

MONTEREY COUNTY PLANNING COMMISSION

Meeting: October 10, 2012 Time: 9:00 A.M.	Agenda Item No.: 1
Project Description: Amendment to a previously approved Combined Development Permit (PLN970480), which consisted of: 1) a Coastal Development Permit for coastal bluff restoration along the 15th and 16th greens of Cypress Point Golf Course; 2) a Coastal Development Permit for development on slopes in excess of 30 percent; and a Design Approval. This Amendment consists of: 1) a Coastal Development Permit and Design Approval for the construction of an approximately 70 linear foot seawall along the 15 th green; 2) a Coastal Development Permit to allow development on slope exceeding 30 percent; 3) a Coastal Development Permit to allow development within 100 feet of environmentally sensitive habitat; 4) a Coastal Development Permit to allow development within 50 feet of a coastal bluff; 5) a Coastal Development Permit to allow development with positive archaeological reports; and grading (approximately 50 cubic yards of cut).	
Project Location: 3150 17-Mile Drive, Pebble Beach	APN: 008-271-006-000
Planning File Number: PLN120163	Owner: Cypress Point Club Agent: Bud Carney
Planning Area: Del Monte Forest Land Use Plan	Flagged and staked: No
Zoning Designation: OR-D (CZ) [Open Space Recreation with Design Control Overlay (Coastal Zone)]	
CEQA Action: Addendum to a previously adopted Mitigated Negative Declaration, per CEQA Guidelines Section 15164.	
Department: RMA - Planning Department	

RECOMMENDATION:

Staff recommends that the Planning Commission:

- 1) Consider an Addendum (**Exhibit F**) to a previously prepared Mitigated Negative Declaration (**Exhibit G**) and Mitigation Monitoring and Reporting Plan adopted by the Planning Commission of the County of Monterey on March 25, 1998;
- 2) Approve the Amendment (PLN120163) to a previously-approved Combined Development Permit (PLN970480), based on the findings and evidence and subject to the conditions of approval (**Exhibit C**); and
- 3) Adopt a Mitigation Monitoring and Reporting Plan (**Exhibit C**).

PROJECT OVERVIEW:

The applicant requests to amend a previously approved Combined Development Permit (PLN970480) which consisted of coastal bluff restoration along the 15th and 16th greens of Cypress Point Golf Course. The proposed Amendment (PLN120163) would allow the construction of an approximately 70 linear foot seawall along the 15th green which would connect two existing seawalls constructed under the previous permit. All of the proposed entitlements listed under the current project (PLN120163) and the associated potential impacts were analyzed and mitigated, as required, in the original Combined Development Permit, but were not specifically called out in the project description for PLN970480. These entitlements are listed to ensure a complete and thorough project description, and do not constitute the granting of entitlements not previously granted. See the attached project discussion for a detailed overview of issues (**Exhibit B**).

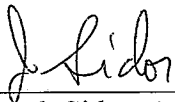
OTHER AGENCY INVOLVEMENT: The following agencies and departments reviewed this project:

RMA - Public Works Department
Environmental Health Bureau
Water Resources Agency
Pebble Beach Community Services District (PBCSD)
[Fire Protection District]
California Coastal Commission

Agencies that submitted comments are noted with a check mark ("✓"). Conditions recommended by the RMA – Planning Department have been incorporated into the Condition Compliance/Mitigation Monitoring and Reporting Plan attached to the draft resolution (**Exhibit C**).

The Del Monte Forest Land Use Advisory Committee (LUAC) unanimously recommended approval, at a public meeting held on August 2, 2012 (**Exhibit E**).

Note: The decision on this project is appealable to the Board of Supervisors and the California Coastal Commission.



Joseph Sidor, Associate Planner
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October 2, 2012

cc: Front Counter Copy; Planning Commission; Pebble Beach Community Services District (Fire Protection District); RMA - Public Works Department; Environmental Health Bureau; Water Resources Agency; California Coastal Commission; Laura Lawrence, Planning Services Manager; Joseph Sidor, Project Planner; Carol Allen, Senior Secretary; Cypress Point Club, Owner; Bud Carney, Agent; The Open Monterey Project; LandWatch; Planning File PLN120163

Attachments: Exhibit A Project Data Sheet
Exhibit B Project Discussion
Exhibit C Draft Resolution, including:
• Conditions of Approval and Mitigation Monitoring and Reporting Program
• Site Plan and Elevations
Exhibit D Vicinity Map
Exhibit E Advisory Committee Minutes (Del Monte Forest LUAC)
Exhibit F Addendum
Exhibit G Mitigated Negative Declaration
Exhibit H Planning Commission Resolution No. 98018 (March 25, 1998)
Exhibit I Biological Reports

This report was reviewed by Taven Kinison Brown, Senior Planner.



EXHIBIT A
PROJECT DATA SHEET

PLN120163 - Cypress Point Club

Planning Commission
October 10, 2012

EXHIBIT A

Project Information for PLN120163

Project Information:

Project Name: CYPRESS POINT CLUB	
Location: 3150 17-MILE DR PEBBLE BEACH	
Permit Type: Permit Amendment	
Environmental Status: Addendum	Final Action Deadline (884): 10/16/2012
Existing Structures (sf): 8331	Coverage Allowed: 10%
Proposed Structures (sf): 0	Coverage Proposed: .05%
Total Sq. Ft.: 8331	Height Allowed: 15
Tree Removal: 0	Height Proposed: 0
Water Source: PUBLIC	FAR Allowed: N/A
Water Purveyor: CAL AM	FAR Proposed: N/A
Sewage Disposal (method): SEWER	Lot Size: 35.3
Sewer District: PBCSD	Grading (cubic yds.): 50

Parcel Information:

Primary APN: 008-271-006-000	Seismic Hazard Zone: Low
Applicable Plan: Del Monte Forest LUP	Erosion Hazard Zone: Moderate
Advisory Committee: DMF	Fire Hazard Zone: Moderate
Zoning: OR-D (CZ)	Flood Hazard Zone: V
Land Use Designation: Open Space Recreational	Archaeological Sensitivity: High
Coastal Zone: Y	Viewshed: N
Fire District: PBCSD	Special Setbacks on Parcel: N

Reports on Project Parcel:

Soils Report #: LIB120244; LIB120330
Biological Report #: LIB120242; LIB120241
Geologic Report #: LIB120244; LIB120330
Forest Management Rpt. #: N/A
Archaeological Report #: LIB120240; LIB04-05-186
Traffic Report #: N/A

EXHIBIT B
PROJECT DISCUSSION

PLN120163 - Cypress Point Club

Planning Commission
October 10, 2012

EXHIBIT B DISCUSSION

Project Description

Cypress Point Club ("Applicant") proposes to amend a previously approved Combined Development Permit (PLN970480) to allow the incorporation of an approximately 70 linear foot seawall along the 15th green to connect two existing seawalls constructed under the original permit. The two existing seawalls were completed, and all conditions and mitigation measures were cleared, under PLN970480. The proposed Amendment also includes coastal development permits to allow development on slope exceeding 30 percent, development within 100 feet of environmentally sensitive habitat, development within 50 feet of a coastal bluff, development with positive archaeological reports, and grading (approximately 50 cubic yards of cut). All of the proposed entitlements listed under the current project (PLN120163) and the associated potential impacts were analyzed and mitigated, as required, in the original Combined Development Permit, but were not specifically called out in the project description for PLN970480. These entitlements are listed to ensure a complete and thorough project description, and do not constitute the granting of new entitlements not previously granted.

Project Issues

This proposed coastal bluff project will ensure preservation of the eroding bluff face and allow restoration of environmentally sensitive habitat in the immediate vicinity of the project. Ongoing coastal erosion is undermining the edge of a bluff top sand bunker at the 15th green of the Cypress Point Golf Course. The proposed seawall will stabilize the eroding bluff face below the sand bunker located at the top of the bluff between two existing seawalls constructed in 1998, and will protect the upper half of the coastal bluff from continued erosion. The proposed seawall is designed to simulate the natural coastal bluff, and will not extend down to the beach level. Project issues are addressed below:

Coastal Bluff

Monterey County Zoning Ordinance Section 20.70.120.B.1 requires a Coastal Development Permit for improvements to any structure ... within 50 feet of a coastal bluff edge because they involve risk of environmental impact. In addition, the Del Monte Forest Land Use Plan (LUP) Policy 44 directs that seawalls and other such construction that may alter natural shoreline processes be permitted when required to serve coastal-dependent uses or to protect existing structures or public beaches in danger from erosion, and when designed to eliminate or mitigate adverse impacts on local shoreline sand supply. Ongoing coastal erosion is undermining the edge of a bluff top sand bunker at the 15th green of the Cypress Point Golf Course, an existing structure/use specifically identified in LUP Policy 27. The proposed seawall will stabilize the eroding bluff face below the sand bunker located at the top of the bluff between two existing seawalls constructed in 1998, and will protect the upper half of the coastal bluff from continued erosion. The proposed seawall is designed to simulate the natural coastal bluff, and will not extend down to the beach level. As proposed, no construction work will occur below the mean high tide line. Less environmentally damaging alternatives are not feasible, and the seawall has been designed to minimize impacts to coastal resources.

Development on Slope Exceeding 30 Percent

The project application includes development on slopes exceeding 30%. LUP Policy 78 directs that development on slopes that exceed 30 percent is prohibited unless there is no feasible alternative that would allow development to occur on slopes of less than 30

percent, or the proposed development better addresses the objectives of the LUP than other development alternatives. The County has reviewed the project plans and visited the site to analyze possible development alternatives. Based on the site limitations and plans provided, there is no feasible alternative which would allow development to occur on slopes of less than 30 percent because the seawall is proposed to retain the eroding bluff top face and work will necessarily take place on slope exceeding 30 percent. There is no other alternative location to position a coastal protection structure necessary to protect eroding coastal bluffs that are threatening golf course improvements. Relocating the golf course improvements would result in potentially significant impacts to Monterey cypress habitat. Furthermore, the proposed project minimizes development on slopes exceeding 30 percent in accordance with the applicable goals and policies. The bluff top seawall does not extend down to the beach, and is designed to only protect the upper half of the coastal bluff from continued erosion. The upper half of the bluff consists of terraced deposits over natural bedrock. Staff has recommended conditions of approval (Condition Nos. 4 and 5) to ensure compliance with Monterey County Code regarding hazards.

Development within 100 feet of Environmentally Sensitive Habitat Area (ESHA)

The project includes application for development within 100 feet of environmentally sensitive habitat areas (ESHA). Although the project site itself does not contain any sensitive species or ESHA, the site is within 100 feet of ESHA. The project site is located adjacent to the waters of the Monterey Bay National Marine Sanctuary (MBNMS) and the Carmel Bay Area of Special Biological Significance (ASBS). The project site is also located within the mapped area of the Monterey cypress indigenous habitat (as delineated in LUP Figure 2a). Development within 100 feet of ESHA must minimize impacts in accordance with the applicable goals and policies of the LUP.

