the implementation of the APMs; and 2) report on the success of the APMs. (RMA-Planning Department)</p>	Planning	<p>The applicant/owner shall provide to the RMA-Planning Department documentation that the APMs have been implemented, as appropriate either prior to the issuance of a grading or building permit or prior to the commencement of construction activities that trigger implementation of an APM. Prior to final inspection, the applicant/owner shall provide to the RMA-Planning Department a report on the success of the APMs.</p>
<p><b>8. PD003(B) - CULTURAL RESOURCES POSITIVE ARCHAEOLOGICAL REPORT</b></p>		

Conditions of Approval and/or Mitigation Monitoring Measures	Responsible Department	Compliance or Monitoring Actions to be Performed
<p>If archaeological resources or human remains are accidentally discovered during construction, the following steps will be taken:</p> <p>There shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent human remains until the coroner of the county in which the remain are discovered must be contacted to determine that no investigation of the cause of death is required.</p> <p>If the coroner determines the remains to be Native American:</p> <ul style="list-style-type: none"> <li>- The coroner shall contact the Native American Heritage Commission and the RMA - Planning Department within 24 hours.</li> <li>- The Native American Heritage Commission shall identify the person or persons from a recognized local tribe of the Esselen, Salinan, Costonoans/Ohlone and Chumash tribal groups, as appropriate, to be the most likely descendant.</li> <li>- The most likely descendant may make recommendations to the landowner or the person responsible for the excavation work, for means of treating or disposing of, with appropriate dignity, the human remains and any associated grave goods as provided in Public Resources Code Section 5097.9 and 5097.993, Or</li> </ul> <p>Where the following conditions occur, the landowner or his authorized representatives shall rebury the Native American human remains and associated grave goods with appropriate dignity on the property in a location not subject to further subsurface disturbance:</p> <ol style="list-style-type: none"> <li>1. The Native American Heritage Commission is unable to identify a most likely descendant or the most likely descendant failed to make a recommendation within 24 hours after being notified by the commission.</li> <li>2. The descendant identified fails to make a recommendation; or</li> <li>3. The landowner or his authorized representative rejects the recommendation of the descendant, and the mediation by the Native American Heritage Commission fails to provide measures acceptable to the landowner.</li> </ol> <p>(RMA - Planning Department)</p>	Planning	<p>Prior to the issuance of grading or building permits or approval of Subdivision Improvement Plans, whichever occurs first, the Owner/Applicant, per the archaeologist, shall submit the contract with a Registered Professional Archaeologist to the Director of the RMA-Planning Department for approval.</p> <p>Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans, on the Subdivision Improvement Plans, in the CC&amp;Rs, and shall be included as a note on an additional sheet of the final/parcel map.</p>
<p><b>9. PD005 - FISH &amp; GAME FEE NEG DEC/EIR</b></p> <p>Pursuant to the State Public Resources Code Section 753.5, State Fish and Game Code, and California Code of Regulations, the applicant shall pay a fee, to be collected by the County, within five (5) working days of project approval. This fee shall be paid before the Notice of Determination is filed. If the fee is not paid within five (5) working days, the project shall not be operative, vested or final until the filing fees are paid.</p> <p>(RMA - Planning Department)</p>	Planning	<p>Within five (5) working days of project approval, the Owner/Applicant shall submit a check, payable to the County of Monterey, to the Director of the RMA - Planning Department.</p> <p>If the fee is not paid within five (5) working days, the applicant shall submit a check, payable to the County of Monterey, to the Director of the RMA - Planning Department prior to the recordation of the final/parcel map, the start of use, or the issuance of building permits or grading permits.</p>

Conditions of Approval and/or Mitigation Monitoring Measures	Responsible Department	Compliance or Monitoring Actions to be Performed
<p><b>10. PD016 - NOTICE OF REPORT</b></p> <p>Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states that the following reports are on file in the Monterey County RMA - Planning Department and that all development shall be in accordance with this report:</p> <ul style="list-style-type: none"> <li>- "Moss Landing Bus Upgrade and Automation Project-Revised Biological Resources Technical Report" (LIB100373) prepared by Insignia Environmental, November 2010.</li> <li>- "Geotechnical Investigation Moss Landing Substation, Highway 1 and Dolan Road, Moss Landing, California (LIB100374) prepared by Kleinfelder, San Jose, CA, October 14, 2010.</li> <li>- "Stormwater Pollution Prevention Plan for Moss Landing 230kV and 115kV Breaker and a Half Conversion Project" (LIB100376) prepared by ETIC Engineering, Inc., Pleasant Hill, CA, September 30, 2010.</li> <li>- "California Tiger Salamander Upland Study, Moss Landing Substation Project Site, Monterey County, California" (LIB100377) prepared by Biosearch Associates, Santa Cruz, CA, April 8, 2010.</li> <li>- "Archaeological Assessment of the Moss Landing Bank Stabilization Project", (LIB100378) prepared by Applied Earthworks, Inc., San Luis Obispo, CA, September, 2010.</li> <li>- "Paleontological Identification and Evaluation for the Proposed PG&amp;E Bank Replacement Project, Moss Landing Power Plant Site, Monterey County, California" (LIB100379) prepared by Brady &amp; Associates Geological Services, Fresno, CA, October 5, 2010.</li> </ul> <p>(RMA - Planning Department)</p>	Planning	<p>Prior to the issuance of grading and building permits, the Owner/Applicant shall submit proof of recordation of this notice to the RMA - Planning Department.</p> <p>Prior to occupancy, the Owner/Applicant shall submit proof, for review and approval, that all development has been implemented in accordance with the report to the RMA - Planning Department.</p>
<p><b>11. PD009 - GEOTECHNICAL CERTIFICATION</b></p> <p>Prior to final inspection, the geotechnical consultant shall provide certification that all development has been constructed in accordance with the geotechnical report.</p> <p>(RMA - Planning Department and Building Services Department)</p>	Planning	<p>Prior to final inspection, the Owner/Applicant/Geotechnical Consultant shall submit certification by the geotechnical consultant to the RMA-Building Services Department showing project's compliance with the geotechnical report.</p>
<p><b>12. PD007- GRADING WINTER RESTRICTION</b></p> <p>No land clearing or grading shall occur on the subject parcel between October 15 and April 15 unless authorized by the Director of RMA - Building Services Department.</p> <p>(RMA - Planning Department and Building Services Department)</p>	Planning	<p>The Owner/Applicant, on an on-going basis, shall obtain authorization from the Director of RMA - Building Services Department to conduct land clearing or grading between October 15 and April 15.</p>
<p><b>13. PD010 - EROSION CONTROL PLAN</b></p>		

**Conditions of Approval and/or Mitigation Monitoring Measures**

**Responsible  
Department**

**Compliance or Monitoring  
Actions to be Performed**

The approved development shall incorporate the recommendations of the Erosion Control Plan as reviewed by the Director of RMA - Planning and Director of Building Services. All cut and/or fill slopes exposed during the course of construction be covered, seeded, or otherwise treated to control erosion during the course of construction, subject to the approval of the Director of RMA - Planning and RMA - Building Services. The improvement and grading plans shall include an implementation schedule of measures for the prevention and control of erosion, siltation and dust during and immediately following construction and until erosion control planting becomes established. This program shall be approved by the Director of RMA - Planning and Director of RMA - Building Services.  
(RMA - Planning Department and RMA - Building Services Department)

Planning

Prior to the issuance of grading and building permits, the Owner/Applicant shall submit an Erosion Control Plan to the RMA - Planning Department and the RMA - Building Services Department for review and approval.

The Owner/Applicant, on an on-going basis, shall comply with the recommendations of the Erosion Control Plan during the course of construction until project completion as approved by the Director of RMA - Planning and Director of RMA - Building Services.

**14. PD014(A) - LIGHTING-EXTERIOR LIGHTING PLAN**

(NON-STANDARD) All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of the RMA - Planning Department, prior to commencement of construction.  
(RMA - Planning Department)

Planning

Prior to the commencement of construction, the Owner/Applicant shall submit three copies of the lighting plans to the RMA - Planning Department for review and approval. Approved lighting plans shall be incorporated into final building plans.

Prior to occupancy and on an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

**15. HAZ MAT BUSINESS RESPONSE PLAN**

EHSP001 - HAZ MAT BUSINESS RESPONSE PLAN (NON-STANDARD CONDITION)  
Comply with Title 19 of the California Code of Regulations and Chapter 6.95 of the California Health and Safety Code (Hazardous Material Registration and Business Response Plans) as approved by the Director of Environmental Health.  
(Environmental Health)

Env Health

Continuous/On-going\_ Owner/Applicant shall contact the Hazardous Materials Program of the Environmental Health Bureau to update the current plan.

