

MONTEREY COUNTY PLANNING COMMISSION

Meeting: August 31, 2011	Time: 10:30A.M	Agenda Item No.: 3
<p>Project Description: Combined Development Permit consisting of: 1) a Coastal Development Permit to allow a Lot Line Adjustment (merger) between three legal lots of record consisting of Lot 2 (6,002 square feet, Assessor's Parcel Number [APN] 009-432-014-000), Lot 6 (6,005 square feet, APN 009-432-018-000), and Lot 7 (6,040 square feet, APN 009-432-019-000), resulting in one parcel of 18,047 square feet; 2) a Coastal Administrative Permit to allow the partial demolition, remodel of and additions to a 2,796 square foot, three-level, single family dwelling with a 486 square foot attached garage which will result in a 6,159 square foot three-level residence with an attached 836 square foot garage. The remodel and additions will include: a) at main level: demolition of 607 square feet of existing laundry room, two-car garage and portion of existing living room; remodel and conversion of existing 903 square foot living area to a new 836 square foot three-car garage, stairwell, elevator and mechanical room; 3,367 square foot addition; new 229 square foot attached portico; and 213 square feet new attached balconies and deck; b) at upper level: remodel of 1,339 square feet of living area, master bedroom and kitchen to a new studio and office; 13 square foot bay window addition, demolition of existing 188 square foot wood deck and construction of new 345 square foot roof-top balcony with fireplace over proposed main level addition; c) at lower level: demolish existing 433 square foot guest suite; and construct 1,606 square foot lower level media room, exercise room, bar and guest rooms; c) site improvements to include: new driveway and guest parking areas, motor court, new lower terrace and patio, new courtyard with built-in barbecue, spa and fireplace, new wrought iron fence with stone columns at Ocean View property line and new site landscaping, d) approximately 1,060 cubic yards of grading (830 cut/ 230 fill); 3) a Coastal Administrative Permit to allow the construction of a 425 square foot guesthouse with covered porch and loggia; 4) a Coastal Development Permit to allow development on a parcel with a positive archaeological report; and 5) Design Approval with materials and colors of stucco siding (Shabby Chic), slate (natural) and copper roofing, stone, metal clad doors and windows (medium bronze), and cedar trim and garage door (Thatch).</p>		
Project Location: 26264 Ocean View Ave, Carmel	APN: 009-432-019-000, 009-432-018-000 and 008-432-014-000	
Planning File Number: PLN100211	Owner: Keech Properties, LLC Agent: Chris Boqua, International Design Group	
Planning Area: Carmel Area Land Use Plan	Flagged and staked: Yes	
Zoning Designation: "MDR/2-D(18')(CZ)" [Medium Density Residential, 2 units per acre with Design Control Overlay and 18 foot height limit (Coastal Zone)]		
CEQA Action: Mitigated Negative Declaration		
Department: RMA - Planning Department		

RECOMMENDATION:

Staff recommends that the Planning Commission adopt a resolution (**Exhibit C**) to:

- 1) Adopt the Mitigated Negative Declaration (**Exhibit G**);
- 2) Approve PLN100211, based on the findings and evidence and subject to the conditions of approval (**Exhibit C**); and
- 3) Adopt the Mitigation Monitoring and Reporting Plan (**Exhibit C**).

PROJECT OVERVIEW: The applicant proposes to merge three lots, two of which front on Ocean View Avenue and one which fronts on Scenic Road, into one lot of 18,047 square feet. Two of the existing lots are undeveloped and the third, which fronts on Ocean View Avenue, is developed with a three-level single family residence. The project also includes an extensive

remodel of and addition to the existing residence and the construction of a new detached guesthouse and associated site improvements. See **Exhibit B** for further discussion.

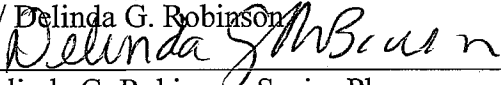
OTHER AGENCY INVOLVEMENT: The following agencies and departments reviewed this project:

- √ RMA - Public Works Department
Environmental Health Bureau
- √ Water Resources Agency
- √ Cypress Fire Protection District
Parks Department
California Coastal Commission

Agencies that submitted comments are noted with a check mark ("√"). Conditions recommended by RMA-Public Works Department, Water Resources Agency and Cypress Fire Protection District have been incorporated into the Condition Compliance/Mitigation Monitoring and Reporting Plan attached as Exhibit 1 to the draft resolution (**Exhibit C**).

The project was heard by the Carmel Unincorporated/Highlands Land Use Advisory Committee (LUAC) at a public hearing on February 22, 2011. The LUAC recommended approval of the project by a vote of 4-1.

Note: The decision on this project is appealable to the Board of Supervisors and the California Coastal Commission.

/s/ Delinda G. Robinson

Delinda G. Robinson, Senior Planner
(831) 755-5198; robinsond@co.monterey.ca.us
August 1, 2011

cc: Front Counter Copy; Planning Commission; Cypress Fire Protection District; Public Works Department; Parks Department; Environmental Health Bureau; Water Resources Agency; California Coastal Commission; Laura Lawrence, Planning Services Manager; Delinda Robinson, Project Planner; Carol Allen, Senior Secretary; Keech Properties, LLC, Owner; Chris Boqua, Agent; Mark Blum; Planning File PLN100211

Attachments: Exhibit A Project Data Sheet
Exhibit B Project Discussion
Exhibit C Draft Resolution, including:
1. Conditions of Approval and Mitigation Monitoring and Reporting Program
2. Site Plan, Floor Plan and Elevations, Lot Line Adjustment Map
Exhibit D Vicinity Map
Exhibit E Advisory Committee Minutes
Exhibit F Project Correspondence
Exhibit G Mitigated Negative Declaration

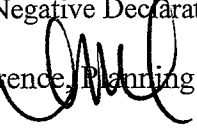
This report was reviewed by Laura Lawrence,  Planning Services Manager

EXHIBIT A

Project Data Sheet for PLN100211

Project Title: Keech Properties LLC
Location: 26276 Ocean View Avenue, Carmel
Primary APN: 009-432-018-000

Applicable Plan: Carmel LUP
Coastal Zone: YES

Permit Type: Combined Development Permit
Zoning: MDR/2-D(18')(CZ)

Environmental Status: EXEMPT
Plan Designation: MDR

Advisory Committee: N/A
Final Action Deadline (884): 10/05/2011

Project Site Data:

Lot Size: 18,047 SF	Coverage Allowed: 35%
	Coverage Proposed: 32.3%
Existing Structures (SF): 3,282	Height Allowed: 18 Feet
	Height Proposed: 16 Feet
Proposed Structures (SF): 5,328	
Total SF: 7,410	Floor Area Ratio Allowed: 45%
	Floor Area Ratio Proposed: 41%

Resource Zones and Reports:

Environmentally Sensitive Habitat: None	Erosion Hazard Zone: Moderate
Biological Report #: N/A	Soils Report #: N/A
Forest Management Rpt. #: LIB110083	
Archaeological Sensitivity Zone: High	Geologic Hazard Zone: Undetermined
Archaeological Report #: LIB100146, LIB100219, LIB110178	Geotech/Geologic Hazards Report #: LIB100369
Fire Hazard Zone: Urban	Traffic Report #: N/A

Other Information:

Water Source: Public	Sewage Disposal (method): Sewer
Water Dist/Co: Cal Am	Sewer District Name: CAWD
Fire District: Cypress FPD	Total Grading (cubic yds.): 1,060
Tree Removal: None	

EXHIBIT B
PROJECT DISCUSSION

Overview

The proposed project consists of a Lot Line Adjustment to merge three lots, two of which front on Ocean View Avenue (Lots 6 and 7) and one which fronts on Scenic Road (Lot 2), into one lot of 18,047 square feet. Two of the existing lots are undeveloped (Lots 2 and 7) and the third (Lot 6), which fronts on Ocean View Avenue, is developed with a 2,796 square foot three-level single family residence with an attached 486 square foot garage. The project also includes an extensive remodel of and addition to the existing residence and the construction of a new guesthouse and associated site improvements. The project will result in a 6,159 square foot three-level residence with an attached 836 square foot garage that extends from Ocean View Avenue to Scenic Road and a 425 square foot guesthouse with a covered porch and loggia located on the southwest corner of the formerly vacant parcel (Lot 7) that fronts on Ocean View Avenue. Site improvements include a new driveway and guest parking areas, motor court, new lower terrace and patio, new courtyard with built-in barbecue, spa and fireplace, new wrought iron fence with stone columns and grape stake fencing, and approximately 1,060 cubic yards of grading (830 cut/230 fill). Vehicular access to the project will be from the east by way of two driveways on Ocean View Avenue. No vehicular access is proposed on the Scenic Road side.

The subject property is located within an established residential neighborhood in the Carmel Point area of Carmel. Zoning for the parcels is "MDR/2-D(18')(CZ)" [Medium Density Residential, 2 units per acre with Design Control Overlay and 18 foot height limit (Coastal Zone)]. The project site is situated on a west facing marine terrace which slopes down from approximately 41 feet above mean sea level (MSL) at Ocean View Avenue to approximately 23 feet above MSL at Scenic Road.

The applicant initially proposed to demolish the existing residence and to build a new residence in essentially the same location as the current proposal (extending across Lots 6 and 2). That application included a request for a Variance to exceed the 18 foot height limit for the eastern portion of the new residence. In response to comments from the LUAC and the public that were not supportive of the Variance, the applicant modified the application to eliminate the need for a Variance. Although the existing residence is legal non-conforming as to height, no Variance is required to remodel the existing residence.

Project Issues

Lot Line Adjustment (Merger)

The project includes a Lot Line Adjustment to merge three legal lots of record into one lot of 18,047 square feet. Each of the existing lots is slightly more than 6,000 square feet, which meets the minimum lot size requirement in the MDR/2 zoning district (5,000 square feet). However, at approximately 7 units per acre, each of the existing lots is legal non-conforming as to density. However, because the first single family dwelling per legal lot of record is a principal use allowed, without the merger, each of the three existing lots could be developed with a single family residence. The 18,047 square foot resulting lot will have a density of approximately 2.4 acres per unit. However, because the size of the resulting lot will be less than half an acre, the density regulations of the zoning district (2 units per acre) will allow only one single family residence on the merged lot. Thus, the merger will bring this property more into conformance with density requirements.

Visual Resources

The proposed building site is visible from Scenic Road, which is part of the public viewshed shown on the General Viewshed map (Map A) of the Carmel Area Land Use Plan. LUP Key Policy No. 2.2.2 requires that all development within the viewshed must harmonize with and be clearly subordinate to the natural character of the area and LUP Policy No. 2.2.3.4 directs that the parcel least visible from public viewpoints and corridors shall be considered the most appropriate site for the location of new structures. The project site slopes upward from Scenic Road and there is no area on the parcel that would not be visible from the road. Because two of the lots are currently undeveloped, any development on those parcels would change the viewshed from Scenic Road.

If each lot were to be developed with a single family residence that met all of the development regulations including setbacks, floor area and lot coverage, the development would be spread more or less evenly across the property, with very little contiguous open space remaining. Except for the vacant Lot 7, the other properties on the west side of Ocean View Avenue are developed with single family residences that generally block all views to the west. As proposed, the project will result in a residence that extends across Lot 6 and Lot 2, and a small guesthouse on the southwestern corner of Lot 7, leaving the bulk of Lot 7 undeveloped with structures. The viewshed from Ocean View Avenue will be more open and a view corridor through to the ocean will be maintained.

The height limit for a single family residence in this zoning district is 18 feet from average natural grade (ANG). If a separate residence were proposed Lot 2, the ANG could be as low as 26.5 feet above MSL. Because of the elevation change from east to west across the merged parcels, the ANG for the proposed residence is 29.65 feet above MSL. This means that the height of the proposed residence, at 16 feet above ANG and approximately 45.65 feet above MSL, would be just over one foot taller than the maximum height of any residence that could have been built on the unmerged Lot 2. The applicant proposes to cut the grade down on the Scenic Road side to allow a terrace and finished lower floor that will be approximately 4 feet below the grade of Scenic Road. Although the actual height of the residence, as viewed from Scenic Road, is about 25 feet, because of the cut, it will appear to be less tall. Existing Cypress trees adjacent to Scenic Road will soften the impact of views of the residence from the road. Implementation of Mitigation Measure No. 1, will ensure that the trees which provide screening for the residence will be protected.

At 27 feet-3 13/16 inches above ANG, the existing residence, which fronts on Ocean View Avenue, is legal non-conforming as to height. As part of the remodel, the applicant proposes to convert the north and south ends of the roof to hip end roof which will reduce the height of those ends and soften the visual impact of the structure from Ocean View Avenue.

Cultural Resources

The project site is located in an area identified as high in archaeological sensitivity and lies along the boundary between two known archaeological sites. A preliminary archaeological survey performed in 2008 for an earlier project (PLN080302) found fragments of *Haliotis* (abalone) shell on the parcels, but none of the other materials frequently associated with prehistoric cultural resources in the area such as flaked stone, ground stone, bone fragments, fire-affected rock, etc. were observed on the surface of the parcels. In order to determine the significance of the materials, two 1 x 1 meter test units were excavated on both of the undeveloped parcels. The report on the testing concluded that the shallow, sparse cultural materials noted in the test excavations were of limited cultural significance and that no mitigation measures were required. At the recommendation of the project archaeologist, the standard archaeological condition requiring that if potentially significant archaeological resources or human remains are discovered during any construction, work shall be halted until it can be evaluated by a qualified professional

archaeologist and if the find is determined to be significant, appropriate mitigation measures shall be formulated and implemented has been incorporated into **Exhibit 1**.

CEQA

An Initial Study (IS) was prepared for this project and a Mitigated Negative Declaration (MND) (**Exhibit F**) was circulated for public review from June 15, 2011 through July 14, 2011. No comments were received during the 30 day review period of the Initial Study. Although potential impacts were identified for Aesthetics, Biological Resources, Cultural Resources, Greenhouse Gas Emissions and Noise, the MND determined that the project as designed and mitigated would reduce impacts to a less than significant level. Mitigation Measure (MM) No. 1 required that a revised grading plan reducing the amount of proposed grading (specifically in the critical zones of trees closest to Scenic Road on Lot 2) be submitted prior to consideration of the project at a public hearing. The revised grading plan has submitted and incorporated into the project plans that are before the Planning Commission. Implementation of Mitigation Measure No. 1 will mitigate the potential impacts to Aesthetics that were identified in the MND.

**EXHIBIT C
DRAFT RESOLUTION**

**Before the Planning Commission in and for the
County of Monterey, State of California**

In the matter of the application of:

KEECH PROPERTIES, LLC (PLN100211)

RESOLUTION NO. [REDACTED]

Resolution by the Monterey County Planning
Commission:

- 1) Adopting Mitigated Negative Declaration;
- 2) Approving Combined Development Permit consisting of: 1) a Coastal Development Permit to allow a Lot Line Adjustment (merger) between three legal lots of record consisting of Lot 2 (6,002 square feet, Assessor's Parcel Number [APN] 009-432-014-000), Lot 6 (6,005 square feet, APN 009-432-018-000), and Lot 7 (6,040 square feet, APN 009-432-019-000), resulting in one parcel of 18,047 square feet; 2) a Coastal Administrative Permit to allow the partial demolition, remodel of and additions to a 2,796 square foot, three-level, single family dwelling with a 486 square foot attached garage which will result in a 6,159 square foot three-level residence with an attached 836 square foot garage. The remodel and additions will include: a) at main level: demolition of 607 square feet of existing laundry room, two-car garage and portion of existing living room; remodel and conversion of existing 903 square foot living area to a new 836 square foot three-car garage, stairwell, elevator and mechanical room; 3,367 square foot addition; new 229 square foot attached portico; and 213 square feet new attached balconies and deck; b) at upper level: remodel of 1,339 square feet of living area, master bedroom and kitchen to a new studio and office; 13 square foot bay window addition, demolition of existing 188 square foot wood deck and construction of new 345 square foot roof-top balcony with fireplace over proposed main level addition; c) at lower level: demolish existing 433 square foot guest suite; and construct 1,606 square foot lower level media room, exercise room, bar and guest rooms; c) site improvements to include: new driveway and guest parking areas, motor court, new lower terrace and patio, new courtyard with built-in

barbecue, spa and fireplace, new wrought iron fence with stone columns at Ocean View property line and new site landscaping, d) approximately 1,060 cubic yards of grading (830 cut/ 230 fill); 3) a Coastal Administrative Permit to allow the construction of a 425 square foot guesthouse with covered porch and loggia; 4) a Coastal Development Permit to allow development on a parcel with a positive archaeological report; and 5) Design Approval with materials and colors of stucco siding (Shabby Chic), slate (natural) and copper roofing, stone, metal clad doors and windows (medium bronze), and cedar trim and garage door (Thatch); and

- 3) Adopting the Mitigation Monitoring and Reporting Plan.

[PLN100211, Keech Properties, LLC, 26264 Ocean View Avenue, Carmel, Carmel Area Land Use Plan (APN: 009-432-019-000, 009-432-018-000 and 008-432-014-000)]

The Keech application (PLN100211) came on for public hearing before the Monterey County Planning Commission on August 31, 2011. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Planning Commission finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
- EVIDENCE:** a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
- The 1982 Monterey County General Plan;
 - Carmel Area Land Use Plan;
 - Monterey County Coastal Implementation Plan Part 4;
 - Monterey County Zoning Ordinance (Title 20);
 - Monterey County Subdivision Ordinance (Title 19);
- No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
- b) The property is located at 26264 Ocean View Avenue, Carmel (Assessor's Parcel Number 009-432-019-000, 009-432-018-000 and 008-432-014-000, Carmel Area Land Use Plan. The parcel is zoned "MDR/2-D(18')(CZ)" [Medium Density Residential, 2 units per acre with Design Control Overlay and 18 foot height limit (Coastal Zone)], which allows the construction of a single family residence as a principal allowed use subject to a Coastal Administrative Permit in each case, the construction of a guesthouse as a principal allowed use subject to a Coastal Administrative Permit in each case, and development on parcels with positive archaeological reports subject to a Coastal Development

Permit in each case. Therefore, the project is an allowed land use for this site.

- c) The Keech project has been reviewed for siting, design, colors, materials and height. The proposed project meets the development standards of the zoning district including height, setback, lot coverage, and floor area ratio and the proposed colors and materials are appropriate for the site and the neighborhood.
- d) *Height:* The site is subject to design review with an 18-foot height limit from average natural grade (ANG).
Existing Residence - At 23 feet-3 13/16 inches from ANG, the existing residence is legal non-conforming as to height. The proposal includes reducing the height of two sections of the existing roof by converting them to hip end roof. No other structural modifications are proposed for the portions of the existing residence that are legal non-conforming as to height.
Addition - The maximum height of the proposed addition to the residence is 16 feet from ANG. If a separate residence were proposed on Lot 2, the ANG could be as low as 26.5 feet above MSL. Because of the elevation change from east to west across the merged parcels, the ANG for the proposed residence is 29.65 feet above MSL. This means that the height of the proposed addition, at 16 feet above ANG and approximately 45.65 feet above MSL, would be just over one foot taller than the maximum height of any residence that could have been built on the unmerged Lot 2. The applicant proposes to cut the grade down on the Scenic Road side to allow a terrace and finished lower floor that will be approximately 4 feet below the grade of Scenic Road. Although the actual height of the residence, as viewed from Scenic Road, is about 25 feet, because of the cut, it will appear to be less tall. (See also Evidence 1-h).
- e) *Lot Coverage/Floor Area Ratio:* The maximum lot coverage allowed in the zoning district is 35 percent and the maximum floor area ratio allowed in the zoning district is 45 percent. The project proposes 32.3 lot coverage and 43 percent floor area ratio. Because of the merger, the lot size will increase to 18,047 square feet. Although the proposed lot coverage and floor area ratio are near the maximum, because of the larger lot size and the fact that there will only be one residence on the parcel rather than three, development will be concentrated in a proportionally smaller area of the parcel, thereby reducing the visual impact of the new residence.
- f) *Setbacks:* The project complies with the setback requirements as set forth in the Zoning Ordinance. The required setbacks for main structures the MDR zoning district are: Front – 20 feet; Sides - 5 feet; and Rear – 10 feet. A special front setback of 30 feet is required for Lot 2 as shown on the recorded map (Volume 7 Cities and Towns, Page 7) for the parcel. The project proposes an uncovered deck on the west elevation which will extend into the required front setback by 6 feet pursuant to the Setback Exception in Section 20.62.040.D (“Uncovered decks . . . may extend into any required front or rear setback not exceeding 6 feet . . .”).
- g) The project planner conducted site inspections on August 22, 2010 and May 23, 2011 to verify that the project on the subject parcel conforms to the plans listed above.

- h) The project includes a Lot Line Adjustment to merge three parcels into one parcel. The resulting parcel will be 18,047 square feet, which exceeds the minimum required lot size in the Medium Density Residential zoning district (6,000 square feet).
- i) The site is visible from Scenic Road. Areas visible from Scenic Road are subject to the Viewshed policies of the Carmel Area Land Use Plan (LUP Policy 2.2.2). The proposed project will merge three existing legal lots of record, two of which are vacant (Lot 2 and Lot 7), and one which is developed with an existing three-level single family dwelling (Lot 6). Lots 6 and 7 front on Ocean View Avenue and Lot 2 fronts on Scenic Road. The existing residence is located on Ocean View Avenue, with the rear of the structure being visible across the vacant Lot 2 from Scenic Road. The project will result in a two-level addition that steps down the slope from the rear of the existing dwelling to the front setback line on Lot 2 on Scenic Road and a 425 square foot guesthouse on Lot 7. Absent the merger, each individual lot could be developed with a single-family dwelling and associated accessory structures. As proposed, a substantial view corridor from Ocean View Avenue through Lot 7 will be retained. The Keech project has been designed to meet the 18-foot height from average natural grade limit, and to make use of appropriate exterior treatments consistent with the neighborhood to help blend the structure into the environment (LUP Policy 2.2.3.6). Existing trees that will screen the site and soften the visual impact of the development from Scenic Road will be protected by the implementation of Mitigation Measure No. 1, which requires actions to protect the trees during and after construction. This assures compliance with the General Development Standards of the LUP and creating an impact that is less than significant. The standard condition requiring height verification has been applied to the project to ensure that the residence does not exceed the approved height. In addition, the County of Monterey requires that all proposed lighting be unobtrusive and harmonious with the local area. The standard lighting condition has been applied to the project to ensure compliance with this policy.
- j) The subject project meets the regulations, standards and circumstances for a guesthouse. The proposed 425 square foot guesthouse will be 12 feet tall, has no kitchen and is located within close proximity to the main residence.
- k) The subject property is located within a “high” archaeological sensitivity zone and the Monterey County Geographic Information System (GIS) indicates that the proposed development is located within 750 feet of a known archaeological resource. Pursuant to Section 20.146.090 of the Coastal Implementation Plan Part 4, an archaeological survey was required in 2008 for a test well proposal on the site (PLN080302). Surface evidence of cultural resources was found during the preliminary survey. An Initial Study was prepared pursuant to Section 20.146.090.C and LUP Policy 2.8.4.1. Two 1x1 meter test units were excavated by the project archaeologist, one on each of the two undeveloped parcels (009-432-014-000 and 009-432-019-000) to determine the significance of the cultural resources on the subject parcels. The testing revealed only sparse cultural materials, which the archaeologist determined to be of limited significance. As

recommended by the project archaeologist, the standard archaeological condition has been imposed on the project.

- l) The project was referred to the Carmel Unincorporated/Highlands Land Use Advisory Committee (LUAC) for review. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors per Resolution No. 08-338, this application did warrant referral to the LUAC because the project includes a Design Approval that will be heard at a public hearing. The LUAC recommended approval of the project as proposed by a vote of 4-1, with the dissenting member citing the increased size of the residence.
- m) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN100211.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: RMA - Planning Department, Cypress Fire Protection District, Parks, Public Works, Environmental Health Bureau, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
 - b) Staff identified potential impacts to Biological Resources, Archaeological Resources, Geology and Visual Resources. Technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff independently reviewed these reports and concurs with their conclusions. The following reports have been prepared:
 - *“Biological Resources Site Analysis” (LIB100145) prepared by Fred Ballerini Horticultural Services, Pacific Grove, California, dated April 20, 2009.*
 - *“Preliminary Archaeological Report” (LIB100146), prepared by Archaeological Consulting, Salinas, California, dated July 30, 2008.*
 - *Updated Archaeological letter addressing proposed project Planning File No. PLN100211 (LIB100219), prepared by Archaeological Consulting, Salinas, California, dated May 14, 2010.*
 - *Archaeological clarification letter addressing methodology and findings (LIB110178), prepared by Archaeological Consulting, Salinas, California, dated June 1, 2011.*
 - *“Tree Assessment/Arborist Report” (LIB100368), prepared by Frank Ono, Forester, Pacific Grove, California, dated October 9, 2010.*
 - *“Amended Tree Assessment/Arborist Report (LIB110083), prepared by Frank Ono, Forester, Pacific Grove, California, dated January 30, 2011.*
 - *“Visual Impact Assessment, Keech Residence” (LIB100218), prepared by EMC Planning Group Inc., Monterey, California,*

dated July 29, 2010.

- *“Keech Residence Revisions-Supplemental Visual Impact Assessment” (LIB110167), prepared by EMC Planning Group Inc., Monterey, California, dated May 5, 2011.*
 - *“Geotechnical and Geological Hazards Report for the Proposed Keech Residence” (LIB100369), prepared by Grice Engineering and Geology, Salinas, California, dated June, 2010.*
- c) Staff conducted site inspections on August 22, 2010 and May 23, 2011 to verify that the site is suitable for this use.
 - d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project File PLN100211.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

- EVIDENCE:**
- a) The project was reviewed by RMA - Planning Department, Cypress Fire Protection District, Parks, Public Works, Environmental Health Bureau, and Water Resources Agency. The respective departments/agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
 - b) Necessary public facilities are available. The project will be served by the California American Water Company (Cal-Am), the Carmel Area Wastewater District (CAWD) and Pacific Gas and Electric. A Residential Water Release From and Water Permit Application showing no net increase in water fixture units was submitted and approved by the Water Resources Agency. The project will require issuance of a Water Permit by the Monterey Peninsula Water Management District prior to the issuance of building permits. The proposed residence will utilize the existing utility connections.
 - c) Preceding findings and supporting evidence for PLN100211.

4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

- EVIDENCE:**
- a) Staff reviewed Monterey County RMA - Planning Department and Building Services Department records and is not aware of any violations existing on subject property.
 - b) Staff conducted site inspections on August 22, 2010 and May 23, 2011 and researched County records to assess if any violation exists on the subject property.
 - c) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the

proposed development are found in Project File PLN100211.

5. **FINDING:** **CEQA (Mitigated Neg Dec)** - On the basis of the whole record before the Monterey County Planning Commission, there is no substantial evidence that the proposed project as designed, conditioned and mitigated, will have a significant effect on the environment. The Mitigated Negative Declaration reflects the independent judgment and analysis of the County.

- EVIDENCE:**
- a) Public Resources Code Section 21080.d and California Environmental Quality Act (CEQA) Guidelines Section 15064.a.1 require environmental review if there is substantial evidence that the project may have a significant effect on the environment.
 - b) The Monterey County Planning Department prepared an Initial Study pursuant to CEQA. The Initial Study is on file in the offices of the Planning Department and is hereby incorporated by reference (PLN100211).
 - c) The Initial Study identified several potentially significant effects, but revisions have been made to the project and applicant has agreed to proposed mitigation measures that avoid the effects or mitigate the effects to a point where clearly no significant effects would occur. The Initial Study is on file in the RMA-Planning Department and is hereby incorporated by reference (PLN100211).
 - d) Issues that were analyzed in the Mitigated Negative Declaration include: aesthetic resources, biological resources, cultural resources, greenhouse gas emissions, hazards/hazardous materials and noise.
 - e) Aesthetic Resources – Potential impacts to aesthetic resources, particularly the view from Scenic Road, were identified. Existing trees that will screen the site and soften the visual impact of the development from Scenic Road will be protected by the implementation of Mitigation Measure (MM) No. 1, which requires actions to protect the trees during and after construction. (See also Finding 1, Evidence F). MM No. 1 requires in part that a revised grading plan reducing the amount of proposed grading (specifically in the critical zones of trees closest to Scenic Road on Lot 2) be submitted prior to consideration of the project at a public hearing. A revised grading plan was submitted to the RMA-Planning Department on August 9, 2011 along with a report from an arborist verifying that the grading will not adversely impact the critical root zones of the subject trees as required by MM No. 1. This plan revision has been incorporated into the project plans.
 - f) Biological Resources – The biological report prepared for the project (LIB100145) did not identify any special status plant or animal species on the site. Potential impacts to Monterey cypress trees from construction were identified. The implementation of Mitigation Measure No. 1 (see Evidence 5e) will ensure that the trees are protected.
 - g) Cultural Resources – The project site contains surface evidence of cultural materials. However, testing on the site found the materials to be not significant. As recommended by the project archaeologist, the standard archaeological condition has been incorporated into **Exhibit 1** to ensure that in the event potentially significant resources are uncovered during construction, work will be stopped and the find

- evaluated by a qualified professional. See also Evidence 1h.
- h) Greenhouse Gas Emissions – The project’s construction and use emissions are below the applicable Greenhouse Gas significance thresholds established by the California Air Resource Board and once constructed, the project would not create any air emissions beyond those associated with established uses on the property.
 - i) Hazards/Hazardous Materials - The project includes partial demolition of a single family dwelling built in the 1960s. Therefore, there is a potential for the materials used in the original construction to contain asbestos and/or lead paint.
Asbestos- The Monterey Peninsula Unified Air Pollution Control District (MPUAPCD) has an Asbestos Program in place to protect the public from uncontrolled emissions of asbestos by enforcement of the Federal Asbestos Standard and Air District Rule 424. However, Rule 424 has a general exemption for single family dwellings. Although worker exposure to asbestos is regulated by the California Occupational Safety and Health Administration (Cal/OSHA), there is still a potential for the release of hazardous materials to the public and sensitive receptors. Therefore, a non-standard condition (Condition No. 16) requiring the completion of an asbestos survey and best management practices to be followed if any asbestos is found at the site has been incorporated into **Exhibit 1**.
Lead Paint - On April 22, 2008, the Environmental Protection Agency (EPA) issued a rule requiring the use of lead-safe practices (40 CFR, Part 745) and other actions aimed at preventing lead poisoning. Therefore, to ensure the owner/applicant complies with Rule 40 CFR, Part 745, a non-standard condition (Condition No. 17) requiring compliance with this rule has been incorporated into **Exhibit 1**.
 - j) All project changes required to avoid significant effects on the environment have been incorporated into the project and/or are made conditions of approval. A Condition Compliance and Mitigation Monitoring and/or Reporting Plan has been prepared in accordance with Monterey County regulations and is designed to ensure compliance during project implementation and is hereby incorporated herein by reference as **Exhibit 1**. The applicant must enter into an “Agreement to Implement a Mitigation Monitoring and/or Reporting Plan” as a condition of project approval.
 - k) The Draft Mitigated Negative Declaration (“MND”) for PLN100211 was prepared in accordance with CEQA and circulated for public review from June 15, 2011 through July 14, 2011 (SCH#: 2011061035). Issues that were analyzed in the Draft Mitigated Negative Declaration (“MND”) include aesthetic resources, biological resources, cultural resources, greenhouse gas emissions, hazards/hazardous materials and noise.
 - l) Evidence that has been received and considered includes: the application, technical studies/reports (*see Finding 2/Site Suitability*), staff reports that reflect the County’s independent judgment, and information and testimony presented during public hearings (as applicable). These documents are on file in the RMA-Planning Department (PLN100211) and are hereby incorporated herein by reference.

m) *DFG FEES/EXEMPTION*

Staff analysis contained in the Initial Study and the record as a whole indicate the project could result in changes to the resources listed in Section 753.5(d) of the Department of Fish and Game (DFG) regulations. All land development projects that are subject to environmental review are subject to a State filing fee plus the County recording fee, unless the Department of Fish and Game determines that the project will have no effect on fish and wildlife resources.

The site supports birds and Monterey cypress trees. For purposes of the Fish and Game Code, the project will have a significant adverse impact on the fish and wildlife resources upon which the wildlife depends. State Department of Fish and Game reviewed the MND to comment and recommend necessary conditions to protect biological resources in this area. Therefore, the project will be required to pay the State fee plus a fee payable to the Monterey County Clerk/Recorder for processing said fee and posting the Notice of Determination (NOD).

n) No comments from the public were received.

o) The Monterey County Planning Department, located at 168 W. Alisal, Second Floor, Salinas, California, 93901, is the custodian of documents and other materials that constitute the record of proceedings upon which the decision to adopt the negative declaration is based.

5. **FINDING:** **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

- EVIDENCE:**
- a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.70.050.B.4.c of the Monterey County Coastal Implementation Plan can be demonstrated.
 - b) The subject property is not described as an area where the Local Coastal Program requires public access (Figure 3 in the Carmel Area Land Use Plan).
 - c) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over this property.
 - d) Land Use Plan Policy 5.3.3.4.c requires that structures and landscaping placed upon land on the west side of Highway 1 be sited and designed to retain public views of the shoreline from Highway 1 and roads seaward of the highway. The proposed project will maintain a view corridor from Ocean View Avenue through the property to the sea. To ensure maintenance of this view, the project has been conditioned with a non-standard condition (Condition No. 18) to require that fencing along Ocean View Avenue not block views across the site to the sea.
 - e) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN100211
 - f) The project planner conducted site inspections on August 22, 2010 and May 23, 2011.

6. **FINDING:** **LOT LINE ADJUSTMENT** – Section 66412 of the California

Government Code (Subdivision Map Act) Title 19 (Subdivision Ordinance) of the Monterey County Code states that lot line adjustments may be granted based upon the following findings:

1. The lot line adjustment is between two (or more) existing adjacent parcels;
2. A greater number of parcels than originally existed will not be created as a result of the lot line adjustment;
3. The parcels resulting from the lot line adjustment conforms to the County's general plan, any applicable specific plan, any applicable coastal plan, and zoning and building ordinances.

- EVIDENCE:**
- a) The parcel is zoned: "MDR/2-D (18')(CZ)" [Medium Density Residential, 2 units per acre with Design Control Overlay and 18 foot height limit (Coastal Zone)]
 - b) The project area has a total of approximately .41 acres. The proposed amendment is a merger between three legal lots of record consisting of Lot 2 (6,002 square feet, Assessor's Parcel Number [APN] 009-432-014-000), Lot 6 (6,005 square feet, APN 009-432-018-000), and Lot 7 (6,040 square feet, APN 009-432-019-000), resulting in one parcel of 18,047 square feet.
 - c) The lot line adjustment is between more than one and less than four existing adjacent parcels. The three subject parcels are Lots 2, 6 and 7 of Tract No. 435 (Jeffers Estates) as shown on the map recorded in March 1963 at Volume 7, Page 93 of Cities and Towns. Lots 6 and 7 front on Ocean View Avenue and share a common side lot line. Lot 2 fronts on Scenic Road and shares a common rear lot line with Lot 6.
 - d) The lot line adjustment will not create a greater number of parcels than originally existed. Three contiguous separate legal parcels of record will be adjusted and one separate legal parcel of record will result from the adjustment. No new parcels will be created.
 - e) The proposed lot line adjustment is consistent with the Monterey County Zoning Ordinance (Title 20). Staff verified that the subject property is in compliance with all rules and regulations pertaining to the use of the property that no violations exist on the property.
Parcel Size: The minimum parcel size in the Medium Density Residential Zoning District is 6,000 square feet. The proposed merger of three parcels will result in one parcel of 18,047 square feet, which is larger than the minimum.
Density: The subject properties are zoned Medium Density Residential, 2 units per acre. At approximately .41 acre, the resulting parcel will exceed the allowed density. However, Section 20.64.180.C.8 exempts Lot Line Adjustments from the criteria for maximum allowable residential density on a parcel, provided that no net increase in the number of residential lots will result. This project will result in a reduction in the number of residential lots.
Setbacks: The existing and proposed development on the property conforms to all setback requirements. The lot line adjustment will have no impact on setbacks on any adjacent properties.
 - f) Utility easements that exist on the subject property will not be affected by the project. The property has direct access to two public roads. No other property has any road easement on the subject property that would be affected by the lot line adjustment.

- g) As an exclusion to the Subdivision Map Act, no map is recorded for a Lot Line Adjustment. In order to appropriately document the boundary changes, a Certificate of Compliance for each new lot is required per a standard condition of approval in **Exhibit 1**.
- h) The project planner conducted site inspections on August 22, 2010 and May 23, 2011 to verify that the project would not conflict with zoning or building ordinances.
- i) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN100211.

7. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.

- EVIDENCE:**
- a) Section 20.86.030.A Monterey County Zoning Ordinance (Board of Supervisors).
 - b) Section 20.86.080.A.3 Monterey County Zoning Ordinance (Coastal Commission). The project is subject to appeal by/to the California Coastal Commission because the project involves development that is permitted in the underlying zone as a conditional use (development within a positive archaeological site).

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Planning Commission does hereby:

- A. Adopt the Mitigated Negative Declaration; and
- B. Approve Combined Development Permit consisting of: 1) a Coastal Development Permit to allow a Lot Line Adjustment (merger) between three legal lots of record consisting of Lot 2 (6,002 square feet, Assessor's Parcel Number [APN] 009-432-014-000), Lot 6 (6,005 square feet, APN 009-432-018-000), and Lot 7 (6,040 square feet, APN 009-432-019-000), resulting in one parcel of 18,047 square feet; 2) a Coastal Administrative Permit to allow the partial demolition, remodel of and additions to a 2,796 square foot, three-level, single family dwelling with a 486 square foot attached garage which will result in a 6,159 square foot three-level residence with an attached 836 square foot garage. The remodel and additions will include: a) at main level: demolition of 607 square feet of existing laundry room, two-car garage and portion of existing living room; remodel and conversion of existing 903 square foot living area to a new 836 square foot three-car garage, stairwell, elevator and mechanical room; 3,367 square foot addition; new 229 square foot attached portico; and 213 square feet new attached balconies and deck; b) at upper level: remodel of 1,339 square feet of living area, master bedroom and kitchen to a new studio and office; 13 square foot bay window addition, demolition of existing 188 square foot wood deck and construction of new 345 square foot roof-top balcony with fireplace over proposed main level addition; c) at lower level: demolish existing 433 square foot guest suite; and construct 1,606 square foot lower level media room, exercise room, bar and guest rooms; c) site improvements to include: new driveway and guest parking areas, motor court, new lower terrace and patio, new courtyard with built-in barbecue, spa and fireplace, new wrought iron fence with stone columns at Ocean View property line and new site landscaping, d) approximately 1,060 cubic yards of grading (830 cut/ 230 fill); 3) a Coastal Administrative Permit to allow the construction of a 425 square foot guesthouse with covered porch and loggia; 4) a

Coastal Development Permit to allow development on a parcel with a positive archaeological report; and 5) Design Approval with materials and colors of stucco siding (Shabby Chic), slate (natural) and copper roofing, stone, metal clad doors and windows (medium bronze), and cedar trim and garage door (Thatch), in general conformance with the attached sketch (**Exhibit 2**) and subject to the conditions (**Exhibit 1**), both exhibits being attached hereto and incorporated herein by reference; and

- C. Adopt the Mitigation Monitoring and Reporting Program (**Exhibit 1**).