The project planner conducted site inspections on March 22 and September 11, 2012, to verify ESHA locations and potential project impacts to ESHA. LUP Policies 20 and 72 require the protection of Monterey cypress trees within their indigenous range, and siting and design of projects to avoid potential damage or degradation of Monterey cypress habitat. Although project work will occur within the mapped area of the Monterey cypress indigenous habitat, the project as designed avoids adverse impacts to individual cypress trees and cypress habitat, and will result in no impacts to Monterey cypress habitat. The project site is approximately 120 feet away from the nearest Monterey cypress, and there are existing maintenance roads to the site. In addition, the County will apply Condition No. 6 to ensure protection of trees adjacent to the construction area.

LUP Policy 28 requires the management of shoreline areas used by harbor seals to protect seals during the pupping period from April 1 to June 1, including limitations on public access to such areas. The biological reports prepared for the original permit and for this amendment identified the potential for the intertidal areas located in the general area of the project site to provide habitat for marine vertebrates (i.e., harbor seals). The reports included mitigation measure 9.1 to reduce potential impacts to less than significant. This measure was incorporated in the Initial Study prepared for PLN979480 and applied as a condition of approval for the original project. This mitigation measure shall be carried forward as a condition of approval for this amendment (Condition No. 11).

LUP Policy 9 directs that improvements to facilitate public recreational and/or visitor uses (including vegetation removal, excavation, grading, or filling) in environmentally sensitive habitat areas shall be sited, designed and managed to avoid any significant

disruption of the protected resources. In addition, LUP Policy 25 directs a setback/buffer of at least 100 feet as measured from the edge of the mean high water line of the ocean be provided. No landscape alterations will be allowed in this setback/buffer area unless accomplished in conjunction with restoration and enhancement, and unless it is demonstrated that no significant disruption of environmentally sensitive habitat areas will result. Likewise, LUP Policy 15 encourages the removal of non-native and/or invasive plant species, LUP Policy 14 requires siting and design to ensure continuance of habitat areas, and LUP Policy 40 directs that all areas disturbed by grading shall be revegetated with non-invasive native plant species appropriate to the site in order to recreate as much as possible native plant and animal habitat.

Consistent with the policies above, the biological report prepared for the project concluded the proposed seawall, as designed and sited, will not result in disruption of protected resources. Due to golf course and landscaping improvements, very little native vegetation remains in the project area. Although the biologist observed no seacliff buckwheat within the project site, 15 seacliff buckwheat plants were identified in an adjacent area located at the top of the bluff. The report recommended the removal of invasive ice plant surrounding the buckwheat to enhance the habitat and encourage buckwheat propagation (Condition No. 9). The biological report also recommends drift and silt fencing to ensure protection of the surrounding plant and marine habitats (Condition No. 10).

Per LUP Policy 26, alteration of the shoreline shall be prohibited except when required to serve coastal-dependent uses, to protect existing structures and public beaches in danger from erosion, and/or to restore and enhance shoreline habitat. The proposed project will protect an existing structure from continued erosion, and LUP Policy 27 identifies the Cypress Point golf course as an existing use. In addition, as designed, the proposed seawall will be anchored into the bedrock at the bluff top and will not result in loss of sand/sediment supply or degradation of the shoreline habitat.

County staff have reviewed the plans for the construction of the seawall improvements, and concur it is the minimum amount of work required and will minimize the potential impacts to natural resources. The proposed project, as sited and designed, is consistent with applicable LUP ESHA policies. Per the biological assessment prepared and submitted for the project, the near-shore waters and sensitive species should not be impacted by project implementation. In addition, the biological assessment recommended actions to minimize and prevent potential impacts. The proposed development shall be completed in accordance with these recommendations (see conditions of approval identified above).

Development with Positive Archaeological Reports

Development with positive archaeological reports requires discretionary review. County records identify the project site is within an area of high sensitivity for prehistoric cultural resources; therefore, an archaeological report (LIB04-05-186) was prepared for the original project (PLN970480). This report concluded that project impacts would be minor due to previous impacts caused by natural erosion, yet recommended that a monitor be present at the 15th green site during ground disturbance activities. The County included this recommendation as a mitigation measure (MM 21.1.a) in the Initial Study prepared for PLN970480. An archaeological report prepared by the same consultant for the Amendment (PLN120163) identified evidence for potential, but limited, impacts to prehistoric cultural resources during project activities, and recommended that a qualified

monitor make a site examination at the commencement of excavation or ground disturbance activities. Therefore, the potential for inadvertent impacts to cultural resources is limited and will be controlled by the use of a County non-standard project condition (Condition No. 3) that will require the presence of a qualified monitor on-site at the commencement of ground disturbance activities.

Environmental Review

The County prepared, circulated, considered, and adopted a Mitigated Negative Declaration (MND) (**Exhibit G**) for the original Combined Development Permit (PLN970480). The MND concluded that the project as designed and mitigated had reduced potential impacts to a less than significant level. The current proposal does not alter the analysis or conclusions reached by this MND. The proposed 70 linear foot seawall extension does not raise any new potential significant impacts that were not previously analyzed and/or mitigated under the original permit and MND. The approximately 50 cubic yards of excavation and the approximate amount of truck traffic required for a proposal of this scope would not exceed air quality thresholds. Best management practices and technical recommendations (Condition Nos. 3, 4, 5, 6, 9, 10, and 11) will be applied to ensure protection of natural resources. An Addendum (**Exhibit F**) has been prepared for PLN120163 which states that none of the conditions described in Section 15162 of the CEQA Guidelines calling for preparation of a subsequent Initial Study or EIR have occurred, there are no new significant environmental effects or increase in the severity of previously identified significant effects, and there is no new information of substantial importance that was not known at the time the previous MND was adopted. No unresolved issues remain and the project, as proposed, is consistent with applicable policies regarding hazards and protection of environmental resources.

Recommendation

Staff recommends that the Planning Commission consider the Addendum (**Exhibit F**) to a previously prepared Mitigated Negative Declaration (**Exhibit G**) and Mitigation Monitoring and Reporting Program adopted by the Monterey County Planning Commission on March 25, 1998, and approve the Amendment (PLN120163) to a previously-approved Combined Development Permit (PLN970480), based on the findings and evidence and subject to the conditions of approval (**Exhibit C**).

EXHIBIT C
DRAFT RESOLUTION
w/attached Conditions of Approval and Plans

PLN120163 - Cypress Point Club

Planning Commission
October 10, 2012

**EXHIBIT C
DRAFT RESOLUTION**

**Before the Planning Commission in and for the
County of Monterey, State of California**

In the matter of the application of:

CYPRESS POINT CLUB (PLN120163)

RESOLUTION NO. 12 -

Resolution by the Monterey County Planning
Commission:

- 1) Considering an Addendum to a previously prepared Mitigated Negative Declaration and Mitigation Monitoring and Reporting Plan adopted by the Planning Commission of the County of Monterey on March 25, 1998; and
- 2) Approving an Amendment (PLN120163) to a previously-approved Combined Development Permit (PLN970480), based on the findings and evidence and subject to the conditions of approval; and
- 3) Adopting a Mitigation Monitoring and Reporting Plan.

[PLN120163, Cypress Point Club, 3150 17-Mile Drive, Pebble Beach, Del Monte Forest Land Use Plan (APN: 008-271-006-000)]

The Cypress Point Club application (PLN120163) came on for public hearing before the Monterey County Planning Commission on October 10, 2012. Having considered all the written and documentary evidence, the administrative record, the staff report, oral testimony, and other evidence presented, the Planning Commission finds and decides as follows:

FINDINGS

1. **FINDING:** **CONSISTENCY** – The Project, as conditioned, is consistent with the applicable plans and policies which designate this area as appropriate for development.
EVIDENCE: a) During the course of review of this application, the project has been reviewed for consistency with the text, policies, and regulations in:
 - the 1982 Monterey County General Plan;
 - Del Monte Forest Land Use Plan;
 - Monterey County Coastal Implementation Plan, Part 5; and
 - Monterey County Zoning Ordinance (Title 20).No conflicts were found to exist. No communications were received during the course of review of the project indicating any inconsistencies with the text, policies, and regulations in these documents.
b) The property is located at 3150 17-Mile Drive, Pebble Beach (Assessor's Parcel Number 008-271-006-000), Del Monte Forest Land Use Plan (LUP). The parcel is zoned Open Space Recreation, with a

Design Control Overlay (Coastal Zone) [OR-D (CZ)], which allows golf courses and accessory facilities as a conditional use with the granting of a coastal development permit. Furthermore, the golf course has been an existing, recognized use for over 80 years. The proposed amendment would increase the area of seawall (i.e., an accessory structure) supporting an existing area (the 15th green and associated bunker) of the Cypress Point Club golf course (i.e., an allowed use). The Monterey County Zoning Ordinance (Title 20) and the Del Monte Forest LUP also allow development within 50 feet of a coastal bluff, within 100 feet of ESHA, and on slope greater than 30 percent provided the applicable findings can be made and the required Coastal Development Permits are first granted. Therefore, the project is an allowed land use for this site.

- c) The project planner conducted site inspections on March 22 and September 11, 2012, to verify that the project on the subject parcel conforms to the plans listed above.
- d) Public Access: See Finding No. 6.
- e) Slope Exceeding 30 Percent: Development on slopes that exceed 30 percent is prohibited unless there is no feasible alternative that would allow development to occur on slopes of less than 30 percent, or the proposed development better achieves the goals, policies and objectives of the Monterey County General Plan and the Del Monte Forest Land Use Plan than other development alternatives. See Finding No. 7.
- f) Development within 50 feet of a coastal bluff: The Monterey County Zoning Ordinance, Section 20.70.120.B.1, requires a Coastal Development Permit for improvements to any structure within 50 feet of a coastal bluff edge because they involve risk of environmental impact. The project, as proposed and conditioned, is consistent with applicable policies of the Del Monte Forest Land Use Plan regarding hazards and protection of resources. See Finding Nos. 7 and 8.
- g) Environmentally Sensitive Habitat Areas (ESHA): Development within 100 feet of ESHA must minimize impacts in accordance with the applicable goals and policies of the Del Monte Forest Land Use Plan. See Finding No. 8.
- h) Archaeological Resources: The project includes a Coastal Development Permit to allow development on parcels with positive archaeological reports. County records identify the project site is within an area of high sensitivity for prehistoric cultural resources; therefore, an archaeological report (LIB04-05-186) was prepared for the original project (PLN970480). This report concluded that project impacts would be minor due to previous impacts caused by natural erosion, yet recommended that a monitor be present at the 15th green site during ground disturbance activities. The County included this recommendation as a mitigation measure (MM 21.1.a) in the Initial Study prepared for PLN970480. An archaeological report prepared by the same consultant for the Amendment (PLN120163) also identified evidence for potential, but limited, impacts to prehistoric cultural resources during project activities, and recommended that a qualified monitor make a site examination at the commencement of excavation or ground disturbance activities. Therefore, the potential for inadvertent impacts to cultural resources is limited and will be controlled by the use

of a County non-standard project condition (Condition No. 3) that will require the presence of a qualified monitor on-site at the commencement of ground disturbance activities.