**16. PW0044 - CONSTRUCTION MANAGEMENT PLAN**

**Conditions of Approval and/or Mitigation Monitoring Measures**

**Responsible  
Department**

**Compliance or Monitoring  
Actions to be Performed**

The applicant shall submit a Construction Management Plan (CMP) to the RMA-Planning Department and the Department of Public Works for review and approval. The CMP shall include measures to minimize traffic impacts during the construction/grading phase of the project and shall provide the following information: Duration of the construction, hours of operation, an estimate of the number of truck trips that will be generated, truck routes, number of construction workers, parking areas for both equipment and workers, and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the Construction/grading phase of the project. (Public Works)

Pub Works

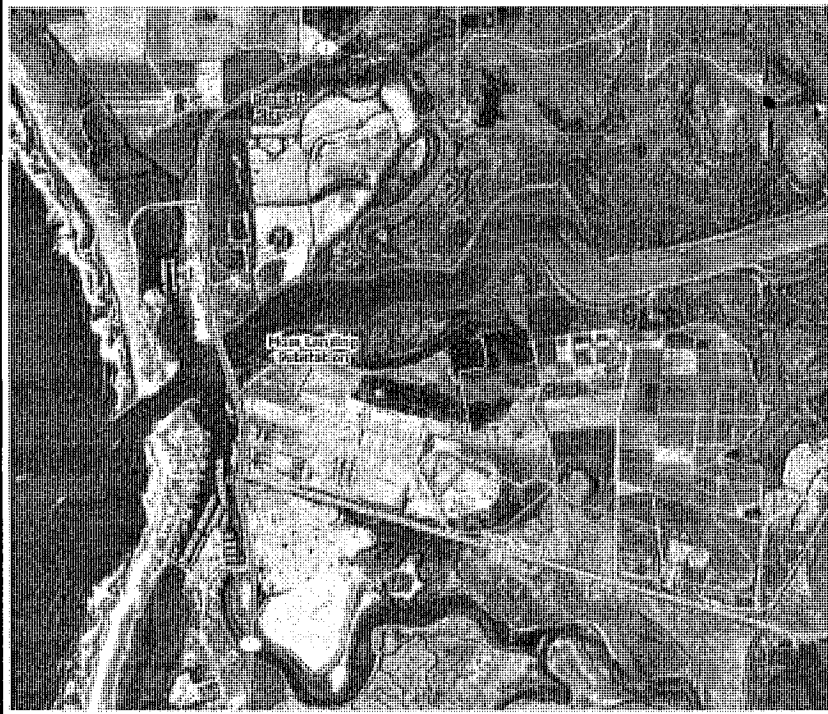
1. Prior to issuance of the Grading Permit or Building Permit Owner/Applicant/ Contractor shall prepare a CMP and shall submit the CMP to the RMA-Planning Department and the Department of Public Works for review and approval.
2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

# COASTAL DEVELOPMENT PERMIT FOR **MOSS LANDING BUS UPGRADE AND AUTOMATION PROJECT**



## TABLE OF CONTENTS

1	TITLE SHEET
2	DEMOLITION AND CONSTRUCTION WORK PLAN
3	SITE PLAN
4	TYPICAL SUBSTATION SECTIONS
5	TOWER ELEVATIONS



## PROJECT INFORMATION

LOT SIZE:	±133 ACRES
GENERAL PLAN DESIGNATION:	HEAVY INDUSTRIAL
ZONING DESIGNATION:	HI (C2)
FLOOR AREA RATIO:	NOT APPLICABLE
GRADING:	17,000 CUBIC YARDS OF CUT, 11,000 CUBIC YARDS OF FILL
IMPERVIOUS COVERAGE:	±45 ACRES (33%)
PARKING:	55 SPACES EXISTING, NONE PROPOSED
USES:	EXISTING SUBSTATION
OPERATION:	24 HOUR OPERATIONS AT THE SUBSTATION
EMPLOYEES:	VARIES, APPROXIMATELY 25 DURING DAYTIME HOURS
EXTERIOR LIGHTING:	EXTERIOR LIGHTING: SUBSTATION LIGHTING WILL BE PROVIDED BY 100 AND 150-WATT HIGH-PRESSURE SODIUM LUMINAIRES THAT WILL BE MOUNTED TO THE SUBSTATION STRUCTURES AND TO POLES RANGING IN HEIGHT FROM 10 FEET TO 14 FEET. THE SUBSTATION LIGHTS WILL NORMALLY BE TURNED OFF AND WILL ONLY BE USED INTERMITTENTLY AT NIGHT FOR SECURITY AND SAFETY REASONS. THE LIGHTS WILL BE ORIENTED DOWNWARD TO MINIMIZE GLARE ONTO SURROUNDING PROPERTY AND HABITAT.

**COASTAL DEVELOPMENT PERMIT**  
**FILE NO. PLN090274**  
**MOSS LANDING BUS UPGRADE AND**  
**AUTOMATION PROJECT**

DATE	DESCRIPTION
PROJECT NO.	437226
CADD FILE	MOSS0123.DWG
DESIGNED BY:	ML
DRAWN BY:	AK
CHECKED BY:	RTH
DATE	OCTOBER 11, 2004
SCALE	NOT TO SCALE
1/100	

TITLE SHEET

EXHIBIT 2





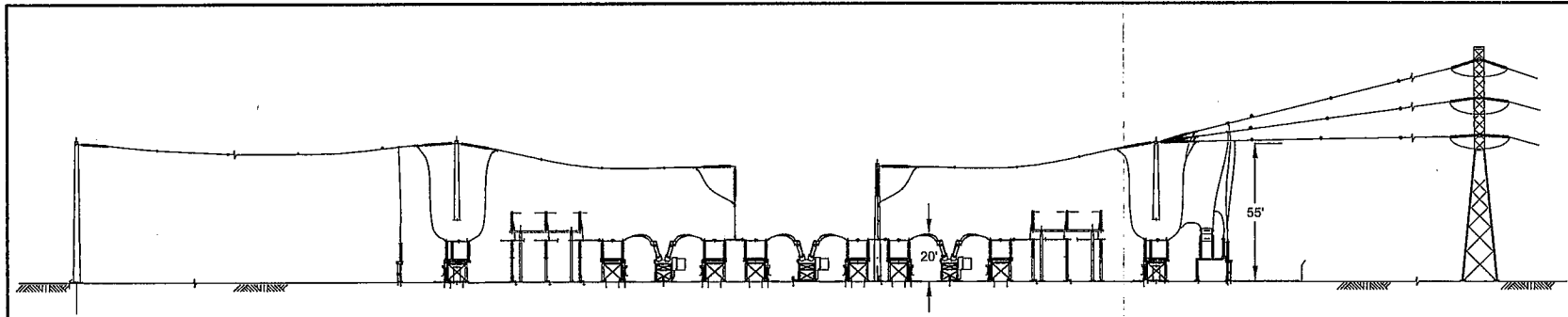




**COASTAL DEVELOPMENT PERMIT**  
**FILE NO. PLN090274**  
**MOSS LANDING BUS UPGRADE AND**  
**AUTOMATION PROJECT**

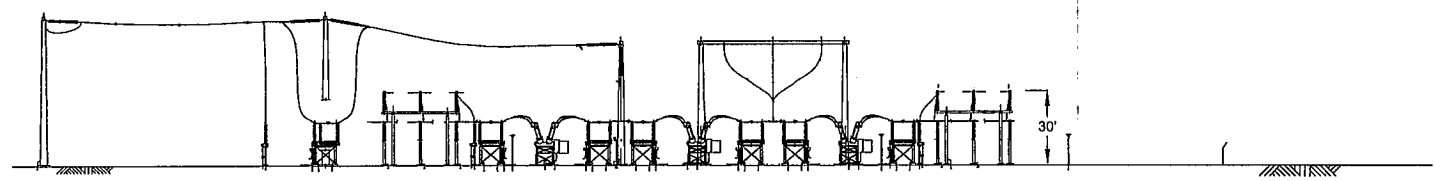
NO.	DATE	DESCRIPTION
1	12/14/2015	PER COUNTY COMMENTS
PROJECT #	437820	
CAD DRAWING FILE	AUT090274.DWG	
DESIGNED BY	ML	
DRAWN BY	MC	
CHECKED BY	JRM	
DATE	OCTOBER 11, 2015	
SCALE	1"=70'	
©	1984	

**TYPICAL**  
**SUBSTATION**  
**SECTIONS**



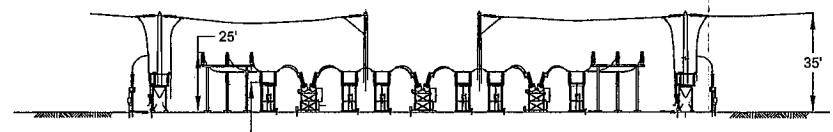
SECTION A-A : 230 KV BAY ELEVATION

SCALE 1"=70'