PASSED AND ADOPTED this 31st day of August, 2011 upon motion of XXXX, seconded by XXXX, by the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

Mike Novo, Planning Commission Secretary

COPY OF THIS DECISION MAILED TO APPLICANT ON DATE

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE DATE

(Coastal Projects)

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS / IS NOT APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning Department and Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Form Rev. 03-28-2011

Monterey County Planning Department

DRAFT Conditions of Approval/Mitigation Monitoring Reporting Plan

PLN100211

Conditions of Approval and/or Mitigation Monitoring Measures

Responsible Department	Compliance or Monitoring Actions to be Performed
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1. PD001 - SPECIFIC USES ONLY

This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of the RMA - Planning Department. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning Department)

Planning	The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.
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2. PD002 - NOTICE PERMIT APPROVAL

The applicant shall record a Permit Approval Notice. This notice to contain the Resolution Number, Name of Hearing Body, Assessor's Parcel Number, Date the permit was approved, and the statements "The permit was granted subject to 29 conditions of approval including one mitigation measure which run with the land" and "A copy of the permit is on file with the Monterey County RMA - Planning Department." Proof of recordation of this notice shall be furnished to the Director of the RMA - Planning Department prior to issuance of building permits or commencement of the use. (RMA - Planning Department)

Planning	Prior to the issuance of grading and building permits or commencement of use, the Owner/Applicant shall provide proof of recordation of this notice to the RMA - Planning Department.
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3. PD004 - INDEMNIFICATION AGREEMENT

EXHIBIT 1

Conditions of Approval and/or Mitigation Monitoring Measures

Responsible Department

Compliance or Monitoring Actions to be Performed

The property owner agrees as a condition and in consideration of approval of this discretionary development permit that it will, pursuant to agreement and/or statutory provisions as applicable, including but not limited to Government Code Section 66474.9, defend, indemnify and hold harmless the County of Monterey or its agents, officers and employees from any claim, action or proceeding against the County or its agents, officers or employees to attack, set aside, void or annul this approval, which action is brought within the time period provided for under law, including but not limited to, Government Code Section 66499.37, as applicable. The property owner will reimburse the County for any court costs and attorney's fees which the County may be required by a court to pay as a result of such action. The County may, at its sole discretion, participate in the defense of such action; but such participation shall not relieve applicant of his obligations under this condition. An agreement to this effect shall be recorded upon demand of County Counsel or concurrent with the issuance of building permits, use of property, filing of the final map, whichever occurs first and as applicable. The County shall promptly notify the property owner of any such claim, action or proceeding and the County shall cooperate fully in the defense thereof. If the County fails to promptly notify the property owner of any such claim, action or proceeding or fails to cooperate fully in the defense thereof, the property owner shall not thereafter be responsible to defend, indemnify or hold the County harmless. (RMA - Planning Department)

Planning

Upon demand of County Counsel or concurrent with the issuance of building permits, use of the property, recording of the final/parcel map, whichever occurs first and as applicable, the Owner/Applicant shall submit a signed and notarized Indemnification Agreement to the Director of RMA-Planning Department for review and signature by the County.

Proof of recordation of the Indemnification Agreement, as outlined, shall be submitted to the RMA-Planning Department.

4. PD032(A) - PERMIT EXPIRATION

The permit shall be granted for a time period of 3 years, to expire on August 31, 2014 unless use of the property or actual construction has begun within this period. (RMA-Planning Department)

Planning

Prior to the expiration date stated in the condition, the Owner/Applicant shall obtain a valid grading or building permit and/or commence the authorized use to the satisfaction of the Director of Planning. Any request for extension must be received by the Planning Department at least 30 days prior to the expiration date.

5. PD003(B) - CULTURAL RESOURCES POSITIVE ARCHAEOLOGICAL REPORT

Conditions of Approval and/or Mitigation Monitoring Measures

Responsible Department

Compliance or Monitoring Actions to be Performed

If archaeological resources or human remains are accidentally discovered during construction, the following steps will be taken:

Planning

There shall be no further excavation or disturbance of the site or any nearby area reasonably suspected to overlie adjacent human remains until the coroner of the county in which the remains are discovered must be contacted to determine that no investigation of the cause of death is required.

If the coroner determines the remains to be Native American:

- The coroner shall contact the Native American Heritage Commission and the RMA - Planning Department within 24 hours.

- The Native American Heritage Commission shall identify the person or persons from a recognized local tribe of the Esselen, Salinan, Costanoans/Ohlone and Chumash tribal groups, as appropriate, to be the most likely descendant.

- The most likely descendant may make recommendations to the landowner or the person responsible for the excavation work, for means of treating or disposing of, with appropriate dignity, the human remains and any associated grave goods as provided in Public Resources Code Section 5097.9 and 5097.993, Or

Where the following conditions occur, the landowner or his authorized representatives shall rebury the Native American human remains and associated grave goods with appropriate dignity on the property in a location not subject to further subsurface disturbance:

1. The Native American Heritage Commission is unable to identify a most likely descendant or the most likely descendant failed to make a recommendation within 24 hours after being notified by the commission.
2. The descendant identified fails to make a recommendation; or
3. The landowner or his authorized representative rejects the recommendation of the descendant, and the mediation by the Native American Heritage Commission fails to provide measures acceptable to the landowner.
(RMA - Planning Department)

6. PD005 - FISH & GAME FEE NEG DEC/EIR

Pursuant to the State Public Resources Code Section 753.5, State Fish and Game Code, and California Code of Regulations, the applicant shall pay a fee, to be collected by the County, within five (5) working days of project approval. This fee shall be paid before the Notice of Determination is filed. If the fee is not paid within five (5) working days, the project shall not be operative, vested or final until the filing fees are paid.
(RMA - Planning Department)

Planning

Prior to the issuance of grading or building permits or approval of Subdivision Improvement Plans, whichever occurs first, the Owner/Applicant, per the archaeologist, shall submit the contract with a Registered Professional Archaeologist to the Director of the RMA-Planning Department for approval.

Prior to the issuance of grading or building permits and/or prior to the recordation of the final/parcel map, whichever occurs first, the Owner/Applicant shall include requirements of this condition as a note on all grading and building plans, on the Subdivision Improvement Plans, in the CC&Rs, and shall be included as a note on an additional sheet of the final/parcel map.

Within five (5) working days of project approval, the Owner/Applicant shall submit a check, payable to the County of Monterey, to the Director of the RMA - Planning Department.

If the fee is not paid within five (5) working days, the applicant shall submit a check, payable to the County of Monterey, to the Director of the RMA - Planning Department prior to the recordation of the final/parcel map, the start of use, or the issuance of building permits or grading permits.

7. PD047 - DEMOLITION/DECONSTRUCTION (MBAUPCD RULE 439)

In accordance with Monterey Unified Air Pollution Control District Rule 439, construction plans shall include "Demolition and Deconstruction" notes that incorporate the following work practice standards:

Planning

1. Sufficiently wet the structure prior to deconstruction or demolition. Continue wetting as necessary during active deconstruction or demolition and the debris reduction process;

2. Demolish the structure inward toward the building pad. Lay down roof and walls so that they fall inward and not away from the building;

3. Commencement of deconstruction or demolition activities shall be prohibited when the peak wind speed exceeds 15 miles per hour.

All Air District standards shall be enforced by the Air District.
(RMA - Planning Department)

Prior to the issuance of a demolition permit, if applicable, the Owner/Applicant/Contractor shall incorporate a "Demolition/Deconstruction" note on the demolition site plan that includes, but is not limited to, the standards set forth in this condition.

During demolition, the Owner/Applicant/Contractor shall obtain any required Air District permits and the Air District shall conduct all deconstruction or demolition activities as required by the Air District.

8. PD006 - MITIGATION MONITORING

The applicant shall enter into an agreement with the County to implement a Mitigation Monitoring and/or Reporting Plan in accordance with Section 21081.6 of the California Public Resources Code and Section 15097 of Title 14 Chapter 3 of the California Code of Regulations. Compliance with the fee schedule adopted by the Board of Supervisors for mitigation monitoring shall be required and payment made to the County of Monterey at the time the property owner submits the signed mitigation monitoring agreement.
(RMA - Planning Department)

Planning

Within sixty (60) days after project approval or prior to the issuance of building and grading permits, whichever occurs first, the Owner/Applicant shall:

1) Enter into agreement with the County to implement a Mitigation Monitoring Program.

2) Fees shall be submitted at the time the property owner submits the signed mitigation monitoring agreement.

9. PD041 - HEIGHT VERIFICATION

Conditions of Approval and/or Mitigation Monitoring Measures

Responsible Department

Compliance or Monitoring Actions to be Performed

The applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible on-site until final building inspection. The applicant shall provide evidence from a licensed civil engineer or surveyor to the Director of the RMA - Building Services Department for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit associated with this project. (RMA - Planning Department and Building Services Department)

Planning

Prior to the issuance of grading or building permits, the Owner/Applicant shall have a benchmark placed upon the property and identify the benchmark on the building plans. The benchmark shall remain visible onsite until final building inspection.

Prior to the foundation pre-pour inspection, the Owner/Applicant shall provide evidence from a licensed civil engineer or surveyor, to the Director of the RMA- Building Services Department for review and approval, that the height of first finished floor from the benchmark is consistent with what was approved on the building permit.

Prior to the final inspection, the Owner/Applicant/Engineer shall provide evidence from a licensed civil engineer or surveyor, to the Director of the RMA- Building Services Department for review and approval, that the height of the structure(s) from the benchmark is consistent with what was approved on the building permit.

10. PD045 - COC (LOT LINE ADJUSTMENTS)
(NON-STANDARD)

The applicant shall request an unconditional certificate of compliance for the newly configured parcel.
(RMA - Planning Department)

Planning

The Owner/Applicant/Surveyor shall submit legal descriptions for the newly configured parcel as prepared by the Surveyor. The legal description shall be entitled "Exhibit A." The legal description shall comply with the Monterey County Recorder's guidelines as to form and content. The Applicant shall submit the legal description with a check, payable to the Monterey County Recorder, for the appropriate fees to record the certificate.

11. PD019(B) - DEED RESTRICTION-GUESTHOUSE (COASTAL)

Conditions of Approval and/or Mitigation Monitoring Measures

Responsible Department

Compliance or Monitoring Actions to be Performed

The applicant shall record a deed restriction stating the regulations applicable to a Guesthouse (Coastal) as follows:

Planning

Prior to the issuance of grading or building permits, the Owner/Applicant shall submit a signed and notarized document to the Director of RMA-Planning Department for review and signature by the County.

* Only 1 guesthouse shall be allowed per lot.

* Detached guesthouses shall be located in close proximity to the principal residence.

* Guesthouses shall share the same utilities with the main residence, unless prohibited by public health requirements.

* The guesthouse shall not have cooking or kitchen facilities, including but not limited to microwave ovens, hot plates and toaster ovens.

Prior to occupancy or commencement of use, the Owner/Applicant shall submit proof of recordation of the document to the Director of the RMA-Planning Department.

* The guesthouse shall have a maximum of 6 linear feet of counter space, excluding counter space in a bathroom. There shall be a maximum of 8 square feet of cabinet space, excluding clothes closets.

* The guesthouse shall not exceed 425 square feet of livable floor area.

* The guesthouse shall not be separately rented, let or leased from the main residence whether compensation be direct or indirect.

* Subsequent subdivisions which divide a main residence from a guesthouse shall be prohibited.

* The guesthouse shall be designed in such a manner as to be visually consistent and compatible with the main residence on site and other residences in the area.

* The guesthouse height shall not exceed 12 feet nor be more than one story. (RMA - Planning Department)

12. PD014(A) - LIGHTING-EXTERIOR LIGHTING PLAN

Planning

Prior to the issuance of building permits, the Owner/Applicant shall submit three copies of the lighting plans to the RMA - Planning Department for review and approval. Approved lighting plans shall be incorporated into final building plans.

All exterior lighting shall be unobtrusive, down-lit, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The applicant shall submit three (3) copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog sheets for each fixture. The lighting shall comply with the requirements of the California Energy Code set forth in California Code of Regulations Title 24 Part 6. The exterior lighting plan shall be subject to approval by the Director of the RMA - Planning Department, prior to the issuance of building permits. (RMA - Planning Department)

Prior to occupancy and on an on-going basis, the Owner/Applicant shall ensure that the lighting is installed and maintained in accordance with the approved plan.

13. PD012(D) - LANDSCAPE PLAN & MAINTENANCE (MPWMD-SFD ONLY)

Conditions of Approval and/or Mitigation Monitoring Measures

The site shall be landscaped. Prior to the issuance of building permits, three (3) copies of a landscaping plan shall be submitted to the Director of the RMA - Planning Department. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping materials and shall include an irrigation plan. The plan shall be accompanied by a nursery or contractor's estimate of the cost of installation of the plan. Before occupancy, landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County RMA - Planning Department. All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (RMA - Planning Department)

Responsible Department

Planning

Compliance or Monitoring Actions to be Performed

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit landscape plans and contractor's estimate to the RMA - Planning Department for review and approval. Landscaping plans shall include the recommendations from the Forest Management Plan or Biological Survey as applicable. All landscape plans shall be signed and stamped by licensed professional under the following statement, "I certify that this landscaping and irrigation plan complies with all Monterey County landscaping requirements including use of native, drought-tolerant, non-invasive species; limited turf; and low-flow, water conserving irrigation fixtures.?"

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit one (1) set landscape plans of approved by the RMA-Planning Department, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey County Water Resources Agency for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall submit the RMA-Planning Department approved landscape plans, a Maximum Applied Water Allowance (MAWA) calculation, and a completed "Residential Water Release Form and Water Permit Application" to the Monterey Peninsula Water Management District for review and approval.

Prior to issuance of building permits, the Owner/Applicant/Licensed Landscape Contractor/ shall submit an approved water permit from the MPVWMD to the RMA-Building Services Department.

14. PD011 - TREE AND ROOT PROTECTION

Trees which are located close to construction site(s) shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of RMA - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits.
(RMA - Planning Department)

Planning

Prior to occupancy, the Owner/Applicant/Licensed Landscape Contractor/Licensed Landscape Architect shall ensure that the landscaping shall be either installed or a certificate of deposit or other form of surety made payable to Monterey County for that cost estimate shall be submitted to the Monterey County RMA - Planning Department.

On an on-going basis, all landscaped areas and fences shall be continuously maintained by the Owner/Applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.

Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to the RMA - Planning Department for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to the RMA-Planning Department after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

15. PD010 - EROSION CONTROL PLAN

Conditions of Approval and/or Mitigation Monitoring Measures

Responsible Department

Compliance or Monitoring Actions to be Performed

The approved development shall incorporate the recommendations of the Erosion Control Plan as reviewed by the Director of RMA - Planning and Director of Building Services. All cut and/or fill slopes exposed during the course of construction be covered, seeded, or otherwise treated to control erosion during the course of construction, subject to the approval of the Director of RMA - Planning and RMA - Building Services. The improvement and grading plans shall include an implementation schedule of measures for the prevention and control of erosion, siltation and dust during and immediately following construction and until erosion control planting becomes established. This program shall be approved by the Director of RMA - Planning and Director of RMA - Building Services.
(RMA - Planning Department and RMA - Building Services Department)

Planning

Prior to the issuance of grading and building permits, the Owner/Applicant shall submit an Erosion Control Plan to the RMA - Planning Department and the RMA - Building Services Department for review and approval.

16. PD007-GRADING WINTER RESTRICTION

No land clearing or grading shall occur on the subject parcel between October 15 and April 15 unless authorized by the Director of RMA - Building Services Department.
(RMA - Planning Department and Building Services Department)

Planning

The Owner/Applicant, on an on-going basis, shall obtain authorization from the Director of RMA - Building Services Department to conduct land clearing or grading between October 15 and April 15.

17. PDS001 ? ASBESTOS ABATEMENT (NON-STANDARD CONDITION)

In order to reduce potential impacts to the public and sensitive receptors caused by the emission of hazardous materials into the environment, the owner/applicant shall conduct an asbestos survey prior to any demolition activities. Should asbestos be found within the materials to be remodeled, renovated and/or demolished, the owner/applicant shall submit an Asbestos Abatement Plan to the Monterey Peninsula Unified Air Pollution Control District (MPUAPCD) and the RMA-Planning Department for review and approval. The Plan shall include measures workers will take during the demolition and remodel of the project to assure prevention of the release of asbestos, transportation of the hazardous materials, and where the hazardous material will be disposed. These measures shall meet all requirements sanctioned by the MPUAPCD, the California Occupational Safety and Health Administration (Cal/OSHA), the Department of Toxic Substances Control (DTSC), and the U.S. Department of Transportation (DOT). All demolition activities and transportation of hazardous materials shall conform to the abatement plan. Compliance with this condition will result in a less-than-significant impact to sensitive receptors and workers. (RMA ? Planning Department)

Planning

Prior to the issuance of demolition and/or building permits, the owner/applicant shall include this condition as a note on the plans. The owner/applicant shall submit plans to the RMA-Planning Department for review and approval.

18. PDS003 - DEMOLITION/DECONSTRUCTION OF SINGLE FAMILY DWELLING BUILT PRIOR

Prior to the issuance of demolition and/or building permits and a minimum of 10-working days prior to any demolition, the owner/applicant shall submit an asbestos survey to the MPUAPCD and the RMA-Planning Department for review and approval. If asbestos is found, the owner/applicant shall submit an Asbestos Abatement Plan meeting all requirements sanctioned by the Monterey Peninsula Unified Air Pollution Control District (MPUAPCD), the California Occupational Safety and Health Administration (Cal/OSHA), the Department of Toxic Substances Control (DTSC), and the U.S. Department of Transportation (DOT) for demolition activities and transportation of hazardous materials.

Conditions of Approval and/or Mitigation Monitoring Measures

Responsible Department

Compliance or Monitoring Actions to be Performed

- | Conditions of Approval and/or Mitigation Monitoring Measures | Responsible Department | Compliance or Monitoring Actions to be Performed |
|--|------------------------|---|
| <p>In accordance with Environmental Protection Agency (EPA) Rule 40 CFR Part 745, demolition and/or construction plans shall include "Renovation, Repair, and Painting" notes that lists the EPA approved work practices for renovation as well as incorporate the following:</p> <ol style="list-style-type: none"> 1. Individuals and firms that perform lead-based paint abatement shall be certified by the EPA; 2. All demolition shall occur in compliance with the regulations set forth in Rule 40 CFR Part 745. <p>All work performed shall be in accordance with the regulations set forth in the EPA's Renovation, Repair, and Painting Program.</p> <p>Prior to the issuance of demolition and/or building permits, the owner/applicant shall include a note on the plans encompassing the language within this condition. The owner/applicant shall submit plans to the RMA-Planning Department for review and approval.</p> <p>(RMA-Planning Department)</p> | <p>Planning</p> | <p>Prior to the issuance of demolition and/or building permits, the applicant shall submit demolition and/or construction plans to the RMA-Planning Department for review and approval.</p> |
| <p>19. PDSPP002 - FENCING DESIGN (NON-STANDARD)</p> <p>In order to maintain a view corridor to the sea from Ocean View Avenue through the site, any fencing installed along the eastern property line shall be of a type that does not impede views of the sea across the site from Ocean View Avenue. The design of any such fence shall be subject to the approval of the RMA-Planning Department. (RMA-Planning Department)</p> | <p>Planning</p> | <p>Prior to the construction of permanent fencing, the owner/applicant shall submit fencing plan and documentation as to how the fencing will not impede views of the sea from the road to the RMA-Planning Department for review and approval.</p> |
| <p>20. WR1 - DRAINAGE PLAN</p> <p>The applicant shall provide the Water Resources Agency a drainage plan prepared by a registered civil engineer or architect addressing on-site and off-site impacts. Drainage improvements shall be constructed in accordance with plans approved by the Water Resources Agency. (Water Resources Agency)</p> | <p>Water</p> | <p>Prior to issuance of any grading or building permits, the owner/applicant shall submit 3 copies of the drainage plan to the Water Resources Agency for review and approval.</p> |
| <p>21. WR43 - WATER AVAILABILITY CERTIFICATION</p> <p>The applicant shall obtain from the Monterey County Water Resources Agency, proof of water availability on the property, in the form of an approved Monterey Peninsula Water Management District Water Release Form. (Water Resources Agency)</p> | <p>Water</p> | <p>Prior to issuance of any building permits, the owner/applicant shall submit a Water Release Form to the Water Resources Agency for review and approval.</p> |
| <p>22. PW0005 - ENCROACHMENT (STD DRIVEWAY)</p> <p>Obtain an encroachment permit from the Department of Public Works and construct a standard driveway connection to (Ocean View Avenue). (Public Works)</p> | <p>Pub Works</p> | <p>Prior to Building/Grading Permits Issuance Owner/Applicant shall obtain an encroachment permit from DPW prior to issuance of building permits and complete improvement prior to occupancy or commencement of use. Applicant is responsible to obtain all permits and environmental clearances.</p> |

23. PW0044 - CONSTRUCTION MANAGEMENT PLAN

The applicant shall submit a Construction Management Plan (CMP) to the RMA-Planning Department and the Department of Public Works for review and approval. The CMP shall

Pub Works

1. Prior to issuance of the Grading Permit or Building Permit Owner/Applicant/ Contractor shall prepare a CMP and shall submit the CMP to the RMA-Planning Department and the Department of Public Works for review and approval.

include measures to minimize traffic impacts during the construction/grading phase of the project and shall provide the following information: Duration of the construction, hours of operation, an estimate of the number of truck trips that will be generated, truck routes, number of construction workers, parking areas for both equipment and workers, and locations of truck staging areas. Approved measures included in the CMP shall be implemented by the applicant during the Construction/grading phase of the project. (Public Works)

2. On-going through construction phases Owner/Applicant/Contractor shall implement the approved measures during the construction/grading phase of the project.

24. FIRE007 - DRIVEWAYS

Driveways shall not be less than 12 feet wide unobstructed, with an unobstructed vertical clearance of not less than 15 feet. The grade for all driveways shall not exceed 15 percent. Where the grade exceeds 8 percent, a minimum structural roadway surface of 0.17 feet of asphaltic concrete on 0.34 feet of aggregate base shall be required. The driveway surface shall be capable of supporting the imposed load of fire apparatus (22 tons), and be accessible by conventional-drive vehicles, including sedans. For driveways with turns 90 degrees and less, the minimum horizontal inside radius of curvature shall be 25 feet. For driveways with turns greater than 90 degrees, the minimum horizontal inside radius curvature shall be 28 feet. For all driveway turns, an additional surface of 4 feet shall be added. All driveways exceeding 150 feet in length, but less than 800 feet in length, shall provide a turnout near the midpoint of the driveway. Where the driveway exceeds 800 feet, turnouts shall be provided at no greater than 400-foot intervals. Turnouts shall be a minimum of 12 feet wide and 30 feet long with a minimum of 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall long with a minimum 25-foot taper at both ends. Turnarounds shall be required on driveways in excess of 150 feet of surface length and shall be located within 50 feet of the primary building. The minimum turning radius for a turnaround shall be 40 feet from the center line of the driveway. If a hammerhead/T is used, the top of the "T" shall be a minimum of 60 feet in length. (Cypress Fire Protection District)

Fire

1. Prior to issuance of grading and/or building permit Applicant or owner shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.
2. Prior to final building inspection Applicant or owner shall schedule fire dept. clearance inspection.

25. FIRE008 - GATES

All gates providing access from a road to a driveway shall be located at least 30 feet from the roadway and shall open to allow a vehicle to stop without obstructing traffic on the road. Gate entrances shall be at least the width of the traffic lane but in no case less than 12 feet wide. Where a one-way road with a single traffic lane provides access to a gated entrance, a 40-foot turning radius shall be used. Where gates are to be locked, the installation of a key box or other acceptable means for immediate access by emergency equipment may be required. (Cypress Fire Protection District)

Fire

1. Prior to issuance of grading and/or building permit Applicant or owner shall incorporate specification into design and enumerate as "Fire Dept. Notes" on plans.
2. Prior to final building inspection Applicant or owner shall schedule fire dept. clearance inspection.

26. FIRE011 ADDRESSES FOR BUILDINGS

All buildings shall be issued an address in accordance with Monterey County Ordinance No. 1241. Each occupancy, except accessory buildings, shall have its own permanently posted address. When multiple occupancies exist within a single building, each individual occupancy shall be separately identified by its own address. Letters, numbers and symbols for addresses shall be a minimum of 4-inch height, 1/2-inch stroke, contrasting with the background color of the sign, and shall be Arabic. The sign and numbers shall be reflective and made of a noncombustible material. Address signs shall be placed at each driveway entrance and at each driveway split. Address signs shall be and visible from both directions of travel along the road. In all cases, the address shall be posted at the beginning of construction and shall be maintained thereafter. Address signs along one-way roads shall be visible from both directions of travel. Where multiple addresses are required at a single driveway, they shall be mounted on a single sign. Where a roadway provides access solely to a single commercial occupancy, the address sign shall be placed at the nearest road intersection providing access to that site. Permanent address numbers shall be posted prior to requesting final clearance. (Cypress Fire Protection District)

Fire

1. Prior to final building inspection the Applicant or Owner shall schedule fire dept. clearance inspection

27. FIRE021 FIRE PROTECTION EQUIPMENT AND SYSTEMS-SPRINKLER SYSTEMS

The building(s) and attached garage(s) shall be fully protected with automatic fire sprinkler system(s). Installation shall be in accordance with the applicable NFPA standard. A minimum of four (4) sets of plans for fire sprinkler systems must be submitted by a California licensed C-16 contractor and approved prior to installation. This requirement is not intended to delay issuance of a building permit. A rough sprinkler inspection must be scheduled by the installing contractor and completed prior to requesting a framing inspection. (Cypress Fire Protection District)

Fire

1. Prior to framing inspection Applicant or owner shall schedule fire dept. rough sprinkler inspection.
2. Prior to final building inspection Applicant or owner shall schedule fire dept. final sprinkler inspection

28. FIRE029- ROOF CONSTRUCTION

All new structures, and all existing structures receiving new roofing over 25 percent or more of the existing roof surface within a one-year period, shall require a minimum of ICBO Class A roof construction. (Cypress Fire Protection District)

Fire

Prior to issuance of building permit, Applicant or owner shall enumerate as "Fire Dept. Notes" on plans.

29. MMM01 - PROTECTION OF TREES

Conditions of Approval and/or Mitigation Monitoring Measures

Responsible Department

Compliance or Monitoring Actions to be Performed

Direct and indirect impacts to on-site Cypress trees shall be avoided to the maximum extent feasible through avoidance of disturbance within the trees critical root zones. This shall be accomplished through the following means:

Prior to project's planning approval:

a) Prior to consideration at a public hearing, the applicant shall submit a revised preliminary grading plan proposal reducing the amount of proposed grading, specifically on Lot 2 (APN 009-432-014-000). The applicant shall eliminate all excavation from within the critical root zone (as determined by an arborist) of the trees closest to Scenic Road unless needed for the foundation of the house. The natural terrain within the critical root zone shall be retained for the preservation of these trees.

Prior to issuance of grading and/or building permits:

b) Prior to issuance of grading and/or building permits, the applicant shall install protective fencing around the trees to be retained at the limits of the grading and shall designate with flagging or signs any parking, staging, and storage areas.

Prior, during or after construction activities:

c) In the event that any excavation activities are approved by the Approving Authority within the dripline of the existing Cypress trees, a qualified arborist shall be present to monitor an assess any root cutting. The arborist shall have the ability to stop construction, if in his or her opinion impacts may result in death of tree(s). If impacts would potentially result in death of the trees and cannot be avoided all work shall stop until an appropriate replacement plan is approved.

d) No soil excavation shall be carried out except where necessary to install foundations. Grade changes including placement of fill or cut shall be avoided within the dripline of the Cypress trees.

e) Trenching for underground services shall be located outside the root zone.

f) Irrigation trenches shall be located outside the critical root zone. If necessary, supply line

Planning

Monitoring Action No. 1:

Prior to the start of construction, a qualified arborist shall be retained to monitor soil disturbance activities with the potential to impact tree roots. The arborist shall ensure that protective fencing is installed, and shall monitor construction during earth disturbing activities within the critical root zone of the Cypress trees near by to ensure compliance with the tree protection standards.

Monitoring Action No. 2:

The applicant shall submit a report to the Resource Management Agency-Planning Department from a qualified arborist, describing how the measures were implemented and describing impacts, if any, to retained trees from construction activities. A subsequent Coastal Development Permit may be required if impacts resulting in tree mortality are incurred from construction activities.

EXHIBIT 2

■ FAIR CALCULATIONS

FAIR DURING	EXISTING	REMOVAL	ADDITION	TOTAL
MAIN FLOOR	433	-433	1,606	1,173
UPPER FLOOR	1,094	-121	2,251	3,224
CARAGE	498	-498	836	338
QUESTHOUSE	0	0	425	425
TOTAL	3,025	-1,052	5,118	7,101

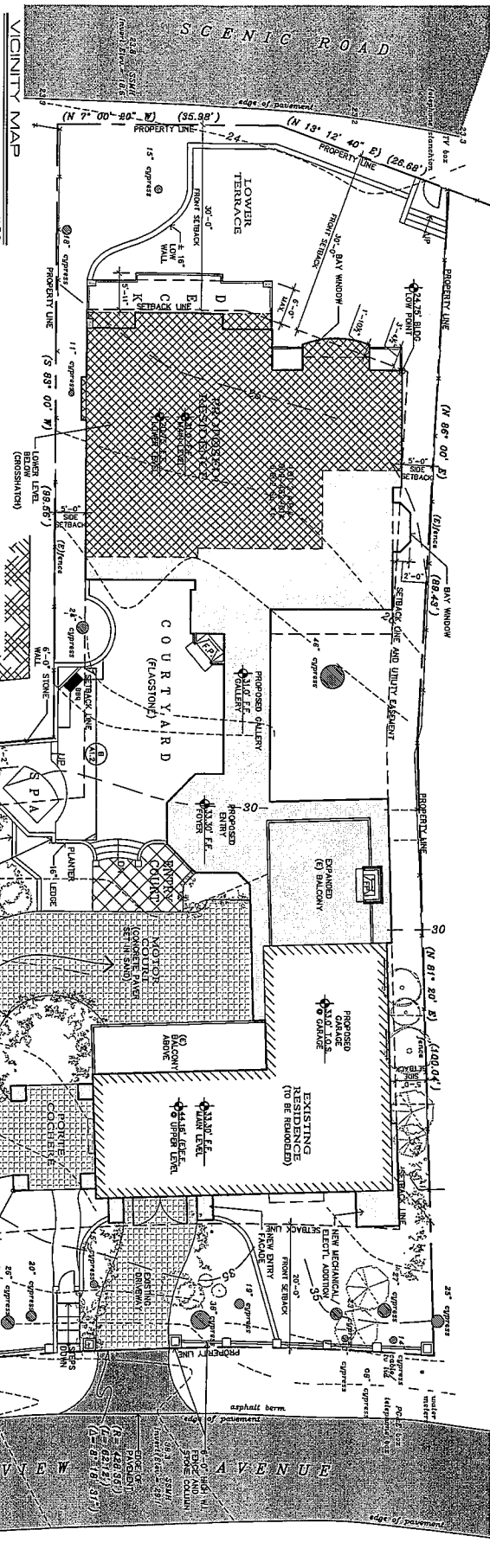
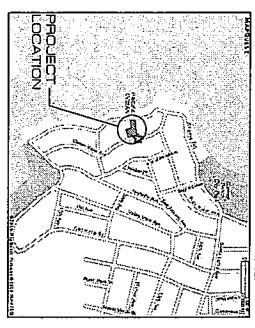
■ FAIR ALLOWED: 6,121.5 SF (49%)
 ■ FAIR PROPOSED: 7,420.0 SF (41%)

■ LOT COVERAGE CALCULATIONS:

EXISTING	REMOVAL	ADDITION	TOTAL
MAIN RESIDENCE	1,626	-578	3,145
QUESTHOUSE	0	0	313
DRIVE & BALCONIES	208	-0	222
COVERED PORCH-COACHES	0	-0	205
COVERED PORCH & LOCCA	0	-0	205
TOTAL	2,162	-578	4,240

■ LOT COVERAGE ALLOWED: 6,316.46 SF (39%)
 ■ LOT COVERAGE PROPOSED: 5,827 SF (32.3%)

SITE PLAN



PLANNING INFO

■ PROPERTY OWNER: MAX AND NAHID KEECH
 26263 SCENIC ROAD
 CARMEL, CA 93955

■ PROJECT ADDRESS: 26263 SCENIC ROAD
 CARMEL, CA 93955

■ PROJECT: 2-STORY SINGLE FAMILY RESIDENCE WITH RELOCATION OF EXISTING GARAGE, NEW COACHES, AND UPGRADE TO 26263 SCENIC ROAD

■ VARIATION: 26263 SCENIC ROAD

■ OCCUPANCY: R-3, U

■ CONST. TYPE: V-B

■ A.P.N.'S: 008-432-018 (LOT 6)
 008-432-019 (LOT 7)
 008-432-014 (LOT 2)

■ ZONE: UDR-2-(4)(8)(C2)

■ STORES: PER ATTACHED GRADING PLAN

■ GRADING: NONE

■ TREE REMOVAL: NONE

■ TREE REPLANT: GENTLY SLOPING

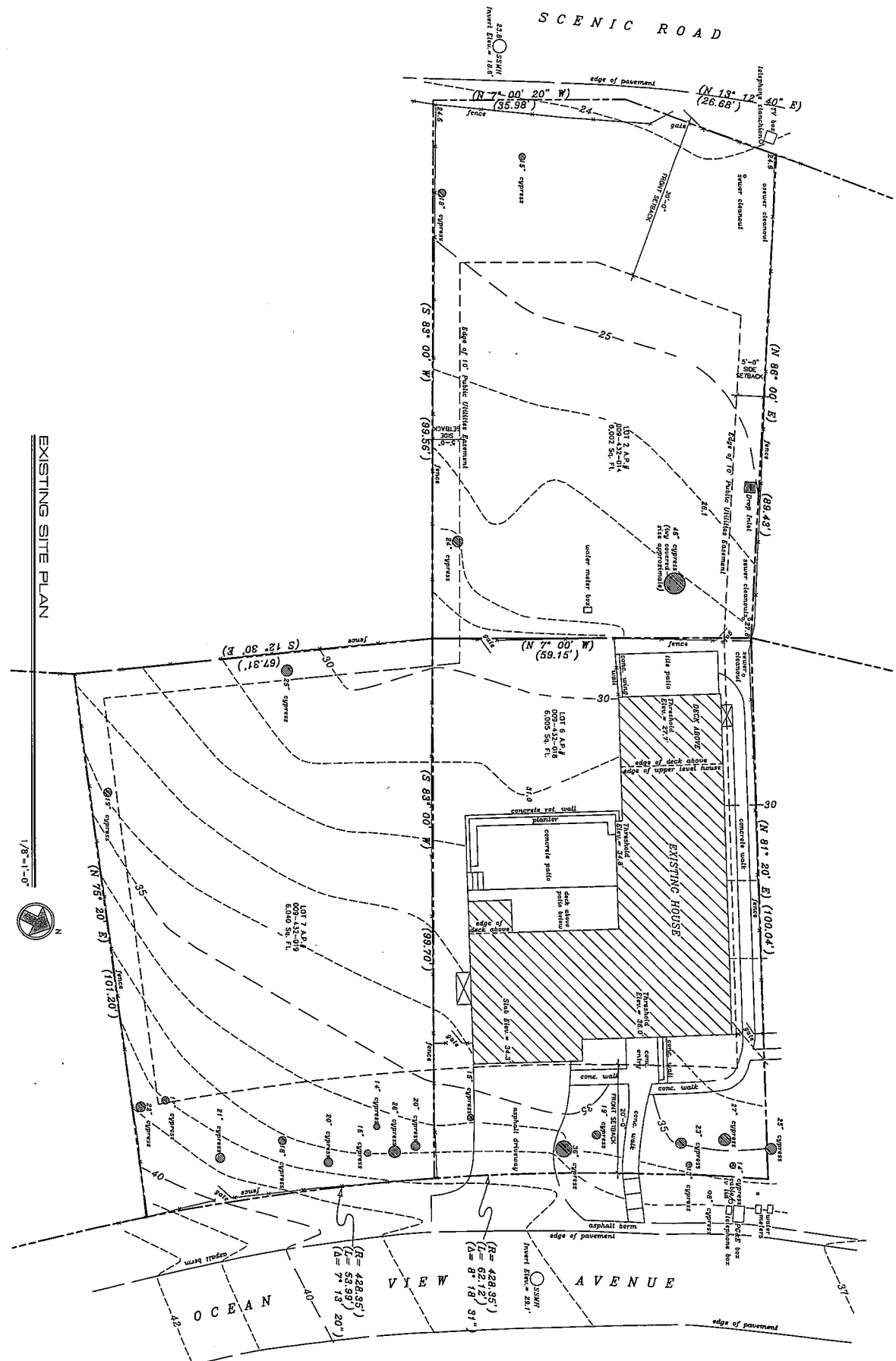
■ PRODUCT OR SERVICE: 2007 SEC. CODE, 1-34 CALIFORNIA ENERGY CODE

■ ENERGY METHOD: WATERS V71, ENERGY PRO 4.0

■ LOT AREA: 18,047 SF. (41 ac.) = 3 PARCELS

■ LOT COVERAGE CALCULATIONS:

<p>INTERNATIONAL DESIGN GROUP ARCHITECTURE • INTERIOR DESIGN</p> <p>JUN A. SILLAND AIA JOHN E. MATTHEWS</p> <p>721 LIGHTHOUSE AVE • PACIFIC GROVE CA • 93950 TEL: (805) 648-1261 FAX: (805) 648-1260 EMAIL: info@idgdesign.com</p>	<p>PROPOSED NEW RESIDENCE FOR:</p> <p>MAX AND NAHID KEECH</p> <p>APN: 009-432-014 APN: 009-432-018 APN: 009-432-019</p> <p>26263 SCENIC ROAD 26264 & 26276 OCEAN VIEW AVE., CARMEL, CA</p>	<p>DATE: 11-15-10 DRAWN BY: J. SILLAND CHECKED BY: J. MATTHEWS</p> <p>REVISIONS:</p> <p>8/2/10 20% 9/2/10 30% 10/2/10 40% 11/15/10 45% 11/15/10 45% 11/15/10 45%</p> <p>APPROVED BY: J. SILLAND DATE: 11/15/10</p> <p>APPROVED BY: J. MATTHEWS DATE: 11/15/10</p> <p>APPROVED BY: J. SILLAND DATE: 11/15/10</p> <p>APPROVED BY: J. MATTHEWS DATE: 11/15/10</p>
	<p>SITE PLAN</p> <p>A1.0</p>	<p>1/8" = 1'-0"</p>



EXISTING SITE PLAN

1/8" = 1'-0"

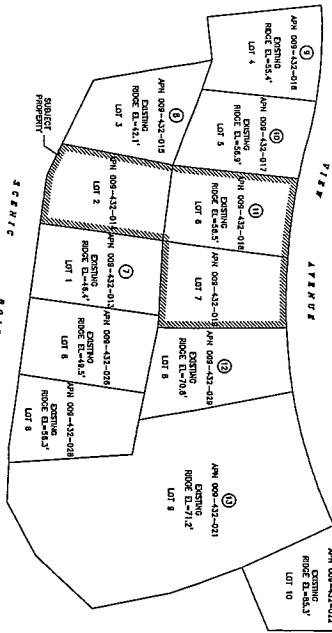
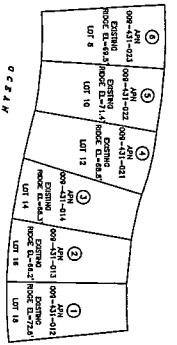


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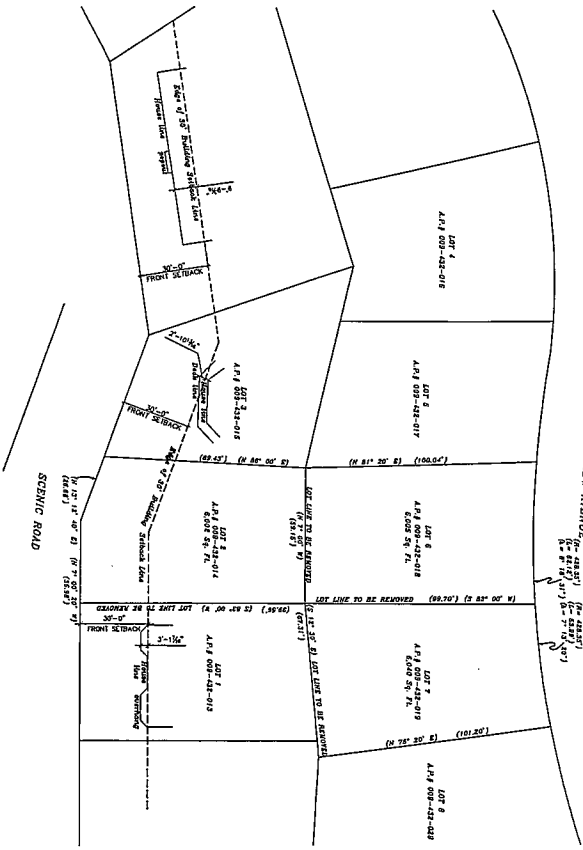
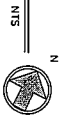
INTERNATIONAL DESIGN GROUP
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PROPOSED NEW RESIDENCE FOR:
MAX AND NAHID KEECH
 APN: 009-432-014
 APN: 009-432-018
 APN: 009-432-019
 26283 SCENIC ROAD
 26284 & 26276 OCEAN VIEW AVE. CARMEL, CA

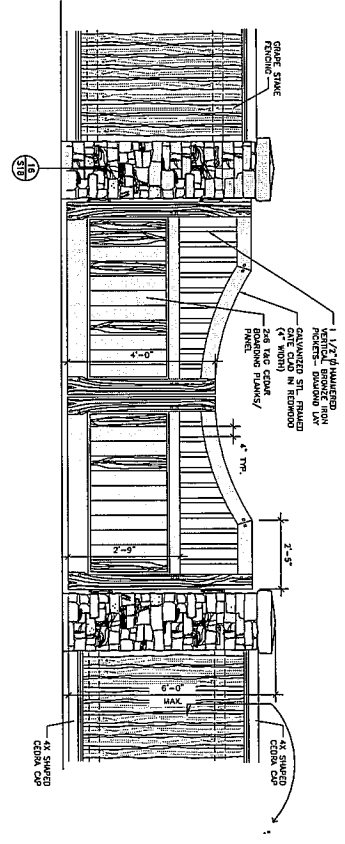
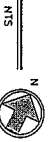
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ROOF RIDGE LINE ELEVATION STUDY

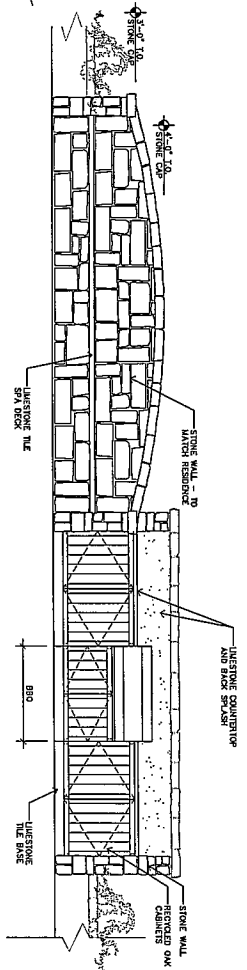


SETBACK SURVEY



A - ENTRY GATE

1/2"=1'-0"



B - SPA AND BBQ AREA

1/2"=1'-0"

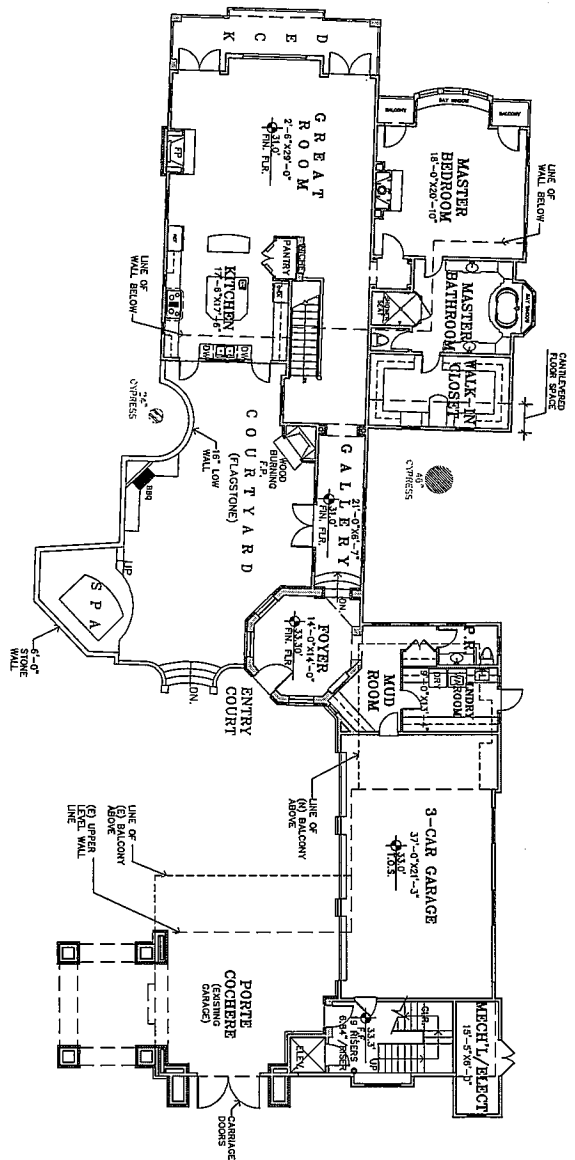
PROJECT	INTERNATIONAL DESIGN GROUP ARCHITECTURE ■ INTERIOR DESIGN
DATE	JUN 11, 2010
REVISIONS	JUN 11, 2010
DESIGNER	JUN A. SILLANO AIA
ARCHITECT	JOHN E. MATTHAMS
PROJECT MANAGER	
CLIENT	
SCALE	
DATE	
BY	
CHECKED	
APPROVED	
DATE	
BY	
CHECKED	
APPROVED	
DATE	
BY	
CHECKED	
APPROVED	
DATE	
BY	
CHECKED	
APPROVED	

INTERNATIONAL DESIGN GROUP
 ARCHITECTURE ■ INTERIOR DESIGN
 JUN A. SILLANO AIA JOHN E. MATTHAMS
 781 LIGHTHOUSE AVE ■ PACIFIC GROVE CA 93950
 PH (831) 846-1261 ■ FAX (831) 846-1260 ■ (E) AIG@idgarch.com

PROPOSED NEW RESIDENCE FOR:
MAX AND NAHID KEECH
 APN: 009-432-014
 APN: 009-432-018
 APN: 009-432-019
 26283 SCENIC ROAD CARMEL, CA
 26264 & 26276 OCEAN VIEW AVE.

SCALE	
DATE	
BY	
CHECKED	
APPROVED	
DATE	
BY	
CHECKED	
APPROVED	
DATE	
BY	
CHECKED	
APPROVED	

A1.2



MAIN LEVEL PLAN

1/8" = 1'-0"



WALL LEGEND

	2x EXISTING WALL TO REMAIN
	2x6 EXTERIOR STUD FRAMED WALL
	2x4 INTERIOR STUD FRAMED WALL
	STONE VENEER
	CMU WALL - SEE STRUCTURAL DWG'S

<p>DATE: 11-15-10 PRE-APPLICATION SHEET NO.</p>	<p>MAIN LEVEL PLAN</p>
	<p>PROJECT NO. A2.0</p>

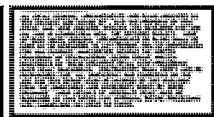
INTERNATIONAL DESIGN GROUP
 ARCHITECTURE ■ INTERIOR DESIGN

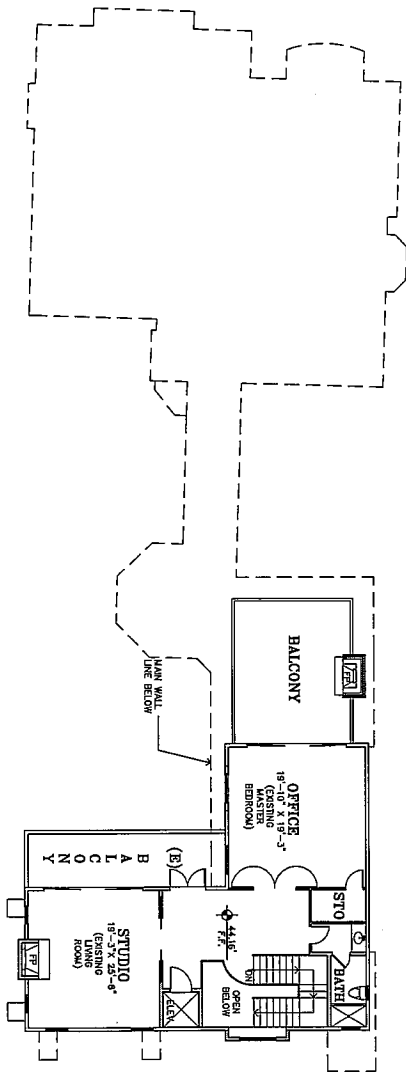
JUNA A. BILAL AIA JOHN E. MATTHEWS

721 LIGHTHOUSE AVE ■ PACIFIC GROVE CA ■ 93950
 PH: (805) 945-1201 ■ FAX: (805) 945-1200 ■ WWW.IDGARCHITECTURE.COM

PROPOSED NEW RESIDENCE FOR:
MAX AND NAHID KEECH
 APN: 009-432-014
 APN: 009-432-018
 APN: 009-432-019

25283 SCENIC ROAD
 25264 & 25276 OCEAN VIEW AVE. CARMEL, CA



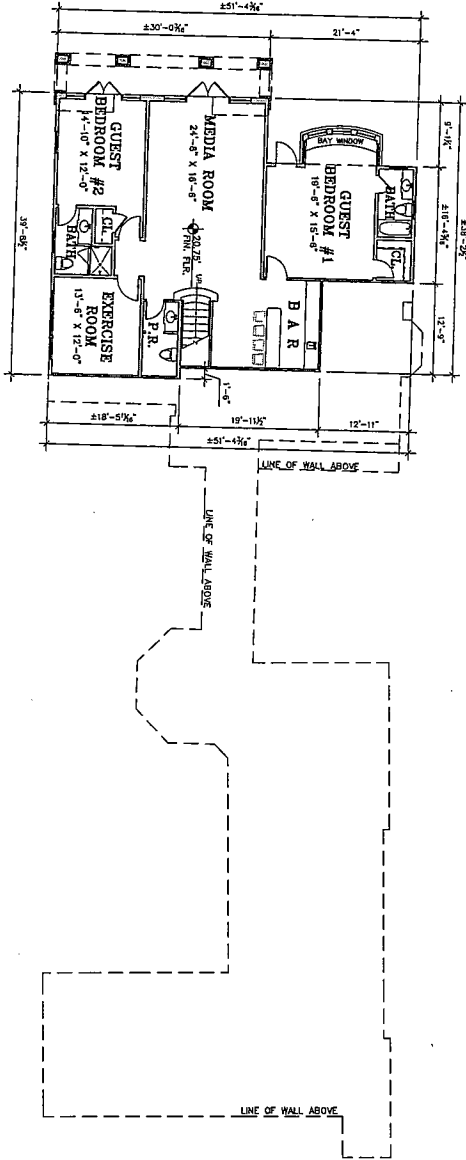


PROPOSED NEW RESIDENCE FOR:
MAX AND NAHID KEECH
 APN: 009-432-014
 APN: 009-432-018
 APN: 009-432-019
 26283 SCENIC ROAD
 26264 & 26276 OCEAN VIEW AVE. CARMEL, CA

INTERNATIONAL DESIGN GROUP
 ARCHITECTURE ■ INTERIOR DESIGN
 JUN A. SILLANO, AIA JOHN C. MATTHAMS
 721 LIGHTHOUSE AVE ■ PACIFIC GROVE CA ■ 93950
 TEL (831) 646-1261 FAX (831) 646-1260 E-MAIL: info@idgarch.com

- WALL LEGEND**
- 2X EXISTING WALL TO REMAIN
 - 2X6 EXTERIOR STUD FRAMED WALL
 - 2X4 INTERIOR STUD FRAMED WALL U.O.M.
 - STONE VENEER
 - CMU WALL - SEE STRUCTURAL DWG'S

UPPER LEVEL PLAN
 DATE: 11-15-10
 DRAWN BY: JAS/SJL
 CHECKED BY: JAS/SJL
 APPROVED BY: JAS/SJL
 PROJECT NO. A3.0



LOWER LEVEL PLAN

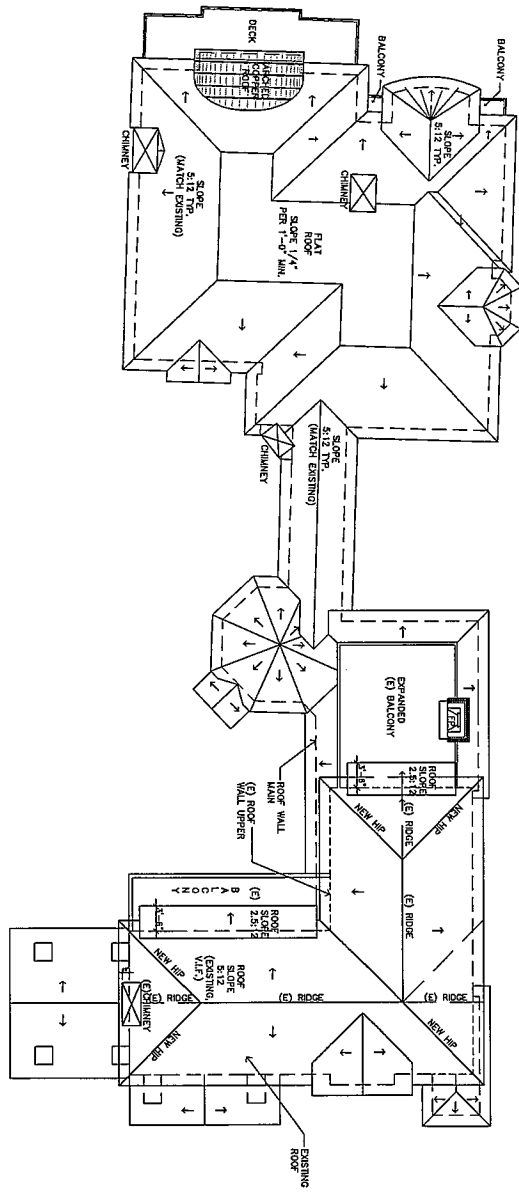
1/8"=1'-0"



WALL LEGEND

- 2X EXISTING WALL TO REMAIN
- 2X EXTERIOR STUD FRAMED WALL
- STONE VENEER
- CMU WALL - SEE STRUCTURAL DWGS

<p>DATE: 11-15-10 PREPARED BY: J.A.S. CHECKED BY: J.A.S. PROJECT: 876710 DRAWING: 202 SHEET: 12-1-10-202 PROJECT: 876710 DRAWING: 202 SHEET: 12-1-10-202</p>	<p>INTERNATIONAL DESIGN GROUP ARCHITECTURE ■ INTERIOR DESIGN JUN A. SILLANO AIA JOHN E. MATTHAMS 721 LIGHTHOUSE AVE ■ PACIFIC GROVE CA ■ 93950 PH (805) 646-1201 ■ FAX (805) 648-1280 ■ C.M.A.I.C. jms@idgprkag.com</p>	<p>PROPOSED NEW RESIDENCE FOR: MAX AND NAHID KEECH APN: 009-432-014 APN: 009-432-018 APN: 009-432-019 26283 SCENIC ROAD 26264 & 26276 OCEAN VIEW AVE. CARMEL, CA</p>	<p>A4.0</p>
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ROOF PLAN

1/8" = 1'-0"

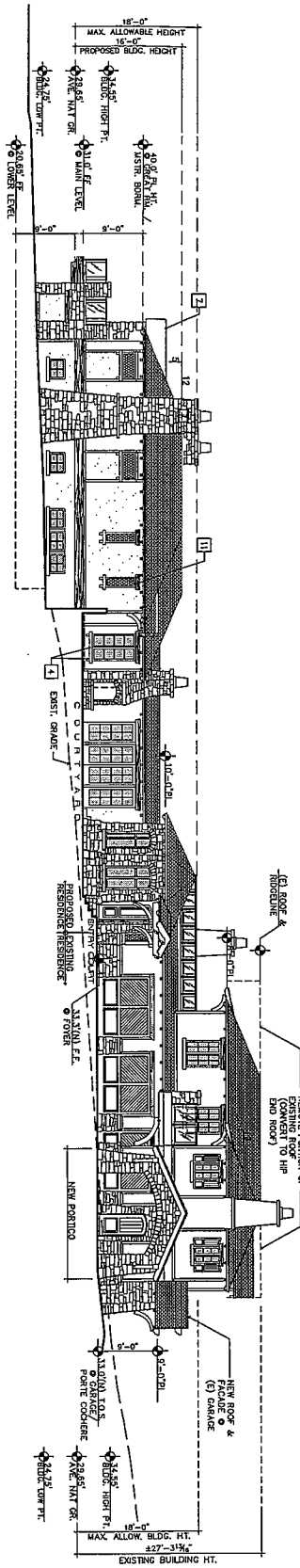


721 LIGHTHOUSE AVE PACIFIC GROVE, CA 93950 (805) 499-1261 FAX (805) 499-1262 WWW.IDGARCHITECTURE.COM	INTERNATIONAL DESIGN GROUP ARCHITECTURE ■ INTERIOR DESIGN JUN A. BILLAND, AIA JOHN E. MATTHAMS
	PROPOSED NEW RESIDENCE FOR: MAX AND NAHID KEECH APN: 009-432-014 APN: 009-432-018 APN: 009-432-019 26283 SCENIC ROAD 26264 & 26276 OCEAN VIEW AVE. CARMEL, CA

REVISIONS: 5/2/10 205 7/20/10 205 8/10/10 205 9/27/10 205 11/15/10 205 12/15/10 205 01/27/11 205 02/15/11 205 03/15/11 205 04/15/11 205	DATE: 11-15-10 PLAN: SUBMITTAL DRAWN BY: JEM CHECKED BY: JEM PROJECT NO: 009-432-019
---	--

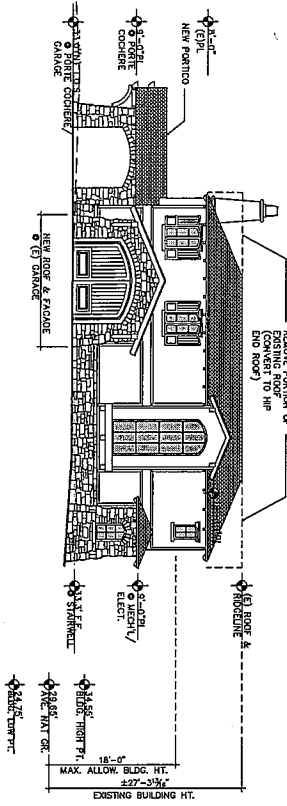
ROOF PLAN 11-15-10

A5.0



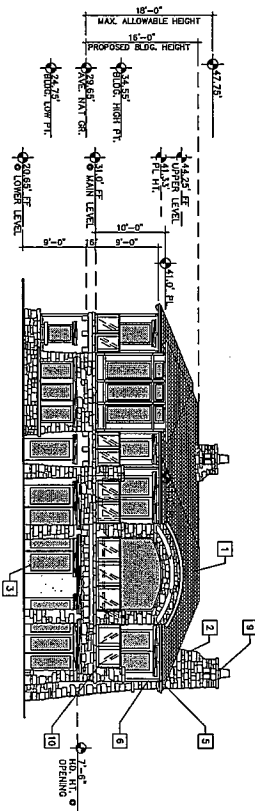
SOUTH SIDE ELEVATION

1/8"=1'-0"



EAST (FRONT) ELEVATION - (OCEAN AVE.)

1/8"=1'-0"



WEST (REAR) ELEVATION - (SCENIC RD.)

1/8"=1'-0"

EXTERIOR FINISH LEGEND	
1	CLAY TILE, MULTICOLORED SLATE ROOF
2	RANDOLPH CRT. STONE
3	ANGLOVED LUSITANA BRONZE CLAY EXT. WOOD DOORS AND WINDOWS (GRADE OR CEILING)
4	3X CEDAR SLATS & 6X CORBELLS
5	4X6 CEDAR BUTTER TALS
6	2X4 CEDAR TRIM
7	STAINING SEALY COPPER BARREL ROOF
8	STAINED GALVAZ COOKERS
9	CLAY CHIMNEY POT
10	BRONZE & GLASS FINISHING
11	LEADED GLASS WINDOWS

ELEVATIONS

DATE: 11-15-10
 PREPARED BY: JMM
 SUBMITTED: 11-15-10

REVISIONS:

- 1 9/2/10
- 2 9/2/10
- 3 9/2/10
- 4 9/2/10
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- 99 9/2/10
- 100 9/2/10

SCALE: 1/8"=1'-0"

PROJECT NO. A6.0

INTERNATIONAL DESIGN GROUP
 ARCHITECTURE • INTERIOR DESIGN

JUN A. BILLAND AIA JOHN E. MATTHAMS

721 LIGHTHOUSE AVE • PACIFIC GROVE CA • 93950
 PH (831) 848-1291 FAX (831) 848-1280 E-MAIL: info@idgarch.com

PROPOSED NEW RESIDENCE FOR:
MAX AND NAHID KEECH

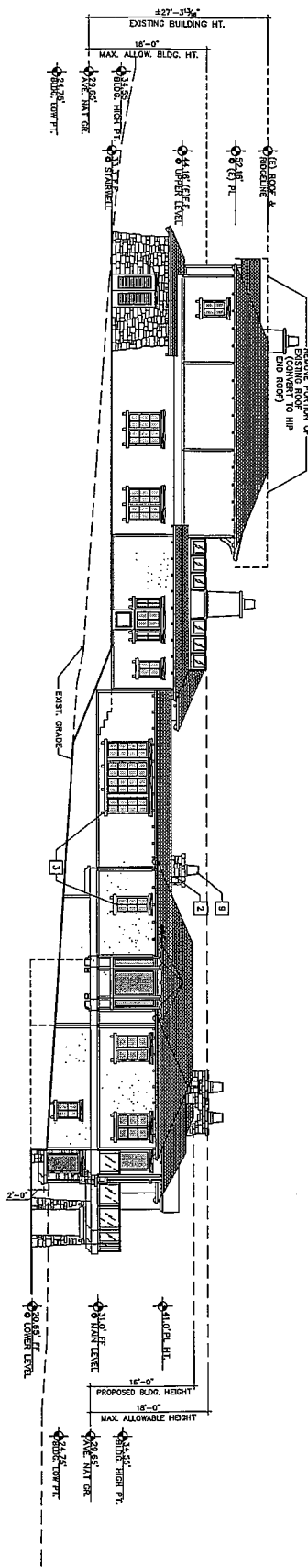
APN: 009-432-014
 APN: 009-432-018
 APN: 009-432-019

26283 SCENIC ROAD
 26264 & 26276 OCEAN VIEW AVE. CARMEL, CA

APPROVED FOR CONSTRUCTION

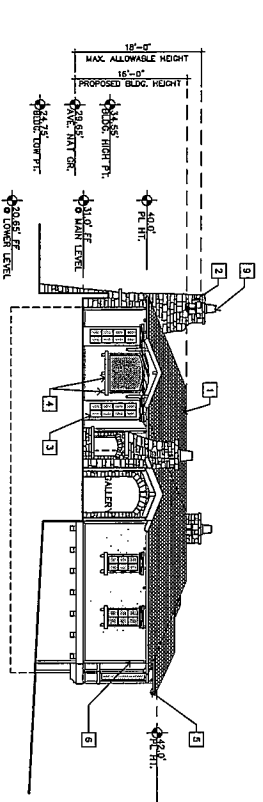
DATE: 11-15-10

PROJECT NO. A6.0



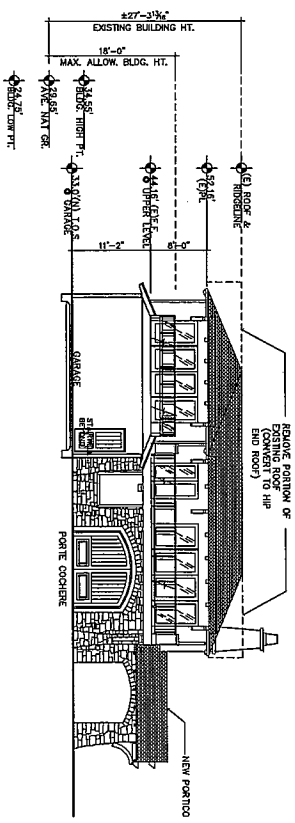
NORTH (SIDE) ELEVATION

1/8"=1'-0"



EAST COURTYARD ELEVATION

1/8"=1'-0"



WEST PORTE COCHERE ELEVATION

1/8"=1'-0"

EXTERIOR FINISH LEGEND	
1	CLASS "A" MULTICOLORED SLATE ROOF
2	HANDMADE EXT. STONE
3	ANODIZED ALUMINUM BRONZE CLAD CRT. WOOD DOORS AND WINDOWS (GRADE OR EQUAL)
4	3X CEDAR SLATS & BX CORBELS
5	4X CEDAR PLYFORM TAILS
6	2X CEDAR TRIM
7	STANDING SEAM COPPER BARREL ROOF
8	CLAY CHIMNEY POT
9	BROWN & CLASS PAINTING
10	LEADED GLASS WINDOWS

ELEVATIONS

DATE: 11-15-10
 DRAWN BY: JUNA A. BILLAND
 CHECKED BY: JOHN E. MATTHAMS
 REVISIONS:
 1. 11/15/10 - 20%
 2. 11/22/10 - 30%
 3. 12/01/10 - 40%
 4. 02/27/11 - 50%
 5. 03/27/11 - 60%
 6. 04/27/11 - 70%
 7. 05/27/11 - 80%
 8. 06/27/11 - 90%
 9. 07/27/11 - 100%
 10. 08/27/11 - 100%
 11. 09/27/11 - 100%
 12. 10/27/11 - 100%

PROJECT NO. **A6.1**

INTERNATIONAL DESIGN GROUP
 ARCHITECTURE ■ INTERIOR DESIGN

JUNA A. BILLAND AIA JOHN E. MATTHAMS

721 LIGHTHOUSE AVE ■ PACIFIC GROVE CA ■ 93950
 PH (831) 649-1261 ■ FAX (831) 649-1260 ■ EMAIL: info@idgarch.com

PROPOSED NEW RESIDENCE FOR:
MAX AND NAHID KEECH

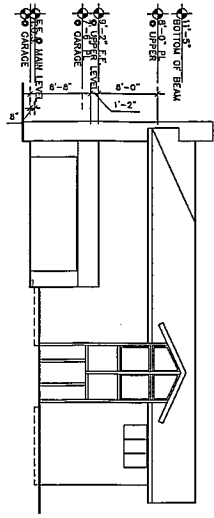
APN: 009-432-014
 APN: 009-432-018
 APN: 009-432-019

26283 SCENIC ROAD
 26264 & 26276 OCEAN VIEW AVE. CARMEL, CA

NOT TO SCALE

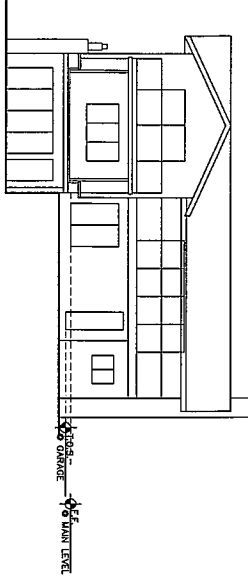
THIS DRAWING IS THE PROPERTY OF INTERNATIONAL DESIGN GROUP ARCHITECTURE AND INTERIOR DESIGN. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF INTERNATIONAL DESIGN GROUP ARCHITECTURE AND INTERIOR DESIGN.

INTERNATIONAL DESIGN GROUP ARCHITECTURE AND INTERIOR DESIGN
 721 LIGHTHOUSE AVE. PACIFIC GROVE, CA 93950
 TEL: (831) 649-1261 FAX: (831) 649-1260
 WWW.IDGARCH.COM



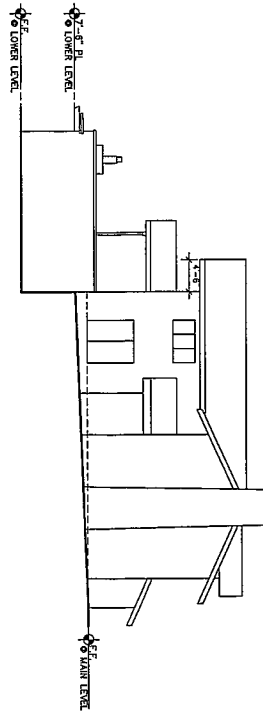
EXISTING EAST ELEVATION

1/8"=1'-0"



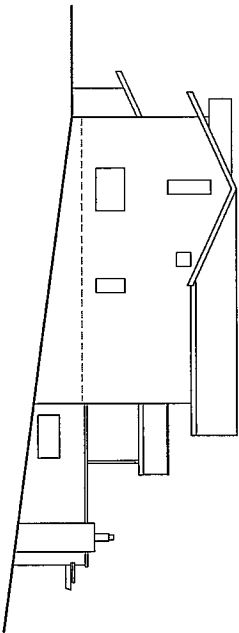
EXISTING NORTH ELEVATION

1/8"=1'-0"



EXISTING SOUTH ELEVATION

1/8"=1'-0"



EXISTING WEST ELEVATION

1/8"=1'-0"

EXISTING ELEVATIONS
 DATE: 11-15-10
 PREPARED BY: JRM
 PROJECT NO: 009-432-019

REVISIONS:
 1. 8/2/10
 2. PLANNING PER.
 3. SCHEMATIC DESIGN
 4. 09/07/10
 5. 11-15-10
 6. REVISIONS FOR PERMITS
 7. FINAL CONSTRUCTION

DATE: 11-15-10
 DRAWN BY: JRM
 CHECKED BY: JRM
 PROJECT NO: 009-432-019

INTERNATIONAL DESIGN GROUP
 ARCHITECTURE ■ INTERIOR DESIGN

JUN A. GILLAND AIA JOHN E. MATTHAMS

721 LIGHTHOUSE AVE ■ PACIFIC GROVE CA ■ 93950
 PH: (831) 846-1201 ■ FAX: (831) 846-1290 ■ E-MAIL: info@idgarch.com

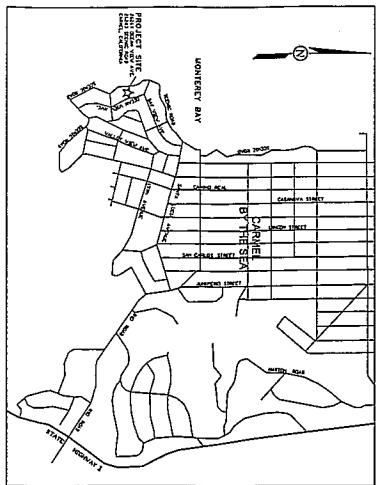
PROPOSED NEW RESIDENCE FOR:
MAX AND NAHID KEECH

APN: 009-432-014
 APN: 009-432-018
 APN: 009-432-019

26283 SCENIC ROAD
 26264 & 26276 OCEAN VIEW AVE. CARMEL, CA

NOT TO SCALE
 EXISTING CONDITIONS
 PROPOSED CONDITIONS
 DIMENSIONS
 FINISHES
 MATERIALS
 ELEVATIONS
 COORDINATES
 NOTES
 REVISIONS
 DATE: 11-15-10
 DRAWN BY: JRM
 CHECKED BY: JRM
 PROJECT NO: 009-432-019

D2.0



GENERAL NOTES:

- 1) PROJECT DESIGN BASED ON INFORMATION PROVIDED, AND SHOWN ON THE SITE PLAN FOR THE ACCORD RECORDING SHEET, AND REPORT BY INTERNATIONAL DESIGN GROUP, DATED 07/11/11.
- 2) NOT ALL UNDERGROUND UTILITIES WERE LOCATED. ONLY VISIBLE FACILITIES ABOVE AND BELOW GROUND SHOULD BE TYPED BY FIELD RECONNAISSANCE. UNDERGROUND UTILITIES LOCATIONS CAN BE DETERMINED BY CONDUCTING GROUND PENETRATING RADAR (GPR) SURVEYS. SEE SECTION 14 FOR PROTECTIVE MEASURES TO BE TAKEN TO PREVENT DAMAGE TO THESE UTILITIES.
- 3) ALL UTILITY LOCATIONS MUST BE IDENTIFIED PRIOR TO ANY CONSTRUCTION.
- 4) ALL UTILITIES SHOULD BE PROTECTED PRIOR TO CONSTRUCTION. SEE SECTION 14 FOR PROTECTIVE MEASURES TO BE TAKEN TO PREVENT DAMAGE TO THESE UTILITIES.
- 5) ALL UTILITIES SHOULD BE IDENTIFIED PRIOR TO ANY CONSTRUCTION. SEE SECTION 14 FOR PROTECTIVE MEASURES TO BE TAKEN TO PREVENT DAMAGE TO THESE UTILITIES.

GRADING & DRAINAGE NOTES:

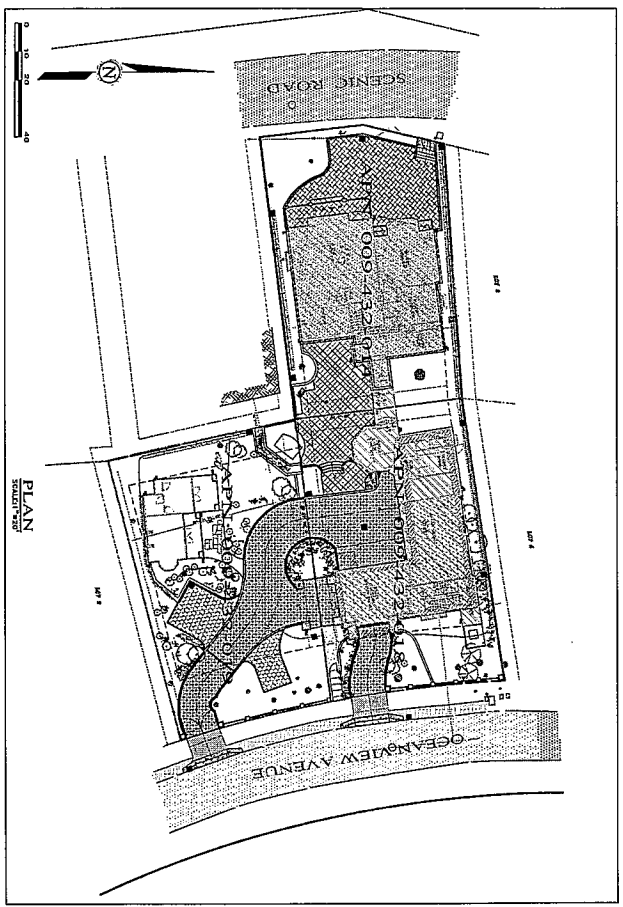
- 1) ALL GRADING SHALL COMPLY TO THE COUNTY OF MONTEREY GRADING ORDINANCE, 2010, AND ALL GRADING SHALL BE REVIEWED BY THE COUNTY OF MONTEREY ENGINEERING DIVISION PRIOR TO CONSTRUCTION.
- 2) SURFACE DRAINAGE SHALL BE SHOWN AND SHOWN FOR LATER USE AS TOPSOIL, NATURAL, OR ARTIFICIAL, SHALL BE MAINTAINED IN PLACE EXCEPT AS NOTED.
- 3) NO DRAINAGE LATERALS SHALL BE INSTALLED IN THIS EXCEPT AS NOTED.
- 4) THESE ARE APPROXIMATELY 1000 C.F. OF EXCAVATION AND 200 C.F. OF EMBANKMENT. WITH ALL GRADING SHALL BE REVIEWED BY THE COUNTY OF MONTEREY ENGINEERING DIVISION PRIOR TO CONSTRUCTION.
- 5) ALL GRADING SHALL BE REVIEWED BY THE COUNTY OF MONTEREY ENGINEERING DIVISION PRIOR TO CONSTRUCTION.