- i) Viewshed: The project, as proposed, is consistent with the policies of the Del Monte Forest Land Use Plan dealing with visual resources and will have no impact on the public viewshed. The project site is not visible from 17-Mile Drive or any vista point identified on Figure 3, Visual Resources, in the Del Monte Forest Land Use Plan.
- j) The project was referred to the Del Monte Forest Land Use Advisory Committee (LUAC) for review. Based on the LUAC Procedure guidelines adopted by the Monterey County Board of Supervisors per Resolution No. 08-338, this application did warrant referral to the LUAC because it involved development requiring a Design Approval subject to review by the Planning Commission. The Del Monte Forest Land Use Advisory Committee (LUAC) unanimously recommended approval at a public meeting held on August 2, 2012.
- k) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project Files PLN120163 and PLN970480.

2. **FINDING:** **SITE SUITABILITY** – The site is physically suitable for the use proposed.

- EVIDENCE:**
- a) The project has been reviewed for site suitability by the following departments and agencies: RMA – Planning Department, RMA – Public Works Department, PBCSD, Environmental Health Bureau, and Water Resources Agency. There has been no indication from these departments/agencies that the site is not suitable for the proposed development. Conditions recommended have been incorporated.
 - b) Staff identified potential impacts to Biological Resources, Archaeological Resources, and Slope Stability. The project is consistent with applicable policies and regulations for development within the Del Monte Forest Coastal Zone area. Technical reports by outside consultants indicated that there are no physical or environmental constraints that would indicate that the site is not suitable for the use proposed. County staff independently reviewed these reports and concurs with their conclusions. The following reports have been prepared:
 - Archaeological Report – Cypress Point 15th Green Seawall (LIB120240) prepared by Archaeological Consulting, Salinas, California, June 12, 2012.
 - Archaeological Report (LIB04-05-186) prepared by Archaeological Consulting, Salinas, California, October 28, 1997.
 - Biological Report – Proposed Seawall Repair (LIB120242) prepared by Nicole Nedeff, Consulting Ecologist, Carmel Valley, California, June 19, 2012.
 - Landscape Plan and Biological Report (LIB120241) prepared by Jud Vandevere and Associates, Biological Consultants, Monterey, California, May 18, 1998.
 - Geologic/Geotechnical Report (LIB120244) prepared by Haro,

Kasunich, and Associates, Inc., Watsonville, California, June 20, 2012.

- Geologic/Geotechnical Report – Shoreline Protection Project (LIB120330), prepared by Haro, Kasunich, and Associates, Inc., Watsonville, California, November 21, 1997.

- c) Staff conducted site inspections on March 22 and September 11, 2012, to verify that the site is suitable for this use.
- d) The application, project plans, and related support materials submitted by the project applicant to the Monterey County RMA - Planning Department for the proposed development found in Project Files PLN120163 and PLN970480.

3. **FINDING:** **HEALTH AND SAFETY** - The establishment, maintenance, or operation of the project applied for will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use, or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.

EVIDENCE:

- a) The project was reviewed by the RMA – Planning Department, RMA – Public Works Department, PBCSD, Environmental Health Bureau, and Water Resources Agency. The respective departments/agencies have recommended conditions, where appropriate, to ensure that the project will not have an adverse effect on the health, safety, and welfare of persons either residing or working in the neighborhood.
- b) See Finding Nos. 1, 2, 4, and 5, and supporting evidence.

4. **FINDING:** **NO VIOLATIONS** - The subject property is in compliance with all rules and regulations pertaining to zoning uses, subdivision, and any other applicable provisions of the County’s zoning ordinance. No violations exist on the property.

EVIDENCE:

- a) Staff reviewed Monterey County RMA - Planning Department and Building Services Department records and is not aware of any violations existing on the subject property.
- b) Staff conducted site inspections on March 22 and September 11, 2012, and researched County records to assess if any violation exists on the subject property.
- c) There are no known violations on the subject parcel.
- d) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN120163.

5. **FINDING:** **CEQA (Addendum)** - An Addendum to a previously adopted Mitigated Negative Declaration (MND) was prepared pursuant to Code of Regulations, Title 14, Section 15164, to reflect changes or additions in the project that do not cause substantial changes or new information that would require major revisions to the adopted MND.

EVIDENCE:

- a) A MND for Cypress Point Club was prepared and adopted by the Planning Commission on March 25, 1998 (Resolution No. 98018).
- b) An Addendum to the Cypress Point Club project MND was prepared pursuant to Code of Regulations, Title 14, Section 15164 (CEQA

- Guidelines).
- c) The Addendum attached as **Exhibit F** to the October 10, 2012, Staff Report to the Planning Commission reflects the County's independent judgment and analysis.
 - d) Pursuant to Section 15162 of the CEQA Guidelines, there are no substantial changes proposed in the project that would require major revisions to the prior MND. The MND included mitigation measures that addressed potential impacts to Cultural (Archaeological) Resources, Biological Resources, Soils, and Noise. The County has considered the proposed project and determined its scope does not alter the conclusions in the Initial Study prepared for PLN970480. Based on review of the current application, plans, and site visits on March 22 and September 11, 2012, no other potentially significant issues were identified for the proposed project. The current proposal does not alter the analysis or conclusions reached by the previous study. The proposed 70 linear foot seawall extension does not raise any new potential significant impacts that were not previously analyzed and/or mitigated under the original permit and MND. The approximately 50 cubic yards of excavation and the approximate amount of truck traffic required for a proposal of this scope would not exceed air quality thresholds. Best management practices and technical recommendations (Condition Nos. 3, 4, 5, 6, 9, 10, and 11) will be applied to ensure protection of natural resources.
 - e) Potential impacts to Cultural (Archaeological) Resources are addressed by application of a non-standard County condition of approval (Condition No. 3), and mitigation measure 21.1.a is not required. Mitigation measure 21.1.b was cleared under PLN970480 and is no longer required.
 - f) Potential impacts to Biological Resources are addressed by the application of the mitigation measure required for PLN970480 (Condition No. 9/mitigation measure 9.1) as well as County standard conditions of approval (Condition Nos. 6 and 10). Mitigation measures 8.2.a and 8.2.b were cleared under PLN970480 and are no longer required.
 - g) Potential impacts to Soils are addressed by application of County standard conditions of approval (Condition Nos. 4 and 5), and no further mitigations are required. Mitigation measures 5.3.a/5.6.a and 5.3.b were cleared under PLN970480 and are no longer required.
 - h) Potential impacts related to Noise are addressed by the application of Del Monte Forest Architectural Review Board standards. Mitigation measures 18.2.1 and 18.2.b applied under the original permit (PLN970480) are no longer required.
 - i) Pursuant to Section 15162 of the CEQA Guidelines, there is no new information of substantial importance that was not known at the time the MND was adopted. The entitlements were analyzed and mitigated, as required, in the original Combined Development Permit. There are no substantial changes proposed that require major revisions of the previous MND, no substantial changes occur with respect to the circumstances under which the project is undertaken which will require major revisions of the previous MND, there are no new significant environmental effects or increase in the severity of previously identified

significant effects, and there is no new information of substantial importance that was not known at the time the previous MND was adopted.

- j) Staff conducted site inspections on March 22 and September 11, 2012, to verify that the project will not result in conditions requiring the preparation of a subsequent MND.

6. **FINDING:** **PUBLIC ACCESS** – The project is in conformance with the public access and recreation policies of the Coastal Act (specifically Chapter 3 of the Coastal Act of 1976, commencing with Section 30200 of the Public Resources Code) and Local Coastal Program, and does not interfere with any form of historic public use or trust rights.

- EVIDENCE:**
- a) No access is required as part of the project as no substantial adverse impact on access, either individually or cumulatively, as described in Section 20.147.130 of the Monterey County Coastal Implementation Plan can be demonstrated.
 - b) The subject project site is not described as an area where the Local Coastal Program requires public access (Figure 8, Major Public Access and Recreational Facilities, in the Del Monte Forest Land Use Plan).
 - c) No evidence or documentation has been submitted or found showing the existence of historic public use or trust rights over the project site.
 - d) Based on the location of the proposed project site, and its relationship to existing public access areas on the subject property (i.e., Cypress Point Lookout and Fanshell Overlook), the development proposal will not interfere with any form of historic public use or trust rights. These public access areas identified on Figure 8 (Major Public Access and Recreational Facilities of the Del Monte Forest Land Use Plan) will not be limited by the proposed development.
 - e) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN120163.
 - f) The project planner conducted site inspections on March 22 and September 11, 2012.

7. **FINDING:** **DEVELOPMENT ON SLOPE** – There is no feasible alternative which would allow development to occur on slopes of less than 30 percent.

- EVIDENCE:**
- a) In accordance with the applicable policies of the Del Monte Forest Land Use Plan (LUP) and the Monterey County Zoning Ordinance (Title 20), a Coastal Development Permit is required and the authority/finding to grant said permit has been met.
 - b) The project includes application for development on slopes exceeding 30 percent. Ongoing coastal erosion is undermining the edge of a bluff top sand bunker at the 15th green of the Cypress Point Golf Course, an existing structure. The proposed seawall will stabilize the eroding bluff face below the sand bunker located at the top of the bluff between two existing seawalls constructed in 1998, and will protect the upper half of the coastal bluff from continued erosion. The proposed seawall is designed to simulate the natural coastal bluff, and will not extend down to the beach level. Less environmentally damaging alternatives are not feasible, and the seawall has been designed to minimize impacts to coastal resources (LUP Policy 44).

- c) There is no feasible alternative which would allow development to occur on slopes of less than 30 percent. The work will necessarily take place on slope exceeding 30 percent because the seawall is proposed to retain the unstable bluff top face. There is no other alternative location to position a coastal protection structure necessary to protect eroding coastal bluffs that are threatening golf course improvements.
- d) The subject project minimizes development on slopes exceeding 30 percent in accordance with the applicable goals and policies of the applicable area plan and zoning codes. The bluff top seawall does not extend down to the beach, and is designed to only protect the upper half of the coastal bluff from continued erosion. The upper half of the bluff consists of terraced deposits over natural bedrock.
- e) The Planning Commission is requiring conditions of approval to assure compliance with MCC Section 20.64.230.E.2 (Condition Nos. 4 and 5).
- f) The project planner conducted site inspections on March 22 and September 11, 2012.
- g) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN120163.

8. **FINDING:**

ESHA – The subject project minimizes impact on environmentally sensitive habitat areas in accordance with the applicable goals and policies of the applicable area plan and zoning codes.