SECTION B-B : 230 KV BAY ELEVATION

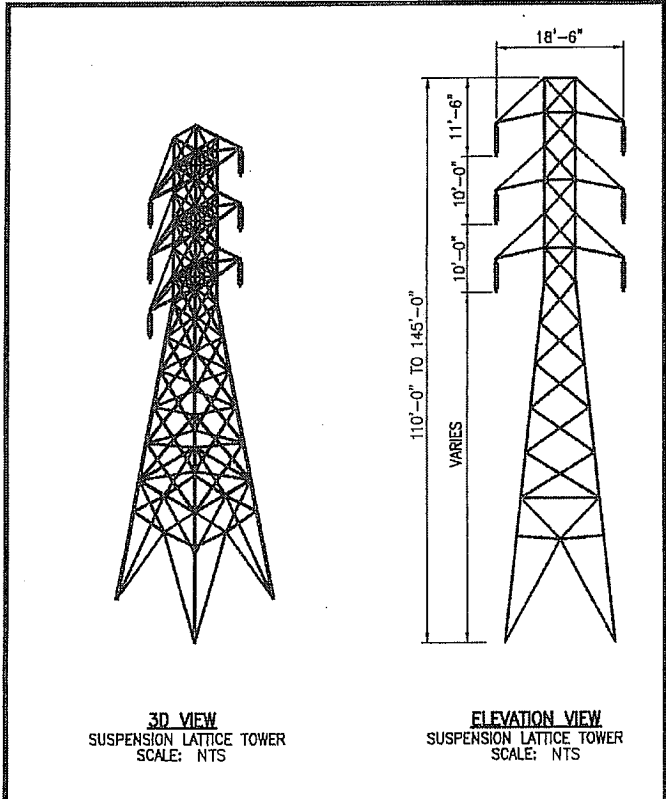
SCALE 1"=70'



SECTION C-C : 115 KV BAY ELEVATION

SCALE 1"=70'

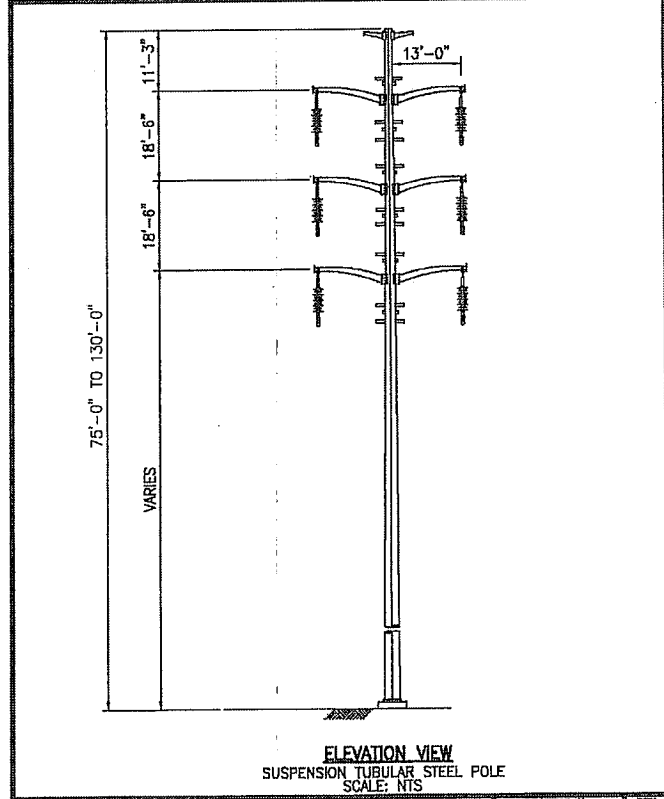
\* LATTICE TOWER AND TSP HEIGHTS DEPICTED ARE TYPICAL. HEIGHTS MAY VARY UPON FINAL ENGINEERING.



**3D VIEW**  
SUSPENSION LATTICE TOWER  
SCALE: NTS

**ELEVATION VIEW**  
SUSPENSION LATTICE TOWER  
SCALE: NTS

MOSS LANDING SUBSTATION SUSPENSION STRUCTURE (TYPICAL)	PG&E Co.	DRAWING No. <b>MOSS-1</b>	REV <b>0</b>
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**ELEVATION VIEW**  
SUSPENSION TUBULAR STEEL POLE  
SCALE: NTS

MOSS LANDING SUBSTATION DOUBLE CIRCUIT SUSPENSION TUBULAR POLE WITH CROSS-ARMS (TYPICAL)	PG&E Co.	DRAWING No. <b>MOSS-6</b>	REV <b>0</b>
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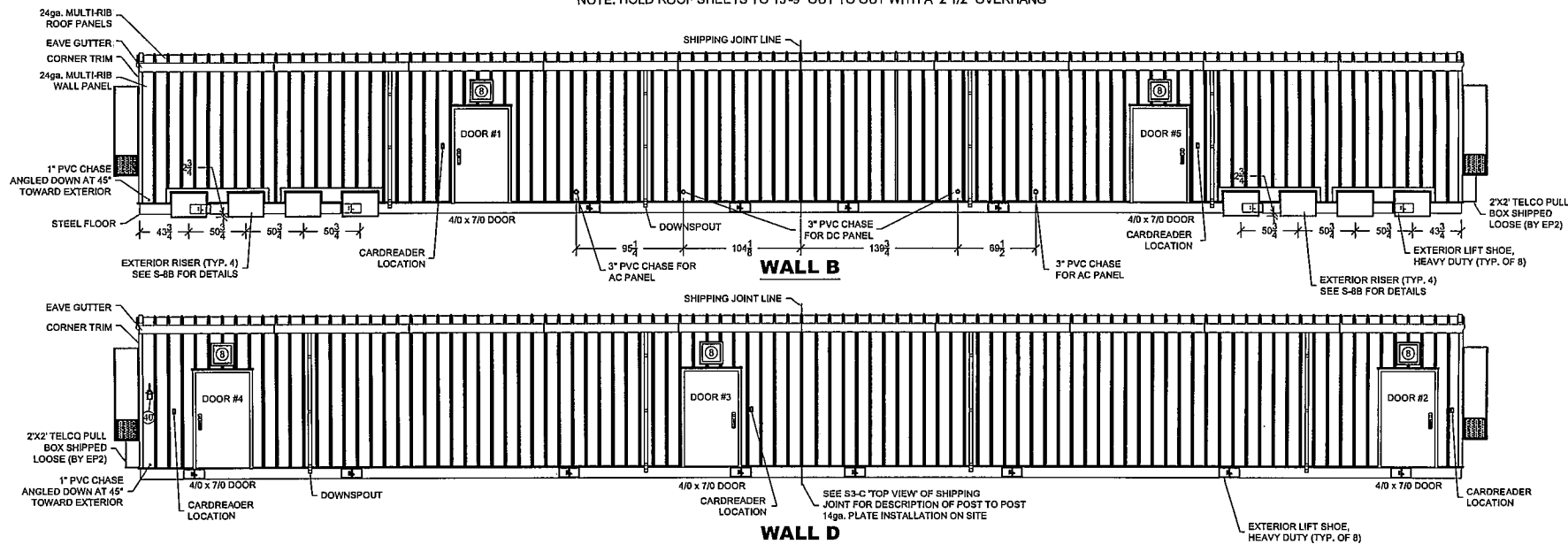
**COASTAL DEVELOPMENT PERMIT**  
**FILE NO. PLN090274**  
**MOSS LANDING BUS UPGRADE AND**  
**AUTOMATION PROJECT**

DATE	DESCRIPTION
12/14/2011	PER COUNTY COMMISSION
12/14/2011	PER COUNTY COMMISSION
DATE	DESCRIPTION
PROJECT NO.	000000
DESIGNER FILE	420461500
REGULATOR	JK
DRAWN BY	JK
CHECKED BY	JK
DATE	OCTOBER 11 2011
SCALE	NOT TO SCALE
BY	JK

**TOWER ELEVATIONS**



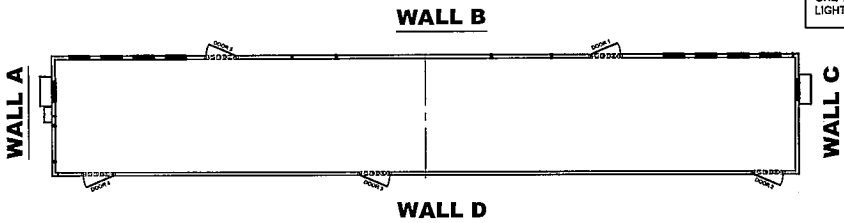
NOTE: HOLD ROOF SHEETS TO 15'-9" OUT TO OUT WITH A 2 1/2" OVERHANG



**EXTERIOR SHEETING FASTENING SCHEDULE**  
 1) ALL WALL SHEETS NEED TO BE FASTENED W/ #12 DRILLERS; 1 EVERY 6" ALONG BASE AND 1 EVERY 12" INTERMEDIATE  
 2) ROOF PANELS, ON BOTH SIDES OF JOINT TRUSS, TO BE FASTENED TO THE TOP FLANGE OF TRUSS W/ #12 DRILLER @ 12" O.C. (2 ROWS FOR JOINT TRUSS, SINGLE ROW FOR END TRUSS)  
 SEE DETAILS 'A' & 'B' ON DRAWING S7  
 3) ROOF PANELS TO BE FASTENED TO PURLINS W/ A 5-7-5-7 PATTERN USING A #12 SCREW.  
 4) ROOF PANEL TO ROOF PANEL CONNECTIONS TO BE 20" O.C. MAX USING A #14 SCREW.