GRADING, DRAINAGE AND EROSION CONTROL PLAN

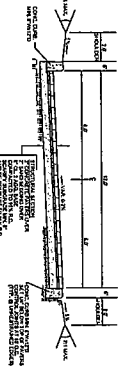
OF KEECH RESIDENCE

SCENIC ROAD & OCEAN VIEW AVENUE

CARMEL, MONTEREY COUNTY, CALIFORNIA



- 1) ALL EROSION CONTROL MEASURES SHALL COMPLY WITH THE COUNTY OF MONTEREY EROSION CONTROL ORDINANCE, 2010.
- 2) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN EFFECT FOR ANY CONSTRUCTION ACTIVITIES PRIOR TO THE START OF CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL AFTER THE COMPLETION OF CONSTRUCTION.
- 3) ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY OF CONSTRUCTION.
- 4) EROSION CONTROL MEASURES SHALL BE MAINTAINED AND IN PLACE AT THE END OF EACH DAY OF CONSTRUCTION.



- ### LEGEND:
- EXISTING:
BOUNDARY LINE
BASE COURSE LINE (1" INTERVAL)
BASE COURSE LINE (1" INTERVAL)
SOFT ELEVATION
ASPHALT CONCRETE SURFACE
- NEW:
BASE COURSE LINE (1" INTERVAL)
BASE COURSE LINE (1" INTERVAL)
SOFT ELEVATION
EROSION CONTROL FABRIC MATS
SPOT ELEVATION
FIBERED REINFORCE AND CHALK
CONCRETE PAVEMENT SURFACE
BLUE ROCK SURFACE
SOFT DRAINAGE
GRADE SECTION LINE

- ### INDEX TO SHEETS
- SHEET C1 GENERAL NOTES & SPECIFICATIONS
 - SHEET C2 GRADING & DRAINAGE PLAN
 - SHEET C3 PROFILES AND SECTIONS
 - SHEET C4 EROSION CONTROL PLAN & DETAILS
- ### TYPICAL DRIVEWAY SECTION
- HIT TO SOIL

"GENERAL NOTES & SPECIFICATIONS"

GRADING, DRAINAGE & EROSION CONTROL PLAN

KEECH RESIDENCE

SCENIC ROAD & OCEAN VIEW AVENUE
CARMEL, MONTEREY COUNTY, CALIFORNIA

FOR
MAX & NAHD KEECH

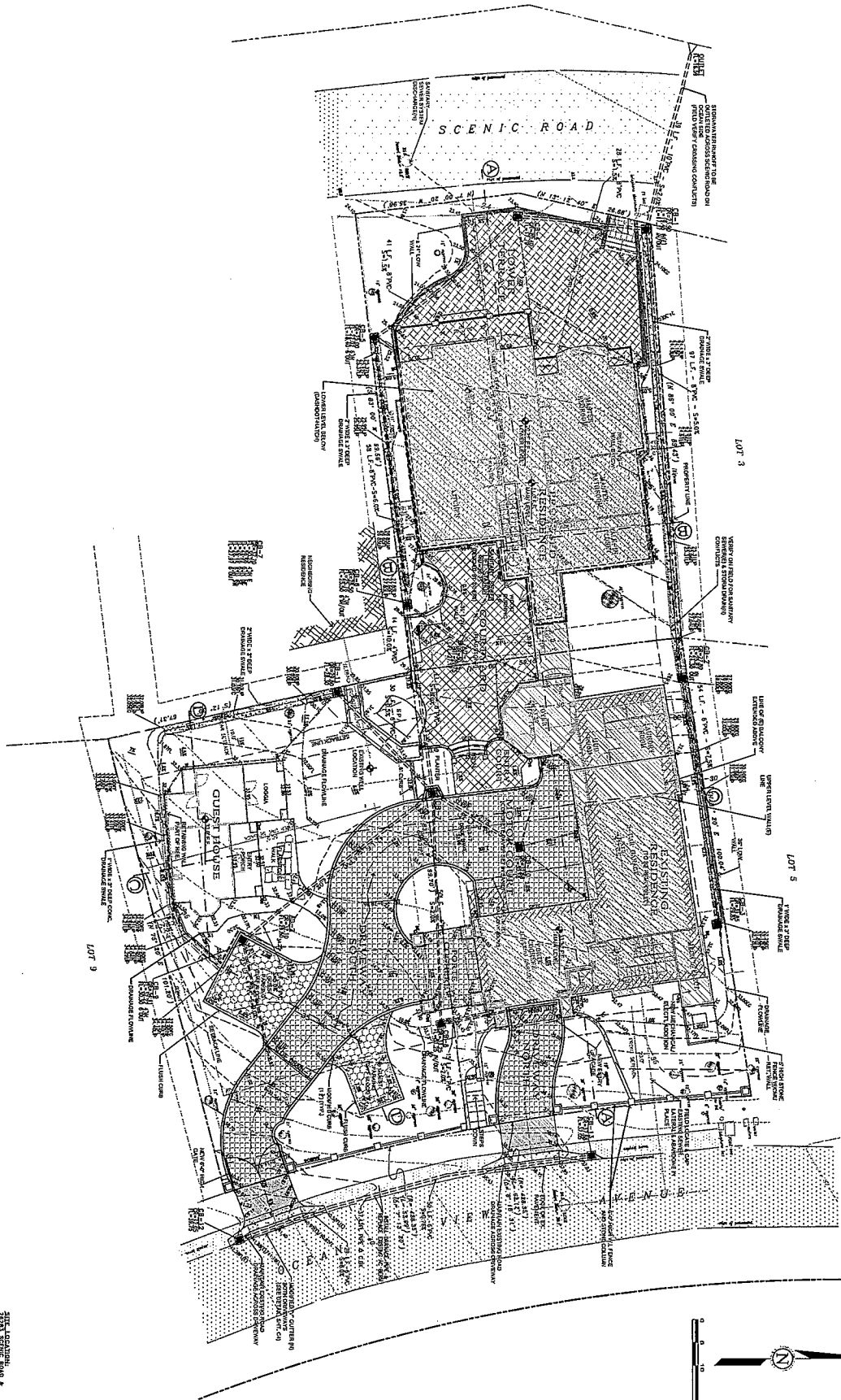
LANDSET
ENGINEERS, INC.
ENGINEERING - LAND PLANNING
SURVEYING - ENVIRONMENTAL CONSULTING
522-B CRAZY HORSE CANYON ROAD, SALINAS, CA 95067

APPROVED BY:
GUY R. GIRAUDO
R.C.E. No. 56589

PROFESSIONAL
REGISTERED
No. 56589
Exp. 06-30-11
STATE OF CALIFORNIA

DATE: 12-15-11
BY: GUY R. GIRAUDO
SHEET C1 OF 4 SHEETS

11/11/2010 10:58:11 AM 11/11/2010 10:58:11 AM 11/11/2010 10:58:11 AM 11/11/2010 10:58:11 AM



DATE	BY	REVISION
11/11/10	GG	1.00
11/11/10	GG	1.01
11/11/10	GG	1.02
11/11/10	GG	1.03
11/11/10	GG	1.04
11/11/10	GG	1.05
11/11/10	GG	1.06
11/11/10	GG	1.07
11/11/10	GG	1.08
11/11/10	GG	1.09
11/11/10	GG	1.10

2196 LOCATION: 1000 A.E.
 1100 SCENIC RD. S.E.
 CARMEL, CA 95008

PROJECT: GUEST HOUSE
 1100 SCENIC RD. S.E.
 CARMEL, CA 95008

DATE: JUNE 2010
 SHEET: 02
 OF 4 SHEETS

"GRADING & DRAINAGE PLAN"

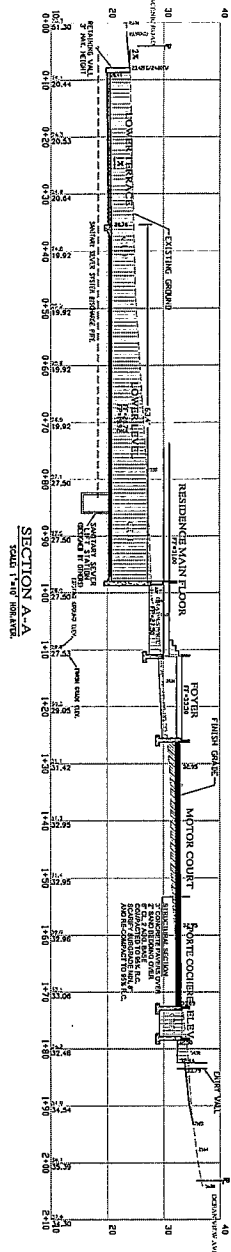
GRADING, DRAINAGE & EROSION CONTROL PLAN
 OF
KEECH RESIDENCE
 SCENIC ROAD & OCEAN VIEW AVENUE
 CARMEL, MONTEREY COUNTY, CALIFORNIA
 FOR
 MAX & NAHID KEECH

LANDSET
 ENGINEERS, INC.
 ENGINEERING - LAND PLANNING
 SURVEYING - ENVIRONMENTAL CONSULTING
 520-B CRAZY HORSE CANYON ROAD, SALINAS, CA 93907

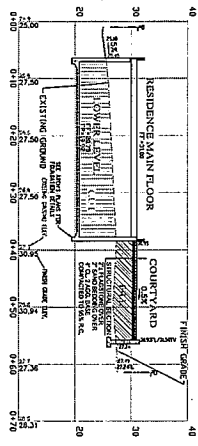
APPROVED BY:
 GUY R. GIRAUDO

R.C.E. No. 58568

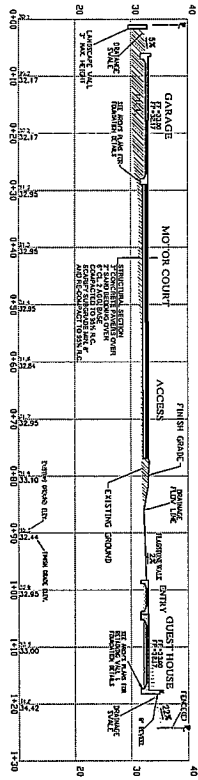




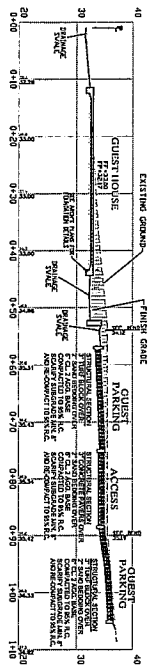
SECTION A-A
SCALE 1/4" = 1'-0"



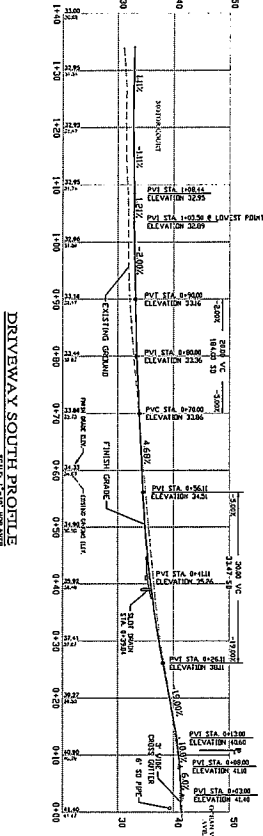
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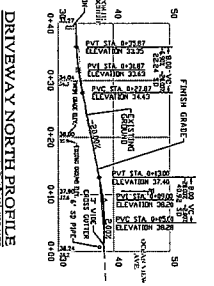
SECTION C-C
SCALE 1/4" = 1'-0"



SECTION D-D
SCALE 1/4" = 1'-0"



DRIVEWAY SOUTH PROFILE
SCALE 1/4" = 1'-0"



DRIVEWAY NORTH PROFILE
SCALE 1/4" = 1'-0"

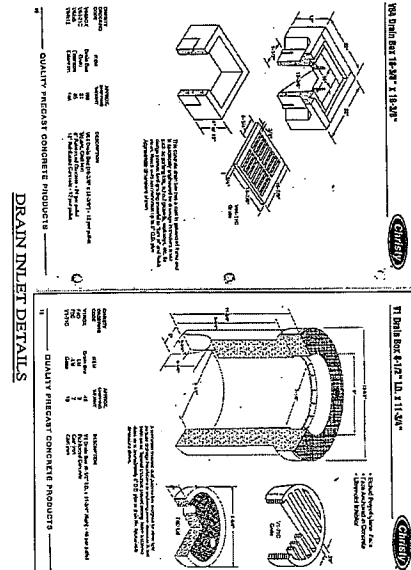
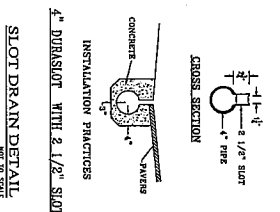
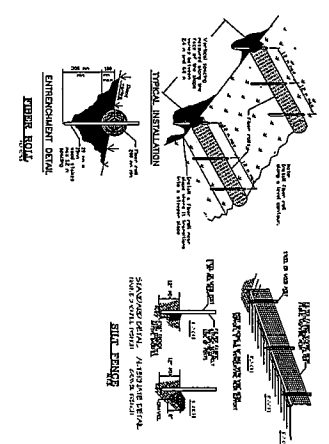
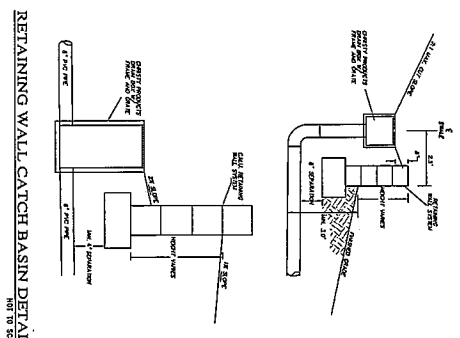
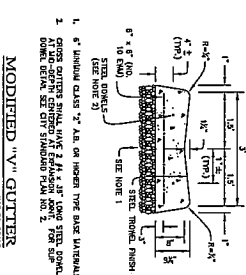
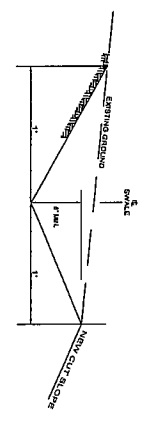
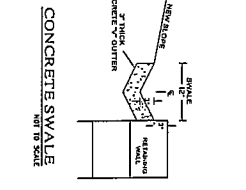
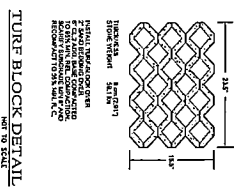
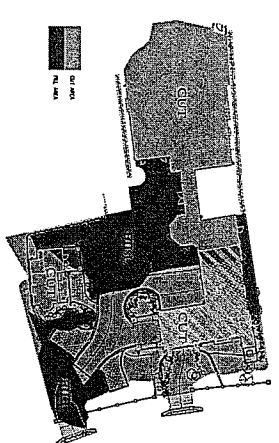
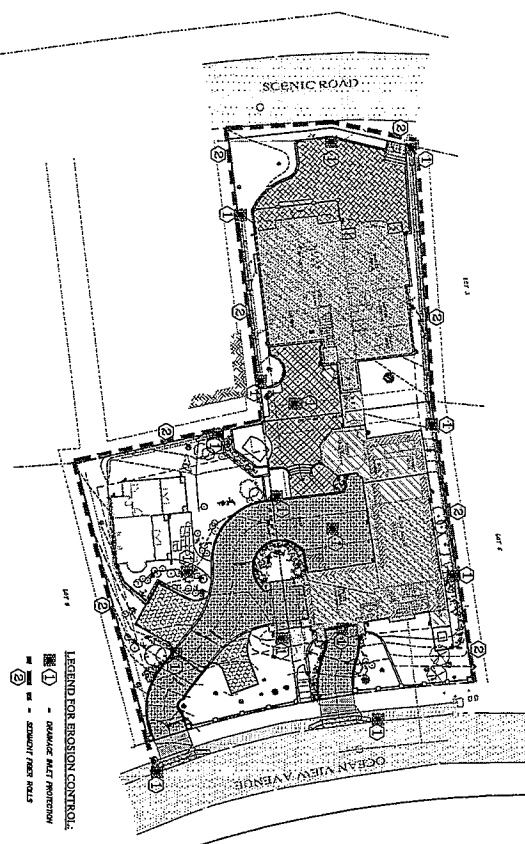
NO.	DATE	BY	CHKD.	DESCRIPTION
1	07/21/21	JAS	FOR	OWNER'S REVIEW
2	07/21/21	JAS	FOR	REVISION
3	07/21/21	JAS	FOR	REVISION
4	07/21/21	JAS	FOR	REVISION

SHEET 3 OF 4 SHEETS

GRADING, DRAINAGE & EROSION CONTROL PLAN
OF
KEECH RESIDENCE
SCENIC ROAD & OCEAN VIEW AVENUE
CARMEL, MONTEREY COUNTY, CALIFORNIA
MAX & NAHID KEECH

LANDSET
ENGINEERS, INC.
ENGINEERING - LAND PLANNING
SURVEYING - ENVIRONMENTAL CONSULTING
520-B CRAZY HORSE CANYON ROAD, SALINAS, CA 93907

APPROVED BY:
CUY R. GIRAUDO R.C.E. No. 56589



DATE: 12.10.2011	BY: [Signature]
DATE: 12.10.2011	BY: [Signature]
DATE: 12.10.2011	BY: [Signature]
DATE: 12.10.2011	BY: [Signature]

"EROSION CONTROL PLAN, CUT/FILL AREAS AND DETAILS"

GRADING, DRAINAGE & EROSION CONTROL PLAN

KEECH RESIDENCE
SCENIC ROAD & OCEAN VIEW AVENUE
CARMEL, MONTEREY COUNTY, CALIFORNIA
FOR
MAX & NAHID KEECH

LANDSET ENGINEERS, INC.

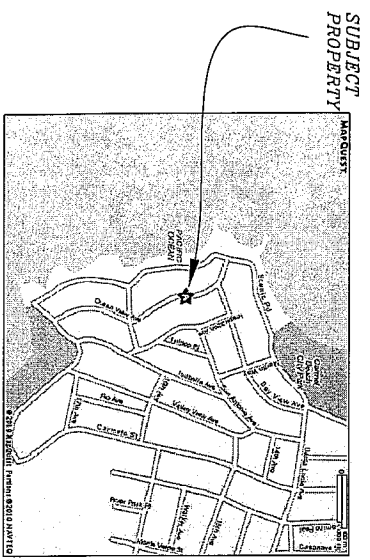
ENGINEERING - LAND PLANNING
SURVEYING - ENVIRONMENTAL CONSULTING

525-B GRAY HORSE CANYON ROAD, SALINAS, CA 93907

APPROVED BY:

CUY R. GIRAUDO R.C.E. No. 56569

PROFESSIONAL ENGINEER
No. 56569
12-09-2011
STATE OF CALIFORNIA



VICINITY MAP
-NOT TO SCALE-



SUMMARY TABLE

Lot 1	6,000 Sq. Ft.
Lot 2	6,000 Sq. Ft.
Lot 3	6,000 Sq. Ft.
Lot 4	6,000 Sq. Ft.
Lot 5	6,000 Sq. Ft.
Lot 6	6,000 Sq. Ft.
Lot 7	6,000 Sq. Ft.
Lot 8	6,000 Sq. Ft.
Lot 9	6,000 Sq. Ft.

- NOTES:**
1. Allowing datum is based upon USGS monument.
 2. All lot areas are shown in square feet.
 3. All lot areas are shown in square feet.
 4. Check for dimensions of lot fronts on yield.
 5. Dimensions and elevations are expressed in feet and decimal fractions.

LAND USE:
Existing and Proposed land use designation is indicated on this map. RDP-2-01(10/15/20) zoning.

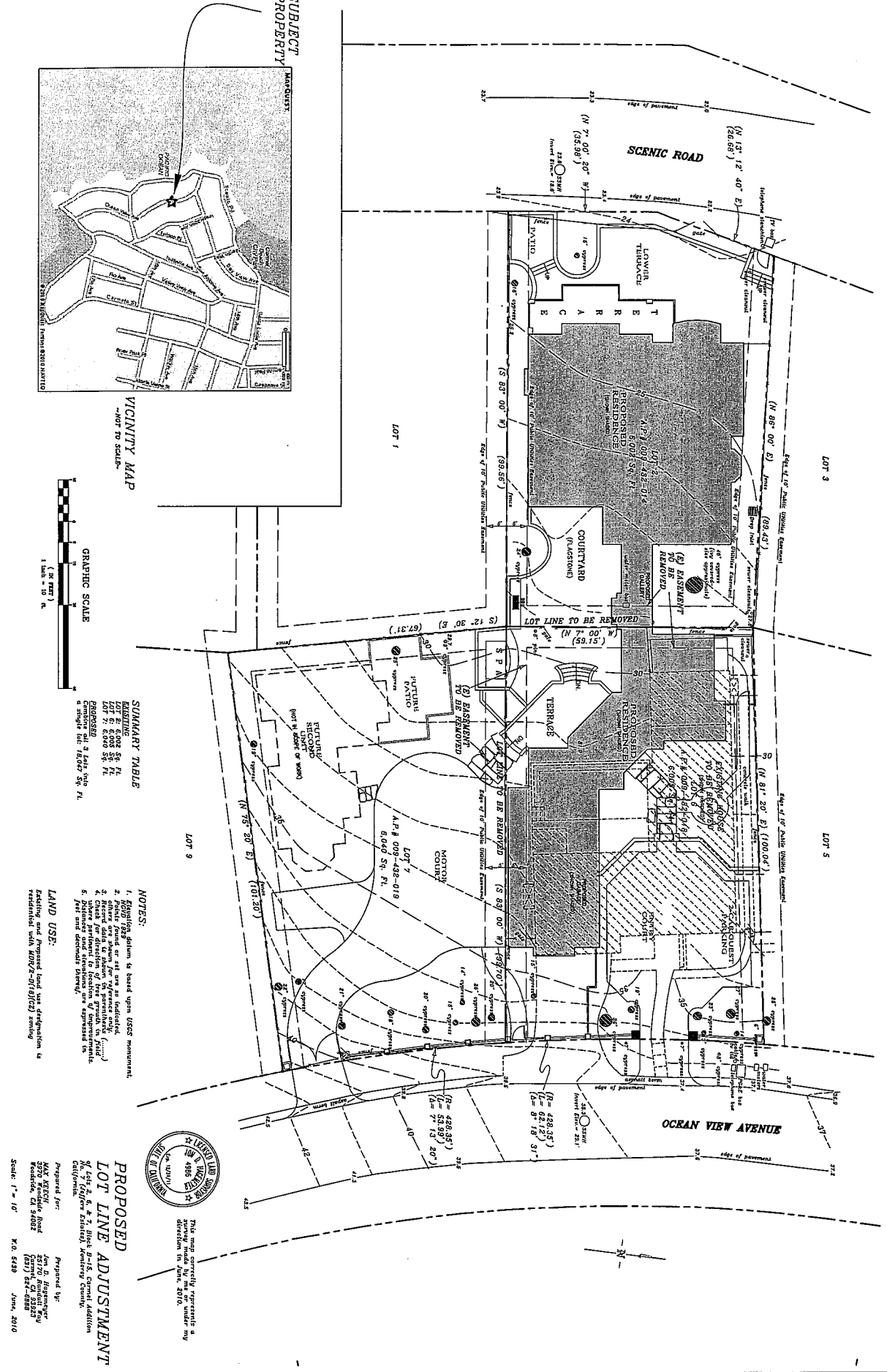
PROPOSED LOT LINE ADJUSTMENT

Prepared by:
MAY KERR
3070 Woodside Road
Woodside, CA 94062
(415) 554-8888

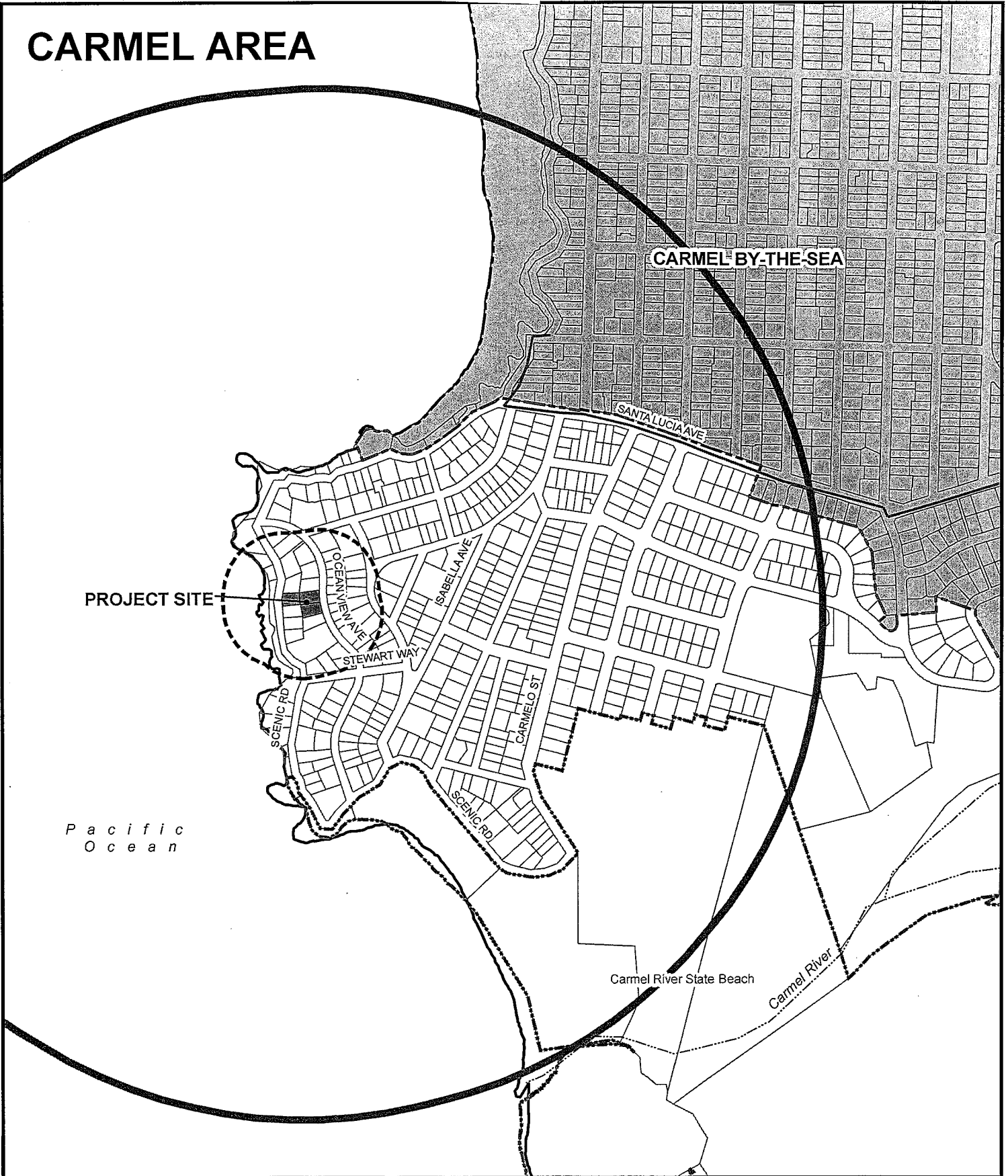
Prepared for:
Jim B. Haggerty
25170 Rowland Way
(917) 54-8888
June, 2010



This map correctly represents a subdivision of land as shown on the ground in June, 2010 under my supervision.



CARMEL AREA



APPLICANT: KEECH PROPERTIES LLC

APN: 009-432-014, 018, 019

FILE # PLN100211

Water



2500' Limit



300' Limit



City Limits

N



EXHIBIT E

MINUTES

**Carmel Highlands Land Use Advisory Committee
Tuesday, February 22, 2011**

1. Meeting called to order by Peter Davis at 4:05 pm

2. Roll Call

Members Present: Davis, Hirst, Meheen, Wald, Weber,

Members Absent: Rainer, Jeselnick, Hall

3. Approval of Minutes:

a. February 7, 2011 minutes

Motion: Meheen (LUAC Member's Name)

Second: Davis (LUAC Member's Name)

Ayes: Meheen, Davis, Hirst

Noes: Ø

Absent: Rainer, Jeselnick, Hall

Abstain: Wald, Weber

4. **Public Comments:** The Committee will receive public comment on non-agenda items that are within the purview of the Committee at this time. The length of individual presentations may be limited by the Chair.

NONE

RECEIVED

FEB 23 2011

MONTEREY COUNTY
PLANNING & BUILDING
INSPECTION DEPT.

5. **Scheduled Item(s)** – Refer to attached project referral sheet(s)

Keely Properties LLC

6. **Other Items:**

A) Preliminary Courtesy Presentations by Applicants Regarding Potential Projects

NONE

B) Announcements

NONE

7. Meeting Adjourned: 5:55 pm

Minutes taken by: HIRST

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FEB 23 2011

MONTEREY COUNTY
PLANNING & BUILDING
INSPECTION DEPT.

Action by Land Use Advisory Committee Project Referral Sheet

Monterey County Planning Department
168 W Alisal St 2nd Floor
Salinas CA 93901
(831) 755-5025

Advisory Committee: **Carmel Unincorporated/Highlands**

Please submit your recommendations for this application by: **February 22, 2011**

Project Title: KEECH PROPERTIES LLC Item continued from 1/3/11 meeting
File Number: PLN100211
File Type: PC
Planner: ROBINSON
Location: 26276 OCEAN VIEW AVE CARMEL

Project Description:
 Combined Development Permit consisting of: 1) a Coastal Development Permit to allow a Lot Line Adjustment (merger) between three legal lots of record consisting of Lot 2 (6,002 square feet, Assessor's Parcel Number [APN] 009-432-014-000), Lot 6 (6,005 square feet, APN 009-432-018-000), and Lot 7 (6,040 square feet, APN 009-432-019-000), resulting in one parcel of 18,047 square feet; 2) a Coastal Administrative Permit to allow the partial demolition, remodel of and additions to a 3,156 square foot, two-story, single family dwelling with an attached garage consisting of: a) demolition of 714 square feet and remodel of 2,082 square feet of the existing residence; b) addition of 2,422 square feet of habitable space and an 836 square foot three-car garage; c) conversion of existing two-car garage to a porte cochere; d) site improvements to include: new driveway, motor court, flagstone courtyard, terrace, patio, outdoor barbecue, spa and fence with stone columns at front property line; e) approximately 1,020 cubic yards of grading (795 cut/ 225 fill); resulting in a 6,149 square foot three-level single family residence; 3) a Coastal Administrative Permit to allow the construction of a 425 square foot guesthouse with covered porch and loggia; 4) a Coastal Development Permit to allow development within 750 feet of a known archaeological resource; and 5) Design Approval with materials and colors of stucco siding (Shabby Chic), slate (natural) and copper roofing, stone, metal clad doors and windows (medium bronze), and cedar trim and garage door (Thatch). The property is located at 26276 Ocean View Avenue, Carmel (Assessor's Parcel Numbers 009-432-014-000, 009-432-018-000, and 009-432-019-000), Carmel Area Land Use Plan, Carmel Point area, Coastal zone.

Was the Owner/Applicant/Representative present at meeting? Yes No

Was a County Staff/Representative present at meeting? Robinson (Name)

PUBLIC COMMENT: None.

Name	Site Neighbor?		Issues / Concerns (suggested changes)
	YES	NO	

LUAC AREAS OF CONCERN

Concerns / Issues (e.g. site layout, neighborhood compatibility; visual impact, etc)	Policy/Ordinance Reference (If Known)	Suggested Changes - to address concerns (e.g. relocate; reduce height; move road access, etc)

ADDITIONAL LUAC COMMENTS

Weber - home is too large

RECOMMENDATION :

Motion by: Meheen (LUAC Member's Name)

Second by: Wald (LUAC Member's Name)

- Support Project as proposed
- Recommend Changes (as noted above)
- Continue the Item

Reason for Continuance: _____

Continued to what date: _____

RECEIVED

FEB 23 2011

MONTEREY COUNTY
PLANNING & BUILDING
INSPECTION DEPT.

AYES: HIRST, DAVIS, Wald, Meheen

NOES: Weber -> Too large.

ABSENT: Rainer, Jeschnick, Hall

ABSTAIN: Ø

EXHIBIT F

K. T. Derr
1750 Taylor Street, #2201
San Francisco, CA 94133

January 31, 2011

Delinda Robinson Monterey
County Planning Department
168 West Alisal Street
Salinas, California 93901

Re: PLN 100211, 26276 Ocean View Blvd.; Max Keech Application

Dear Ms. Robinson,

My wife and I are the owners of the property at 26242 Ocean View Avenue, Carmel, California. We have reviewed the architectural plan set for the above application as it was revised by International Design Group on December 13, 2010. These proposed plan revisions appear to address the primary objections with the prior project plans voiced to the LUAC. Assuming that the December 13, 2010 plan revisions are submitted as a modification of the project application, we withdraw our previous objections to the approval of this application.

Sincerely,

A handwritten signature in black ink, appearing to read "K T Derr", written in a cursive style.

Kenneth T. Derr

EXHIBIT G

County of Monterey
State of California

MITIGATED NEGATIVE DECLARATION

FILED

JUN 10 2011

STEPHEN E. VAGNINI
MONTEREY COUNTY CLERK
DEPUTY

Project Title:	Keech
File Number:	PLN100211
Owner:	Max and Nahid Keech
Project Location:	26264 Ocean Avenue Carmel, CA, Monterey County, California
Primary APN:	009-432-014-000; 009-432-018-000; 009-432-019-000
Project Planner:	Delinda Robinson, Senior Planner
Permit Type:	Combined Development Permit
Project Description:	The project consists of merging of three (3) lots into one (1) lot and the expansion of an existing 2,165 square foot, two-story single family dwelling with a two-story addition to create a single family dwelling of approximately 5,400 square feet. The proposal also includes the construction of a detached 425 square foot guesthouse. Additional site improvements include: New driveway and guest parking areas, motor court, new lower terrace and patio, new courtyard with built-in barbecue, spa and fireplace, new wrought iron fence with stone columns and grape stake fencing. New site landscaping, with approximately 1,060 cubic yards of grading (830 cut/ 230 fill). As proposed, the project meets the site development standards of the Medium Density Residential Zoning District, Coastal Zone, including allowed site coverage limitation of 35 percent, floor area ratio limitation of 45 percent and height limitation of 18 feet in height (for main structure) measured from average natural grade. The project proposes site coverage of 32.3 percent, a total floor area ratio of 41 percent and a maximum height of 16 feet for the proposed addition. Materials and colors of stucco siding, natural colored slate, and copper roofing, stone, metal clad doors and windows (medium bronze), and cedar trim. The property is situated within 750 feet of a known archaeological resource. No tree removal is proposed. The property is located at 26276 Ocean View Avenue, Carmel (Assessor's Parcel Numbers 009-432-014-000 (Lot 2), 009-432-018-000 (Lot 6), and 009-432-019-000 (Lot 7)), Carmel Area Land Use Plan, Carmel Point area, Coastal zone.

THIS PROPOSED PROJECT WILL NOT HAVE A SIGNIFICANT EFFECT ON THE ENVIRONMENT AS IT HAS BEEN FOUND:

- a) That said project will not have the potential to significantly degrade the quality of the environment.
- b) That said project will have no significant impact on long-term environmental goals.
- c) That said project will have no significant cumulative effect upon the environment.
- d) That said project will not cause substantial adverse effects on human beings, either directly or indirectly.

Decision Making Body:	Monterey County Planning Commission
Responsible Agency:	Resource Management Agency - Planning Department
Review Period Begins:	June 15, 2011
Review Period Ends:	July 14, 2011

Further information, including a copy of the application and Initial Study are available at the Monterey County Resource Management Agency - Planning Department, 168 W. Alisal Street, 2nd Floor, Salinas, CA 93901 (831) 755-5025.

MONTEREY COUNTY

RESOURCE MANAGEMENT AGENCY – PLANNING DEPARTMENT
168 WEST ALISAL, 2ND FLOOR, SALINAS, CA 93901
(831) 755-5025 FAX: (831) 757-9516



NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION MONTEREY COUNTY PLANNING COMMISSION

NOTICE IS HEREBY GIVEN that the Monterey County Resource Management Agency – Planning Department has prepared a draft Mitigated Negative Declaration, pursuant to the requirements of CEQA, for a Combined Development Permit (Keech, File Number PLN100211) at 26264 Ocean Avenue, Carmel, CA (APNs 009-432-014-000; 009-432-018-000; and 009-432-019-000) (see description below). The Mitigated Negative Declaration and Initial Study, as well as referenced documents, are available for review at the Monterey County Resource Management Agency – Planning Department, 168 West Alisal, 2nd Floor, Salinas, California. The Planning Commission will consider this proposal at a meeting on a date to be determined in the Monterey County Board of Supervisors Chambers, 168 West Alisal, 2nd Floor, Salinas, California. Written comments on this Mitigated Negative Declaration will be accepted from June 15, 2011 to July 14, 2011. Comments can also be made during the public hearing.