EVIDENCE:

- a) The project includes application for development within 100 feet of environmentally sensitive habitat areas (ESHA). In accordance with the applicable policies of the Del Monte Forest Land Use Plan (LUP) and the Monterey County Zoning Ordinance (Title 20), a Coastal Development Permit is required and the authority to grant said permit has been met.
- b) Del Monte Forest LUP Policies 20 and 72 require the protection of Monterey cypress trees within their indigenous range (as delineated in LUP Figure 2a), and siting and design of projects to avoid potential damage or degradation of Monterey cypress habitat. Project work will occur within the mapped area of the Monterey cypress indigenous habitat; however, the proposed project development has been sited and designed to avoid adverse impacts to individual cypress trees and cypress habitat, and will result in no impacts to Monterey cypress habitat. In addition, the County will apply Condition No. 6 to ensure protection of trees adjacent to the construction area.
- c) LUP Policy 28 requires the management of shoreline areas used by harbor seals to protect seals during the pupping period from April 1 to June 1, including through limitations on public access to such areas. The biological reports prepared for the original permit and for this amendment identified the potential for the intertidal areas located in the general area of the project site to provide habitat for marine vertebrates (i.e., harbor seals). The reports included mitigation measure 9.1 to reduce potential impacts to less than significant. This measure was incorporated in the Initial Study prepared for PLN979480 and applied as a condition of approval for the original project. This mitigation measure shall be carried forward as part of this amendment (Condition No. 11).

- d) LUP Policy 9 directs that improvements to facilitate public recreational and/or visitor uses (including vegetation removal, excavation, grading, or filling) in environmentally sensitive habitat areas shall be sited, designed and managed to avoid any significant disruption of the protected resources. In addition, LUP Policy 25 directs a setback/buffer of at least 100 feet as measured from the edge of the mean high water line of the ocean be provided. No landscape alterations will be allowed in this setback/buffer area unless accomplished in conjunction with restoration and enhancement, and unless it is demonstrated that no significant disruption of environmentally sensitive habitat areas will result. Likewise, LUP Policy 15 encourages the removal of non-native and/or invasive plant species, LUP Policy 14 requires siting and design to ensure continuance of habitat areas, and LUP Policy 40 directs that all areas disturbed by grading shall be revegetated with non-invasive native plant species appropriate to the site in order to recreate as much as possible native plant and animal habitat. Consistent with the policies above, the biological report prepared for the project concluded the proposed seawall, as designed and sited, will not result in disruption of protected resources. Due to golf course and landscaping improvements, very little native vegetation remains in the project area. Although the biologist observed no seacliff buckwheat within the project site, 15 seacliff buckwheat plants were identified in an adjacent area located at the top of the bluff. The report recommended the removal of invasive ice plant surrounding the buckwheat to enhance the habitat and encourage buckwheat propagation (Condition No. 9). The biological report also recommends drift and silt fencing to ensure protection of the surrounding plant and marine habitats (Condition No. 10).
- e) Per LUP Policy 26, alteration of the shoreline shall be prohibited except when required to serve coastal-dependent uses, to protect existing structures and public beaches in danger from erosion, and/or to restore and enhance shoreline habitat. The proposed project will protect an existing structure from continued erosion, and LUP Policy 27 identifies the Cypress Point golf course as an existing use. In addition, as designed, the proposed seawall will be anchored into the bedrock at the bluff top and will not result in loss of sand/sediment supply or degradation of the shoreline habitat.
- f) The project planner conducted a site inspection on March 22 and September 11, 2012, to verify ESHA locations and potential project impacts to ESHA.
- g) The application, plans and supporting materials submitted by the project applicant to the Monterey County Planning Department for the proposed development are found in Project File PLN120163.

9. **FINDING:** **APPEALABILITY** - The decision on this project may be appealed to the Board of Supervisors and the California Coastal Commission.

EVIDENCE: a) Board of Supervisors: Section 20.86.030 of the Monterey County Zoning County Zoning Ordinance (Title 20). An appeal may be made to the Board of Supervisors by any public agency or person aggrieved by a decision of an Appropriate Authority other than the Board of Supervisors.

- b) California Coastal Commission: Section 20.86.080.A.1, A.2, and A.3 of the Monterey County Zoning Ordinance (Title 20). The project is subject to appeal by/to the California Coastal Commission because it involves development between the sea and the first through public road paralleling the sea or within 300 feet of the inland extent of any beach, development within 300 feet of the top of the seaward face of a coastal bluff, and development that is permitted in the underlying zone as a conditional use (i.e.; development of a seawall, development within 100 feet of environmentally sensitive habitat, development on slope exceeding 30 percent, and development with positive archaeological reports).

DECISION

NOW, THEREFORE, based on the above findings and evidence, the Planning Commission does hereby:

1. Consider an Addendum to a previously prepared Mitigated Negative Declaration and Mitigation and Monitoring Program adopted by the Planning Commission on March 25, 1998; and
2. Approve an Amendment to a previously approved Combined Development Permit (PLN970480) consisting of a Coastal Development Permit and Design Approval for the construction of an approximately 70 linear foot seawall along the 15th green, a Coastal Development Permit to allow development on slope exceeding 30 percent, a Coastal Development Permit to allow development within 100 feet of environmentally sensitive habitat, a Coastal Development Permit to allow development within 50 feet of a coastal bluff, a Coastal Development Permit to allow development with positive archaeological reports, and grading (approximately 50 cubic yards of cut), in general conformance with the attached sketch and subject to the attached conditions, all being attached hereto and incorporated herein by reference; and
3. Adopt a Mitigation Monitoring and Reporting Plan.

PASSED AND ADOPTED this 10th day of October, 2012, upon motion of _____, seconded by _____, by the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

Mike Novo, Secretary, Planning Commission

COPY OF THIS DECISION MAILED TO APPLICANT ON _____.

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS.

IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK TO THE BOARD, ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE _____.

THIS PROJECT IS LOCATED IN THE COASTAL ZONE AND IS APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE FINAL LOCAL ACTION NOTICE (FLAN) STATING THE DECISION BY THE FINAL DECISION MAKING BODY, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION, CONTACT THE COASTAL COMMISSION AT (831) 427-4863 OR AT 725 FRONT STREET, SUITE 300, SANTA CRUZ, CA.

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90th day following the date on which this decision becomes final.

NOTES

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning Department and Building Services Department office in Salinas.

2. This permit expires 3 years after the above date of granting thereof unless construction or use is started within this period.

Monterey County Planning Department

DRAFT Conditions of Approval/Mitigation Monitoring Reporting Plan

PLN120163

1. PD001 - SPECIFIC USES ONLY

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: This Amendment (PLN120163) to a previously approved Combined Development Permit (PLN970480) allows the construction of an approximately 70 linear foot seawall along the 15th green of Cypress Point Golf Course, development on slope exceeding 30 percent, development within 100 feet of environmentally sensitive habitat, development within 50 feet of a coastal bluff, development with positive archaeological reports, and grading (approximately 50 cubic yards of cut). The property is located at 3150 17-Mile Drive, Pebble Beach (Assessor's Parcel Number 008-271-006-000), Del Monte Forest Land Use Plan, Coastal Zone. This permit was approved in accordance with County ordinances and land use regulations subject to the terms and conditions described in the project file. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of the RMA - Planning Department. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. To the extent that the County has delegated any condition compliance or mitigation monitoring to the Monterey County Water Resources Agency, the Water Resources Agency shall provide all information requested by the County and the County shall bear ultimate responsibility to ensure that conditions and mitigation measures are properly fulfilled. (RMA - Planning Department)

Compliance or Monitoring Action to be Performed: The Owner/Applicant shall adhere to conditions and uses specified in the permit on an ongoing basis unless otherwise stated.

2. PD002 - NOTICE PERMIT APPROVAL

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: The applicant shall record a Permit Approval Notice. This notice shall state:
"An Amendment (Resolution Number 12 -) was approved by the Planning Commission for Assessor's Parcel Number 008-271-006-000 on October 10, 2012. The permit was granted subject to eleven (11) conditions of approval which run with the land. A copy of the permit is on file with the Monterey County RMA - Planning Department."

Proof of recordation of this notice shall be furnished to the Director of the RMA - Planning Department prior to issuance of building permits or commencement of the use. (RMA - Planning Department)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits or commencement of use, the Owner/Applicant shall provide proof of recordation of this notice to the RMA - Planning Department.

3. PD003(A) - CULTURAL RESOURCES - HIGH ARCHAEOLOGICAL SENSITIVITY (NON-STANDARD)

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: A qualified archaeological monitor shall make a site examination at the commencement of excavation, and if necessary, periodically during the project. The monitor shall have the authority to temporarily halt work in order to examine any potentially significant cultural materials or features. If potentially significant cultural resources are discovered, work shall be halted in the area of the find until it can be evaluated and, if necessary, data recovery is conducted. Prior to issuance of a grading permit, the applicant shall provide to the RMA-Planning Department a copy of the contractual agreement with a qualified archaeologist for review and approval. (RMA - Planning Department)

Compliance or Monitoring Action to be Performed: The applicant shall submit a contract with a qualified archeologist to the Director of the RMA - Planning Department for review and approval. The requirements of this measure shall be included as a note on all grading and building plans.

4. PD008 - GEOLOGIC CERTIFICATION

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: Prior to final inspection, the geologic consultant shall provide certification that all development has been constructed in accordance with the geologic report. (RMA - Planning Department)

Compliance or Monitoring Action to be Performed: Prior to final inspection, the Owner/Applicant/Geological Consultant shall submit certification by the geological consultant to the RMA - Planning Department showing project's compliance with the geological report.

5. PD009 - GEOTECHNICAL CERTIFICATION

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: Prior to final inspection, the geotechnical consultant shall provide certification that all development has been constructed in accordance with the geotechnical report. (RMA - Planning Department and Building Services Department)

Compliance or Monitoring Action to be Performed: Prior to final inspection, the Owner/Applicant/Geotechnical Consultant shall submit certification by the geotechnical consultant to the RMA-Building Services Department showing project's compliance with the geotechnical report.

6. PD011 - TREE AND ROOT PROTECTION

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: Trees which are located close to construction site shall be protected from inadvertent damage from construction equipment by fencing off the canopy driplines and/or critical root zones (whichever is greater) with protective materials, wrapping trunks with protective materials, avoiding fill of any type against the base of the trunks and avoiding an increase in soil depth at the feeding zone or drip-line of the retained trees. Said protection, approved by a certified arborist, shall be demonstrated prior to issuance of building permits subject to the approval of RMA - Director of Planning. If there is any potential for damage, all work must stop in the area and a report, with mitigation measures, shall be submitted by a certified arborist. Should any additional trees not included in this permit be harmed, during grading or construction activities, in such a way where removal is required, the owner/applicant shall obtain required permits. (RMA - Planning Department)

Compliance or Monitoring Action to be Performed: Prior to issuance of grading and/or building permits, the Owner/Applicant shall submit evidence of tree protection to the RMA - Planning Department for review and approval.

During construction, the Owner/Applicant/Arborist shall submit on-going evidence that tree protection measures are in place through out grading and construction phases. If damage is possible, submit an interim report prepared by a certified arborist.