**NOTE**  
 1) REFER TO THE EQUIPMENT SCHEDULE ON E1 FOR DESCRIPTIONS OF THE NUMBERED ITEMS.  
 2) GUTTER HAS TWO SIZES (LARGE & SMALL), SMALL MATES INTO LARGER SIZE. THERE WILL BE THREE LARGE PIECES & TWO SMALL PIECES PER EAVE SIDE. GUTTER, DOWNSPOUTS, & HARDWARE ARE SHIPPED LOOSE.  
 3) EXTERIOR RISER SHIPPED WITH EXTERIOR COVER PLATES. CABLE TRAY WILL BE INSTALLED ON SITE. SEE SHEET S-88 FOR DETAILS.  
 4) EXTERIOR LIGHTS ARE REMOVED FOR SHIPPING. SHIP ONE TUBE OF CLEAR SILICONE CAULK PER EXTERIOR LIGHT FIXTURE.

QTY	DOOR SCHEDULE
3	4'-0" x 7'-0", 18 GA. DOOR, 18 GA. FRAME, STANDARD INSULATED (R-4), LHR, PANIC DEVICE VON DUPRIN - SERIES #9975TP x 990TP-M CONSTRUCTION CORES SHIPPED IN DOORS - LOCK CORES SHIPPED LOOSE CORBIN RUSSWIN CYLINDER #3000-200-99-626
2	4'-0" x 7'-0", 18 GA. DOOR, 18 GA. FRAME, STANDARD INSULATED (R-4), RHR, PANIC DEVICE VON DUPRIN - SERIES #9975TP x 990TP-M CONSTRUCTION CORES SHIPPED IN DOORS - LOCK CORES SHIPPED LOOSE CORBIN RUSSWIN CYLINDER #3000-200-99-626
15	HINGE HEAVY DUTY - 4 1/2" NRP - SS (32D) - BALL BEARING - FOR 3/8 OR WIDER
5	HINGE PIVOT - HAGAR - J253 HD SURFACE - FOR 3/8 OR WIDER DOORS
5	DOOR CLOSER W/HOLD OPEN LCN411HEDA (UP TO 4" DOOR)
5	STAINLESS STEEL PULL HANDLE MOUNTED TO THE INSIDE OF THE DOOR
5	WEATHERSTRIP REESE
5	THRESHOLD - REESE
10	WATERSHEO - REESE (5) 202C & (5) 203C
5	SWEEPS



DATE	DRAWING HISTORY	INITIALS	DATE	DRAWING HISTORY	INITIALS
21-JUN-10	INITIAL STRUCTURAL DRAWINGS	LPC			
28-JUN-10	INITIAL ELECTRICAL DRAWINGS	LPC			

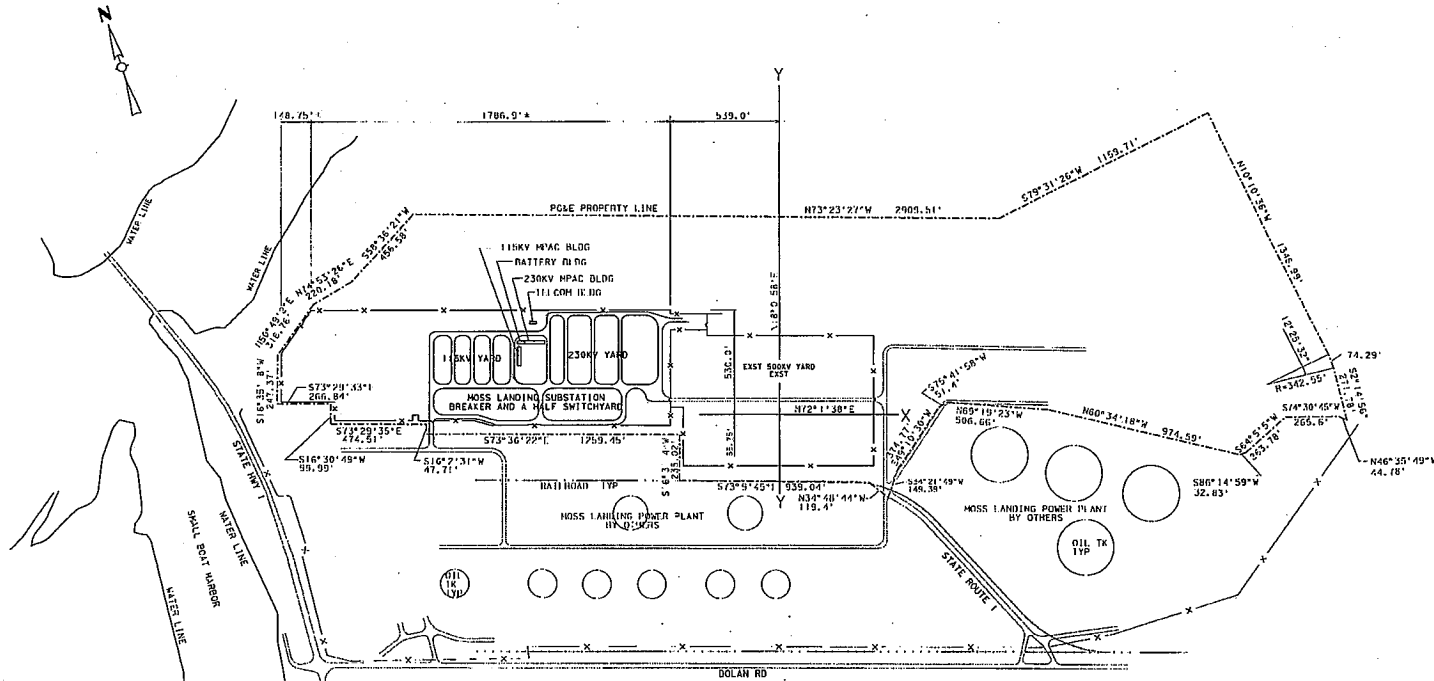
**JOB DESCRIPTION:**  
 EP2 PG&E SAN MATEO 230KV MPAC BUILDING  
 15'-4" x 98'-0" x 10'-8"  
 SAN MATEO, CA

**SHEET TITLE:**  
 EXTERIOR ELEVATIONS WALLS B & D

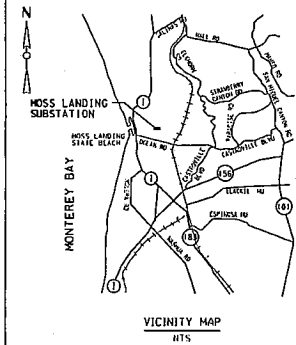
**TRACHTE** Trachte, Inc.  
 422 NORTH BURR OAK AVENUE  
 OREGON, WI 53575  
 PHONE: 608/835-5707 FAX: 608/835-7279  
 E-MAIL: DESIGN@TRACHTEUSA.COM

MODEL #: EP1598  
 TRACHTE JOB #:  
**11170**  
 SHEET # 17 OF 31  
**S-7A**

**PACIFIC GAS & ELECTRIC COMPANY**  
**MOSS LANDING SUBSTATION**  
**230 KV BUS UPGRADE AND AUTOMATION**  
HIGHWAY 1 AND DOLAN ROAD, MOSS LANDING, CALIFORNIA



**SITE PLAN**  
1" = 100'



**PROJECT DIRECTORY**

**PROJECT ADDRESS**  
HIGHWAY 1 AND DOLAN ROAD  
MORRIS COUNTY  
MOSS LANDING, CALIFORNIA 95039

**PROJECT OWNER**  
PACIFIC GAS & ELECTRIC COMPANY  
245 MARKET STREET  
SAN FRANCISCO, 94105

**CONTACT FOR ACCESS AND INFORMATION**

PROJ. CI. MANAGER  
MICHAEL LIGHTSTONE  
TELEPHONE: (415) 633-6911  
E-MAIL: MLI@PG&E.COM

**ENGINEER OF RECORD**  
CIVIL ENGINEER  
BENEDICT CHAI  
RM 200, 19-9 HUNTER ST  
OAKLAND, CA 94612  
TELEPHONE: (415) 874-2300  
E-MAIL: BCHA@PG&E.COM