Project Description:

The project consists of merging of three (3) lots into one (1) lot and the expansion of an existing 2,165 square foot, two-story single family dwelling with a two-story addition to create a single family dwelling of approximately 5,400 square feet. The proposal also includes the construction of a detached 425 square foot guesthouse. Additional site improvements include: New driveway and guest parking areas, motor court, new lower terrace and patio, new courtyard with built-in barbecue, spa and fireplace, new wrought iron fence with stone columns and grape stake fencing. New site landscaping, with approximately 1,060 cubic yards of grading (830 cut/ 230 fill). As proposed, the project meets the site development standards of the Medium Density Residential Zoning District, Coastal Zone, including allowed site coverage limitation of 35 percent, floor area ratio limitation of 45 percent and height limitation of 18 feet in height (for main structure) measured from average natural grade. The project proposes site coverage of 32.3 percent, a total floor area ratio of 41 percent and a maximum height of 16 feet for the proposed addition. Materials and colors of stucco siding, natural colored slate, and copper roofing, stone, metal clad doors and windows (medium bronze), and cedar trim. The property is situated within 750 feet of a known archaeological resource. No tree removal is proposed. The property is located at 26276 Ocean View Avenue, Carmel (Assessor's Parcel Numbers 009-432-014-000 (Lot 2), 009-432-018-000 (Lot 6), and 009-432-019-000 (Lot 7)), Carmel Area Land Use Plan, Carmel Point area, Coastal zone.

We welcome your comments during the 30-day public review period. You may submit your comments in hard copy to the name and address above. The Department also accepts comments via e-mail or facsimile but requests that you follow these instructions to ensure that the Department has received your comments. To submit your comments by e-mail, please send a complete document including all attachments to:

CEQAcomments@co.monterey.ca.us

An e-mailed document should contain the name of the person or entity submitting the comments and contact information such as phone number, mailing address and/or e-mail address and include any and all attachments

referenced in the e-mail. To ensure a complete and accurate record, we request that you also provide a follow-up hard copy to the name and address listed above. If you do not wish to send a follow-up hard copy, then please send a second e-mail requesting confirmation of receipt of comments with enough information to confirm that the entire document was received. If you do not receive e-mail confirmation of receipt of comments, then please submit a hard copy of your comments to ensure inclusion in the environmental record or contact the Department to ensure the Department has received your comments.

Facsimile (fax) copies will be accepted with a cover page describing the extent (e.g. number of pages) being transmitted. A faxed document must contain a signature and all attachments referenced therein. Faxed document should be sent to the contact noted above at (831) 757-9516. To ensure a complete and accurate record, we request that you also provide a follow-up hard copy to the name and address listed above. If you do not wish to send a follow-up hard copy, then please contact the Department to confirm that the entire document was received.

For reviewing agencies: The Resource Management Agency – Planning Department requests that you review the enclosed materials and provide any appropriate comments related to your agency's area of responsibility. The space below may be used to indicate that your agency has no comments or to state brief comments. In compliance with Section 15097 of the CEQA Guidelines, please provide a draft mitigation monitoring or reporting program for mitigation measures proposed by your agency. This program should include specific performance objectives for mitigation measures identified (CEQA Section 21081.6(c)). Also inform this Department if a fee needs to be collected in order to fund the mitigation monitoring or reporting by your agency and how that language should be incorporated into the mitigation measure.

All written comments on the Initial Study should be addressed to:

County of Monterey
Resource Management Agency – Planning Department
Attn: Mike Novo, Director of Planning
168 West Alisal, 2nd Floor
Salinas, CA 93901

Re: Keech; File Number PLN100211

From: Agency Name: _____
Contact Person: _____
Phone Number: _____

- No Comments provided
- Comments noted below
- Comments provided in separate letter

COMMENTS: _____

DISTRIBUTION

1. State Clearinghouse (15 copies)—include Notice of Completion
2. California Coastal Commission
3. County Clerk's Office
4. Monterey Bay Unified Air Pollution Control District
5. Cypress Fire Protection District
6. Monterey County Water Resources Agency
7. Monterey County Public Works Department
8. Monterey County Division of Environmental Health
9. Max and Nahid Keech, Owners
10. International Design Group, Attn: Jun Sillano or Chris Boqua, Agents
11. Property Owners within 300 feet (Notice of Intent only)

MONTEREY COUNTY

RESOURCE MANAGEMENT AGENCY

PLANNING DEPARTMENT

168 WEST ALISAL ST., 2nd FLOOR, SALINAS, CA 93901

PHONE: (831) 755-5025 FAX: (831) 757-9516



INITIAL STUDY

I. BACKGROUND INFORMATION

Project Title: Keech Combined Development Permit

File No.: PLN100211

Project Location: 26276 Ocean View Avenue, Carmel, CA

Name of Property Owner: Max and Nahid Keech

Name of Applicant: Max and Nahid Keech

Assessor's Parcel Number(s): 009-432-014-000 (Lot 2); 009-432-018-000 (Lot 6); and 009-432-019-000 (Lot 7)

Acreeage of Property: Approximately 18,047 square feet (.41 acres) between the three parcels

General Plan Designation: Residential

Zoning District: MDR/2-D (18') (CZ) (Medium Density Residential, maximum gross density of 2 units/acre, Design Control Overlay and 18 foot maximum height, Coastal Zone)

Lead Agency: County of Monterey-Resource Management Agency-Planning Department

Prepared By: Nadia Amador, Associate Planner

Date Prepared: June 10, 2011

Contact Person: Delinda Robinson, Senior Planner

Phone Number: (831) 755-5025

II. DESCRIPTION OF PROJECT AND ENVIRONMENTAL SETTING

A. Description of Project:

The project consists of merging of three (3) lots into one (1) lot and the expansion of an existing 2,165 square foot, two-story single family dwelling with a two-story addition to create a single family dwelling of approximately 5,400 square feet. The proposal also includes the construction of a detached 425 square foot guesthouse. Additional site improvements include: New driveway and guest parking areas, motor court, new lower terrace and patio, new courtyard with built-in barbecue, spa and fireplace, new wrought iron fence with stone columns and grape stake fencing. New site landscaping, with approximately 1,060 cubic yards of grading (830 cut/ 230 fill).

As proposed, the project meets the site development standards of the Medium Density Residential Zoning District, Coastal Zone, including allowed site coverage limitation of 35 percent, floor area ratio limitation of 45 percent and height limitation of 18 feet in height (for main structure) measured from average natural grade. The project proposes site coverage of 32.3 percent, a total floor area ratio of 41 percent and a maximum height of 16 feet for the proposed addition. Materials and colors of stucco siding, natural colored slate, and copper roofing, stone, metal clad doors and windows (medium bronze), and cedar trim.

The property is situated within 750 feet of a known archaeological resource. No tree removal is proposed. (See *Reduce-sized Project Plans* in attached in Item X. (Attachments).

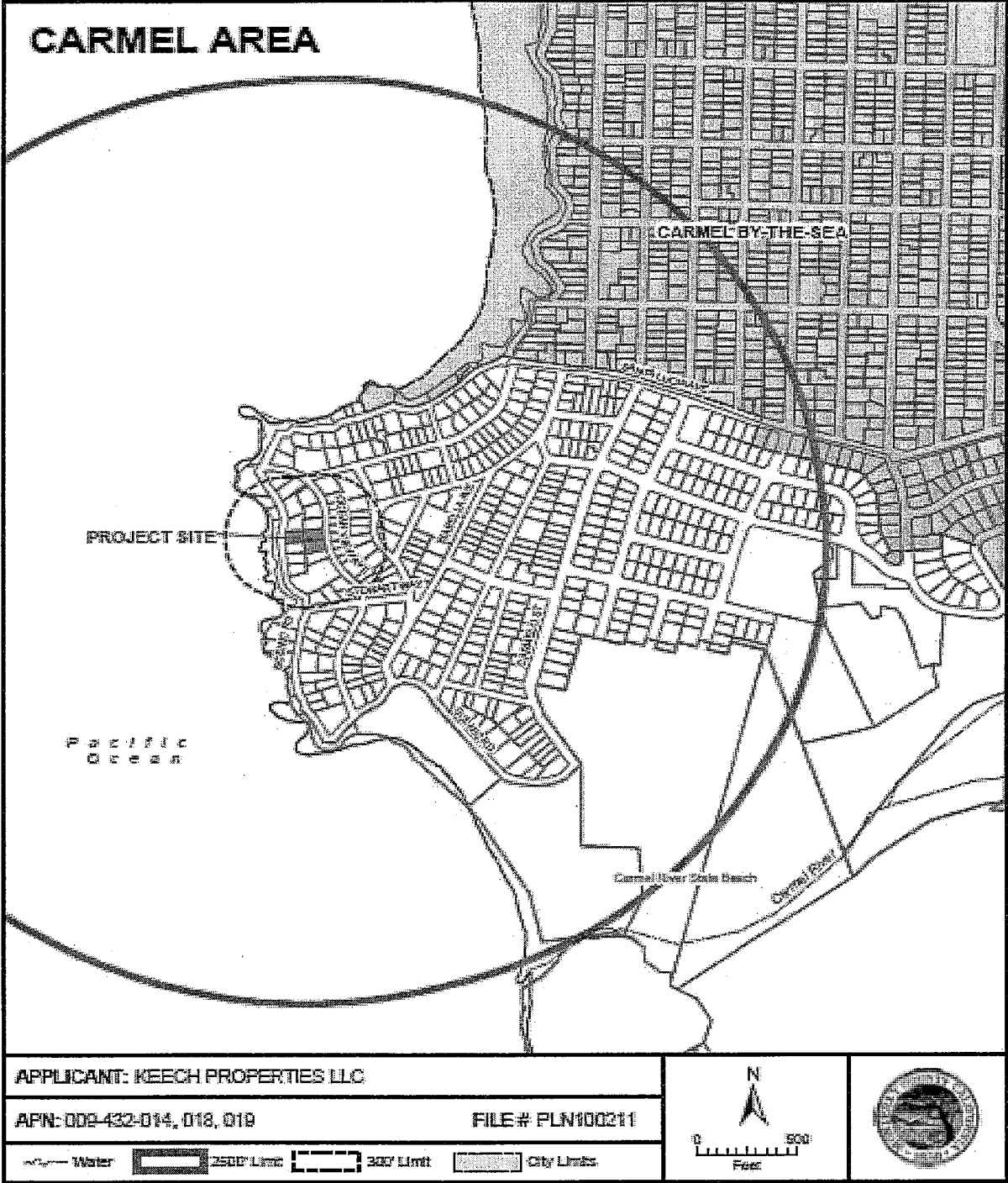
B. Surrounding Land Uses and Environmental Setting:

The project site is situated between Scenic Road and Ocean View Avenue, addressed at 26276 Ocean View Avenue in the Carmel Point area of the County of Monterey (see **Figure 1- Vicinity Map** and **Figure 2-Site Photographs**). The site overlooks the Pacific Ocean and the topography of the site gently slopes downwards from Ocean View Avenue to Scenic Road. The parcels are located approximately .72 miles west of Highway 1 and approximately .15 miles southwest of the city of Carmel-by-the-Sea. The site is bordered by residential uses in all directions. The lot sizes are approximately .139 acre (Lot 7), .138 acre (Lot 2) and .138 acre (Lot 6) totaling approximately .41 acres. Currently, only Lot 6 is developed with a two-story single family dwelling with an attached garage. Landscaping consists primarily of indigenous Monterey cypress trees. The existing residence is served by public water system (Cal-Am) and public sewer with the Carmel Area Wastewater District (CAWD). The site is also within an area of high archaeological sensitivity and it is within 750 feet of known archaeological resources (see Section VI.5- Cultural Resources).

C. Other public agencies whose approval is required:

The applicant will require building permits from the Monterey County Building Services Department. The project is subject to appeal by the California Coastal Commission.

Figure 1- Vicinity Map



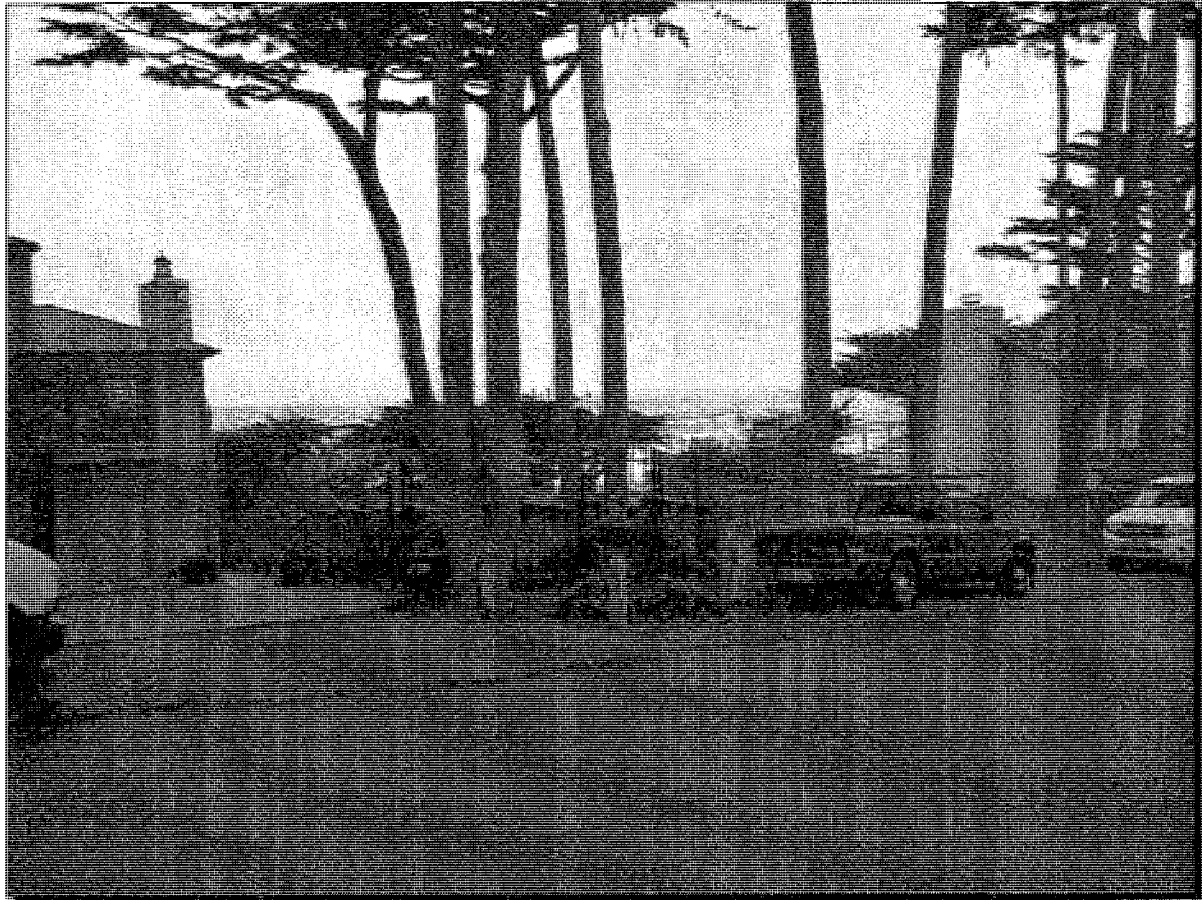
**Figure 2- Site Photographs
(Aerial)**



(As seen from Scenic Road)



(As seen from Ocean View Avenue)



III. PROJECT CONSISTENCY WITH OTHER APPLICABLE LOCAL AND STATE PLANS AND MANDATED LAWS

Use the list below to indicate plans applicable to the project and verify their consistency or non-consistency with project implementation.

General Plan/Area Plan	<input checked="" type="checkbox"/>	Air Quality Mgmt. Plan	<input checked="" type="checkbox"/>
Specific Plan	<input type="checkbox"/>	Airport Land Use Plans	<input type="checkbox"/>
Water Quality Control Plan	<input type="checkbox"/>	Local Coastal Program-LUP	<input checked="" type="checkbox"/>

General Plan/Area Plan. The proposed project was reviewed for consistency with the 1982 Monterey County General Plan. Section IV.10 (Land Use and Planning) discusses whether the project physically divides an established community; conflicts with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (refer to *Local Coastal*

Program-LUP discussion below); or conflicts with any applicable habitat conservation plan or natural community conservation plan (Source: IX.3). **CONSISTENT**

Air Quality Management Plan. Consistency of a residential project is determined by comparing the project population at the year of project completion with the population forecast for the appropriate five year increment that is listed in the AQMP. If the population increase resulting from the project would not cause the estimated cumulative population to exceed the relevant forecast, the project would be consistent with the population forecasts in the AQMP. The proposed project will not increase the population of the area nor generate additional vehicle trips. Therefore, the project will be consistent with the AQMP (Source: IX. 5). **CONSISTENT**

Local Coastal Program-LUP. The proposed project was reviewed for consistency with the Carmel Land Use Plan (LUP) and the associated Coastal Implementation Plan (CIP). Section IV.9 (Land Use and Planning) discusses whether the project physically divides an established community; conflicts with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project; or conflicts with any applicable habitat conservation plan or natural community conservation plan. Based on the project's description (see Section II. A.), the project would not physically divide an established community, nor conflict with any habitat conservation plan or natural community conservation plan, as none are applicable to the project site. Section VI.1 (Aesthetics) addresses potential impacts to visual resources. As proposed and conditioned, the project is consistent with the Carmel LUP and CIP (Source: IX. 1, 2, 3, 6, 15, 16). **CONSISTENT**

IV. ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED AND DETERMINATION

A. FACTORS

The environmental factors checked below would be potentially affected by this project, as discussed within the checklist on the following pages.

- | | | |
|--|---|--|
| <input checked="" type="checkbox"/> Aesthetics | <input type="checkbox"/> Agriculture and Forest Resources | <input type="checkbox"/> Air Quality |
| <input checked="" type="checkbox"/> Biological Resources | <input checked="" type="checkbox"/> Cultural Resources | <input type="checkbox"/> Geology/Soils |
| <input checked="" type="checkbox"/> Greenhouse Gas Emissions | <input type="checkbox"/> Hazards/Hazardous Materials | <input type="checkbox"/> Hydrology/Water Quality |
| <input type="checkbox"/> Land Use/Planning | <input type="checkbox"/> Mineral Resources | <input checked="" type="checkbox"/> Noise |
| <input type="checkbox"/> Population/Housing | <input type="checkbox"/> Public Services | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Transportation/Traffic | <input type="checkbox"/> Utilities/Service Systems | <input checked="" type="checkbox"/> Mandatory Findings of Significance |

Some proposed applications that are not exempt from CEQA review may have little or no potential for adverse environmental impact related to most of the topics in the Environmental Checklist; and/or potential impacts may involve only a few limited subject areas. These types of projects are generally minor in scope, located in a non-sensitive environment, and are easily identifiable and without public controversy. For the environmental issue areas where there is no potential for significant environmental impact (and not checked above), the following finding can be made using the project description, environmental setting, or other information as supporting evidence.

Check here if this finding is not applicable

FINDING: For the above referenced topics that are not checked off, there is no potential for significant environmental impact to occur from either construction, operation or maintenance of the proposed project and no further discussion in the Environmental Checklist is necessary.

EVIDENCE:

- 1) Aesthetics. See Section VI.1
- 2) Agriculture and Forest Resources. The project site is not designated as Prime, Unique or Farmland of Statewide or Local Importance and the proposed project would not result in conversion of prime agricultural lands to non-agricultural uses. The site is not under a Williamson Act Contract. The project will not result in the loss of forest land or conversion of forest land into non-forest land, nor conflict with existing zoning or cause rezoning of forest land or timberland to a non-forest use. The project will not change the existing residential zoning of the property (Source: IX. 1, 2, 3, 4, 7). Therefore, the project will have no impacts to agricultural or forest resources.
- 3) Air Quality. The proposed project would not conflict with or obstruct the implementation of the Air Quality Management Plan, nor would it violate any air quality standard or result in a cumulatively considerable net increase of any criteria pollutant for which the region is in non-attainment. As noted under Item 16 below, the Project merges three lots into one lot of record, reducing the potential for additional dwelling units. Currently the site serves one residence. The Project proposes to expand the existing residence and construct a new detached guesthouse. Construction related air quality impacts would be temporary in nature and controlled by standard conditions of approval that require watering, erosion control and dust control measures. Temporary construction traffic-related emissions (i.e. transportation of construction materials, etc.) would be minimal. Therefore, there would be no impacts to Air Quality (Source: IX. 1, 5).
- 4) Biological Resources. See Section VI.4
- 5) Cultural Resources. See Section VI.5

- 6) Geology/Soils. The Geotechnical and Geologic Hazards Report dated June 10, 2010 (Source: IX. 11) and the subsequent Geotechnical and Geological Report Correction No. 1 to Original Report letter dated November 30, 2010 (Source: IX. 12) did not observe nor identify any significant, site specific geological hazards. Although the project site would be exposed to ground-shaking from any of the faults that traverse Monterey County, the project would be constructed in accordance with applicable seismic design parameters in the California Building Code. Pursuant to implementation of County ordinances and standard Conditions of Approval, required by the County's grading and erosion control ordinances related to grading and soil erosion prevention, the project would not result in impacts to Geology and Soils (Source: IX. 1, 2, 3, 4, 6, 7, 11, 12).
- 7) Greenhouse Gas Emissions. See Section VI.7
- 8) Hazards/Hazardous Materials. PLN100211 (Keech) involves, a partial demolition, remodeling and addition to an existing residence and various site improvements (see Project Description, Section II. A.) that would not involve the transport, use or disposal of hazardous materials that would constitute a threat of explosion or other significant release that would pose a threat to neighboring properties. The project would not involve stationary operations, create hazardous emissions or handle hazardous materials. The site is not included on a list of hazardous materials sites, and the site location and scale would have no impact on emergency response or emergency evacuation. The site is not located near an airport or airstrip. The site is located in a residential area and would not be subject to wildland fire hazards. The project would require a standard County Condition of Approval for completion of an asbestos survey, and best management practices would be followed for removal if any asbestos is found at the site. Therefore, there would be no impacts from Hazards or Hazardous Materials (Source: IX. 1, 2, 3, 4, 6, 7, 17).
- 9) Hydrology/Water Quality. The Project, will not violate any water quality standards or waste discharge requirements, nor would the project substantially alter the existing drainage pattern in a manner which would result in substantial erosion or siltation, nor cause runoff in a manner which result in flooding, nor exceed the capacity of existing or planned stormwater drainage or provide substantial additional sources of polluted runoff. The proposed project would incrementally increase water demand with the expansion to the existing residence and the addition of the proposed detached guesthouse. The existing residence on the site is served and the expanded residence and guesthouse will continue to be served by public water (Cal-Am) and sewer systems (Carmel Area Wastewater District). The Monterey County Water Resources Agency and Environmental Health Bureau have reviewed the project application, including the Conceptual Grading and Drainage Plan (see X. Attachments, *Reduce-sized Project Plans*) and found the proposed acceptable. No detention/retention facilities are required per the Monterey County Water Resources Agency. Surface run-off will be collected and piped in conduit and outleted across Scenic Road on the ocean side and an encroachment permit will be required from the Monterey County Public Works Department. All catch basins located in impervious areas shall be equipped with "fossil filters" to treat storm water run-off prior to entering

the bay. All downspouts shall be connected in conduit and connected into the storm drain system. Foundation and sub-floor drainage shall be collected and connected via gravity or pumped into the storm drain catch basins and/or outleted at street level and remain independent of the surface run-off. The project is proposing to use concrete pavers set in sand at the for the driveway and patio areas and 1 foot to 3 foot drainage swales around the perimeter of the parcels and building footprint areas. The County Water Resources Agency has added Conditions of Approval, requiring a final drainage plan and water availability certification in form of an approved Monterey Peninsula Water Management District Release Form, prior to grading/building permit. These standard requirements will preclude any new impacts. The project, as proposed and conditioned, would not result in impacts to Hydrology and Water Quality (Source: IX. 1, 2, 3, 4, 6, 7, 17).

- 10) Land Use Planning. The project would not disrupt, divide, or otherwise have a negative impact upon the existing neighborhood or adjacent properties. The project, as designed and conditioned, is consistent with applicable Local Coastal Program policies as discussed in Section III. The proposed project would not result in impacts to Land Use Planning (Source: IX. 1, 2, 3, 4, 6, 7, 17).
- 11) Mineral Resources. No mineral resources have been identified or would be affected by the project. There would be no impacts to Mineral Resources (Source: IX. 1, 2, 3, 4, 6, 7).
- 12) Population/Housing. The Project merges three (3) separate legal lots of record into one (1) lot of record and by doing so, reduces the density potential for the three lots. Each lot of record, would have the potential for one (1) residence with the potential of two more residences. The project site currently has one existing residence and the Project proposes to expand the existing residence and construct a new guesthouse. No additional residential units, beyond the residence on the property site, are proposed and merging the lots from three to one would eliminate the potential of two additional primary dwelling units. The project would not induce substantial population in the area, either directly through the construction of the structures within a residential area or indirectly, as no new infrastructure would be extended to the site. The project would not alter the location, distribution, or density of human population in the area in any significant way, or create a demand for additional housing. Therefore, the Project would not result in impacts to Population or Housing (Source IX. 1, 2, 3, 4, 6, 7, 17).
- 13) Public Services. The proposed project would be served by existing public services. The site is situated in an established neighborhood and has an existing residence. The project, involving a merger of three lots into one lot, an addition to the existing house, and the construction of a detached guesthouse, would have no measurable effect on existing public services in that the incremental increase in demand would not require expansion of any services to serve the project. County Departments and service providers reviewed the project application and did not identify any impacts. The project would not result in impacts to Public Services (Source IX. 1, 2, 3, 4, 6, 7, 17).

- 14) Recreation. The Project, would not result in an increase in use of existing recreational facilities causing substantial physical deterioration. Parks, trail easements, or other recreational opportunities would not be adversely impacted by the proposed project. The project would not create significant recreational demands, and would not result in impacts to Recreation (Source IX. 1, 2, 3, 4, 6, 7, 17).
- 15) Transportation/Traffic. Currently the site serves one residence. The Project merges three lots into one lot of record. The proposed merger eliminates the potential for two additional dwelling units and in doing so, reduces the number of trips which could otherwise be expected from the site. The Project proposes to expand the existing residence and construct a new detached guesthouse. The roadways in this area are not at degraded levels of service and the contribution of traffic from this project would not cause any roadway or intersection level of service to be degraded. Construction-related activities will temporarily increase traffic, from trips generated by the individuals on the construction site; no adverse impact is expected. The project would not intensify levels of traffic, and would not result in impacts to Traffic (Source IX. 1, 2, 3, 4, 6, 7, 17).
- 16) Utilities/Service Systems. The Project would not exceed wastewater treatment capacity nor create sufficient demand to warrant construction of new wastewater treatment facilities. Similarly, the amount of solid waste generated by the proposed project would not impact the area's solid waste facilities. The Monterey County Water Resources Agency reviewed the project application and recommended standard Conditions of Approval, including water availability certification. Pursuant to implementation of these conditions, there would be no impacts to water service. Utilities such as electricity and phone service are already in place and the expansion of the existing residence and the construction of a new guesthouse, would not create a sufficient demand to warrant the expansion of the current infrastructure. The project would not result in impacts to Utilities and Service Systems (Source IX. 1, 2, 3, 4, 6, 7, 17).

B. DETERMINATION

On the basis of this initial evaluation:

- I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
- I find that although the proposed project could have a significant effect on the environment there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
- I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.

- I find that the proposed project MAY have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.
- I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.

Nadia Amador

Signature

6-10-2011

Date

Nadia Amador, Associate Planner

V. EVALUATION OF ENVIRONMENTAL IMPACTS

- 1) A brief explanation is required for all answers except "No Impact" answers that are adequately supported by the information sources a lead agency cites in the parentheses following each question. A "No Impact" answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A "No Impact" answer should be explained where it is based on project-specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants, based on project-specific screening analysis).
- 2) All answers must take into account the whole action involved, including offsite as well as onsite, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
- 3) Once the lead agency has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. "Potentially Significant Impact" is appropriate if there is substantial evidence that an effect may be significant. If there are one or more "Potentially Significant Impact" entries when the determination is made, an EIR is required.
- 4) "Negative Declaration: Less Than Significant With Mitigation Incorporated" applies where the incorporation of mitigation measures has reduced an effect from "Potentially Significant Impact" to a "Less Than Significant Impact." The lead agency must describe

Significant Impact" to a "Less Than Significant Impact." The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level mitigation measures from Section XVII, "Earlier Analyses," may be cross-referenced).

- 5) Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration. Section 15063(c)(3)(D). In this case, a brief discussion should identify the following:
 - a) Earlier Analysis Used. Identify and state where they are available for review.
 - b) Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
 - c) Mitigation Measures. For effects that are "Less than Significant with Mitigation Measures Incorporated," describe the mitigation measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.
- 6) Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g., general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.
- 7) Supporting Information Sources: A source list should be attached, and other sources used or individuals contacted should be cited in the discussion.
- 8) The explanation of each issue should identify:
 - a) The significance criteria or threshold, if any, used to evaluate each question; and
 - b) The mitigation measure identified, if any, to reduce the impact to less than significance.

VI. ENVIRONMENTAL CHECKLIST

1. AESTHETICS		Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project:					
a)	Have a substantial adverse effect on a scenic vista? (Source: IX. 1, 2, 3, 6, 7, 15,16)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b)	Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway? (Source: IX. 1, 2, 3, 6, 7, 15, 16)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c)	Substantially degrade the existing visual character or quality of the site and its surroundings? (Source: IX. 1, 2, 3, 6, 7, 15, 16)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d)	Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area? (Source: IX. 1, 2, 3, 6, 7, 15, 16)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Discussion/Conclusion/Mitigation:

Aesthetics (a, d) – Less than Significant.

a, d) The project would have a less than significant adverse effect on scenic vista or on the creation of a new source of substantial glare which would adversely affect day or nighttime views. The site is located in an established residential neighborhood on scenic Carmel Point, south of the City of Carmel-By-The-Sea, between Scenic Road and Ocean View Avenue. Scenic Road is a designated scenic route (Carmel LUP Section 2.2.1) and a public viewshed area. The site has an existing residence, which is visible from Scenic Road and the proposed project would increase the mass of the existing structure and continue to be visible from Scenic Road; however, because the site is located to the east of Scenic Road and the shoreline (ocean), the project would not substantially impair public views of the ocean and shoreline from Scenic Road.

Ocean View Avenue is not identified as a public viewing area or a scenic vista. The project site, also located on the west side of Ocean View Avenue, currently has limited view of the ocean, traveling north on Ocean View Avenue. This view is available looking across the site. The view is limited due to existing development and trees. The proposed addition to the main dwelling extending onto Lot 2, would eliminate direct visibility of the ocean across the site, when traveling north on Ocean View Avenue. However, the ocean will continue to be visible over the roof of the proposed addition when traveling north on Ocean View Avenue (see Figure 2, Site Photographs, photo “As seen from Ocean View Avenue”). The visibility of the ocean with the proposed addition would be similar to other properties on the west side of Ocean View Avenue.

Some additional lighting sources would occur as a result of the guesthouse and expanded residence. The proposed project would be required to comply with County 1982 General Plan

Policy 26.1.20, which requires that “All exterior lighting shall be unobtrusive and constructed or located so that only the intended area is illuminated, long range visibility is reduced, and offsite glare is fully controlled.” In addition, a standard County Condition of Approval would require preparation of an Exterior Lighting Plan, subject to review and approval by the Resource Management Agency - Planning Department. Pursuant to implementation of County Conditions of Approval, the project is consistent with the Carmel Area LUP Policy 2.2.4.10 and CIP Policy 20.146.030(C)(1)(d). As a result, the proposed project design, would result in a less than significant impact to a scenic vista or scenic resources and subject to standard lighting conditions of approval, the project would not create a new source of substantial light or glare which would adversely affect day or nighttime views in the area.

Aesthetics (b) –No Impact.

b) The project is located in the established residential neighborhood of Carmel Point and the site is not located along a state scenic highway where the project would substantially damage scenic resources, including but not limited to, trees, rock outcroppings, and historic buildings. Therefore, the project would have no impact on state scenic highway resources.

Aesthetics (c) – Less than Significant with Mitigation Incorporated.

c) The project would have a less than significant impact in substantially degrading the existing visual character or quality of the site and its surroundings.

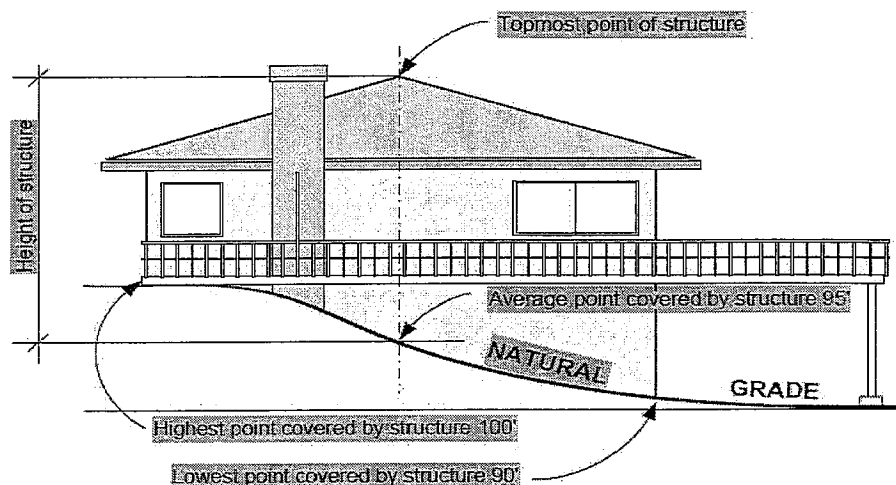
Current conditions: The project site is located west of Ocean View Avenue and east of Scenic Road. The site overlooks the Pacific Ocean and the topography of the site gently slopes downwards from Ocean View Avenue to Scenic Road. Currently, only Lot 6 is developed with a two-story single family dwelling with an attached garage. Landscaping consists primarily of indigenous Monterey cypress trees.

Project proposal: The Project proposes to merge the three lots into one lot, sites the second-story addition to the existing two-story single family residence on Lot 2 and proposes to construct a 425 square foot guesthouse on Lot 7. If the lots were not merged, the lots could be developed with individual single family residences and accessory structures. No tree removal is proposed.

Potential Issues- Visibility of proposed development from Scenic Road and Ocean View Avenue:

Scenic Road: As stated earlier, the project would not impair public views of the ocean and shoreline traveling on Scenic Road. The concern was the view of the project from Scenic Road, specifically the proposed addition on Lot 2, and if the proposal triggered an impact that would substantially degrade the existing visual character or quality of the site and its surroundings. In this zoning district, the height limitation is 18 feet. The elevation of the house addition facing Scenic Road will appear to be approximately 26 feet tall. However, the height of the addition is technically 16 feet in height, conforming to the height limitation. This is because the County’s policy in determining the height of a structure is based on *average natural grade*. The height of a structure is the vertical distance from the average level of the highest and lowest point of the natural grade of that portion of the building site covered by the structure, to the topmost point of the structure, but excluding features such as chimneys, vents, or other mechanical appurtenances (see illustration).

EXAMPLE OF HEIGHT OF STRUCTURE



The subject property slopes down from Ocean View to Scenic Road with a change in elevation of approximately 10 feet. The expansion of the existing two-story single family dwelling onto Lot 2, towards Scenic Road, follows the downwards contour of the site. The proposed addition, technically being 16 feet from average natural grade and approximately 26 feet in height, when viewed from Scenic Road, achieves this height by measuring the vertical distance of highest point of the structure (i.e. the *existing* single family dwelling on Lot 6) and the lowest point of the *proposed* addition (i.e. addition on Lot 2) and then measuring the height from the *average* point between the two points. The County finds that although the height of the proposed development is at approximately 26 feet when viewed from Scenic Road, this does not obstruct views of the ocean when traveling on Scenic Road because the ocean is on the opposite side of the subject site. Furthermore, maintaining the trees on site (see mitigation measure below), given that the development follows the downward topography of the site, and the materials and colors used, the proposed development blends in with the existing neighborhood environment and is consistent with the policies of the Carmel Area.

Ocean View Avenue: The project site, also located on the west side of Ocean View Avenue, currently has limited view of the ocean, traveling north on Ocean View Avenue. This view is available looking across the site. The proposed addition to the main dwelling extending onto Lot 2, would eliminate direct visibility of the ocean across the site, when traveling north on Ocean View Avenue. However, the ocean will continue to be visible over the roof of the proposed addition from Ocean View Avenue (see Figure 2, Site Photographs, photo "As seen from Ocean View Avenue"). The proposed height of the addition sited on Lot 2, would be physically higher than the height allowed if Lot 2 were developed individually with a single family residence, because the point where the height from average natural grade would be taken from would be at a lower elevation. The roof line of the structure would be limited to 44.5 feet above sea level. The proposed structure would be at 45.65 feet above sea level. The difference is approximately one foot. As discussed earlier, Ocean View Avenue is not identified as a public viewing area or a scenic vista. The visibility of the ocean with the proposed addition would be similar to other

properties on the west side of Ocean View Avenue. In conclusion, this height difference does not detract from views of the ocean from Ocean View Avenue and thus has a less than significant affect on aesthetics.

Building Mass and Site coverage: In comparing lot coverage on the proposed project versus individual developed parcels, the site coverage limitation for the subject zoning district is 35 percent. Since the site coverage is calculated based on the gross land area, the potential results would be the same (35 percent of 18,047 square feet (total gross land area)). Although more open space on Lot 7 will be the result of the construction of a relatively small guesthouse (425 square feet), the overall site coverage proposal is 32.3 percent. This means that although Lot 7, is afforded more “open space”, the mass and scale is concentrated on Lot 2 (the two-story addition). If the lots were not merged, the impacts on the development of those lots with single family residences and accessory structures would have similar results when compared to the proposed project. Based upon this the impact to aesthetics is less than significant.

Potential Issues- Preservation of Trees at the Site:

As far as preserving the existing visual character or quality of the site and its surroundings, emphasis should be focused on preservation of the existing trees on-site. The project proposes to preserve the existing trees and in doing so, screens the site softening the visibility of the development. The Arborist Report prepared for the project identified that although no tree removal is proposed, site disturbances near existing cypress trees will occur during building/grading activities. Relevant observations of existing trees and proposed construction activities are noted below:

- A driveway entrance area is to fit between two existing trees (tree no. 1173 and 1174 of Arborist Report filed as LIB110083) where fill is to be incorporated;
- A parking area is proposed to be installed near several cypress trees (tree no. 1175, 1176, 1177 and 1178 of Arborist Report filed as LIB110083);
- A small diameter cypress (tree no. 1192 of Arborist Report filed as LIB110083) tree located near Scenic Road appears close to the foundation and a protrusion of the wall.