Prior to final inspection, the Owner/Applicant shall submit photos of the trees on the property to the RMA-Planning Department after construction to document that tree protection has been successful or if follow-up remediation or additional permits are required.

7. PD016 - NOTICE OF REPORT

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: Prior to issuance of building or grading permits, a notice shall be recorded with the Monterey County Recorder which states:
"The following reports were prepared and are on file in the Monterey County RMA - Planning Department. All development shall be in accordance with these reports:
Archaeological Report - Cypress Point 15th Green Seawall (LIB120240) prepared by Archaeological Consulting, Salinas, California, June 12, 2012;
Biological Report - Proposed Seawall Repair (LIB120242) prepared by Nicole Nedeff, Consulting Ecologist, Carmel Valley, California, June 19, 2012; and
Geologic/Geotechnical Report (LIB120244) prepared by Haro, Kasunich, and Associates, Inc., Watsonville, California, June 20, 2012."
(RMA - Planning Department)

Compliance or Monitoring Action to be Performed: Prior to the issuance of grading and building permits, the Owner/Applicant shall submit proof of recordation of this notice to the RMA - Planning Department.

Prior to occupancy, the Owner/Applicant shall submit proof, for review and approval, that all development has been implemented in accordance with the report to the RMA - Planning Department.

8. PD032(A) - PERMIT EXPIRATION

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: The permit shall be granted for a time period of three (3) years, to expire on oCTOBER 10, 2015, unless use of the property or actual construction has begun within this period. (RMA-Planning Department)

Compliance or Monitoring Action to be Performed: Prior to the expiration date stated in the condition, the Owner/Applicant shall obtain a valid grading or building permit and/or commence the authorized use to the satisfaction of the Director of Planning. Any request for extension must be received by the Planning Department at least 30 days prior to the expiration date.

9. PD033 - RESTORATION OF NATURAL MATERIALS (NON-STANDARD)

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: Upon completion of the development, the area disturbed shall be restored to a condition to correspond with the adjoining area, subject to the approval of the Director of the RMA - Planning Department. Plans for such restoration shall be submitted to and approved by the Director of the RMA - Planning Department prior to commencement of use, and shall include the recommendation of the project biologist to remove iceplant located at the top of the bluff adjacent to the seawall project area. (RMA - Planning Department)

Compliance or Monitoring Action to be Performed: The applicant shall submit plans for restoration to the Director of the RMA - Planning Department for review and approval.

10. PDSP001 - DRIFT AND SILT FENCING (NON-STANDARD)

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: Prior to the issuance of a grading permit, the applicant shall install plastic drift fencing and silt fencing/debris catchment nets per the recommendations in the biological report prepared for the project. A qualified biologist shall supervise placement of the protective fencing, and submit a letter and photographic evidence to the Director of Planning confirming installation. (RMA - Planning Department)

Compliance or Monitoring Action to be Performed: The qualified biologist or applicant shall submit a letter, including photographic evidence, to the Director of Planning.

11. PDSP002/MM1 - Protection of Harbor Seals

Responsible Department: Planning Department

Condition/Mitigation Monitoring Measure: MITIGATION MEASURE 9.1 (PLN970480): No construction activity shall occur between April 1st and July 1st to avoid abandonment mortality of harbor seals during the pups birthing and nursing season. Prior to issuance of a grading/building permit, after July 1st, a registered (qualified) biologist shall review the area for presence of harbor seals (RMA - Planning Department)

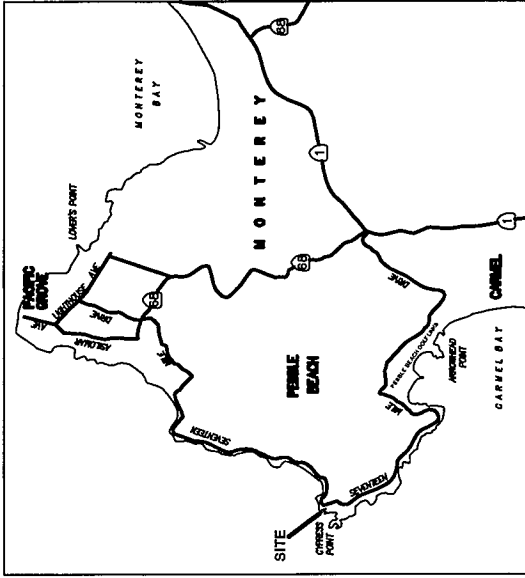
Compliance or Monitoring Action to be Performed: A qualified biologist shall review the area for presence of harbor seals, and submit a confirmation letter to the Director of Planning.

REVISIONS	BY

SITE PLAN
15TH GREEN BLUFFTOP SEAWALL
CYPRESS POINT CLUB

HARO, KASUNICH AND ASSOCIATES, INC.
CONSULTING CIVIL, GEOTECHNICAL & COASTAL ENGINEERS
116 EAST LAKE AVE., WATSONVILLE, CA 95076 (831) 722-1715

Date	6/5/12
Scale	AS SHOWN
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Job	
Sheet	1
OF 6 SHEETS	



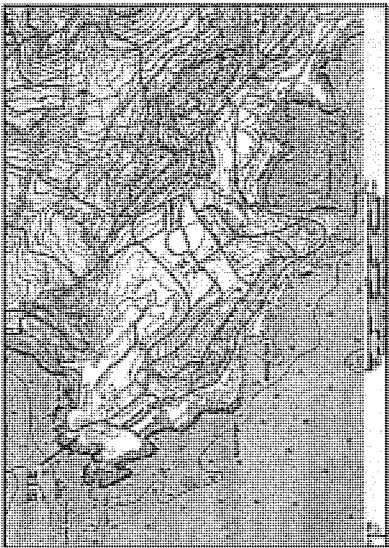
VICINITY MAP
NO SCALE

SHEET INDEX

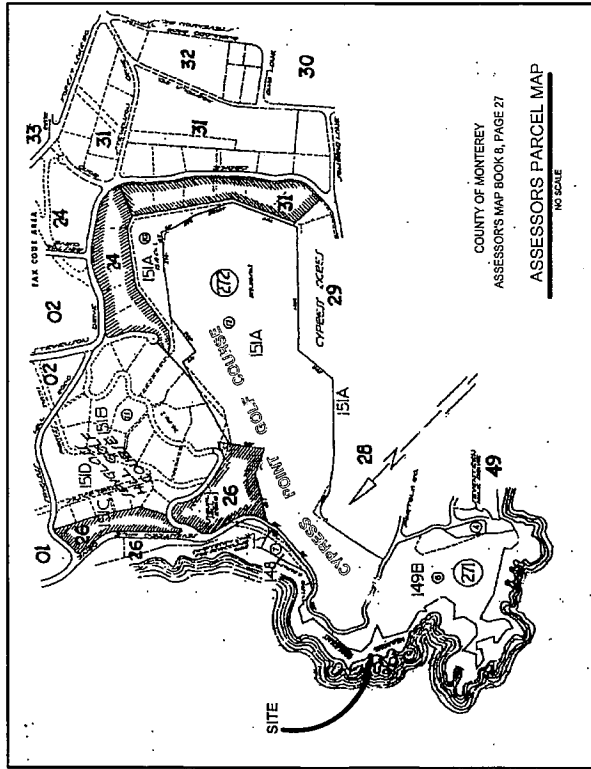
- SHEET 1 - TITLE SHEET
- SHEET 2 - BEST MANAGEMENT PRACTICES, SPECIFICATIONS AND NOTES
- SHEET 3 - SITE PLAN
- SHEET 4 - CROSS SECTIONS
- SHEET 5 - STRUCTURAL DETAIL
- SHEET 6 - CONSTRUCTION MANAGEMENT PLAN

PLAN PREPARERS:

John Kasunich, G.E. 455
Mark Foxx, C.E.G. 1493
HARO, KASUNICH & ASSOCIATES, INC.
116 East Lake
Watsonville, CA 95076
(831)722-4175 (831)722-3202 FAX



TOPOGRAPHIC MAP
SCALE AS SHOWN



COUNTY OF MONTEREY
ASSESSOR'S MAP BOOK 8, PAGE 27
ASSESSOR'S PARCEL MAP
NO SCALE

BEST MANAGEMENT PRACTICES, SPECIFICATIONS AND NOTES

SPECIFICATIONS AND NOTES

PURPOSE AND PROJECT DESCRIPTION

The purpose of these coastal bluff stabilization plans is to protect the Cypress Point, 15th Green bunker located on the bluff face of the bluff. The project is to stabilize the bluff face and 11 foot high bluff. No work will take place on the lower part of the bluff face or on the beach. The proposed wall will be surfaced with artificial rock facing that is installed, textured and colored to resemble the adjacent natural rock outcrop. The project is to stabilize the bluff face and 11 foot high bluff. The project is to stabilize the bluff face and 11 foot high bluff. The project is to stabilize the bluff face and 11 foot high bluff.

EXAMINATION OF JOB SITE, PLANS AND SPECIFICATIONS

A. The Contractor shall examine carefully the site of work and the Plans and Specifications. The submission of a bid shall be conclusive evidence that the Contractor has investigated and is satisfied as to the conditions to be encountered, as to the character, quality, and scope of work to be performed, and as to the nature and extent of the work to be performed. The Contractor shall be responsible for any errors in the Plans and Specifications. The Plans consist of 6 sheets.

B. Cypress Point Club is the Owner, Haro, Kasunich and Associates, Consulting Geotechnical, is the Engineer. The Contractor shall be responsible for the project and represent the Cypress Point Club during design and construction of the project.

C. The contractor shall recognize that the plans used for the drawings of the Seawall Structures may be subject to change. The Contractor shall be responsible for the project and represent the Cypress Point Club. Report any discrepancies to the Owner and the Engineer.

COMPLIANCE WITH CODES:

A. All construction and materials shall be as specified and as required by the 2010 California Building Code, the Building Code Standards, locally enforced codes and ordinances. All utilities, materials and construction shall be in accordance with the codes and ordinances in effect at the time of construction, except where otherwise noted.

B. The Contractor shall have knowledge of all applicable codes, laws, ordinances and regulations of any federal, state, county and local agency. Compliance with all laws, ordinances and regulations of Federal, State, County and Local agencies shall take precedence over all other Contract documents.

INSPECTIONS AND MAINTENANCE

The Owner and its representative shall have the right to inspect any material brought to the job site for compliance with the Plans and Specifications. The Representative of the Owner shall be called to perform construction observation and to make a final inspection of the drainage and erosion control facilities to assure that the work is completed according to plans. When storm inspections shall be maintained that notes inspection dates, corrective actions needed and concrete studies taken.

NOTIFICATION

The site engineer should be notified at least four (4) working days prior to any site clearing or grading so that the work in the field can be coordinated with the grading contractor, and arrangements for access and observation can be made. All fill placement should be evaluated by the geotechnical engineer.