**GEOTECHNICAL ENGINEER**  
JOSHUA I. H. SUN  
TELEPHONE: (415) 973-2460  
E-MAIL: JIS@PG&E.COM

- LIST OF DRAWINGS**
- |                  |         |
|------------------|---------|
| 1. STILL PLAN    | 3001181 |
| 2. GRADING PLAN  | 3001182 |
| 3. GRADING NOTES | 3001183 |

**SCOPE OF WORK**  
SLE DWG 3001183

B. CHAI  
 CIVIL ENGINEER  
 STATE OF CALIFORNIA

**ADMINISTRATIVE INFORMATION & APPROVALS**

DESIGNED BY: BENEDICT CHAI  
CHECKED BY: MICHAEL LIGHTSTONE  
DATE: 01/14/10

DATE: 01/14/10  
ISSUED FOR PERMIT: 01/14/10

REV	DATE	DESCRIPTION	JOB NO	ISSUED FOR PERMIT	DATE	DESCRIPTION
01	01/14/10					

REVISION 1	
DSG	J. CHENG
DMM	J. CHENG
CHKD	S. TON
SUPV	
APVD	
DATE	

**CIVIL**

**SITE PLAN**  
**MOSS LANDING SUBSTATION**

BY PAUL HUNG OF ENGINEERING  
**PACIFIC GAS AND ELECTRIC COMPANY**  
SAN FRANCISCO, CALIFORNIA

MICROFILM  
 BILL OF MATERIAL  
 DWG LIST  
 SUPDS  
 SHEET NO  
 SHEETS

3001181 01





**SCOPE OF WORK:**

1. GRADE AN AREA APPROXIMATELY 18.6 ACRES.
2. PAVE 2713 LN-FT OF 16' WIDE AC ROAD AND 4420 LN-FT OF 20' WIDE AC ROADS.
3. INSTALL APPROXIMATELY 195.3 LN-FT NEW FENCE..
4. BUILD 2 OIL RETENTION PONDS.

**GENERAL NOTES:**

1. EXISTING TOPOGRAPHY IN THE AREA TO BE GRADED IS SHOWN BY BROKEN CONTOURS. FINISHED GRADE ELEVATIONS ARE SHOWN BY SOLID LINE CONTOURS. SUBGRADE IS 4" (6" IN TYPE II ROAD AREA) BELOW FINISHED GRADE.
2. CONSTRUCTION SHALL CONFORM TO REQUIREMENTS AS PER COUNTY OF MONTEREY.
3. THE CONTRACTOR SHALL MAINTAIN THE STRIPES, SIDEWALKS AND ALL OTHER PUBLIC RIGHT-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR OTHER CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
4. CUT AND FILL SLOPES SHALL BE 3 TO 1 RATIO (3 HORIZONTAL TO 1 VERTICAL), UNLESS OTHERWISE NOTED.

**UTILITY LOCATION, TRENCHING & BACKFILL**

1. CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 800-642-2444 A MINIMUM OF 48 HOURS BEFORE UNDERGROUND WORK FOR VERIFICATION OF LOCATION OF UNDERGROUND UTILITIES.
2. ACCURATE VERIFICATION AS TO SIZE, LOCATION AND DEPTHS OF EXISTING UNDERGROUND CONDUITS OR FACILITIES SHALL BE THE INDIVIDUAL CONTRACTOR'S RESPONSIBILITY. PLAN LOCATIONS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY.
3. ALL UNDERGROUND INSTALLATIONS SHALL BE IN PLACE AND TRENCHES BACKFILLED AND COMPACTED BEFORE PLACING FINAL 4" AGGREGATE BASE MATERIAL, AC PAVING, OR SURFACE STRUCTURES.
4. TEMPORARY AND PERMANENT PROPERTY LINES AND RIGHTS-OF-WAY SHALL BE FILLED LOCATED AND STAKED BY OWNER.

**EROSION / POLLUTION CONTROL:**

1. STABILIZE WORK AREA AND MAINTAIN EROSION AND POLLUTION CONTROL MEASURES CONTINUOUSLY DURING CONSTRUCTION.
2. REMOVE SOIL AND DEBRIS PROMPTLY. STORE, HANDLE AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES SO AS TO PREVENT RUN IN ENTRY TO LOCAL DRAINAGE SYSTEMS. CONTRACTOR SHALL NOT ALLOW CONCRETE WASH WATERS, SLURRIES, PAINT OR OTHER MATERIALS TO ENTER SITE RUNOFF.
3. PROVIDE TEMPORARY WORKS SUCH AS HAY BALE BARRIERS, SILT FENCING OR OTHER MEASURES, AS NECESSARY.
4. ALL WORK SHALL BE IN CONFORMANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL LAWS, REGULATIONS, PERMITS AND WITH PCE&E STANDARD PRACTICES, INCLUDING HEALTH AND SAFETY REQUIREMENTS.

**GRADING SCHEDULE**

GRADING AND DEMOLITION SHALL BE PERFORMED IN SEQUENCE OF SEVEN PHASES IN ORDER TO MAINTAIN THE SUBSTATION OPERATIONS DURING CONSTRUCTION.

**GRADING NOTES:**

**SUBGRADE**

1. AREA TO BE GRADED SHALL BE TREATED AS FOLLOWS:
  - a. THE ORIGINAL GROUND SURFACE SHALL BE CLEARED AND GRUBBED TO REMOVE ALL VEGETATION AND DEPLETERIOUS MATERIAL. SOFT MATERIAL THAT WILL NOT COMPACT SHALL BE REMOVED AND REPLACED WITH SUITABLE COMPACTABLE MATERIAL.
  - b. AREA THAT WILL RECEIVE FILL OR FINISH PAVING SHALL HAVE THE TOP 6" COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY.
  - c. FILL SHALL BE PLACED IN 8" LAYERS BEFORE COMPACTION AND EACH LAYER COMPACTED TO A MINIMUM OF 90% OF MAXIMUM DENSITY. FOR YARD AREA, THE FINAL 12" SHALL BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY. FOR ROADWAY AREA, THE TOP 2'-6" SHALL BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY. THE WIDTH OF ROADWAY AREA BEING THE ROADWAY WIDTH PLUS 2'-0" EACH SIDE OF THE ROADWAY. THE SOIL SHALL BE COMPACTED AT CLOSE TO OPTIMUM MOISTURE CONTENT.
  - d. MAXIMUM DENSITY SHALL BE DETERMINED BY ASTM D-1557 (MODIFIED PROCTOR), IN-PLACE DENSITY SHALL BE DETERMINED BY ASTM D-1556 SUPPLEMENTED BY THE NUCLEAR DENSITY AND MOISTURE PROCEED.

2. FILL SHALL CONSIST OF GRADED SOIL WHICH IS FREE FROM DELETERIOUS SUBSTANCES SUCH AS RUBBISH, ORGANIC, PFRISHABLE, UNCOMPACTABLE OR OTHER MATERIAL SUBJECT TO EXCESSIVE SWELLING OR SHRINKAGE, WASTE CONCRETE, OR OTHER DEBRIS. IMPORTED MATERIAL SHALL MEET THE FOLLOWING REQUIREMENTS:

PLASTICITY INDEX: LESS THAN 25 PER ASTM D4318.  
 LIQUID LIMIT: LESS THAN 45 PER ASTM D4318.  
 SIZE: MAXIMUM PARTICLE DIMENSION NOT LARGER THAN THE COMPACTED LAYER THICKNESS.