In addition, the Arborist Report discusses the proposal for multiple level terraces for the new construction that may affect existing trees during the demolition and construction activities. The Report explains that construction activities near these trees may increase the potential for trees to experience decline in both the short-term and the long-term. The short-term effects are generally limited to the construction envelope and immediate surroundings where trees are trimmed and root systems impacted. The long-term effects include a reduction of growth, dieback and potential tree death. Construction forces affecting existing tree roots are removal through grading, soil compaction, mechanical injury (to the trunk, major roots, and crown-Trunks, structural roots and tree crowns), and root collar covered by fill soil. These construction forces should be avoided or minimized where possible.

In order to reduce any significant impacts that would substantially degrade the existing visual character or quality of the site and its surroundings, to a less than significant level, the following mitigation measure, shall be incorporated:

Mitigation Measure No. 1: Direct and indirect impacts to on-site Cypress trees shall be avoided to the maximum extent feasible through avoidance of disturbance within the trees critical root zones. This shall be accomplished through the following means:

Prior to project's planning approval-

- a. Prior to project consideration at a public hearing, the applicant shall submit a revised preliminary grading plan proposal reducing the amount of proposed grading, specifically on Lot 2 (APN 009-432-014-000). The applicant shall eliminate all excavation from within the critical root zone (as determined by an arborist) of the trees closest to Scenic Road unless needed for the foundation of the house. The natural terrain within the critical root zone shall be retained for the preservation of these trees.

Prior to issuance of grading and/or building permits-

- b. Prior to issuance of grading and/or building permits, the applicant shall install protective fencing around the trees to be retained at the limits of the grading and shall designate with flagging or signs any parking, staging, and storage areas.

Prior, during or after construction activities:

- c. In the event that any excavation activities are approved by the Approving Authority within the dripline of the existing Cypress trees, a qualified arborist shall be present to monitor and assess any root cutting. The arborist shall have the ability to stop construction, if in his or her opinion impacts may result in death of trees; the arborist shall recommend corrective measures to insure the health of the tree(s). If impacts would potentially result in death of the trees and cannot be avoided all work shall stop until an appropriate replacement plan is approved. .
- d. No soil excavation shall be carried out except where necessary to install foundations. Grade changes including placement of fill or cut shall be avoided within the dripline of the Cypress trees.
- e. Trenching for underground services shall be located outside the root zone.
- f. Irrigation trenches shall be located outside the critical root zone. If necessary, supply lines can be located above grade and covered by mulch. Emitters in these areas are restricted to drip-type only.
- g. All development shall be in accordance with the Arborist Report prepared by Frank Ono, dated January 30, 2011 (LIB110083). Prior to final occupancy a report shall be submitted to the Planning Department by the Arborist identifying the observations and recommendations of the Arborist. All recommendations of the arborist shall be carried out prior to final occupancy.

Monitoring Action No. 1:

Prior to the start of construction, a qualified arborist shall be retained to monitor soil disturbance activities with the potential to impact tree roots. The arborist shall ensure that protective fencing is installed, and shall monitor construction during earth disturbing activities within the critical root zone of the Cypress trees near by to ensure compliance with the tree protection standards.

Monitoring Action No. 2:

The applicant shall submit a report to the Resource Management Agency – Planning Department, from a qualified arborist, describing how the measures were implemented and describing impacts, if any to retained trees from construction activities. A subsequent Coastal Development Permit may be required if impacts resulting in tree mortality are incurred from construction activities.

2. AGRICULTURAL AND FOREST RESOURCES

In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state’s inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board.

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with existing zoning for agricultural use, or a Williamson Act contract?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104(g))?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion/Conclusion/Mitigation: See Section IV.

3. AIR QUALITY

Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations.

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Result in significant construction-related air quality impacts?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Expose sensitive receptors to substantial pollutant concentrations?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Create objectionable odors affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion/Conclusion/Mitigation: See Section IV.

4. BIOLOGICAL RESOURCES	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project:				
a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service? (Source: IX. 1, 3, 6, 10, 13, 14)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, or regulations or by the California Department of Fish and Game or US Fish and Wildlife Service? (Source: IX. 1, 3, 6, 10, 13, 14)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means? (Source: IX. 1, 3, 6, 10, 13, 14)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites? (Source: IX. 1, 3, 6, 10, 13, 14)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance? (Source: IX. 1, 3, 6, 10, 13, 14)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan? (Source: IX. 1, 3, 6, 10, 13, 14)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion/Conclusion/Mitigation:

Biological Resources 4(a, b, c, e, f) –No Impact. The proposed site does not contain any environmentally sensitive habitat areas. The site is not located in close proximity to any riparian habitat and does not provide habitat for any special status species. Therefore, the proposed project would have no impact on any species identified a candidate, sensitive, or special status. Nor does the project have an impact on any riparian habitat or other sensitive natural community. The project does not have an effect on federally protected wetlands, or interfere substantially with the movement of any native resident or migratory fish or wildlife species. Finally, the

project would not conflict with a Habitat Conservation Plan, Natural Community Conservation Plan, or other locally, regional or state habitat conservation plans.

Biological Resources 4(d) – Less than Significant. Sensitive plant communities of the Carmel coastal area include Monterey Cypress Forest, which is not present on the property; however, individual Monterey Cypress trees, are present at the site. These trees are considered Native Plant Species and those measuring 12 inches or more in diameter when measured at breast height are protected. Native trees that measure 24 inches or more in diameter when measured at breast height are considered Landmark trees and cannot be removed, unless specific findings are made that no alternative to development exists whereby the tree removal can be avoided or if tree is hazardous and poses an immediate danger to life or structures. Twenty-three protected Monterey cypress trees were assessed in the Arborist Report, five of which were Landmark trees.

Although the project is not proposing any tree removal, the Arborist Report identified that site disturbances near the existing Monterey cypress trees will occur during building construction. The applicant has revised project plans and has incorporated the recommendations in the Arborist Report in order to reduce potential impacts to the existing Monterey cypress trees on site. The Arborist Report also identified that the several protected Monterey cypress trees were “slowly declining” and were categorized as being in poor or fair condition, but since these did not pose an imminent hazard at the time of the assessment, these did not require removal at this time. These trees are identified with an identification number as tree number 1178, 1183, 1185, 1187, 1192, 1182, 1181, 1173, 1174, 1176, and 1177 in the Keech Residence Amended Tree Assessment/Arborist Report (Source: IX.13, page 7 and 12 of the report).

The Arborist Report makes the following additional recommendations to the trees before, during and after construction:

- Pre-construction training meeting conducted by a qualified forester or arborist involving construction managers, heavy equipment operator and tree service operators must be trained in tree protection procedures prior to start of construction;
- Tree Monitoring of declining trees (explained above);
- Excavation and grading monitoring by a qualified arborist or forester to prevent cutting through major roots or destabilizing existing trees;
- Pruning of trees following Best Management Practices (BMPs); and
- General tree protection.

These recommendations in the Keech Residence Amended Tree Assessment/Arborist Report will be made standard conditions of the project (See recommended Mitigation Measures under *Aesthetics*).

5. CULTURAL RESOURCES		Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project:					
a)	Cause a substantial adverse change in the significance of a historical resource as defined in 15064.5? (Source: IX. 1,3,6,7,8,9,18)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b)	Cause a substantial adverse change in the significance of an archaeological resource pursuant to 15064.5? (Source: IX. 1,3,6,7,8,9,18)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c)	Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature? (Source: IX. 1,3,6,7,8,9,18)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d)	Disturb any human remains, including those interred outside of formal cemeteries? (Source: IX. 1,3,6,7,8,9,18)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Discussion/Conclusion/Mitigation:

Cultural Resources 5(a) – No Impact. The project includes the partial demolition and addition to an existing single family dwelling that, according to the Monterey County Assessor’s records, was built in the 1970s. According to the California Office of Historic Preservation sufficient time must have passed to obtain a scholarly perspective of the events or individuals that would be historically important. Generally, 50 years is considered to be sufficient time and alterations or demolition of structures over 50 years old must obtain a historic analysis to determine potential impacts. In this case the structure is less than 50 years old and there is no evidence that there are any special circumstances surrounding the property that might require further historic review. Therefore, there will be *no impact* to historic resources.

Cultural Resources 5(b, c, & d) – Less Than Significant. County records identify the project site as being high in archeological sensitivity. The following reports have been prepared for the subject site:

- **LIB100146-** In 2008, a an archaeological report was prepared for a test well proposal on the site (Project File No. PLN080302).
- **LIB100219-** In 2010, the same archaeological consulting group prepared an update letter addressing the subject project proposal in regards to the archaeological resources found and described in the previous archaeological report.
- **LIB110178-** In June of 2011, pursuant to the County’s request for clarification of methodology by Archaeological Consulting, Archaeological Consulting submitted a letter to further clarify the methodology that lead to the findings described in LIB100219.

The project proposes approximately 1,060 cubic yards of grading (830 cut/ 230 fill) throughout the three lots. The findings in the reports identify that medium to dark brown sandy soil, which contained numerous fragments of *Haliotis* (abalone) shell, predominantly on APN 009-432-014 and in the southern half of APN 009-432-019, was found. Subsequent testing included both undeveloped parcels (APN 009-432-019 and -014). Testing consisted of 1x1 meter test units on each of the parcels. On APN 009-432-019-000 (the well lot; PLN080302) the test unit was placed in the northwestern corner of the proposed well site. To date, the well has not been constructed.

The unit on APN 009-423-014-000 was in the southwestern part of the parcel. The test units were excavated in increments of 10 cm and dug only to 30 cm (or 12 inches) because of the lack of significant cultural materials found in them. The test units were then augured in 10 cm increments to 1 m to 80 cm, but no cultural materials were found below 30 cm. Field screening of the soil with 1/8 inch mesh and subsequent laboratory washing and sorting of the recovered materials only produced sparse cultural materials, including chert flake and a few *Mytilus* (mussel) and *Haliotis* shell fragments.

Conclusion and Recommendations: Based upon the background research and the surface reconnaissance, the report concludes that the shallow, sparse cultural materials noted in the test excavations were of limited cultural significance. Only if discreet features were discovered during future development of earthwork would the portion of the site on the project parcels rise to a level of significance under CEQA necessary for mitigation of project impacts. Because previous testing included both undeveloped parcels, no additional field study should be necessary for the proposed construction project on all of the subject parcels. Therefore, the following recommendations are recommended:

- The proposed project should be allowed to proceed with no additional archaeological investigations, as the scattered prehistoric cultural materials on the project parcels, appear to have limited potential for significance. However, human remains or potentially significant buried cultural materials might still be discovered during development on the parcels.
- If potentially significant archaeological resources or human remains are accidentally discovered during any construction, work shall be halted within 50 meters of the find until it can be evaluated by a qualified professional archaeologist. If the find is determined to be significant, appropriate mitigation measures shall be formulated and implemented.

These recommendations will be made standard conditions of approval for the project. Compliance of these conditions would render the project less than a significant impact to cultural resources.

6. GEOLOGY AND SOILS

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:				
i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
ii) Strong seismic ground shaking?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
iii) Seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
iv) Landslides?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion/Conclusion/Mitigation: See Section IV.

7. GREENHOUSE GAS EMISSIONS	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project:				
a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment? (Source: IX. 1,5)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases? (Source: IX. 1,5)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion/Conclusion/Mitigation:

Greenhouse Gas Emissions 7(a) - Less than Significant.

The Office of Planning and Research (OPR) is the state-wide, comprehensive planning agency that is responsible for making policy recommendations and coordinating land use planning efforts. The OPR also coordinates the state-level review of environmental documents pursuant to the CEQA. Currently, the OPR's stance on greenhouse gases (GHG) significance thresholds has been to allow each lead agency to determine their own level of significance. At this time, the Monterey Bay Unified Air Pollution Control District (MBUAPCD) has not finalized specific GHG thresholds of significance. On October 24, 2008, the California Air Resources Board (CARB) released their interim CEQA significance thresholds for GHG impacts dictating that a project would be considered less than significant if it meets minimum performance standards during construction and if the project, with mitigation, would emit no more than approximately 7,000 million metric tons of carbon dioxide per year during operation.

The primary source of criteria air pollutant and GHG emissions would stem from the use of heavy equipment, including large trucks and earth-movers, during construction activities described in Section II.A. However, heavy equipment use is anticipated to be intermittent and limited to demolition, site preparation, and some construction activities. Pollutant emissions resulting from heavy equipment use during construction are not anticipated to exceed significance thresholds established by the CARB for GHG because the duration of use is expected to be very limited. Moreover, once constructed, the project would not create any air emissions beyond those associated with current uses established on the property. Since the use of the property would not intensify beyond residential uses, the impacts would be less than significant.

Greenhouse Gas Emissions 7(b) – No Impact. As described previously, the project's construction and use emissions are below the applicable GHG significance thresholds established by CARB, and the MBUAPCD has no established GHG thresholds. The project would not conflict with any local or state GHG plans or goals. Therefore, there would be no impacts.

8. HAZARDS AND HAZARDOUS MATERIALS	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project:				
a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion/Conclusion/Mitigation: See Section IV.

9. HYDROLOGY AND WATER QUALITY

Would the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Violate any water quality standards or waste discharge requirements?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Otherwise substantially degrade water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
j) Inundation by seiche, tsunami, or mudflow?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion/Conclusion/Mitigation: See Section IV.

10. LAND USE AND PLANNING		Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project:					
a)	Physically divide an established community?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b)	Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c)	Conflict with any applicable habitat conservation plan or natural community conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion/Conclusion/Mitigation: See Section IV.

11. MINERAL RESOURCES		Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project:					
a)	Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b)	Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion/Conclusion/Mitigation: See Section IV.

12. NOISE

Would the project result in:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies? (Source: IX. 1, 2, 3, 4, 6, 7, 17)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels? (Source: IX. 1, 2, 3, 4, 6, 7, 17)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project? (Source: IX. 1, 2, 3, 4, 6, 7, 17)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project? (Source: IX. 1, 2, 3, 4, 6, 7, 17)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels? (Source: IX. 1, 2, 3, 4, 6, 7, 17)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels? (Source: IX. 1, 2, 3, 4, 6, 7, 17)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion/Conclusion/Mitigation:

Noise 12 (a), (b) and (d) – Less than Significant. During construction activities, the Project may expose persons to noise levels (including groundborne noise levels) or groundborne vibrations that may substantially increase the ambient noise levels in the project vicinity. This is expected to be a temporary increase during day-light hours. Because of the temporary nature of the increase in ambient noise due to construction activities with the implementation of standard conditions of approval for construction operation hours, the effect the project has on noise levels is a less than significant impact.

Noise 12 (c), (e) and (f) –No impact. As noted above, the construction activities is expected to increase ambient noise levels in the vicinity of the project site, however, this is a temporary occurrence. The project site is not located in the vicinity of an airport or private airstrip. Therefore, the project would not generate a permanent increase to ambient noise levels, nor is the project located in the vicinity of an airport or private strip, resulting in no impact.

13. POPULATION AND HOUSING		Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project:					
a)	Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b)	Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c)	Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion/Conclusion/Mitigation: See Section IV.

14. PUBLIC SERVICES		Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project result in:					
Substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:					
a)	Fire protection?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b)	Police protection?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c)	Schools?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d)	Parks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e)	Other public facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion/Conclusion/Mitigation: See Section IV.

15. RECREATION	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project:				
a) Increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion/Conclusion/Mitigation: See Section IV.

16. TRANSPORTATION/TRAFFIC	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project:				
a) Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

16. TRANSPORTATION/TRAFFIC		Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project:					
e)	Result in inadequate emergency access?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f)	Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion/Conclusion/Mitigation: See Section IV.

17. UTILITIES AND SERVICE SYSTEMS		Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
Would the project:					
a)	Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b)	Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c)	Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d)	Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e)	Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f)	Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g)	Comply with federal, state, and local statutes and regulations related to solid waste?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Discussion/Conclusion/Mitigation: See Section IV.

VII. MANDATORY FINDINGS OF SIGNIFICANCE

NOTE: If there are significant environmental impacts which cannot be mitigated and no feasible project alternatives are available, then complete the mandatory findings of significance and attach to this initial study as an appendix. This is the first step for starting the environmental impact report (EIR) process.

Does the project:	Potentially Significant Impact	Less Than Significant With Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory? (Source: IX. 1, 2, 3, 7, 8, 9, 10, 13, 14)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)? (Source: IX. 1, 2, 3, 7, 8, 9, 10, 13, 14)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly? (Source: IX. 1, 2, 3, 7, 8, 9, 10, 13, 14)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Discussion/Conclusion/Mitigation:

(a) and (b) Less than Significant. Based upon the analysis throughout this Initial Study, the project would not have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory. The biological resources analysis above indicates there would be less than significant or no impacts to special-status plants and animals and sensitive natural communities, including environmentally sensitive habitat (ESHA). The cultural resources analysis above indicates that the site, although it contains potentially significant cultural, archaeological resource as defined by the California Environmental Quality Act (CEQA), the proposed project should be allowed to proceed with no additional archaeological investigations, as the scattered prehistoric cultural materials on the project parcels, appear to have limited potential for significance. Standard archaeological conditions of approval will be implemented on the project in the event human remains or potentially significant buried

cultural materials might still be discovered during development on the parcels. Therefore, the project would not have a less than significant impact.

(c) Less than Significant. The project would generate temporary and/or less than significant impacts to traffic, air quality, and aesthetics. Construction related air quality impacts would be temporary and controlled by standard Conditions of Approval that require watering, erosion control, and dust control measures. The project as proposed would have no long-term impacts to air quality. Also, the proposed project would not significantly intensify the visual impact over the existing residential use of the site. Additional lighting sources that would occur as a result of the additional square footage to the existing single family dwelling and new detached guesthouse. These would be required to comply with standard County Conditions of Approval. Implementation of the project would result in less than significant impacts to human beings, either directly or indirectly.

Note: Authority cited: Sections 21083 and 21083.05, Public Resources Code. Reference: Section 65088.4, Gov. Code; Sections 21080(c), 21080.1, 21080.3, 21082.1, 21083, 21083.05, 21083.3, 21093, 21094, 21095, and 21151, Public Resources Code; *Sundstrom v. County of Mendocino*, (1988) 202 Cal.App.3d 296; *Leonoff v. Monterey Board of Supervisors* (1990) 222 Cal.App.3d 1337; *Eureka Citizens for Responsible Govt. v. City of Eureka* (2007) 147 Cal.App.4th 357; *Protect the Historic Amador Waterways v. Amador Water Agency* (2004) 116 Cal.App.4th at 1109; *San Franciscans Upholding the Downtown Plan v. City and County of San Francisco* (2002) 102 Cal.App.4th 656.

VIII. FISH AND GAME ENVIRONMENTAL DOCUMENT FEES

Assessment of Fee:

The State Legislature, through the enactment of Senate Bill (SB) 1535, revoked the authority of lead agencies to determine that a project subject to CEQA review had a “de minimis” (minimal) effect on fish and wildlife resources under the jurisdiction of the Department of Fish and Game. Projects that were determined to have a “de minimis” effect were exempt from payment of the filing fees.

SB 1535 has eliminated the provision for a determination of “de minimis” effect by the lead agency; consequently, all land development projects that are subject to environmental review are now subject to the filing fees, unless the Department of Fish and Game determines that the project will have no effect on fish and wildlife resources.

To be considered for determination of “no effect” on fish and wildlife resources, development applicants must submit a form requesting such determination to the Department of Fish and Game. Forms may be obtained by contacting the Department by telephone at (916) 631-0606 or through the Department’s website at www.dfg.ca.gov.

Conclusion: The project will be required to pay the fee.

Evidence: Based on the record as a whole as embodied in the Planning Department files pertaining to PLN100211 and the attached Initial Study / Proposed Negative Declaration.

IX. REFERENCES

1. Project Application/Plans for Planning File No. PLN100211.
2. 1982 Monterey County General Plan.
3. Carmel Area Land Use Plan and Coastal Implementation Plan.
4. Title 20 of the Monterey County Code (Zoning Ordinance).
5. CEQA Air Quality Guidelines, Monterey Bay Unified Air Pollution Control District, Revised June 2008.
6. Site Visit conducted by the project planner on May 10, 2011.
7. Monterey County Planning Department GIS System.
8. Preliminary Archaeological Report (LIB100146), prepared by Archaeological Consulting, Salinas, California, July 30, 2008.
9. Update Archaeological letter addressing proposed project Planning File No. PLN100211 (LIB100219), prepared by Archaeological Consulting, Salinas, California, dated May 14, 2010.
10. Biological Resources Site Analysis (LIB100145), prepared by Fred Ballerini Horticultural Services, Pacific Grove, California, April 20, 2009.
11. Geotechnical and Geological Hazards Report (LIB100369), prepared by Grice Engineering, Inc., Salinas, California, dated June 10, 2010.
12. Geotechnical and Geological Hazards Report Correction No. 1 to Original Report (LIB110166), prepared by Grice Engineering, Inc., Salinas, California, dated November 30, 2010.
13. Amended Tree Assessment/Arborist Report (LIB110083), prepared by Frank Ono, Forester, Pacific Grove, California, dated January 30, 2011.
14. Tree Assessment/Arborist Report (LIB100368), prepared by Frank Ono, Forester, Pacific Grove, California, dated October 9, 2010.
15. Visual Impact Assessment, Keech Residence (LIB100218), prepared by EMC Planning Group Inc., Monterey, California, dated July 29, 2010.
16. Keech Residence Revisions-Supplemental Visual Impact Assessment (LIB110167), prepared by EMC Planning Group Inc., Monterey, California, dated May 5, 2011.
17. Inter-departmental Review Comments.

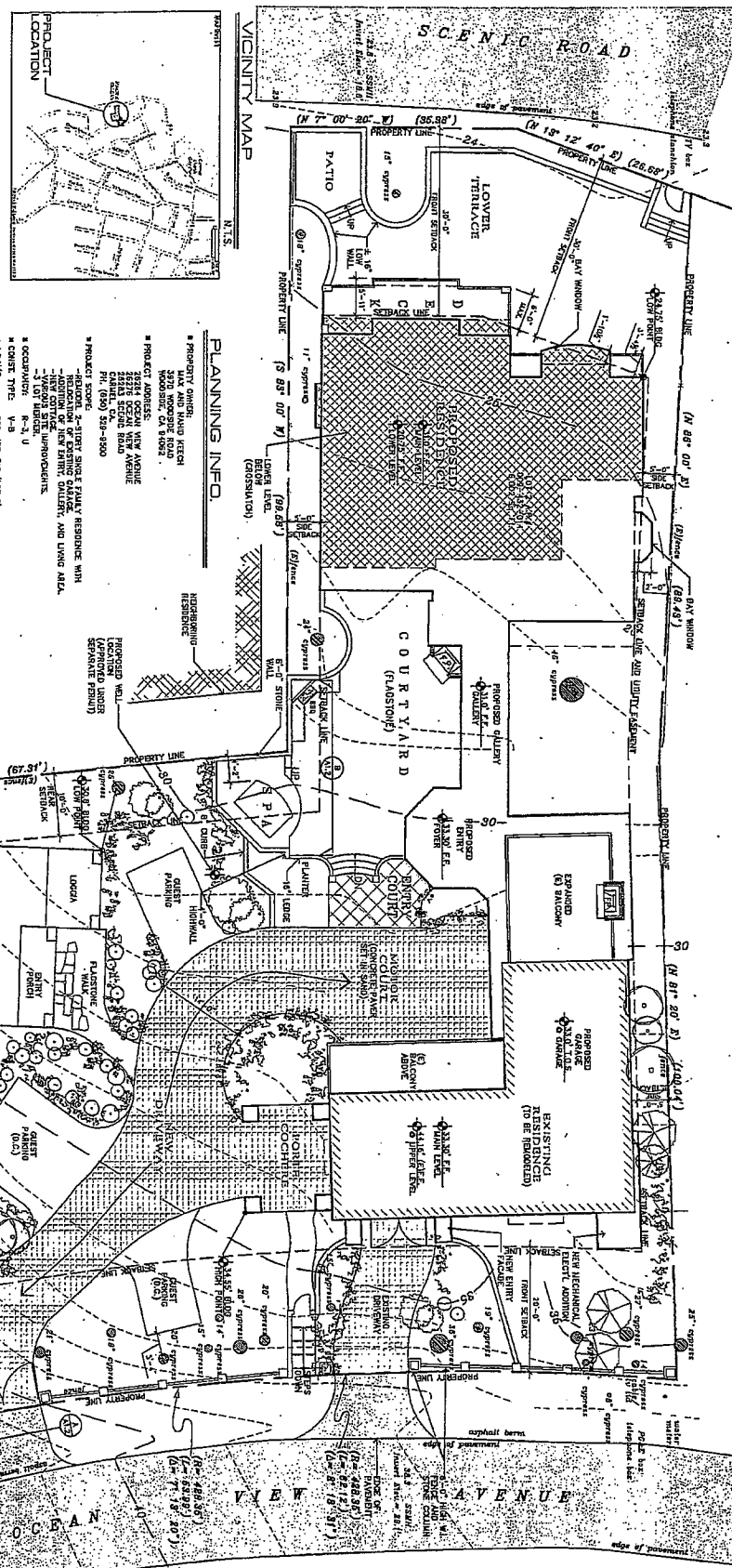
18. Archaeological clarification letter addressing methodology and findings (LIB 110178), prepared by Archaeological Consulting, Salinas, California, June 1, 2011;

X. ATTACHMENTS

1. Reduce-sized Project Plans (File No. PLN100211)

X. ATTACHMENTS

1. Reduce-sized Project Plans (File No. PLN100211)



■ F.A.S. CALCULATIONS

EXISTING	REMOVED	ADDITION	TOTAL
MAIN BUILDING	433	-433	0
UPPER FLOOR	1,521	-48	1,473
LOWER FLOOR	1,357	-235	1,122
GARAGE	488	-488	0
EXISTING	0	0	0
TOTAL	3,809	-1,164	2,645

■ F.A.S. ALLOWED: 8,184.65 SF (143)
 ■ F.A.S. PROPOSED: 2,645 SF (41)

■ LOT COVERAGE CALCULATIONS

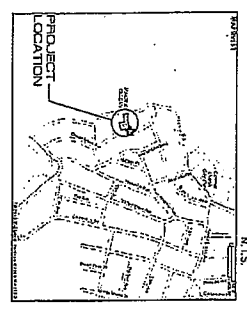
EXISTING	REMOVED	ADDITION	TOTAL
MAIN RESIDENCE	1,357	-48	1,309
UPPER FLOOR	728	-48	680
LOWER FLOOR	629	-48	581
GARAGE	0	-48	-48
COVERED PATIO-CORNER	0	-48	-48
COVERED PORCH & LOGGIA	0	-48	-48
TOTAL	2,185	-192	1,993

■ LOT COVERAGE ALLOWED: 6,316.45 SF (133)
 ■ LOT COVERAGE PROPOSED: 1,993 SF (32)

SITE PLAN
 1/8"=1'-0"

PLANNING INFO

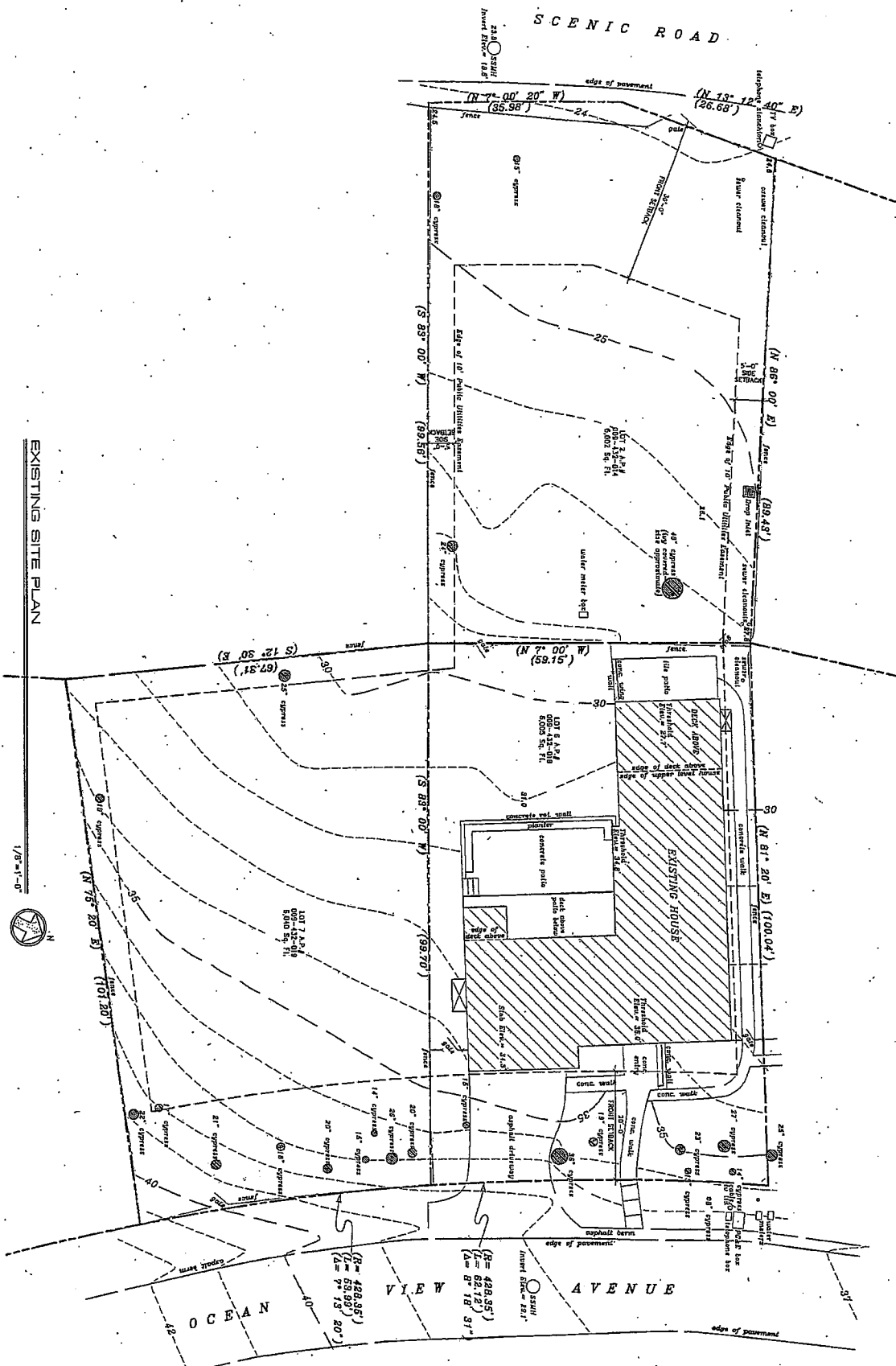
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- PROJECT ADDRESS: 26283 SCENIC ROAD, CARMEL, CA 95022
- PROJECT PHONE: (831) 325-9500
- PROJECT SCOPE:
 - REVISIONS TO EXISTING RESIDENCE
 - NEW DRIVE AND DRIVEWAY
 - NEW DRIVEWAY UNDERPASS
 - VISUAL SITE UNDERSTUDIES
- OCCUPANCY: R-1, U
- CONIST TYPE: V-B
- APPLIC: 006-432-018 (LOT 6), 006-432-019 (LOT 7), 006-432-018 (LOT 8), 006-432-019 (LOT 9)
- ZONE: R-1, U (C)
- STORIES: 2
- NOTES: PER ATTACHED GRADING PLAN
- TREE REMOVAL: NONE
- IMPROVEMENTS: GEOTECH SURVEY
- PROJECT SOIL CONSULTANT: SFC, 2015 T-24 CALIFORNIA ENERGY CENTER
- ENERGY METHOD: UNDERPASS VIA ENERGY FRIG 4.0
- LOT AREA: 18,047 SF (41 ac) = 3 PARCELS
- LOT COVERAGE CALCULATIONS:



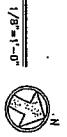
RECEIVED
 FEB 28 2011
 MONTEREY COUNTY
 PLANNING DEPARTMENT

INTERNATIONAL DESIGN GROUP ARCHITECTURE • INTERIOR DESIGN IUN A. BILLANG, AIA JOHN B. MATTHIAS 721 LIGHTHOUSE AVE • PACIFIC GROVE CA • 93950 PH: (831) 940-1201 FAX: (831) 940-1200 EMAIL: info@idgarch.com	PROPOSED NEW RESIDENCE FOR: MAX AND NAHID KEECH APN: 005-432-014 APN: 005-432-018 APN: 005-432-019 26283 SCENIC ROAD 26276 & 26276 OCEAN VIEW AVE., CARMEL, CA	<p> SITE PLAN DATE: 11-15-10 PREPARED BY: IUN A. BILLANG CHECKED BY: JOHN B. MATTHIAS APPROVED BY: IUN A. BILLANG SCALE: AS SHOWN SHEET NO. 11.0 </p>
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PCN100211

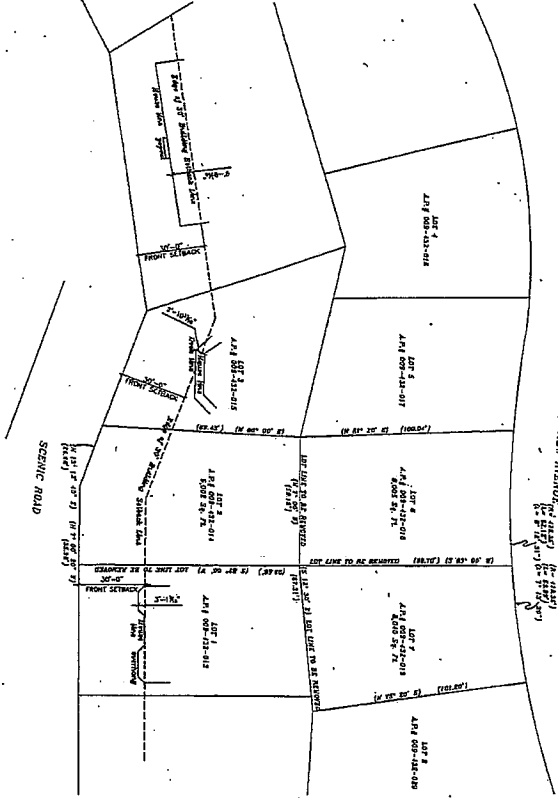
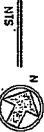


EXISTING SITE PLAN

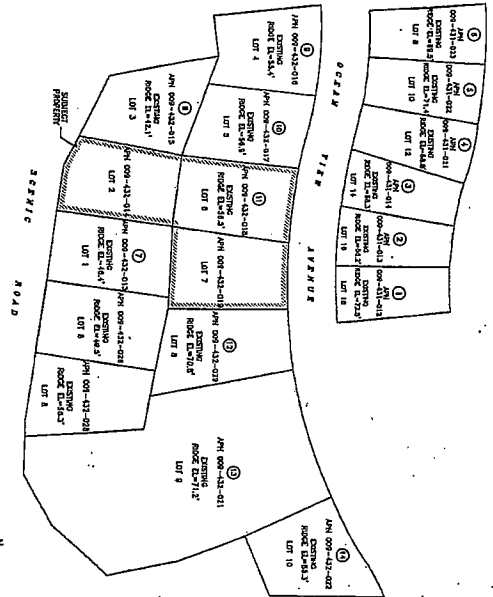


<p>DATE: 11-15-10 DRAWN BY: J. BILLAG CHECKED BY: J. BILLAG PROJECT: INTERIOR DESIGN</p>	<p>INTERNATIONAL DESIGN GROUP ARCHITECTURE ■ INTERIOR DESIGN JUN A. BILLAG, AIA JOHN E. MATTHAMS</p>	<p>PROPOSED NEW RESIDENCE FOR: MAX AND NAHID KEECH</p>	
		<p>221 LIGHTHOUSE AVE ■ PACIFIC GROVE CA ■ 93920 Ph: (823) 640-1201 ■ Fax: (823) 640-1882 ■ E-Mail: I.D.G. @earthlink.net</p>	
<p>A1.1</p>	<p>26283 SCENIC ROAD 26264 & 26276 OCEAN VIEW AVE. CARMEL, CA</p>	<p>APN: 009-432-014 APN: 009-432-018 APN: 009-432-019</p>	<p>26283 SCENIC ROAD 26264 & 26276 OCEAN VIEW AVE. CARMEL, CA</p>

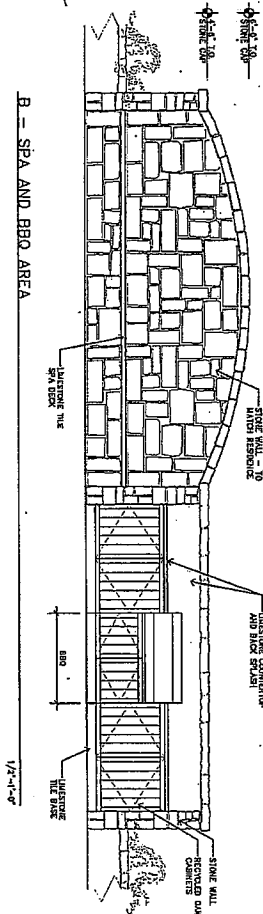
SETBACK SURVEY



ROOF RIDGE LINE ELEVATION STUDY

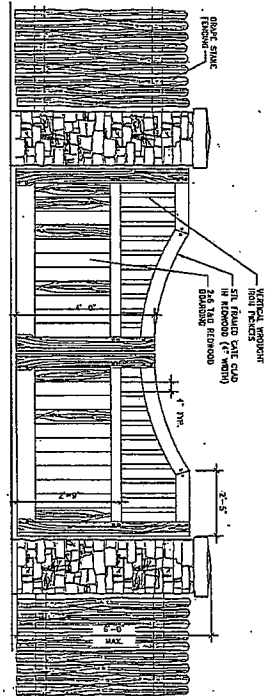


B - SPA AND BBQ AREA



A - ENTRY GATE

1/2"=1'-0"