ACCESS

Contractor shall use access routes as directed by owner and shall repair access routes to pre-project condition or better as directed by owner. Underground utilities are located under the access route and shall be protected from damage.

SITE DISTURBANCE

Disturbance of the bluff face and bluff area beyond the limits of the work area must be avoided. The contractor shall protect any areas as required by the project budget and/or the project architectologist.

SUPPLEMENTAL RECOMMENDATIONS

If undesirable conditions are encountered during construction, or if the proposed construction will differ from that planned at this time, our firm shall be notified so that supplemental recommendations can be given.

DRAINPIPES AND UNDERGROUND UTILITIES

Existing drainpipes shall be located, inspected, repaired as needed and extended through walls to existing structures. All existing underground utilities shall be located, inspected, repaired as needed and extended through walls to existing structures. All existing underground utilities shall be located, inspected, repaired as needed and extended through walls to existing structures.

CONSTRUCTION COORDINATOR

Contractor shall provide a construction coordinator that can be contacted during construction, should questions arise during construction, (in case of both regular inquiries and emergency inquiries). The construction coordinator shall be contacted during construction. The construction coordinator shall be contacted during construction. The construction coordinator shall be contacted during construction.

GRADING, DRAINAGE, AND EROSION CONTROL NOTES

TIMETABLE

This plan shows the proposed grading, drainage and general erosion control measures to be implemented. The Owner shall be responsible for establishing the measures shown hereon and other measures as required by the grading and erosion control inspector. Between October 15 and April 15, the contractor shall be responsible for establishing the measures shown hereon and other measures as required by the grading and erosion control inspector. Between October 15 and April 15, the contractor shall be responsible for establishing the measures shown hereon and other measures as required by the grading and erosion control inspector.

GRADING

Excavation: Remove excavated materials from site except for fill materials that will be placed in-kind or used for backfill. During excavation, care must be taken to prevent erosion that adversely impacts the beach. The contractor shall be responsible for establishing the measures shown hereon and other measures as required by the grading and erosion control inspector. Between October 15 and April 15, the contractor shall be responsible for establishing the measures shown hereon and other measures as required by the grading and erosion control inspector.

Fill Placement: The placement and spreading of fill materials and the processing and compaction of fill materials by treading, ponding, or jolting shall not be permitted without the prior approval of the Engineer. The contractor shall be responsible for establishing the measures shown hereon and other measures as required by the grading and erosion control inspector. Between October 15 and April 15, the contractor shall be responsible for establishing the measures shown hereon and other measures as required by the grading and erosion control inspector.

Weather: No fill material shall be placed, spread or compacted during unfavorable weather conditions. When work is interrupted by heavy rains, fill operations shall not resume until field density tests taken by the contractor indicate that the moisture content and density of the fill meet the specified requirements.

Soil Stability: Most of the on-site soils generally appear suitable for use as non-structural fill. Subsequent ground conditioning may be required for the on-site materials before placing them in non-structural fill.

Wall Backfill and Drainage: Retaining walls shall be backfilled with gravel or drained with geotextile fabric. Retaining walls shall be backfilled with gravel or drained with geotextile fabric. Retaining walls shall be backfilled with gravel or drained with geotextile fabric.

Dewatering Materials: The Contractor shall carefully excavate all materials necessary, of whatever nature, for construction of the work. Any material of an undesirable or objectionable nature discovered below the footing of the proposed retaining walls shall be brought to the attention of the Geotechnical Engineer before proceeding with the work.

Volts: Any volts exposed during excavation work shall be backfilled as directed by the Engineer.

Protection of Improvements: Improvements on site shall be protected from damage. Where improvements (such as fences, railings, parking, or signage) need to be removed to allow access or construction, they shall be removed and replaced with improvements of equal quality.

Spells: Excavated spoils shall be disposed of where directed by Owner.

Temporary Cut Slopes: Temporary cut slopes must be inspected by the Engineer during excavation, and shall be maintained in a safe condition. The contractor shall be responsible for installing any necessary shoring.

Footing Excavations: Must be inspected by Engineer and approved by Engineer prior to placement of steel and concrete.

Drainage Pipes: Exposed subgrade under drainage outlet pipes and backfill over and around the pipes shall be compacted to 90 percent relative compaction. All drainage discharge locations shall be approved by the Engineer.

STAKING AND LOCATION

1. The engineer shall locate new retaining wall locations and mark with stakes prior to construction, for review and approval by contractor.

2. Reference points will be established by the engineer. These reference points will be used to control placement of the structures relative to grid course features and to elevation. The contractor shall have a location checker on site to check elevations and control cut and fill slope gradients.

3. Locations of existing drain facilities are approximate. The contractor shall verify locations and protect in place, if within the limits of work. The contractor shall plug, cap, or remove /reinstall existing drainage facilities damaged during construction, as directed by engineer.

4. Local surveys are shown on the plans. Vertical datum is NGVD 29. The elevations are shown on the plans. Vertical datum is NGVD 29.

RESOURCE PROTECTION

MARINE PROTECTION

To prevent any impact upon the marine habitat, the contractor or vessel operator may be allowed to access any beach or enter the tidal zone. Under no circumstances shall use of equipment be allowed on the beach or below the mean high tide line. Any areas of loose or unstable soil must be stabilized immediately after other portions of the project are finished. Any heavy equipment operation must be conducted with care near the edge of the bluff to prevent the destabilization of the substrate and to prevent any damage to the bluff face. The Contractor shall conduct daily checks of the beach area to make sure no construction debris has fallen onto the beach. If any debris is discovered, cleanup & removal is required.

ACCESS PROTECTION

The proposed work is on the coastal bluffs of the Cypress Point Club. The base of the proposed work shall be protected by a concrete curb and a concrete curb. The contractor shall be responsible for establishing the measures shown hereon and other measures as required by the grading and erosion control inspector. Between October 15 and April 15, the contractor shall be responsible for establishing the measures shown hereon and other measures as required by the grading and erosion control inspector.

ARCHAEOLOGICAL PROTECTION

It is during the course of archaeological, cultural, ethnological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within the first of the find until it can be evaluated by a qualified professional archaeologist. If resources are found at the site, the Monterey County Planning and Building Inspection Department and a qualified archaeologist shall be immediately contacted by the responsible individual present on-site. When the archaeologist determines that the resources are of significance, the contractor shall determine the extent of the resources and to develop proper mitigation measures required for the discovery.

BIOLOGICAL PROTECTION

No work shall be allowed and no material or equipment shall be placed within the sensitive areas noted in the biological protection plan.

PROPOSED PERMIT CONDITIONS

Prior to final inspection, the applicant shall provide the Director of Planning and Building Inspection a letter indicating that a qualified geotechnical engineer has observed the construction and it has been in accordance with the geotechnical report prepared by Haro, Kasunich and Associates, dated May 12, 2010, and that construction has been completed.

- A. site preparation, grading and compaction
- B. site backfilling
- C. site preparation, grading and compaction
- D. site backfilling
- E. backfilling and compaction of retaining walls
- F. areas requiring work on slopes of 30% and greater

For dust control purposes, wetting of exposed surfaces during cleaning, excavation, stockpiling and grading shall be required. Wetting shall be done during activities that are prohibited during periods of high winds greater than 30 miles an hour.

Hours of operation or movement of heavy construction equipment shall be limited to between 8:00 a.m. and 5:00 p.m., Monday through Saturday. Such operations shall not occur on Sundays or holidays.

Grading, clearing, trenching, and all other earth moving activities shall be stopped if potentially significant archaeological resources or materials are uncovered and a qualified archaeologist shall be contacted to inspect the site and take appropriate action.

All indicated areas and fences shall be continuously maintained by the owner and all plant material shall be continuously maintained in a live, clear, weed-free, healthy, growing condition.

During construction, erosion control measures shall be in place in areas to be graded, as well as exposed areas. These erosion control measures shall be in place in the form of dust control, straw mulch, straw bales and wattles placed at the appropriate areas of the site as directed by the Engineer.

Erosion Control: The fill and excavated areas shall be seeded and straw mulched as necessary to prevent erosion. North Monterey County erosion control (soil number SC150) or approved alternative shall be used. Seeding shall be completed by November 15 and November 15. Seeding at this time will allow seedlings to grow before the oncoming winter low temperatures slow growth. Seeding may need to be done more than once. a) Seeds may be applied by broadcasting. If mulching is to be done, the mulch should be applied last. b) Fertilizing may be applied by broadcasting in areas of infertile soils. The fertilizer should not be applied more than 15 days prior to seeding. c) Critical planting sites shall be inspected no more than 14 days after planting and no more than 14 days after the final fill. If the inspection reveals that the slope needs to be repaired in that the seed has not taken or erosion has taken place, repairs shall be re-seeded and/or installed.

The applicant shall comply with the Noise Element of the Monterey County General Plan and Chapter 10.60 (Noise Control) of the Monterey County Code. All equipment that will operate for extended periods of time at the project site shall be equipped with mufflers.

REVISIONS BY

BEST MANAGEMENT PRACTICES, SPECIFICATIONS AND NOTES

15TH GREEN BLUFFTOP SEAWALL

HARO, KASUNICH AND ASSOCIATES, INC.
CONSULTING CIVIL, GEOTECHNICAL & COSTAL ENGINEERS
116 EAST LARK AVE., MATISOMVILLE, CA 95076 (831) 722-1175