**FINISH PAVING**

1. A 4" THICKNESS OF 3/4" MAXIMUM SIZE AGGREGATE BASE MATERIAL SHALL BE PLACED ON ROADWAYS AND YARD AREAS. IT SHALL BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY. AGGREGATE BASE MATERIAL SHALL CONFORM TO REQUIREMENTS OF "CLASS 2 AGGREGATE BASE" AS DESCRIBED BY STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION, SECTION 205, EXCEPT THAT WHERE YARD AREA WITH NOT RECEIVE ASPHALT CONCRETE PAVING, THE COARSE AGGREGATE SHALL CONSIST OF MATERIAL OF WHICH AT LEAST 90% BY WEIGHT SHALL BE CRUSHED PARTICLES.
2. A MEMBRANE SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS TO ALL GRADED AREA WITHIN THE FENCE LINE. TREPLAN P.C. BY BLANCO SHALL BE USED ON THE HARD ROCK OF AREAS TO BE PAVED, AND PRIME-100 BY GIBB GRIP SHALL BE USED ON ALL OTHER AREA. OTHER MEMBRANES MAY BE SUBSTITUTED UPON APPROVAL BY P.C.&E.
3. A PRIME COAT SHALL BE APPLIED TO THE AGGREGATE BASE OF ROAD AREAS AND TO ANY OTHER SPECIFICALLY DESIGNATED AREA. IT SHALL BE LIQUID ASPHALT, GRADE 50/70 SHOULD BE APPLIED AT THE RATE OF 0.15 GALS/50-SQ-YD. PRIME COAT SHALL BE ALLOWED TO CURE FOR ONE TO FIVE DAYS PRIOR TO PLACING PAVING.
4. ROADWAY SHALL BE PAVED WITH A 3" COMPACTED THICKNESS OF TYPE B, (STATE OF CALIF. DEPT. OF TRANSP., STD. SPECIFICATIONS) 1/2" MAXIMUM SIZE AGGREGATE, ASPHALT CONCRETE. PAVING ASPHALT TO BE MIXED WITH AGGREGATE SHALL BE GRADE AR-8000 OR AR-16000. THE FINISHED SURFACE SHALL BE TREATED WITH SS-110 OR CSS-110 FUMIGATED ASPHALT (50% WATER) FOG SEAL, APPLIED AT THE RATE OF 0.1 ONE INCH GALS./50.YD..
5. DITCHES SHALL BE LINED WITH ASPHALT CONCRETE OR SHORTCRETE (MORTAR) AS INDICATED ON GRADING PLAN. ASPHALT CONCRETE SHALL CONFORM TO REQUIREMENTS OF PARAGRAPH 4 ABOVE. SHORTCRETE SHALL CONFORM TO SECTION 53 OF STAT. OF CALIFORNIA DEPT. OF TRANSPORTATION STANDARD SPECIFICATIONS. WHEN REQUIRED BY GRADING PLAN SHORTCRETE SHALL BE COLORED ACCORDING TO REQUIREMENTS OF REFINISHED SPECIFICATION EXCEPT THAT COLOR SHALL CONFORM TO COLOR NO. 30317 OF FEDERAL STANDARD NO. 595.

**ESTIMATED EARTHWORK**

CUT 3,072 CU YDS  
 FILL 30,377 CU YDS

QUANTITIES ARE ESTIMATES AND CONTRACTOR CAN USE AT THEIR RISK.

**LEGEND**

- x-x- NEW FENCE
- x-x-x- EXISTING FENCE TO REMAIN
- ..... NEW CONTOURS
- ..... EXISTING CONTOURS
- UNDERGROUND PIPE
- CATCH BASIN

**REFERENCES**

1. GRADING PLAN ----- 3001182
2. SITE PLAN ----- 3001181
3. BARRIER POST DETAIL ----- 215487
4. PROPERTY FENCE AND GATES ----- ES 059660
5. STORM & SANITARY SEWERS (EXISTING) ----- 412189
6. GENERAL LAYOUT (EXISTING) ----- 53376

DESIGNER	DATE	DESCRIPTION	JOB NO	ISSUED FOR PERMIT	30646548	JC	REV	DATE	DESCRIPTION	JOB NO	ISSUED FOR PERMIT	30646548	JC
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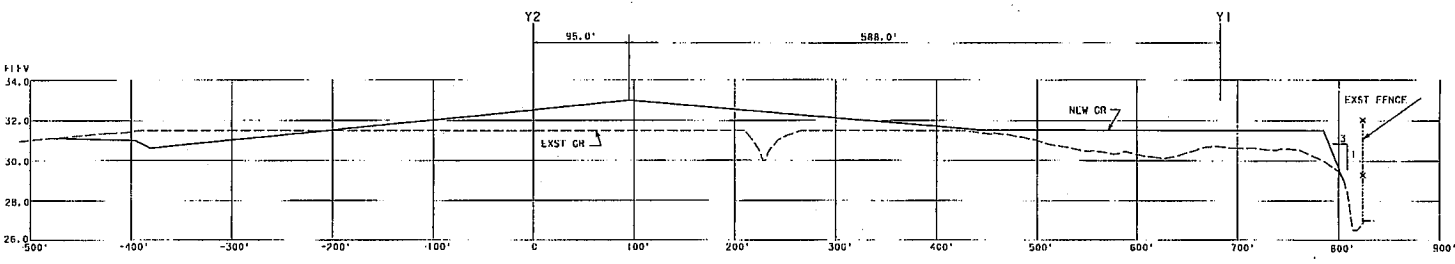
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01	12/8/10	ISSUED FOR PERMIT											

REVISION 1	
DSC	J CHENG
DWN	J CHENG
CHD	S TOM
SLP	
APVD	
APVD	

CIVIL  
 GRADING NOTES  
 MOSS LANDING SUBSTATION  
 DEPARTMENT OF ENGINEERING  
 PACIFIC GAS AND ELECTRIC COMPANY  
 SAN FRANCISCO, CALIFORNIA

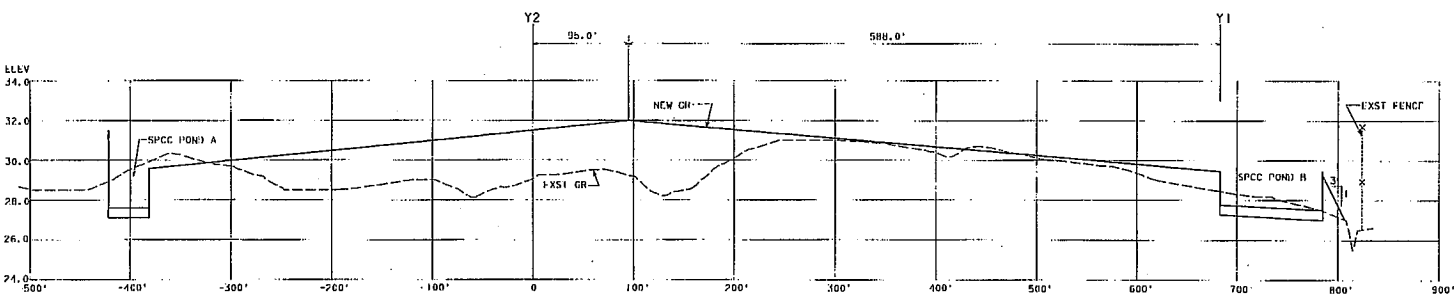


MICROFILM	BILL OF MATERIAL
DWG LIST	SUPDS
SUPDS BY	SHEET NO
3001183	01

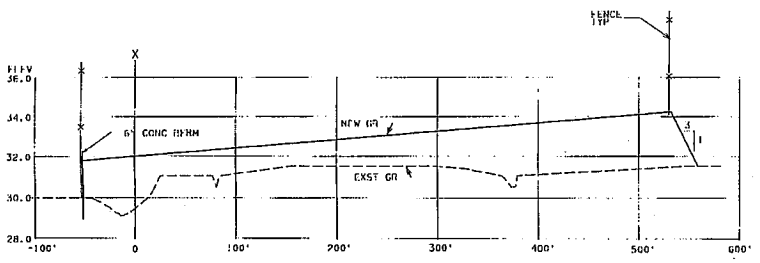


PROFILE A 182  
VERT: 1" = 3'  
HOR: 1" = 60'

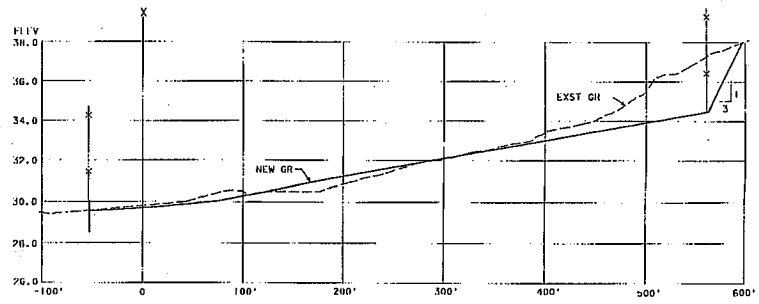
- REFERENCES**
- 1. GRADING PLAN ..... 3001182
  - 2. GRADING NOTES ..... 3001183
  - 3. OIL RETENTION PONDS ..... 3001185 & 186



PROFILE B 187  
VERT: 1" = 3'  
HOR: 1" = 60'



PROFILE C 182  
VERT: 1" = 3'  
HOR: 1" = 60'



PROFILE D 182  
VERT: 1" = 3'  
HOR: 1" = 60'



PROJECT TITLE: MOSS LANDING SUBSTATION  
 FACILITY TYPE: SUBSTATION  
 FACILITY LOCATION: MOSS LANDING  
 SHEET NO.: 3001184  
 STATION: 0+00 TO 0+600  
 PROJECT: MOSS LANDING SUBSTATION  
 DRAWN BY: J. CHUNG