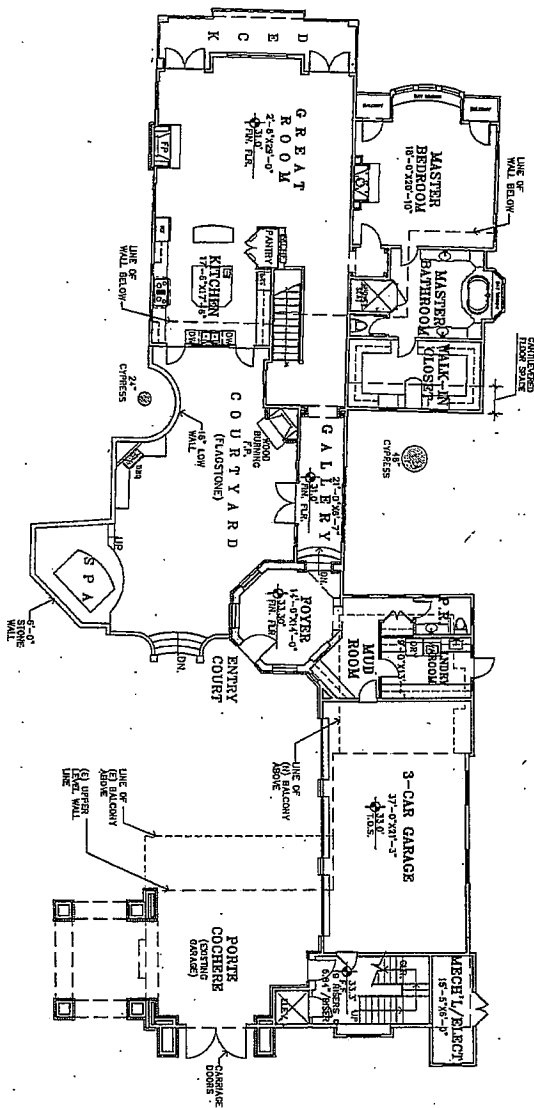


PROJECT	DATE	REVISION
PROPOSED NEW RESIDENCE FOR MAX AND NAHID KEECH	11-15-10	REVISED PER COMMENTS
ARCHITECT		
DESIGNER		
DRAWN BY		
CHECKED BY		
DATE		

INTERNATIONAL DESIGN GROUP
 ARCHITECTURE • INTERIOR DESIGN
 JUNA A. GILLMAN, AIA JOHN E. MATTHAMS
 781 LIGHTHOUSE AVE • PACIFIC GROVE CA • 93950
 PH: 805 413 0400 • FAX: 805 413 0400 • WWW.IDGARCH.COM

PROPOSED NEW RESIDENCE FOR
MAX AND NAHID KEECH
 APN: 009-432-014
 APN: 009-432-018
 APN: 009-432-019
 26283 SCENIC ROAD
 26254 & 26276 OCEAN VIEW AVE. • CARMEL, CA





MAIN LEVEL PLAN

1/8"=1'-0"



WALL LEGEND

	2X EXISTING WALL TO REMAIN
	2X EXISTING STUD FRAMED WALL
	2X EXISTING STUD FRAMED WALL, U/LCM
	CMU WALL - SEE STRUCTURAL DWGS

MAIN LEVEL PLAN
DATE: 11-28-10
BY: J.A.M./J.M.M.
SCALE: AS SHOWN
PROJECT: 26283 SCENIC RES.
CLIENT: MAX AND NAHID KEECH
PROJECT NO: A2.0

INTERNATIONAL DESIGN GROUP
 ARCHITECTURE • INTERIOR DESIGN

JUN A. BILLANG, AIA JOHN E. MATTHAMS

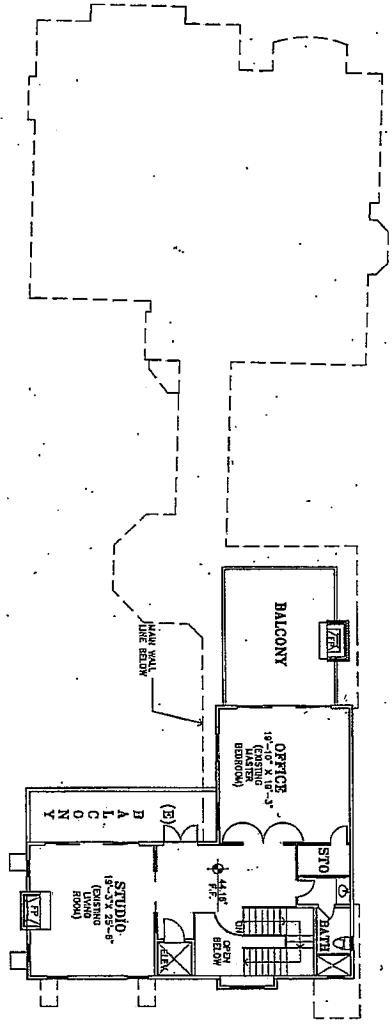
721 LIGHTHOUSE AVE • PACIFIC GROVE CA • 93950
 TEL: (805) 461-1900 FAX: (805) 461-1900

PROPOSED NEW RESIDENCE FOR:
MAX AND NAHID KEECH

APN: 009-432-014
 APN: 009-432-016
 APN: 009-432-019

26283 SCENIC RES.
 26284 & 26276 OCEAN VIEW AVE. CARMEL, CA

<p>REVISIONS:</p> <p>NO. DATE DESCRIPTION</p> <p>1 11-28-10 INITIAL PLAN</p>
--



UPPER LEVEL PLAN

1/8" = 1'-0"



WALL LEGEND

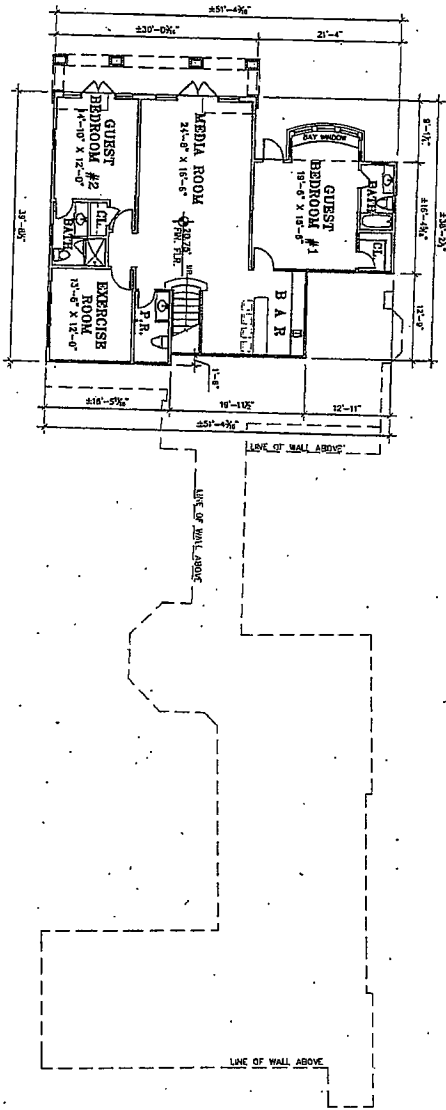
	26 EXISTING WALL TO REMAIN
	206 EXTERIOR STUDIO RAISED WALL U/L/O/N
	207 EXTERIOR 2ND FLOOR WALL U/L/O/N
	208 WALL - SEE STRUCTURAL DWG'S

DATE: 11-15-10	PROJECT: 206
DRAWN BY: J.A.B.	SHEET NO: A3.0
CHECKED BY: J.A.B.	
APPROVED BY: J.A.B.	
DATE: 11-15-10	
PROJECT: 206	
SHEET NO: A3.0	

INTERNATIONAL DESIGN GROUP
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PROPOSED NEW RESIDENCE FOR:
MAX AND NAHID KEECH
 APN: 009-432-014
 APN: 009-432-018
 APN: 009-432-019
 26283 SCENE ROAD
 26264 & 26276 OCEAN VIEW AVE. CARMEL, CA

<small>SCALE: 1/8" = 1'-0" DATE: 11-15-10 DRAWN BY: J.A.B. CHECKED BY: J.A.B. APPROVED BY: J.A.B. PROJECT: 206 SHEET NO: A3.0</small>



LOWER LEVEL PLAN

1/8" = 1'-0"



WALL LEGEND

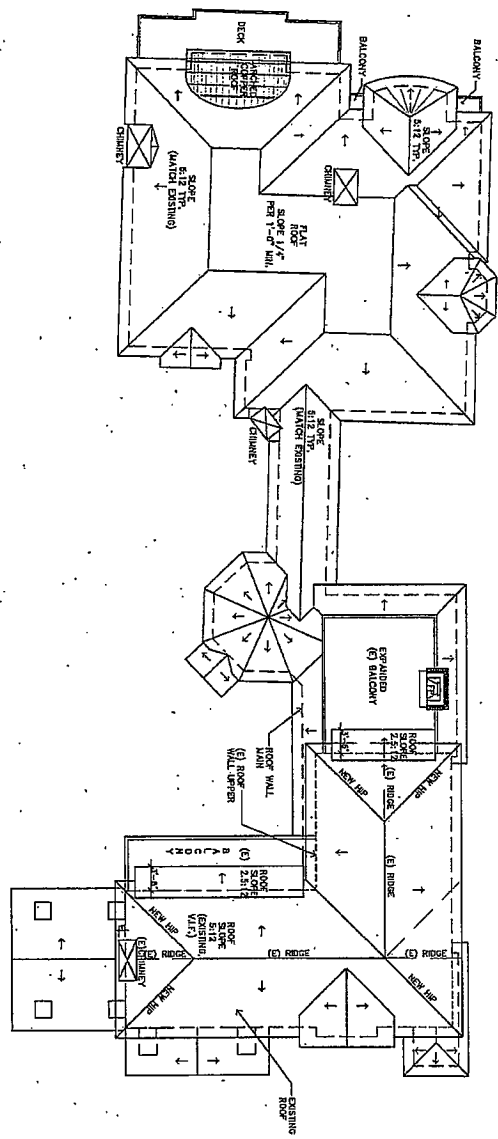
- 22 EXISTING WALL TO REMAIN
- 216 EXTERIOR STUD FRAMED WALL U.O.M.
- 214 INTERIOR STUD FRAMED WALL U.O.M.
- 215 INTERIOR STUD FRAMED WALL U.O.M.
- 215 EXTERIOR STUD FRAMED WALL U.O.M.
- 215 EXTERIOR STUD FRAMED WALL U.O.M.

DATE: 11/11/11
 LOWER LEVEL PLAN
 PROJECT: 25254 & 25276 OCEAN VIEW AVE., CARMEL, CA
 ARCHITECT: INTERNATIONAL DESIGN GROUP
 DRAWN BY: J. GILLIGAN
 CHECKED BY: J. GILLIGAN
 SCALE: AS SHOWN
 SHEET NO. A4.0

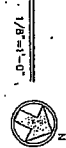
INTERNATIONAL DESIGN GROUP
 ARCHITECTURE ■ INTERIOR DESIGN
 JUNA A. GILLIGAN, AIA JORNE L. MATTHEWS
 781 LIGHTHOUSE AVE ■ PACIFIC GROVE CA ■ 93950
 PH: 820.355.1201 ■ FAX: 820.355.1200 ■ EMAIL: info@idgarch.com

PROPOSED NEW RESIDENCE FOR:
MAX AND NAHID KEECH
 APN: 009-432-014
 APN: 009-432-018
 APN: 009-432-019
 25254 & 25276 OCEAN VIEW AVE., CARMEL, CA

THESE PLANS HAVE BEEN PREPARED BY THE ARCHITECT AND ARE NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE PLANS. THE ARCHITECT DOES NOT WARRANT THAT THE PLANS OR INFORMATION CONTAINED HEREIN ARE COMPLETE, ACCURATE, OR FREE FROM OMISSIONS. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT DESCRIBED IN THESE PLANS. THE ARCHITECT DOES NOT WARRANT THAT THE PLANS OR INFORMATION CONTAINED HEREIN ARE COMPLETE, ACCURATE, OR FREE FROM OMISSIONS. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT DESCRIBED IN THESE PLANS.



ROOF PLAN



DATE: 11-8-80 DRAWN BY: J. B. BROWN CHECKED BY: J. B. BROWN	ROOF PLAN
	AS.0

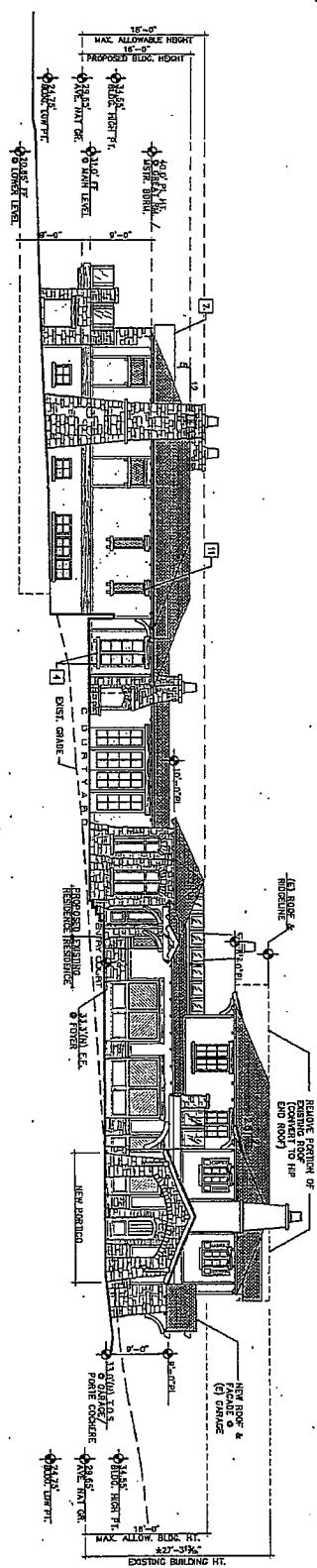
INTERNATIONAL DESIGN GROUP
 ARCHITECTURE ■ INTERIOR DESIGN
 JUN A. BILLARS, AIA JOHN S. MATTHEWS

721 LIGHTHOUSE AVE ■ PACIFIC GROVE CA ■ 93950
 PH: (831) 640-1211 ■ FAX: (831) 640-1290 ■ E-MAIL: idg@idg.com

PROPOSED NEW RESIDENCE FOR:
MAX AND NAHID KEECH
 APN: 009-432-010
 APN: 009-432-018
 APN: 009-432-019

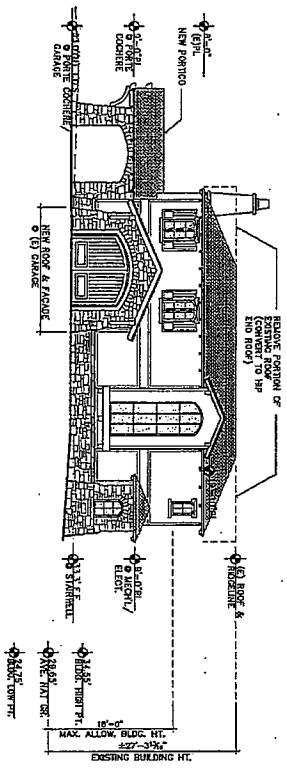
26283 SCENIC ROAD
 26264 & 26276 OCEAN VIEW AVE. CARMEL, CA

<p>1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.</p> <p>2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES.</p> <p>3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.</p> <p>4. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.</p> <p>5. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A SAFE AND SOUND CONDITION THROUGHOUT THE PROJECT.</p> <p>6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL ENVIRONMENTAL FEATURES.</p> <p>7. THE CONTRACTOR SHALL MAINTAIN THE SITE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.</p> <p>8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.</p> <p>9. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A SAFE AND SOUND CONDITION THROUGHOUT THE PROJECT.</p> <p>10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL ENVIRONMENTAL FEATURES.</p>



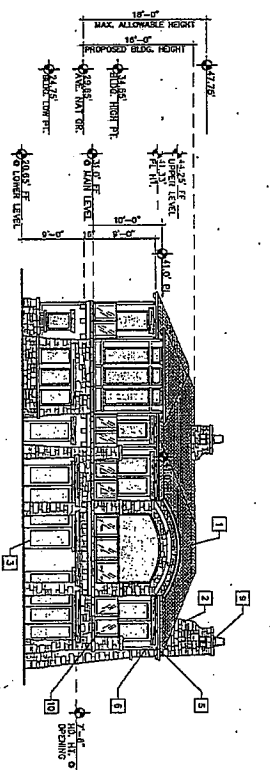
SOUTH SIDE ELEVATION

1/8"=1'-0"



EAST (FRONT) ELEVATION (OCEAN AVE)

1/8"=1'-0"



WEST (REAR) ELEVATION (SCENIC RD)

1/8"=1'-0"

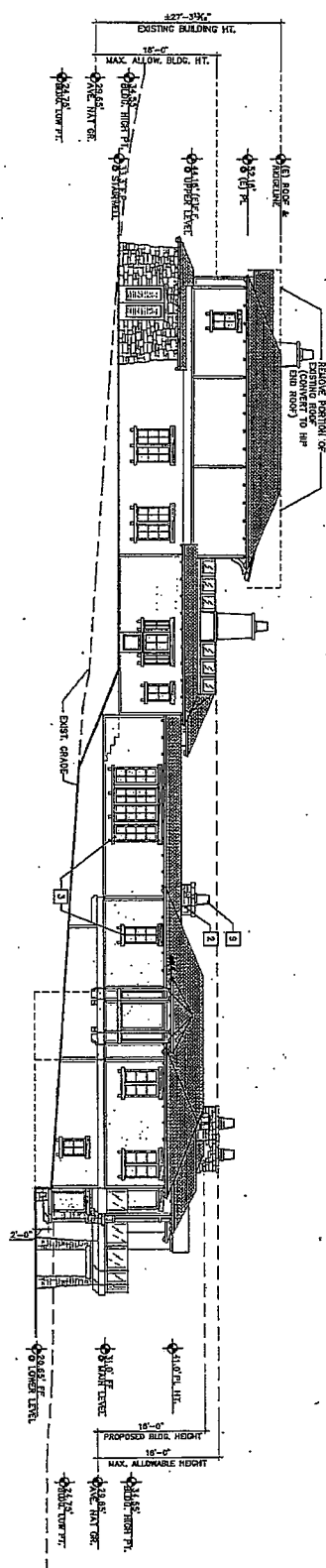
EXTERIOR FINISH LEGEND	
1	CLAY TILE, HORIZONTAL SLATE ROOF
2	BURNED RED STONE
3	HORIZONTAL BRICK, BRICK CLAY TILE, 8000
4	WOOD AND STONE, (SCALE ON TYPICAL)
5	3X CEDAR SLATS & 6X COMBLES
6	4X CEDAR SLATS
7	2X CEDAR TRIM
8	STANDING SEAM COPPER BARREL ROOF
9	STAINED SLATE ROOFS
10	CLAY CHIMNEY POT
11	BRICK & CLAY SLABS
12	LEADED GLASS WINDOWS

DATE: 11-15-10	REVISED:
PROJECT: A6.0	BY: J.A.B./M.M.
SCALE: 1/8"=1'-0"	CHECKED: J.A.B./M.M.
APPROVED: J.A.B./M.M.	DATE: 11-15-10
PROJECT: A6.0	SCALE: 1/8"=1'-0"
DATE: 11-15-10	BY: J.A.B./M.M.
CHECKED: J.A.B./M.M.	DATE: 11-15-10
PROJECT: A6.0	SCALE: 1/8"=1'-0"
DATE: 11-15-10	BY: J.A.B./M.M.
CHECKED: J.A.B./M.M.	DATE: 11-15-10
PROJECT: A6.0	SCALE: 1/8"=1'-0"

INTERNATIONAL DESIGN GROUP
 ARCHITECTURE • INTERIOR DESIGN
 JUN A. BILLAND, AIA JOHN E. MATTHAME
 721 LIGHTHOUSE AVE • PACIFIC GROVE CA • 93950
 TEL: (824) 640-1201 FAX: (824) 640-1202 E-MAIL: jbm@idgarch.com

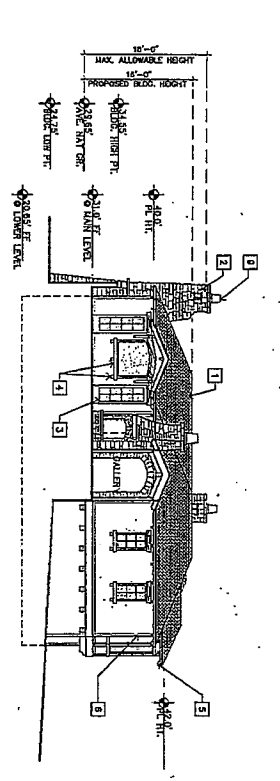
PROPOSED NEW RESIDENCE FOR:
MAX AND NAHID KEECH
 APN: 009-432-014
 APN: 009-432-018
 APN: 009-432-019
 26283 SCENIC ROAD
 26264 & 26276 OCEAN VIEW AVE. CARMEL, CA

DATE: 11-15-10	REVISED:
PROJECT: A6.0	BY: J.A.B./M.M.
SCALE: 1/8"=1'-0"	CHECKED: J.A.B./M.M.
APPROVED: J.A.B./M.M.	DATE: 11-15-10
PROJECT: A6.0	SCALE: 1/8"=1'-0"
DATE: 11-15-10	BY: J.A.B./M.M.
CHECKED: J.A.B./M.M.	DATE: 11-15-10
PROJECT: A6.0	SCALE: 1/8"=1'-0"
DATE: 11-15-10	BY: J.A.B./M.M.
CHECKED: J.A.B./M.M.	DATE: 11-15-10
PROJECT: A6.0	SCALE: 1/8"=1'-0"



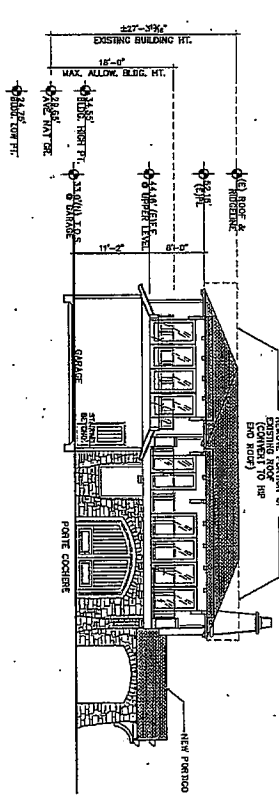
NORTH (SIDE) ELEVATION

1/8" = 1'-0"



EAST COURTYARD ELEVATION

1/8" = 1'-0"

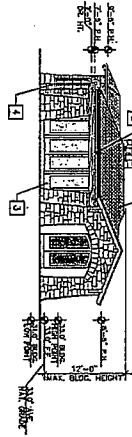


WEST PORTE COCHERE ELEVATION

1/8" = 1'-0"

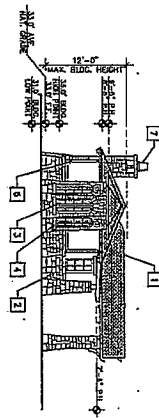
EXTERIOR FINISH LEGEND	
1	GLASS 7" MULTIGLASS SLATE ROOF
2	BRICKWORK EXTL. STONE
3	PAINTED BRICKWORK FINISH CLAY EXTL. WOOD
4	CLAY TILE ROOF
5	CLAY TILE ROOF & EX. CORNICES
6	CLAY TILE ROOF
7	CLAY TILE ROOF
8	CLAY TILE ROOF
9	CLAY TILE ROOF
10	CLAY TILE ROOF
11	CLAY TILE ROOF
12	CLAY TILE ROOF
13	CLAY TILE ROOF
14	CLAY TILE ROOF
15	CLAY TILE ROOF
16	CLAY TILE ROOF
17	CLAY TILE ROOF
18	CLAY TILE ROOF
19	CLAY TILE ROOF
20	CLAY TILE ROOF
21	CLAY TILE ROOF
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96	CLAY TILE ROOF
97	CLAY TILE ROOF
98	CLAY TILE ROOF
99	CLAY TILE ROOF
100	CLAY TILE ROOF

<p>DATE: 11-15-10 PREPARED BY: [REDACTED] CHECKED BY: [REDACTED] APPROVED BY: [REDACTED]</p>	<p>INTERNATIONAL DESIGN GROUP ARCHITECTURE • INTERIOR DESIGN JUN A. BILLAND, AIA JOHN E. MATTHAMS</p> <p>721 LIGHTHOUSE AVE • PACIFIC GROVE CA • 93950 PH: (805) 546-1201 FAX: (805) 546-1200 541411</p>	<p>PROPOSED NEW RESIDENCE FOR: MAX AND NAHID KEECH APN: 008-432-014 APN: 008-432-018 APN: 008-432-019</p> <p>26283 SCENIC ROAD 26264 & 26276 OCEAN VIEW AVE. CARMEL, CA</p>	<p>THIS SET OF DRAWINGS IS THE PROPERTY OF INTERNATIONAL DESIGN GROUP ARCHITECTURE AND INTERIOR DESIGN. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF INTERNATIONAL DESIGN GROUP ARCHITECTURE AND INTERIOR DESIGN.</p>
<p>REVISIONS</p>	<p>A6.1</p>		



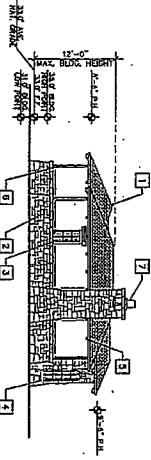
NORTHWEST ELEVATION - GUESTHOUSE

1/8"=1'-0"



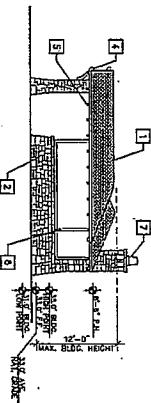
NORTHEAST ELEVATION - GUESTHOUSE

1/8"=1'-0"



SOUTHEAST ELEVATION - GUESTHOUSE

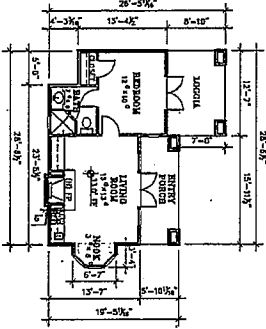
1/8"=1'-0"



SOUTHWEST ELEVATION - GUESTHOUSE

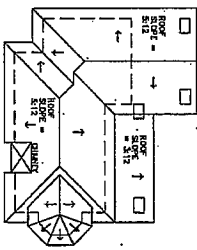
1/8"=1'-0"

EXTERIOR FINISH LEGEND	
1	CLASS "X" MULTICOLOUR SLATE ROOF
2	RANDOM EXT. STONE
3	HANDPAINTED URBAN BRUISE CLAD EXT. WOOD DOORS AND WINDOWS (ROUND OR EQUAL)
4	3X CEDAR SILL & OX CORBELS
5	4X6 CEDAR RAFTER TAILS
6	2X4 CEDAR TRIM
7	CLAY CHIMNEY POT



FLOOR PLAN - GUESTHOUSE

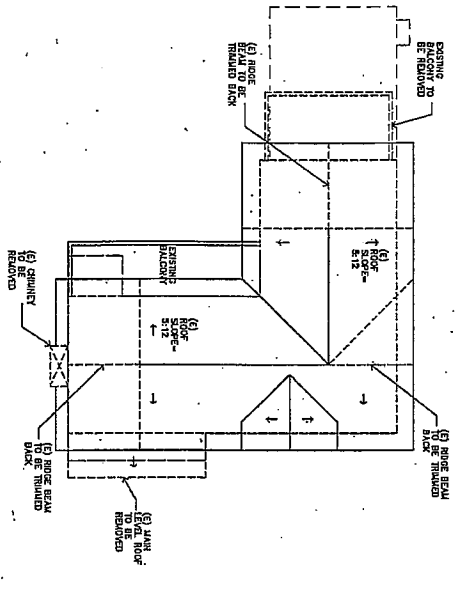
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ROOF PLAN - GUESTHOUSE

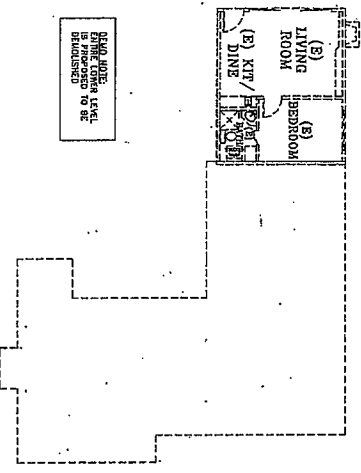
1/8"=1'-0"

PROJECT A7.0	INTERNATIONAL DESIGN GROUP ARCHITECTURE • INTERIOR DESIGN JUNA A. SILLANE, AIA JOHN E. MATTHAMS 221 LIGHTHOUSE AVE • PACIFIC GROVE CA • 93950 1921-1923 11TH ST • PACIFIC GROVE CA • 93950	PROPOSED NEW RESIDENCE FOR: MAX AND NAHID KEECH APN: 009-432-014 APN: 009-432-018 APN: 009-432-019 26283 SCENIC ROAD 26264 & 26276 OCEAN VIEW AVE. CARMEL, CA	ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED. ALL FINISHES ARE TO BE SUPPLIED BY THE OWNER. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION OBTAINED FROM ANY SOURCE OTHER THAN THAT PROVIDED BY THE OWNER. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION OBTAINED FROM ANY SOURCE OTHER THAN THAT PROVIDED BY THE OWNER. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION OBTAINED FROM ANY SOURCE OTHER THAN THAT PROVIDED BY THE OWNER.
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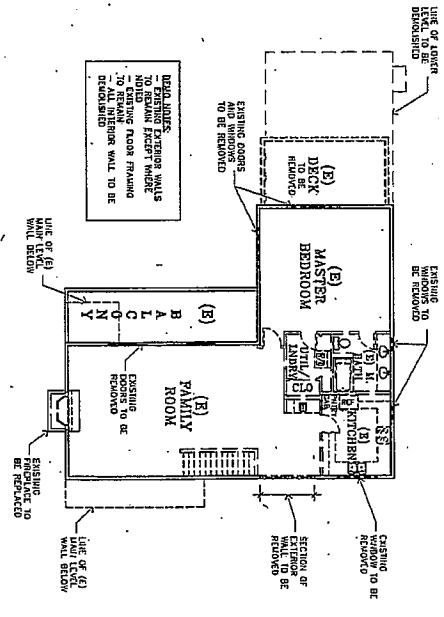
EXISTING ROOF PLAN

1/8"=1'-0"



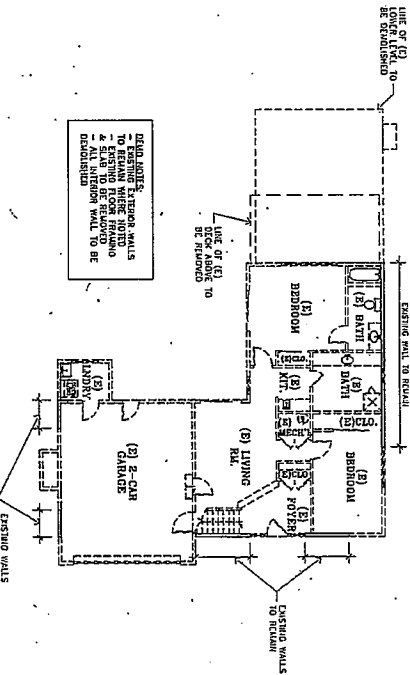
LOWER LEVEL EXISTING/DEMO PLAN

1/8"=1'-0"



UPPER LEVEL EXISTING/DEMO PLAN

1/8"=1'-0"



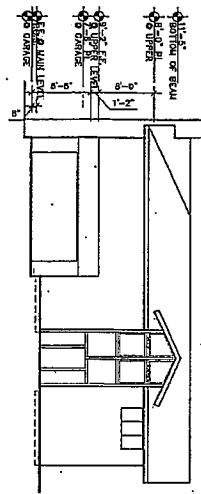
MAIN LEVEL EXISTING/DEMO PLAN

1/8"=1'-0"

WALL LEGEND

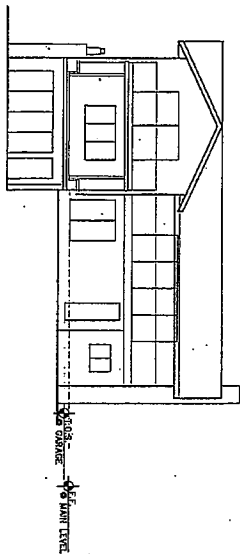
	2X EXISTING WALL TO REMAIN
	(C) DOOR OR WINDOW TO BE REMOVED
	2X EXISTING WALL TO BE REMOVED

<p>DATE: 11-18-08 PREPARED BY: J. S. BARNETT CHECKED BY: J. S. BARNETT DRAWN BY: J. S. BARNETT SCALE: AS SHOWN PROJECT: 22825 SCENIC ROAD</p>	<p>INTERNATIONAL DESIGN GROUP ARCHITECTURE ■ INTERIOR DESIGN DONA A. SILLARD, AIA JOHN S. MATTHEWS 721 LIGHTHOUSE AVE ■ PACIFIC GROVE, CA ■ 93950 PH: (805) 461-1271 ■ FAX: (805) 461-1280 ■ WWW.IDGARCHITECTURE.COM</p>	<p>PROPOSED NEW RESIDENCE FOR: MAX AND NAHD KEECH APN: 005-432-012 APN: 005-432-018 APN: 005-432-019 22825 SCENIC ROAD 25256 & 25276 OCEAN VIEW AVE, CARMEL, CA</p>
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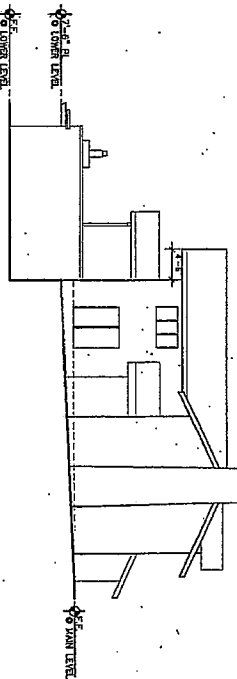
EXISTING EAST ELEVATION

1/8"=1'-0"



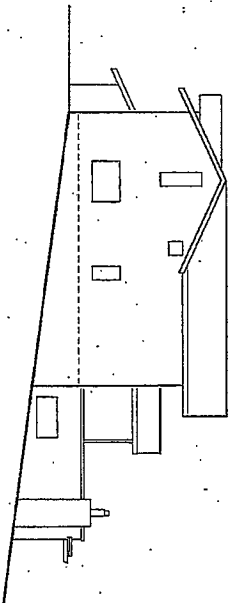
EXISTING NORTH ELEVATION

1/8"=1'-0"



EXISTING SOUTH ELEVATION

1/8"=1'-0"



EXISTING WEST ELEVATION

1/8"=1'-0"

DATE: 11-2-09	EXISTING
BY: J.A.	EXISTING
CHECKED: J.A.	EXISTING
APPROVED: J.A.	EXISTING
SCALE: AS SHOWN	EXISTING
PROJECT: 09-432-018	EXISTING
SHEET: 202	EXISTING
TITLE: EXISTING	EXISTING
DATE: 11-2-09	EXISTING
BY: J.A.	EXISTING
CHECKED: J.A.	EXISTING
APPROVED: J.A.	EXISTING
SCALE: AS SHOWN	EXISTING
PROJECT: 09-432-018	EXISTING
SHEET: 202	EXISTING
TITLE: EXISTING	EXISTING

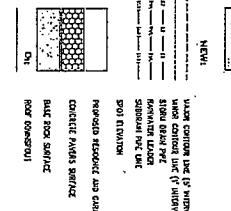
DATE: 11-2-09	EXISTING
BY: J.A.	EXISTING
CHECKED: J.A.	EXISTING
APPROVED: J.A.	EXISTING
SCALE: AS SHOWN	EXISTING
PROJECT: 09-432-018	EXISTING
SHEET: 202	EXISTING
TITLE: EXISTING	EXISTING

INTERNATIONAL DESIGN GROUP
ARCHITECTURE ■ INTERIOR DESIGN
 JUN A. SILLARE, AIA JOHN S. MATTHEWS
 721 LIGHTHOUSE AVE ■ PACIFIC GROVE CA ■ 93950
 PH (231) 545-1201 ■ FAX (231) 545-1200 ■ EMAIL ID@IDGARCH.COM

PROPOSED NEW RESIDENCE FOR:
MAX AND NAHID KEECH
 APN: 009-432-018
 APN: 009-432-018
 APN: 009-432-019
 26283 SCENIC ROAD
 26264 & 26276 OCEAN VIEW AVE. CARMEL, CA

DATE: 11-2-09	EXISTING
BY: J.A.	EXISTING
CHECKED: J.A.	EXISTING
APPROVED: J.A.	EXISTING
SCALE: AS SHOWN	EXISTING
PROJECT: 09-432-018	EXISTING
SHEET: 202	EXISTING
TITLE: EXISTING	EXISTING

PROJECT: SCENIC ROAD & OCEAN VIEW AVENUE, CARMEL, MONTEREY COUNTY, CALIFORNIA



LEGEND

EXISTING:

- BOUNDARY LINE
- EXISTING ROAD
- PROPOSED ROAD
- SPOT ELEVATION
- CONCRETE PAD
- CONCRETE CURB
- ROOF CONTOUR

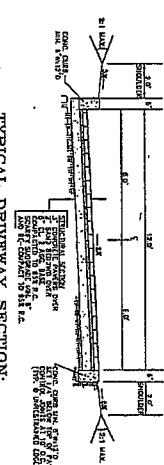
NEW:

- PROPOSED ROAD
- PROPOSED DRIVEWAY
- PROPOSED SIDEWALK
- PROPOSED CURB
- PROPOSED CONCRETE PAD
- PROPOSED CONCRETE CURB
- PROPOSED ROOF CONTOUR

GENERAL NOTES:

- 1) PROJECT DESIGN BASED ON INFORMATION PROVIDED AND SHOWN ON THE SITE PLAN FOR THE PROJECT. DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.
- 2) ALL GRADING AND DRAINAGE IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CALIFORNIA GRADING AND DRAINAGE ACT AND ALL APPLICABLE ORDINANCES AND REGULATIONS.
- 3) THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.
- 4) THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.
- 5) THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.
- 6) THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.
- 7) THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.
- 8) THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.
- 9) THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.
- 10) THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

TYPICAL DRIVEWAY SECTION:



GRADING QUANTITIES
 CUT VOLUME: 22,215 C.Y. ± 2225 E.Y.
 FILL VOLUME: 51,055 C.Y. ± 5270 C.Y.