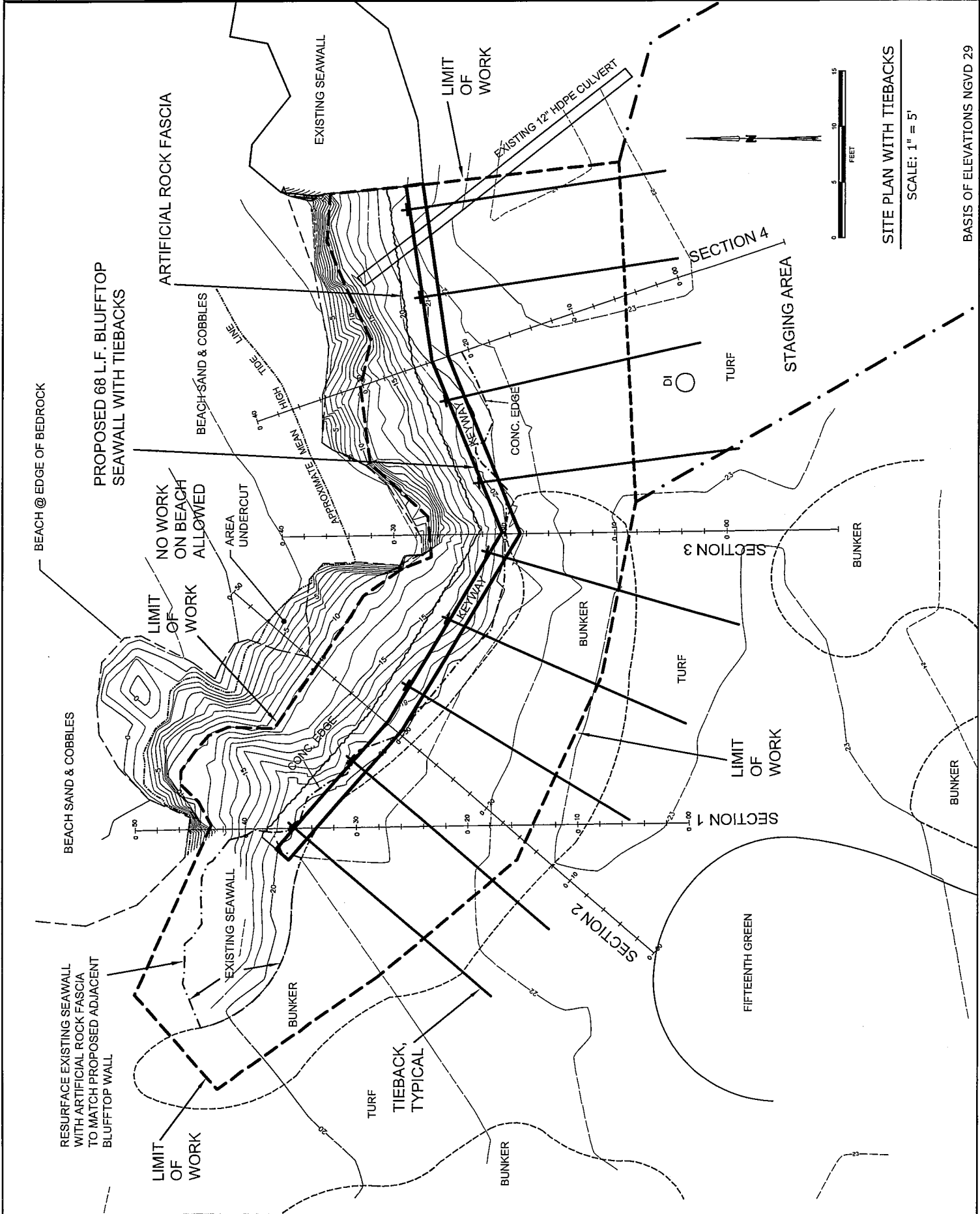
Date	6/5/12
Scale	NONE
Drawn	MF
Job	
Sheet	2
OF 6 SHEETS	

REVISIONS	BY

**SITE PLAN
15TH GREEN BLUFFTOP SEAWALL
CYPRESS POINT CLUB**

HARO, KASUNICH AND ASSOCIATES, INC.
CONSULTING CIVIL, GEOTECHNICAL & COASTAL ENGINEERS
116 EAST LAKE AVE., WATSONVILLE, CA 95076 (831) 722-4175

Date	6/5/12
Scale	1" = 5 FT
Drawn	MF
Job	
Sheet	3
OF 6 SHEETS	



SITE PLAN WITH TIEBACKS
SCALE: 1" = 5'

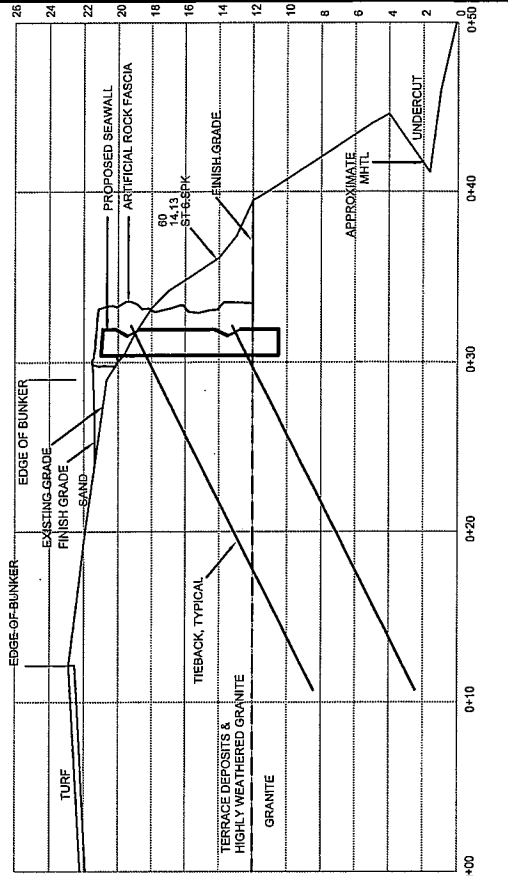
BASIS OF ELEVATIONS NGVD 29

**CROSS SECTIONS
15TH GREEN BLUFFTOP SEAWALL
CYPRESS POINT CLUB**

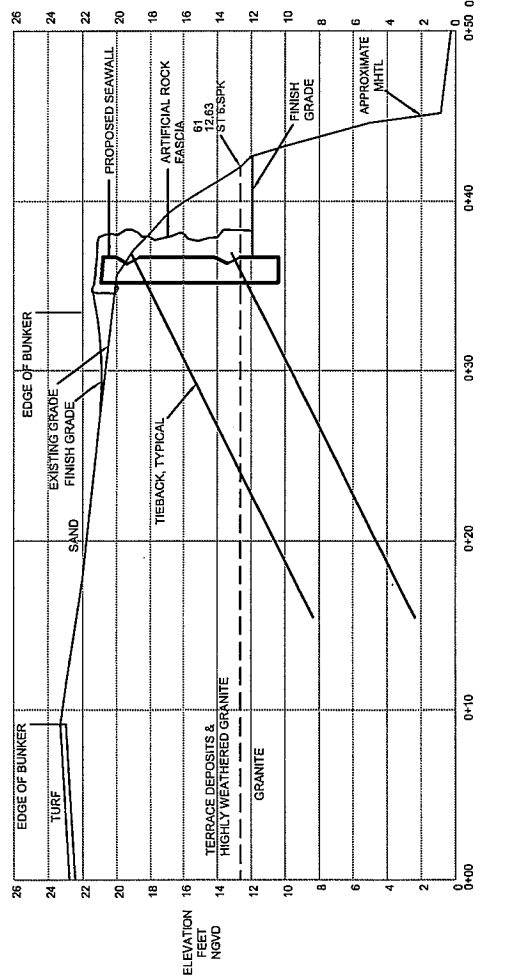
HARO, KASUNICH AND ASSOCIATES, INC.
CONSULTING CIVIL, GEOTECHNICAL & COASTAL ENGINEERS
116 EAST LAKE AVE., WATSONVILLE, CA 95076 (801) 724-1175