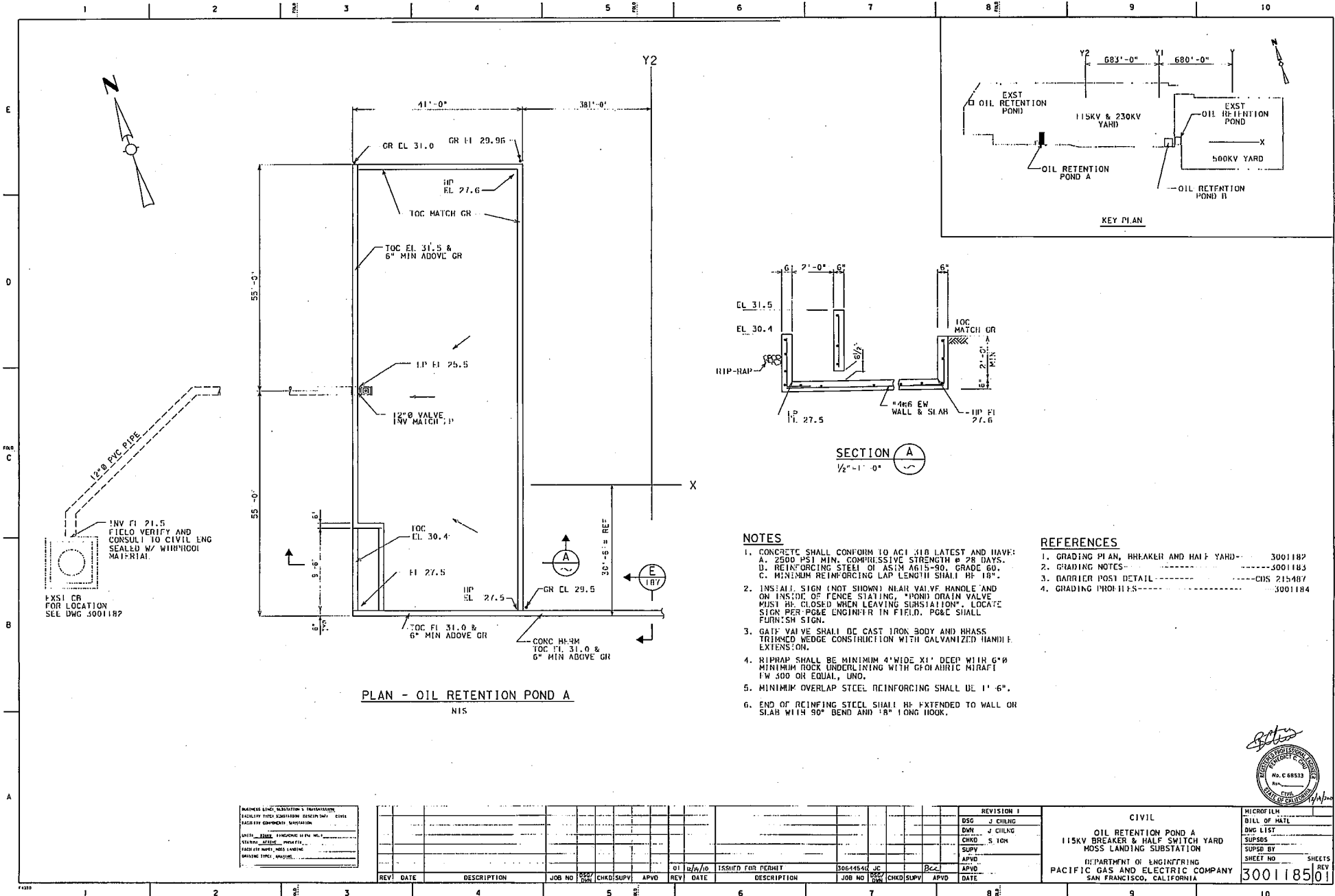
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01									

REVISION 1

DSG	J. CHUNG
DWN	J. CHUNG
CHKD	S. YON
SUPV	
APVD	

CIVIL  
 GRADING PROFILE  
 MOSS LANDING SUBSTATION  
 DEPARTMENT OF ENGINEERING  
 GAS AND ELECTRIC COMPANY  
 SAN FRANCISCO, CALIFORNIA

MICROFILM	BILL OF MATL
DWG LIST	SUPPDS
SUPSD BY	SHEET NO.
3001184	01



PLAN - OIL RETENTION POND A  
NIS

NOTES

- CONCRETE SHALL CONFORM TO ACI 318 LATEST AND HAVE:  
A. 2500 PSI MIN. COMPRESSIVE STRENGTH @ 28 DAYS.  
B. REINFORCING STEEL OF ASTM A615-90, GRADE 60.  
C. MINIMUM REINFORCING LAP LENGTH SHALL BE 18".
- INSTALL SIGN (NOT SHOWN) NEAR VALVE HANDLE AND ON INSIDE OF FENCE STATION. \*POND DRAIN VALVE MUST BE CLOSED WHEN LEAVING SUBSTATION. LOCATE SIGN PER P&BE ENGINEER IN FIELD. P&E SHALL FURNISH SIGN.
- GATE VALVE SHALL BE CAST IRON BODY AND BRASS TRIMMED WEDGE CONSTRUCTION WITH GALVANIZED HANDLE EXTENSION.
- RIPRAP SHALL BE MINIMUM 4" WIDE X 1' DEEP WITH 6" MINIMUM ROCK UNDERLINING WITH GEOTEXTILIC MESH 1' W 300 OR EQUAL, UNO.
- MINIMUM OVERLAP STEEL REINFORCING SHALL BE 1' 6".
- END OF REINFORCING STEEL SHALL BE EXTENDED TO WALL OR SLAB WITH 90° BEND AND 18" LONG HOOK.

REFERENCES

- GRADING PLAN, BREAKER AND HALF YARD----- 3001182
- GRADING NOTES----- 3001183
- BARRIER POST DETAIL----- CHS 215487
- GRADING PROFILES----- 3001184

BUSINESS END, SUBSTATION'S TRANSMISSION FACILITY FIELD LOCATION SHEET AND CIVIL FACILITY EQUIPMENT DETAILATION

REV	DATE	DESCRIPTION	JOB NO	ISSUED FOR PERMIT	DATE
01	12/16/0		30644546	JC	

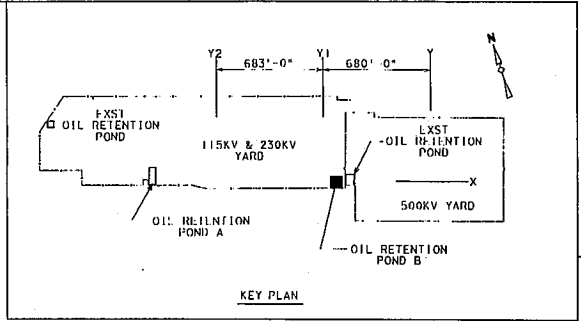
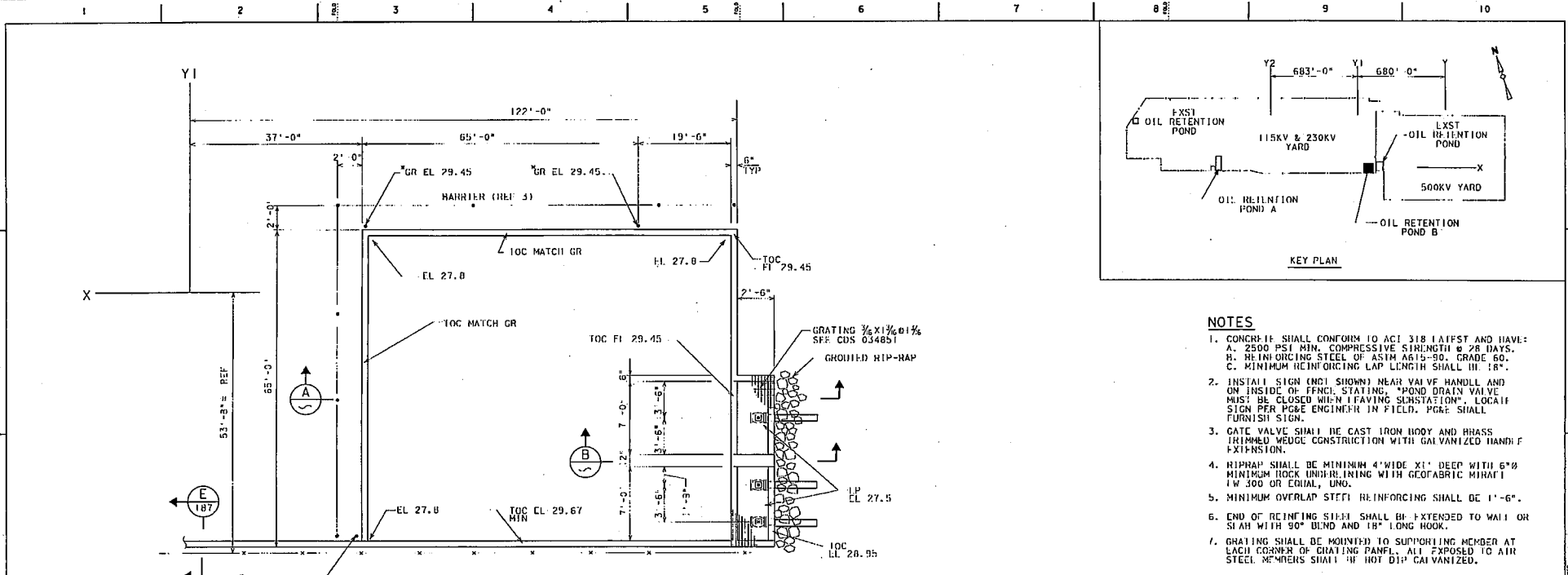
REVISION 1  
DSG J CHUNG  
DMN J CHUNG  
CHKD S TON  
SUPV APVD  
APVD