APNs: 009-432-014, 018, & 019

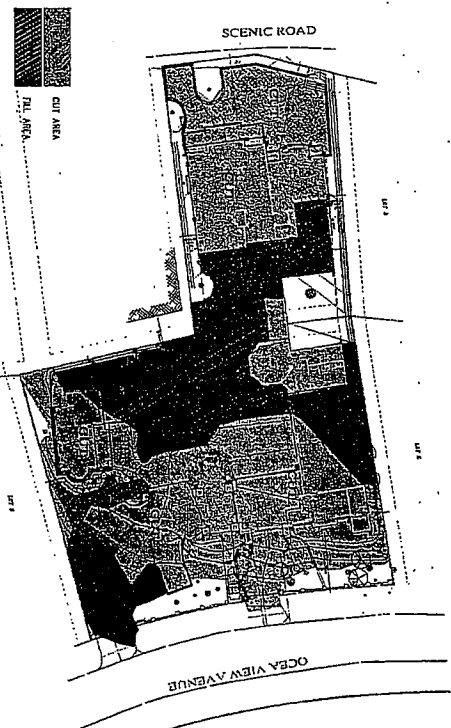
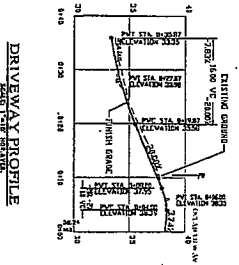
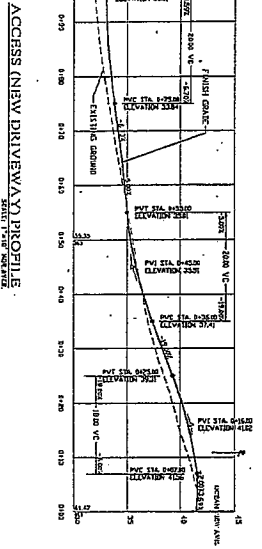
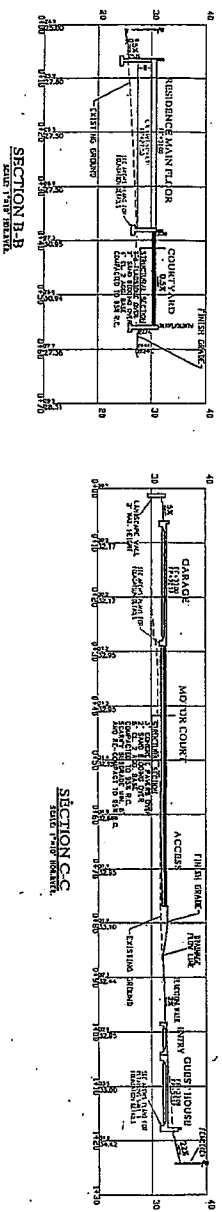
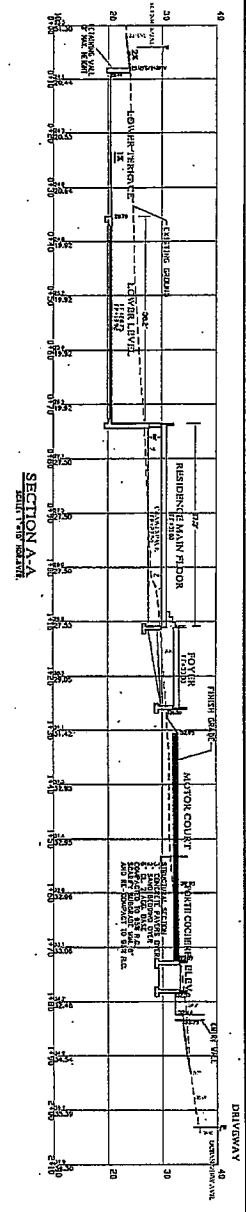
CONCEPTUAL GRADING & DRAINAGE PLAN
 OF
KEECH RESIDENCE
 SCENIC ROAD & OCEAN VIEW AVENUE
 CARMEL, MONTEREY COUNTY, CALIFORNIA
 MAX & NAHID KEECH

LANDSET ENGINEERS, INC.
 ENGINEERING - LAND PLANNING
 SURVEYING - ENVIRONMENTAL CONSULTING
 530-B CRAZY HORSE CANYON ROAD, SALINAS, CA 95067

APPROVED BY:
 GUY R. CHAUDD
 R.C.E. No. 65589



DATE	BY	DESCRIPTION
11/15/2011	MAX KEECH	FINAL DESIGN
11/15/2011	MAX KEECH	CONCEPTUAL GRADING & DRAINAGE PLAN
11/15/2011	MAX KEECH	CONCEPTUAL GRADING & DRAINAGE PLAN
11/15/2011	MAX KEECH	CONCEPTUAL GRADING & DRAINAGE PLAN
11/15/2011	MAX KEECH	CONCEPTUAL GRADING & DRAINAGE PLAN



APNs: 009-432-014, 018, & 019

CONCEPTUAL GRADING & DRAINAGE PLAN

KEECH RESIDENCE
SCENIC ROAD & OCEAN VIEW AVENUE
CARMEL, MONTEREY COUNTY, CALIFORNIA

FOR: MAX & NAHID KEECH

DATE: 08/20/2010

BY: [Signature]

SCALE: AS SHOWN

PROJECT: 10-10-10-01

SHEET 2 OF 2 SHEETS

LANDSET
ENGINEERS, INC.

ENGINEERING - LAND PLANNING
SURVEYING - ENVIRONMENTAL CONSULTING

520-B GREAT HORSE CANYON ROAD, SALINAS, CA 93907

APPROVED BY:

CUT R. GIRAUDO

R.C.Z. No. 58509

SCENIC ROAD

- GENERAL NOTES:**
1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL BUILDING, CIVIL AND ELECTRICAL WORKS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 2. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL TRADES AND CONTRACTORS.
 3. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL TRADES AND CONTRACTORS.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL TRADES AND CONTRACTORS.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL TRADES AND CONTRACTORS.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL TRADES AND CONTRACTORS.
- APPLICATIONS BUILDING STANDARDS AND CODES:**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

THE KEECH GARDEN

LANDSCAPE PRELIMINARY PLANS

SITE LAYOUT & LANDSCAPE PROJECT INDEX REVISED PLANS 2-15-2011

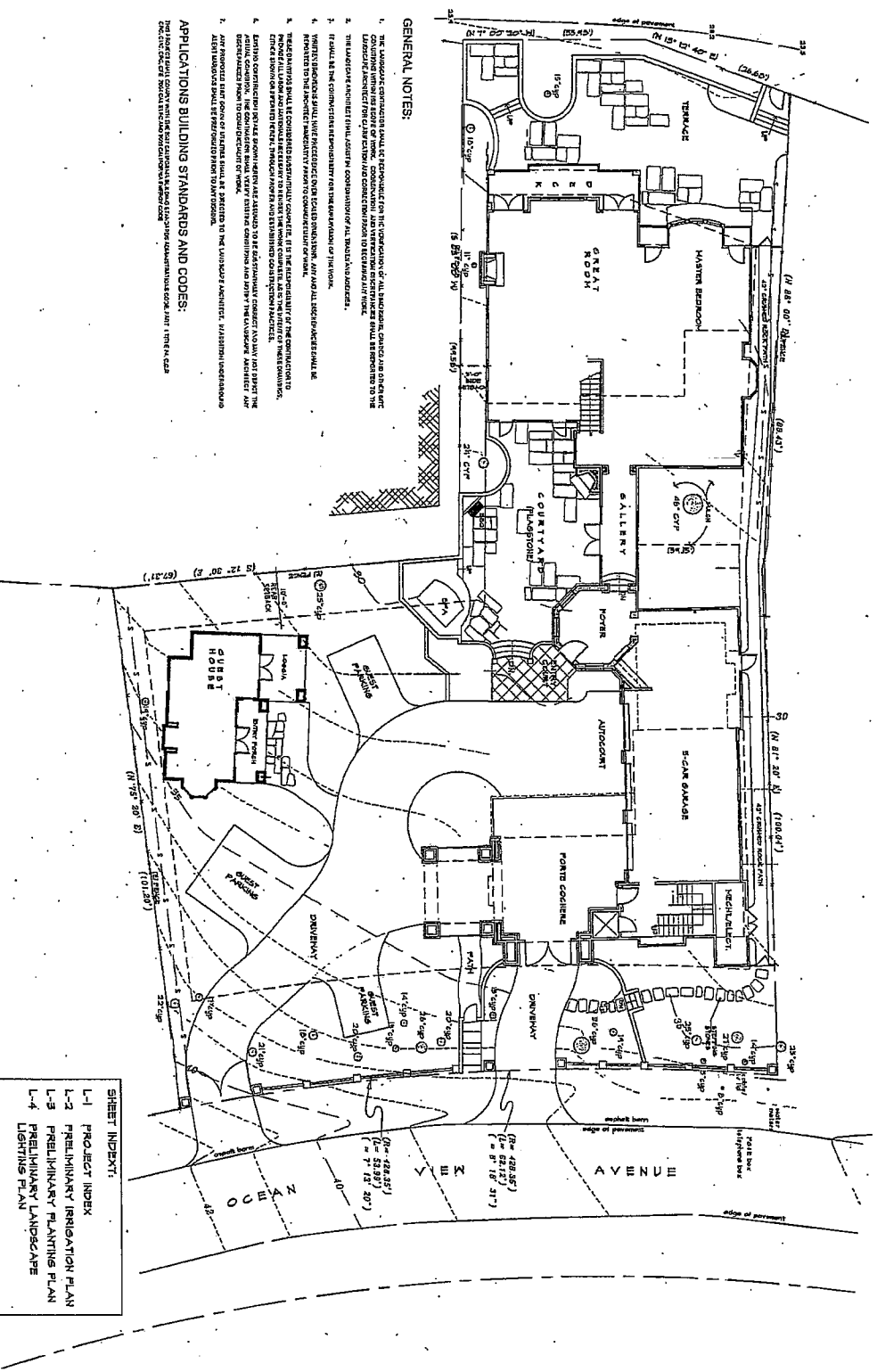
SHEET INDEX:

L-1	PROJECT INDEX
L-2	PRELIMINARY IRRIGATION PLAN
L-3	PRELIMINARY PLANTING PLAN
L-4	PRELIMINARY LANDSCAPE LIGHTING PLAN

SCOPE OF PROPOSED WORK:

- LANDSCAPE ARCHITECTURE INCLUDING ALL PRELIMINARY PLANS AND SPECIFICATIONS
- LANDSCAPE ARCHITECTURE INCLUDING ALL PRELIMINARY PLANS AND SPECIFICATIONS
- LANDSCAPE ARCHITECTURE INCLUDING ALL PRELIMINARY PLANS AND SPECIFICATIONS
- LANDSCAPE ARCHITECTURE INCLUDING ALL PRELIMINARY PLANS AND SPECIFICATIONS
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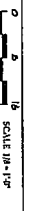
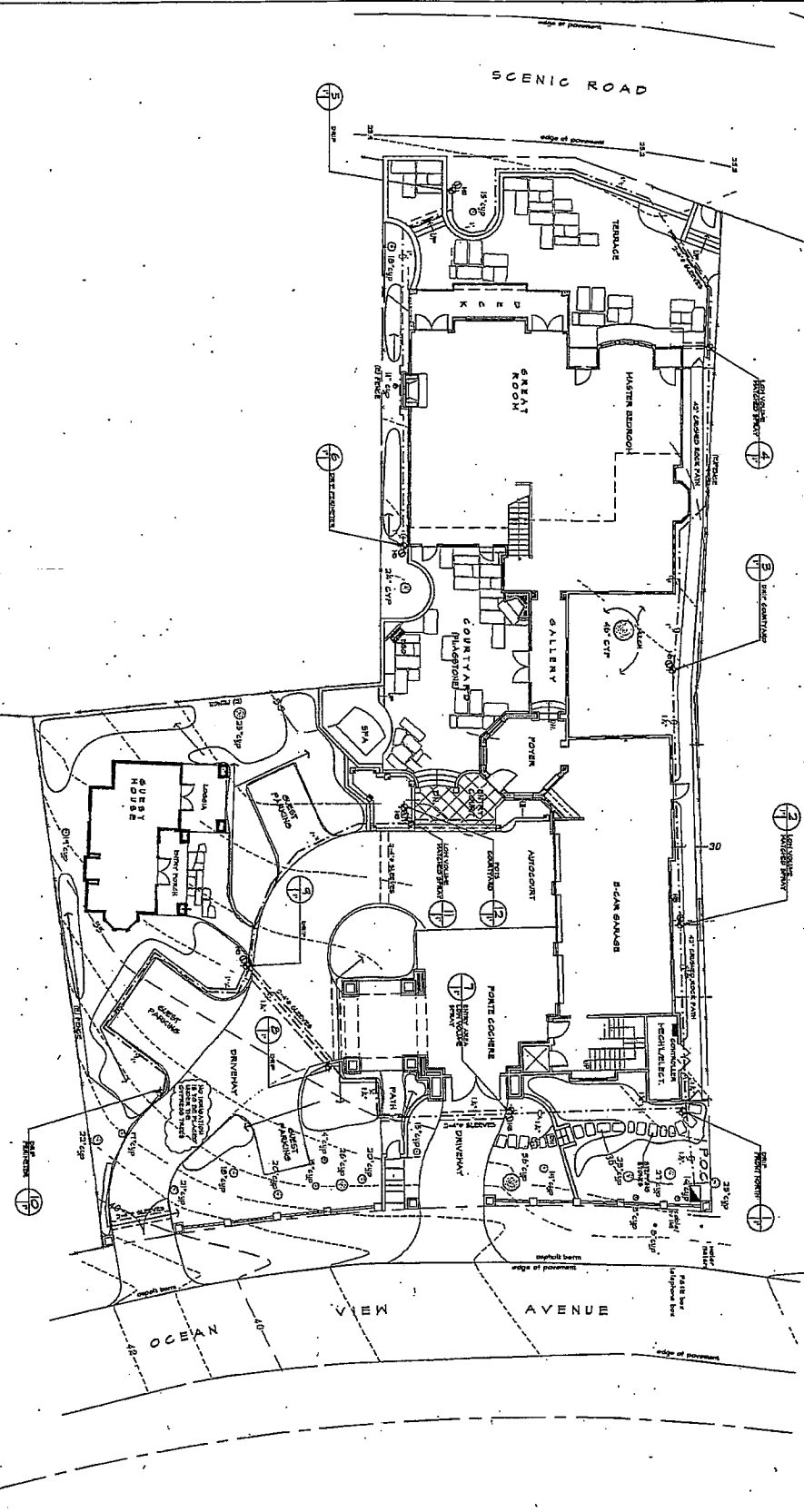
<p>L-1</p> <p>Page Title: Site & Index Plan</p>	<p>Max & Nahid Keech</p> <p>26283 Scenic & 26264 Ocean View Avenue</p> <p>Carmel, CA. 93933</p>		<p>Hall landscape Design</p> <p>Landscape Architects #3485</p> <p>302 Lighthouse Avenue Pacific Grove, CA 93950 (415) 665-3078 Fax: 665-3985 email: south@hollandlandscape.com</p>
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PRELIMINARY IRRIGATION PLAN

IRRIGATION NOTES:
 Irrigation of hydrozones are indicated by the hatched pattern. Irrigation of the lawn areas is indicated by the diagonal hatching. The field planted area must be irrigated with the dripline system. The field planted area must be irrigated with the dripline system. The field planted area must be irrigated with the dripline system. The field planted area must be irrigated with the dripline system.

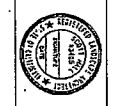
- IRRIGATION MATERIALS LIST:**
- 1/2" PVC 1/2" x 1/2" x 10' = 100' x 10' = 1000'
 - 1/2" PVC 1/2" x 1/2" x 5' = 50' x 5' = 250'
 - 1/2" PVC 1/2" x 1/2" x 2' = 20' x 2' = 40'
 - 1/2" PVC 1/2" x 1/2" x 1' = 10' x 1' = 10'
 - 1/2" PVC 1/2" x 1/2" x 0.5' = 5' x 0.5' = 2.5'
 - 1/2" PVC 1/2" x 1/2" x 0.25' = 2.5' x 0.25' = 0.625'
 - 1/2" PVC 1/2" x 1/2" x 0.125' = 1.25' x 0.125' = 0.3125'
 - 1/2" PVC 1/2" x 1/2" x 0.0625' = 0.625' x 0.0625' = 0.0390625'



Page Title
 08/17 07/20/10
 Date 3/8/2011
 Revision 3/8/2011
 Drawn By MARI
 Sheet

Landscape Pre-Irrigation

Max & Nahid Keech
 26283 Scenic Road & 26264 Ocean View
 Carmel, California 93950



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 Landscape Architects since 1965
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 Pacific Grove, Ca 93950
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PROJECT NO. 10001
 SHEET NO. 1 OF 1

Plant Type	Quantity	Plant Name	Plant Size
Tree	1	California Sycamore	12" DBH
Tree	2	Redwood	12" DBH
Tree	3	Black Olive	12" DBH
Tree	4	Shorea	12" DBH
Tree	5	California Redwood	12" DBH
Tree	6	Black Olive	12" DBH
Tree	7	Shorea	12" DBH
Tree	8	California Redwood	12" DBH
Tree	9	Black Olive	12" DBH
Tree	10	Shorea	12" DBH
Tree	11	California Redwood	12" DBH
Tree	12	Black Olive	12" DBH
Tree	13	Shorea	12" DBH
Tree	14	California Redwood	12" DBH
Tree	15	Black Olive	12" DBH
Tree	16	Shorea	12" DBH
Tree	17	California Redwood	12" DBH
Tree	18	Black Olive	12" DBH
Tree	19	Shorea	12" DBH
Tree	20	California Redwood	12" DBH
Tree	21	Black Olive	12" DBH
Tree	22	Shorea	12" DBH
Tree	23	California Redwood	12" DBH
Tree	24	Black Olive	12" DBH
Tree	25	Shorea	12" DBH
Tree	26	California Redwood	12" DBH
Tree	27	Black Olive	12" DBH
Tree	28	Shorea	12" DBH
Tree	29	California Redwood	12" DBH
Tree	30	Black Olive	12" DBH
Tree	31	Shorea	12" DBH
Tree	32	California Redwood	12" DBH
Tree	33	Black Olive	12" DBH
Tree	34	Shorea	12" DBH
Tree	35	California Redwood	12" DBH
Tree	36	Black Olive	12" DBH
Tree	37	Shorea	12" DBH
Tree	38	California Redwood	12" DBH
Tree	39	Black Olive	12" DBH
Tree	40	Shorea	12" DBH
Tree	41	California Redwood	12" DBH
Tree	42	Black Olive	12" DBH
Tree	43	Shorea	12" DBH
Tree	44	California Redwood	12" DBH
Tree	45	Black Olive	12" DBH
Tree	46	Shorea	12" DBH
Tree	47	California Redwood	12" DBH
Tree	48	Black Olive	12" DBH
Tree	49	Shorea	12" DBH
Tree	50	California Redwood	12" DBH
Tree	51	Black Olive	12" DBH
Tree	52	Shorea	12" DBH
Tree	53	California Redwood	12" DBH
Tree	54	Black Olive	12" DBH
Tree	55	Shorea	12" DBH
Tree	56	California Redwood	12" DBH
Tree	57	Black Olive	12" DBH
Tree	58	Shorea	12" DBH
Tree	59	California Redwood	12" DBH
Tree	60	Black Olive	12" DBH
Tree	61	Shorea	12" DBH
Tree	62	California Redwood	12" DBH
Tree	63	Black Olive	12" DBH
Tree	64	Shorea	12" DBH
Tree	65	California Redwood	12" DBH
Tree	66	Black Olive	12" DBH
Tree	67	Shorea	12" DBH
Tree	68	California Redwood	12" DBH
Tree	69	Black Olive	12" DBH
Tree	70	Shorea	12" DBH
Tree	71	California Redwood	12" DBH
Tree	72	Black Olive	12" DBH
Tree	73	Shorea	12" DBH
Tree	74	California Redwood	12" DBH
Tree	75	Black Olive	12" DBH
Tree	76	Shorea	12" DBH
Tree	77	California Redwood	12" DBH
Tree	78	Black Olive	12" DBH
Tree	79	Shorea	12" DBH
Tree	80	California Redwood	12" DBH
Tree	81	Black Olive	12" DBH
Tree	82	Shorea	12" DBH
Tree	83	California Redwood	12" DBH
Tree	84	Black Olive	12" DBH
Tree	85	Shorea	12" DBH
Tree	86	California Redwood	12" DBH
Tree	87	Black Olive	12" DBH
Tree	88	Shorea	12" DBH
Tree	89	California Redwood	12" DBH
Tree	90	Black Olive	12" DBH
Tree	91	Shorea	12" DBH
Tree	92	California Redwood	12" DBH
Tree	93	Black Olive	12" DBH
Tree	94	Shorea	12" DBH
Tree	95	California Redwood	12" DBH
Tree	96	Black Olive	12" DBH
Tree	97	Shorea	12" DBH
Tree	98	California Redwood	12" DBH
Tree	99	Black Olive	12" DBH
Tree	100	Shorea	12" DBH

PLANTING NOTES:

Plant species shall be native California species and shall be selected to provide a variety of textures and colors. Plants shall be installed in a manner that provides for adequate spacing and growth. Plants shall be installed in a manner that provides for adequate spacing and growth.

The irrigation system shall be installed to provide adequate watering for all plants. The system shall be installed in a manner that provides for adequate watering for all plants.

No native grasses shall be installed on the site. The total planted area shall be approximately 1000 square feet. The cost of the plants shall be approximately \$1000. The cost of the irrigation system shall be approximately \$500. The total cost of the landscaping shall be approximately \$1500.

ILLUSTRATIVE PRELIMINARY LANDSCAPE PLANNING PLAN

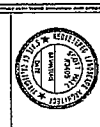
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L-3
SHEET 4 OF 8

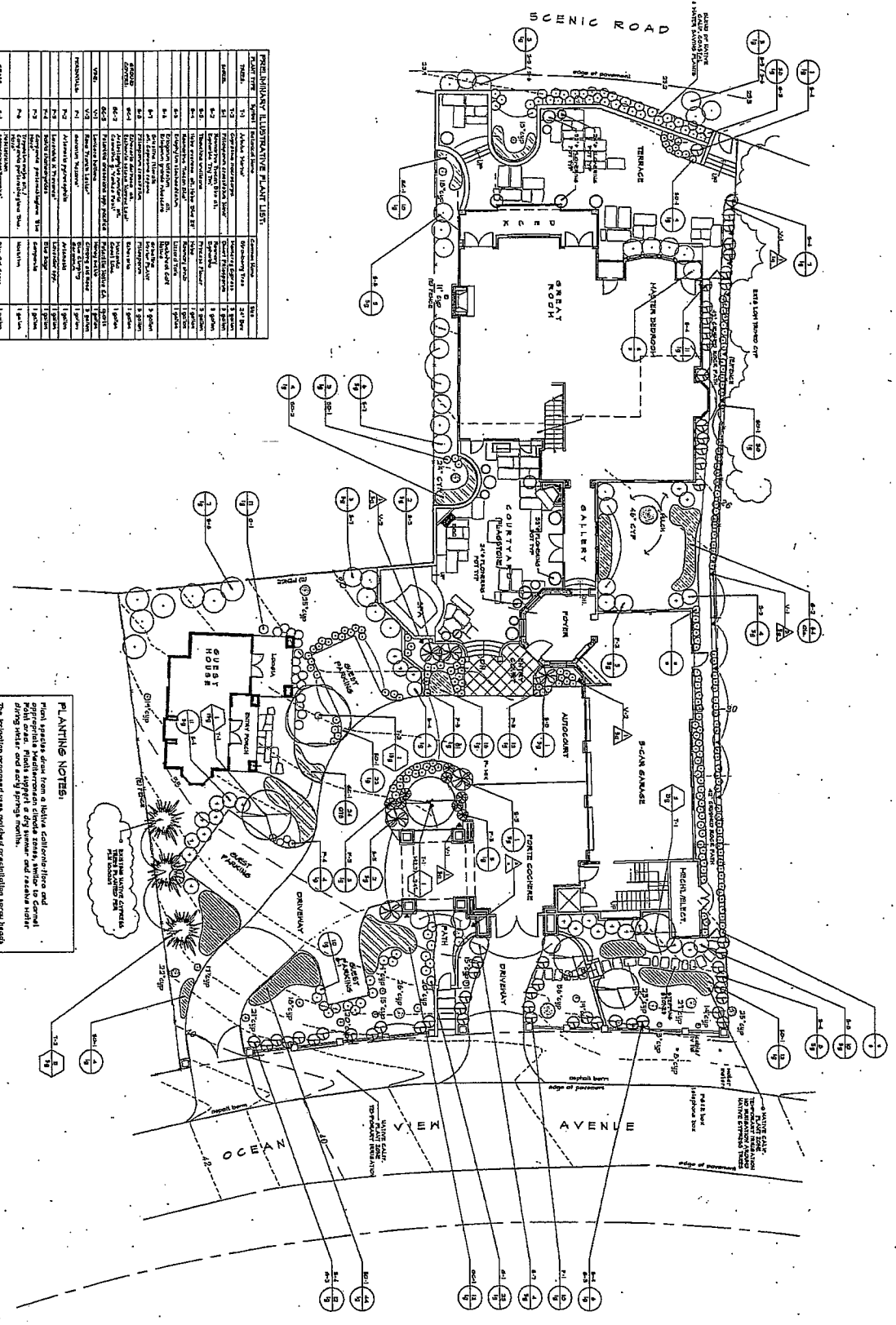
Page Title
Date 07/20/11
Revision 2/15/11
Drawn By: MASHI

Landscape Preliminary Study

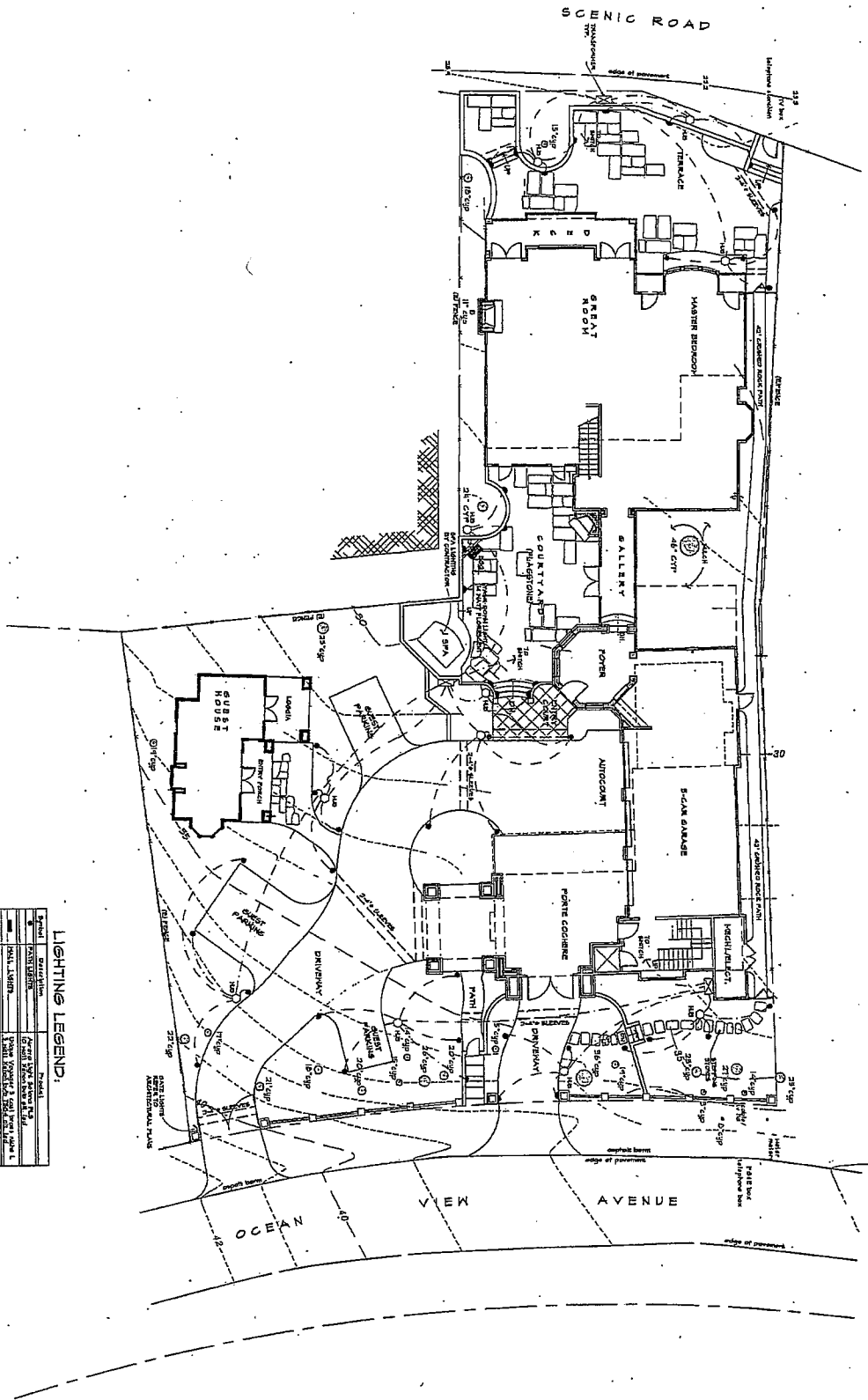
Max & Nahid Keech
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Carmel, California 93923



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SITE LIGHTING PLAN



LIGHTING LEGEND:

Symbol	Description	Symbol	Description
(Circle with '1')	15' SPOT	(Circle with '1')	15' SPOT
(Circle with '2')	24" SPOT	(Circle with '2')	24" SPOT
(Circle with '3')	36" SPOT	(Circle with '3')	36" SPOT
(Circle with '4')	48" SPOT	(Circle with '4')	48" SPOT
(Circle with '5')	60" SPOT	(Circle with '5')	60" SPOT
(Circle with '6')	72" SPOT	(Circle with '6')	72" SPOT
(Circle with '7')	84" SPOT	(Circle with '7')	84" SPOT
(Circle with '8')	96" SPOT	(Circle with '8')	96" SPOT
(Circle with '9')	108" SPOT	(Circle with '9')	108" SPOT
(Circle with '10')	120" SPOT	(Circle with '10')	120" SPOT
(Circle with '11')	132" SPOT	(Circle with '11')	132" SPOT
(Circle with '12')	144" SPOT	(Circle with '12')	144" SPOT
(Circle with '13')	156" SPOT	(Circle with '13')	156" SPOT
(Circle with '14')	168" SPOT	(Circle with '14')	168" SPOT
(Circle with '15')	180" SPOT	(Circle with '15')	180" SPOT
(Circle with '16')	192" SPOT	(Circle with '16')	192" SPOT
(Circle with '17')	204" SPOT	(Circle with '17')	204" SPOT
(Circle with '18')	216" SPOT	(Circle with '18')	216" SPOT
(Circle with '19')	228" SPOT	(Circle with '19')	228" SPOT
(Circle with '20')	240" SPOT	(Circle with '20')	240" SPOT
(Circle with '21')	252" SPOT	(Circle with '21')	252" SPOT
(Circle with '22')	264" SPOT	(Circle with '22')	264" SPOT
(Circle with '23')	276" SPOT	(Circle with '23')	276" SPOT
(Circle with '24')	288" SPOT	(Circle with '24')	288" SPOT
(Circle with '25')	300" SPOT	(Circle with '25')	300" SPOT
(Circle with '26')	312" SPOT	(Circle with '26')	312" SPOT
(Circle with '27')	324" SPOT	(Circle with '27')	324" SPOT
(Circle with '28')	336" SPOT	(Circle with '28')	336" SPOT
(Circle with '29')	348" SPOT	(Circle with '29')	348" SPOT
(Circle with '30')	360" SPOT	(Circle with '30')	360" SPOT
(Circle with '31')	372" SPOT	(Circle with '31')	372" SPOT
(Circle with '32')	384" SPOT	(Circle with '32')	384" SPOT
(Circle with '33')	396" SPOT	(Circle with '33')	396" SPOT
(Circle with '34')	408" SPOT	(Circle with '34')	408" SPOT
(Circle with '35')	420" SPOT	(Circle with '35')	420" SPOT
(Circle with '36')	432" SPOT	(Circle with '36')	432" SPOT
(Circle with '37')	444" SPOT	(Circle with '37')	444" SPOT
(Circle with '38')	456" SPOT	(Circle with '38')	456" SPOT
(Circle with '39')	468" SPOT	(Circle with '39')	468" SPOT
(Circle with '40')	480" SPOT	(Circle with '40')	480" SPOT
(Circle with '41')	492" SPOT	(Circle with '41')	492" SPOT
(Circle with '42')	504" SPOT	(Circle with '42')	504" SPOT
(Circle with '43')	516" SPOT	(Circle with '43')	516" SPOT
(Circle with '44')	528" SPOT	(Circle with '44')	528" SPOT
(Circle with '45')	540" SPOT	(Circle with '45')	540" SPOT
(Circle with '46')	552" SPOT	(Circle with '46')	552" SPOT
(Circle with '47')	564" SPOT	(Circle with '47')	564" SPOT
(Circle with '48')	576" SPOT	(Circle with '48')	576" SPOT
(Circle with '49')	588" SPOT	(Circle with '49')	588" SPOT
(Circle with '50')	600" SPOT	(Circle with '50')	600" SPOT
(Circle with '51')	612" SPOT	(Circle with '51')	612" SPOT
(Circle with '52')	624" SPOT	(Circle with '52')	624" SPOT
(Circle with '53')	636" SPOT	(Circle with '53')	636" SPOT
(Circle with '54')	648" SPOT	(Circle with '54')	648" SPOT
(Circle with '55')	660" SPOT	(Circle with '55')	660" SPOT
(Circle with '56')	672" SPOT	(Circle with '56')	672" SPOT
(Circle with '57')	684" SPOT	(Circle with '57')	684" SPOT
(Circle with '58')	696" SPOT	(Circle with '58')	696" SPOT
(Circle with '59')	708" SPOT	(Circle with '59')	708" SPOT
(Circle with '60')	720" SPOT	(Circle with '60')	720" SPOT
(Circle with '61')	732" SPOT	(Circle with '61')	732" SPOT
(Circle with '62')	744" SPOT	(Circle with '62')	744" SPOT
(Circle with '63')	756" SPOT	(Circle with '63')	756" SPOT
(Circle with '64')	768" SPOT	(Circle with '64')	768" SPOT
(Circle with '65')	780" SPOT	(Circle with '65')	780" SPOT
(Circle with '66')	792" SPOT	(Circle with '66')	792" SPOT
(Circle with '67')	804" SPOT	(Circle with '67')	804" SPOT
(Circle with '68')	816" SPOT	(Circle with '68')	816" SPOT
(Circle with '69')	828" SPOT	(Circle with '69')	828" SPOT
(Circle with '70')	840" SPOT	(Circle with '70')	840" SPOT
(Circle with '71')	852" SPOT	(Circle with '71')	852" SPOT
(Circle with '72')	864" SPOT	(Circle with '72')	864" SPOT
(Circle with '73')	876" SPOT	(Circle with '73')	876" SPOT
(Circle with '74')	888" SPOT	(Circle with '74')	888" SPOT
(Circle with '75')	900" SPOT	(Circle with '75')	900" SPOT
(Circle with '76')	912" SPOT	(Circle with '76')	912" SPOT
(Circle with '77')	924" SPOT	(Circle with '77')	924" SPOT
(Circle with '78')	936" SPOT	(Circle with '78')	936" SPOT
(Circle with '79')	948" SPOT	(Circle with '79')	948" SPOT
(Circle with '80')	960" SPOT	(Circle with '80')	960" SPOT
(Circle with '81')	972" SPOT	(Circle with '81')	972" SPOT
(Circle with '82')	984" SPOT	(Circle with '82')	984" SPOT
(Circle with '83')	996" SPOT	(Circle with '83')	996" SPOT
(Circle with '84')	1008" SPOT	(Circle with '84')	1008" SPOT
(Circle with '85')	1020" SPOT	(Circle with '85')	1020" SPOT
(Circle with '86')	1032" SPOT	(Circle with '86')	1032" SPOT
(Circle with '87')	1044" SPOT	(Circle with '87')	1044" SPOT
(Circle with '88')	1056" SPOT	(Circle with '88')	1056" SPOT
(Circle with '89')	1068" SPOT	(Circle with '89')	1068" SPOT
(Circle with '90')	1080" SPOT	(Circle with '90')	1080" SPOT
(Circle with '91')	1092" SPOT	(Circle with '91')	1092" SPOT
(Circle with '92')	1104" SPOT	(Circle with '92')	1104" SPOT
(Circle with '93')	1116" SPOT	(Circle with '93')	1116" SPOT
(Circle with '94')	1128" SPOT	(Circle with '94')	1128" SPOT
(Circle with '95')	1140" SPOT	(Circle with '95')	1140" SPOT
(Circle with '96')	1152" SPOT	(Circle with '96')	1152" SPOT
(Circle with '97')	1164" SPOT	(Circle with '97')	1164" SPOT
(Circle with '98')	1176" SPOT	(Circle with '98')	1176" SPOT
(Circle with '99')	1188" SPOT	(Circle with '99')	1188" SPOT
(Circle with '100')	1200" SPOT	(Circle with '100')	1200" SPOT



<p>L-4</p> <p>of 4 sheets</p>	<p>Site Lighting Plan</p>	<p>Max & Nahid Keech</p> <p>26283 Scenic Road & 26264 Ocean View Avenue</p> <p>Carmel, CA. 93923</p>		<p>Hall Landscape Design</p> <p>Landscape Architects 13105</p> <p>562 Lighthouse Avenue</p> <p>Pacific Grove, CA 93950</p> <p>(831) 625-3818 Fax: 625-3854</p> <p>e-mail: acollin@halllandscape.com</p>
	<p>Job #</p> <p>1116</p> <p>Date</p> <p>2.15.2011</p> <p>Revised</p> <p>2.15.2011</p> <p>Drawn By</p> <p>MASS</p> <p>Sheet</p> <p>1116</p>	<p>Page Title</p> <p>1116</p>	<p>Author</p> <p>MASS</p>	<p>Scale</p> <p>1/8" = 1'-0"</p>