CIVIL  
OIL RETENTION POND A  
115KV BREAKER & HALF SWITCH YARD  
HOSS LANDING SUBSTATION

DEPARTMENT OF ENGINEERING  
PACIFIC GAS AND ELECTRIC COMPANY  
SAN FRANCISCO, CALIFORNIA

MICROFILM  
DILL OF MATL  
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SFP305 BY  
SHEET NO  
300118501





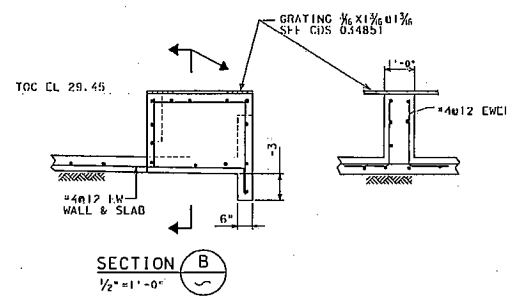
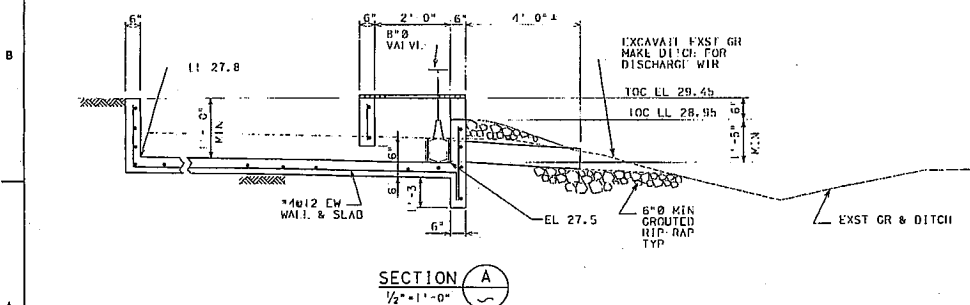
GR LL ARE FOR HLF ONLY, SFF DWG 300 182  
**PLAN - OIL RETENTION POND B**  
 NTS

**NOTES**

- CONCRETE SHALL CONFORM TO ACI 318 LATEST AND HAVE:
  - A. 2500 PSI MIN. COMPRESSIVE STRENGTH @ 28 DAYS.
  - B. REINFORCING STEEL OF ASTM A615-90, GRADE 60.
  - C. MINIMUM REINFORCING LAP LENGTH SHALL BE 18".
- INSTALL SIGN (NOT SHOWN) NEAR VALVE HANDLE AND ON INSIDE OF FENCE STATING: "POND DRAIN VALVE MUST BE CLOSED WHEN LEAVING STATION". LOCAL SIGN PER PG&E ENGINEER IN FIELD. PG&E SHALL FURNISH SIGN.
- GATE VALVE SHALL BE CAST IRON BODY AND BRASS TRIMMED WEDGE CONSTRUCTION WITH GALVANIZED HANDLE EXTENSION.
- RIP-RAP SHALL BE MINIMUM 4" WIDE X 1' DEEP WITH 6" Ø MINIMUM ROCK UNDERLAINING WITH GEOTABRIC MAT AT 1/2" MIN OR EQUAL, UNO.
- MINIMUM OVERLAP STEEL REINFORCING SHALL BE 1'-6".
- END OF REINFORCING STEEL SHALL BE EXTENDED TO WALL OR SLAB WITH 90° BEND AND 18" LONG HOOK.
- GRATING SHALL BE MOUNTED TO SUPPORTING MEMBER AT EACH CORNER OF GRATING PANEL. ALL EXPOSED TO AIR STEEL MEMBERS SHALL BE HOT DIP GALVANIZED.

**REFERENCES**

- GRADING PLAN, BREAKER AND HALF YARD----- 3001182
- GRADING NOTICES----- 3001183
- BARRIER POST DETAIL----- CDS 215407
- STEEL GRATING TYPE----- CDS 034851
- GRADING PROFILES----- 3001184



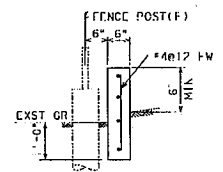
**SECTION A**  
 1/2" x 1'-0"

**SECTION B**  
 1/2" x 1'-0"

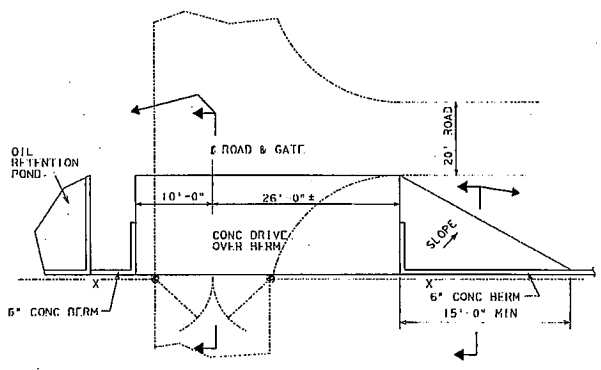
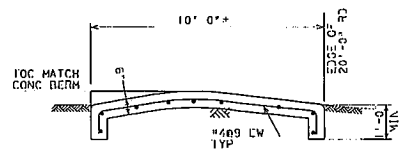
REVISIONS	DATE	DESCRIPTION

REV.	DATE	DESCRIPTION	JOB NO.	CHKD.	SUPV.	APVD.	REV.	DATE	DESCRIPTION	JOB NO.	CHKD.	SUPV.	APVD.	DATE
01	12/10/00	ISSUED FOR PERMIT	300445-10	JC										

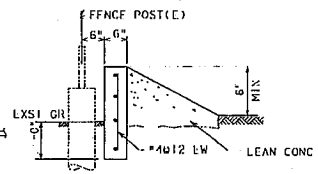
<b>REVISION 1</b> DSG J CHENG CHG J CHENG SUPV S TOM APVD DATE		CIVIL <b>OIL RETENTION POND B</b> 230KV BREAKER & HALF SWITCH YARD MOSS LANDING SUBSTATION PACIFIC GAS AND ELECTRIC COMPANY SAN FRANCISCO, CALIFORNIA	MICROFILM BILL OF MATL DWG LIST SUPDS SUPSD BY SHEET NO SHEETS
No. C 68533 DATE 1/14/2010		3001186	101



SECTION E 182  
1'-0"



DETAIL I 182  
1/8"



**NOTES**

1. CONCRETE SHALL CONFORM TO ACI 318-95 AND HAVE:
  - A. 2500 PSI MIN. COMPRESSIVE STRENGTH @ 28 DAYS.
  - B. REINFORCING STEEL OF ASHW A615-90, GRADE 60.
  - C. MINIMUM REINFORCING LAP LENGTH SHALL BE 18".
2. MINIMUM OVERLAP STEEL REINFORCING SHALL BE 1'-6".

**REFERENCES**

1. GRADING PLAN-----3001182
2. GRADING NOTES-----3001183
3. OIL RETENTION PONDS-----3001185 & 186

WORKSHEET NO.	3001182
FACILITY NAME	MOSS LANDING SUBSTATION
PROJECT NO.	3001182
DATE	01/12/90
DESIGNED BY	JC
CHECKED BY	JC
APPROVED BY	JC
DATE	01/12/90

REV	DATE	DESCRIPTION	JOB NO.	ISSUED FOR	DATE
01	12/12/90	ISSUED FOR PERMIT	30614548	JC	01/12/90

REVISION 1	
DESIGNED BY	JC
CHECKED BY	JC
APPROVED BY	JC
DATE	01/12/90

**CIVIL**  
**DETAIL & SECTION**  
**MOSS LANDING SUBSTATION**

IN DEPARTMENT OF ENGINEERING  
**PACIFIC GAS AND ELECTRIC COMPANY**  
SAN FRANCISCO, CALIFORNIA

MICROFILM  
BILL OF MATERIAL  
O&G LIST  
SUPDS  
SUPSD BY  
SHEET NO. **3001187**  
SHEETS **01**