Date: 6/5/12
Scale: 1" = 5 FT
Drawn: MF
Job:
Sheet: 4
OF 8 SHEETS

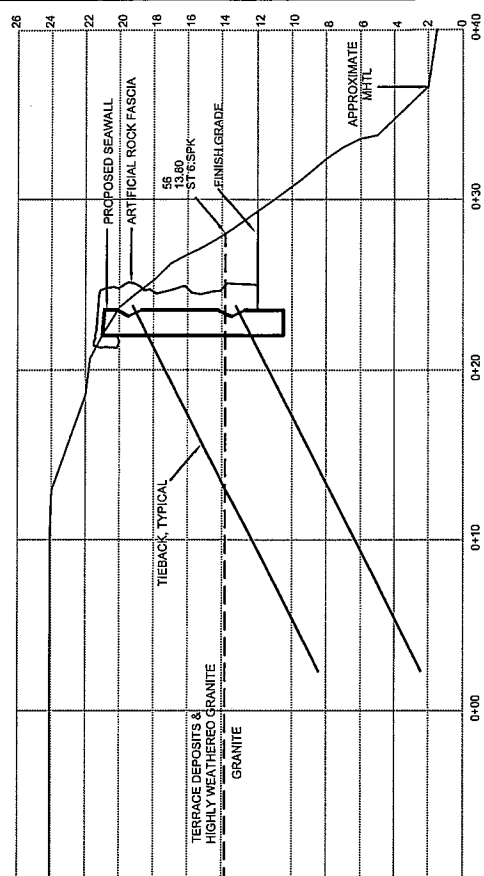
REVISIONS	BY



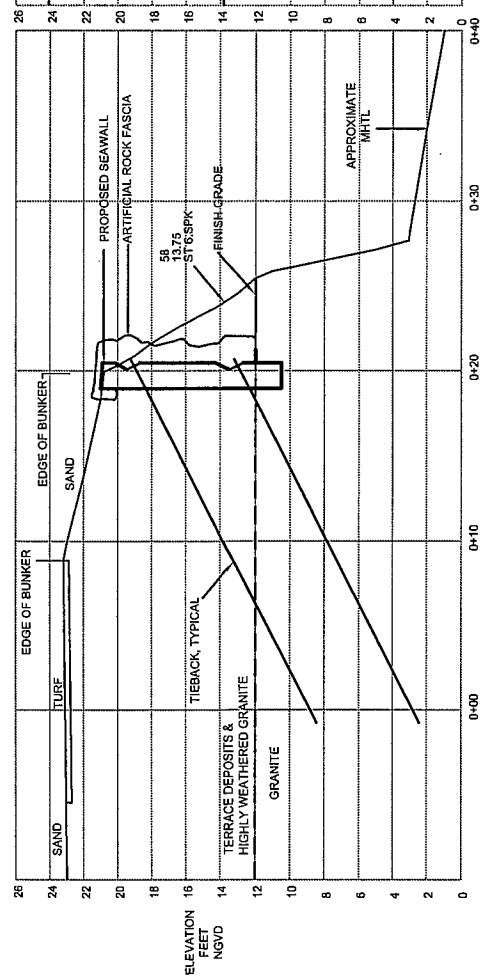
SECTION 1



SECTION 2



SECTION 3



SECTION 4



REVISIONS	BY

STRUCTURAL DETAIL
15TH CYPRESS BLUFFTOP SEAWALL
15TH CYPRESS POINT CLUB

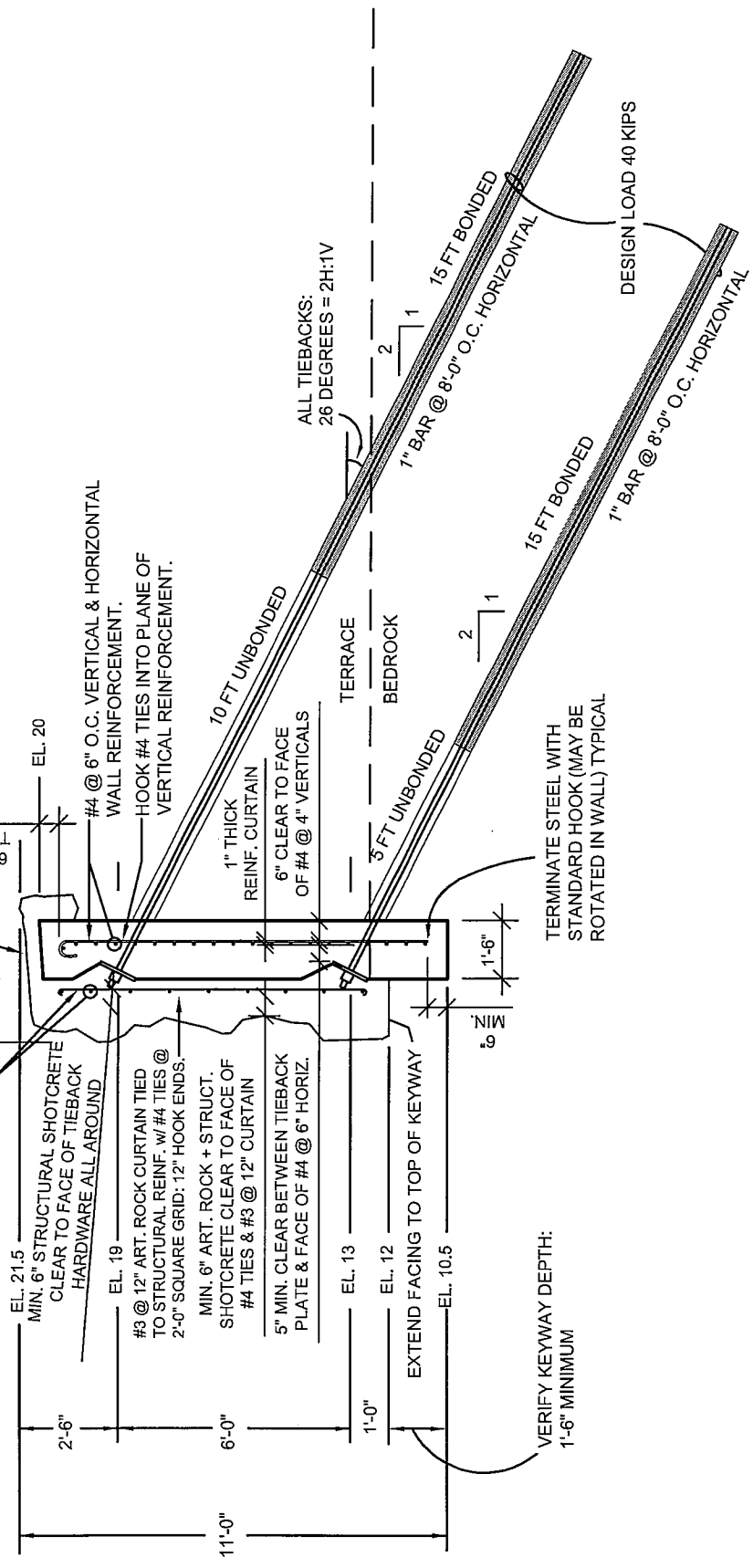
HARO, KASUNICH AND ASSOCIATES, INC.
 CONSULTING CIVIL, GEOTECHNICAL & COASTAL ENGINEERS
 116 EAST LAKE AVE., WATSONVILLE, CA 95076 (831) 722-4175

Date	6/5/12
Scale	1" = 2'-0"
Drawn	MF
Job	
Sheet	5
OF 6 SHEETS	

TERMINATE ALL WALL REINFORCING BARS WITH STANDARD HOOK. ALL BARS GRADE 40 (UNCOATED).
 RADIATE TIEBACKS IN EACH HORIZONTAL ROW TO ISOLATE ANCHORAGE ZONES, AT THE DIRECTION OF THE GEOTECH. ENGR.

PROPOSED 1'-6" THICK (APPROX.)
 4000 PSI STRUCTURAL SHOTCRETE WALL
 MAINTAIN POSITIVE DRAINAGE.

2500 PSI ARTIFICIAL ROCK FACING
 MAX. 1'-9" / MIN. 6" THICKNESS
 REINFORCE ARTIFICIAL ROCK FACING
 W/ #3 @ 12" CURTAIN BOTH WAYS.



ARTIFICIAL ROCK FACED TIED BACK SEAWALL

SCALE: 1" = 2'-0"

REVISIONS	BY

**CONSTRUCTION MANAGEMENT PLAN
15TH GREEN BLUFFTOP SEAWALL
CYPRESS POINT CLUB**

HARO, KASUNICH AND ASSOCIATES, INC.
CONSULTING CIVIL, GEOTECHNICAL & COSTAL ENGINEERS
116 EAST LAKE AVE., WATSONVILLE, CA 95076 (831) 722-1175

Date	6/5/12
Scale	1" = 60'
Drawn	MF
Job	
Sheet	6
	OF 6 SHEETS

CONSTRUCTION MANAGEMENT PLAN PROVISIONS

Construction access shall be as directed by owner. Impacts to the access route must be minimized and disturbance along the access route must be restored to pre-construction conditions upon project completion. The following provisions shall apply to the work.

All excess fill shall be hauled offsite to an approved dumpsite.

All work shall take place during daylight hours and lighting of the beach area is prohibited unless, due to extenuating circumstances, the Executive Director of the California Coastal Commission authorizes non-daylight work and/or beach area lighting.

Construction work or equipment operations shall not be conducted seaward of the mean high water line.

All construction equipment shall remain as far landward as possible, and avoid contact with ocean waters and intertidal areas.

All erosion and sediment controls shall be in place prior to the commencement of construction as well as at the end of each work day. At a minimum, silt fences, or equivalent apparatus, shall be installed at the perimeter of the construction site to prevent construction related runoff and/or sediment from entering into the Pacific Ocean. Fencing may be used on the beach for erosion and sediment controls (e.g., a silt fence at the base of the bluff) as necessary to contain rock and/or sediments at the project site.

No work shall take place on the beach.

The Contractor (and Permittee) shall monitor weather forecasts and take appropriate precautions in advance of storm or extreme tidal events.

Construction (including but not limited to construction activities and materials and/or equipment storage) is prohibited outside of the defined construction, staging, and storage areas shown hereon.

All heavy equipment used for concrete pouring located on the coastal terrace shall be set at least 25 feet landward of the blufftop and shall use flexible hoses, or articulated booms to deliver concrete to the project site. Other heavy equipment may be used periodically atop the coastal bluff, but shall be removed from the bluff-top when not in use. All heavy equipment and project construction materials shall be stored in the construction staging areas shown.

Equipment washing, refueling, and/or servicing shall not take place on the beach, or within 100 feet of the shoreline, or on the golf course proper.

Petroleum products and other hazardous materials will be kept a distance of at least 100 feet from the shoreline and shall be stored off the golf course proper.

The construction site shall maintain good construction site housekeeping controls and procedures (e.g., clean up all leaks, drips, and other spills immediately; keep materials covered and out of the rain (including covering exposed piles of soil and wastes); dispose of all wastes properly; place trash receptacles on site for that purpose; cover open trash receptacles during wet weather; remove all construction debris from the beach).

All areas of beach disturbed by construction activities shall be restored to their original pre-construction condition. The plans show the dimensions of the access routes and the staging areas. Upon completion of construction of the seawall, the access route and staging area shall be restored to their original condition.

At all times during project construction activities, copies of each of the following shall be maintained in a conspicuous location at the construction job site (where such copies shall be available for public review) and all persons involved with the construction shall be briefed on the content and meaning of each prior to commencement of construction: (a) the signed coastal development permit; (b) the approved final plans; and (c) the approved construction management plan.

MARINE PROTECTION

To prevent any impacts upon the marine habitat, no overburden or wet cement may be allowed to adversely impact the beach or enter the tidal zone. Under no circumstances shall use of equipment be allowed on the beach or below the mean high tide line. Any areas of loose or unstable soil must be stabilized immediately after other portions of the project are finished. Any heavy equipment operation must be conducted with care near the edge of the bluff to prevent the destabilization of the substrate and additional erosion. Care must be taken so the coastal bluffs outside the work area are not damaged during construction. The Contractor shall conduct daily checks of the beach area to make sure no construction debris has fallen onto the beach. If any debris is discovered, cleanup & removal is required.

BIOLOGICAL PROTECTION

No work shall be allowed and no material or equipment shall be placed within the sensitive areas noted in the biological protection plan.

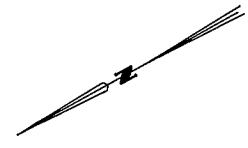
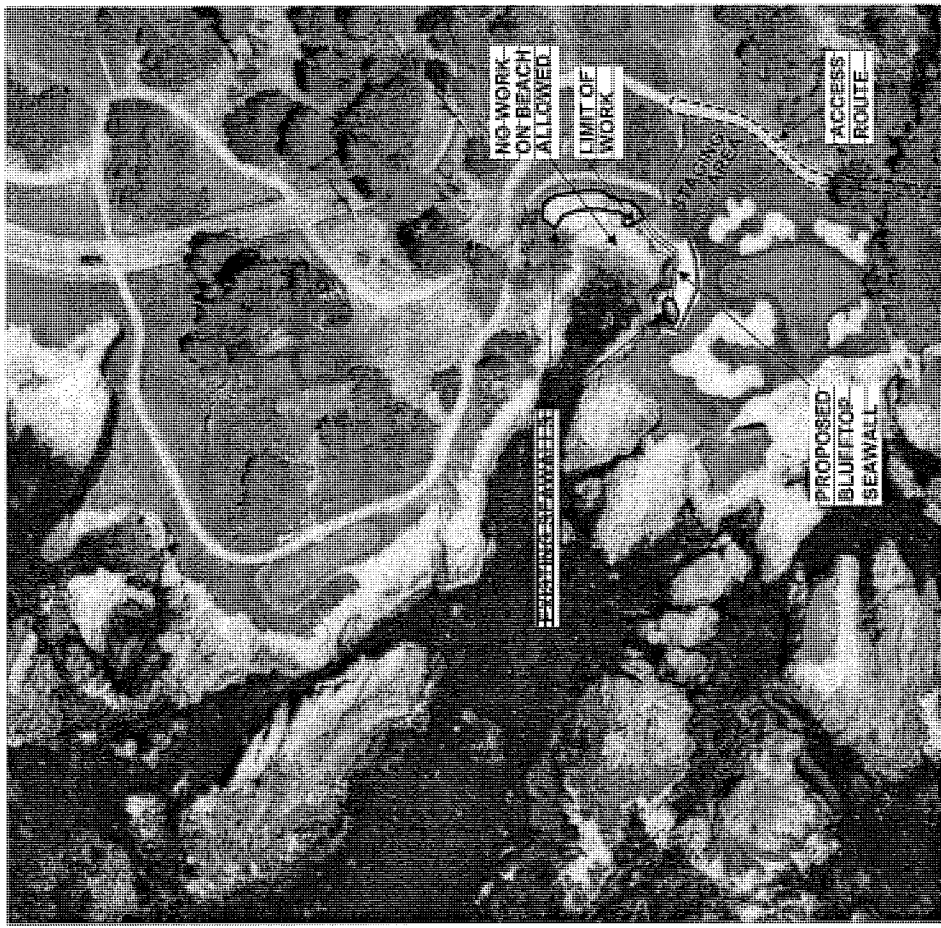
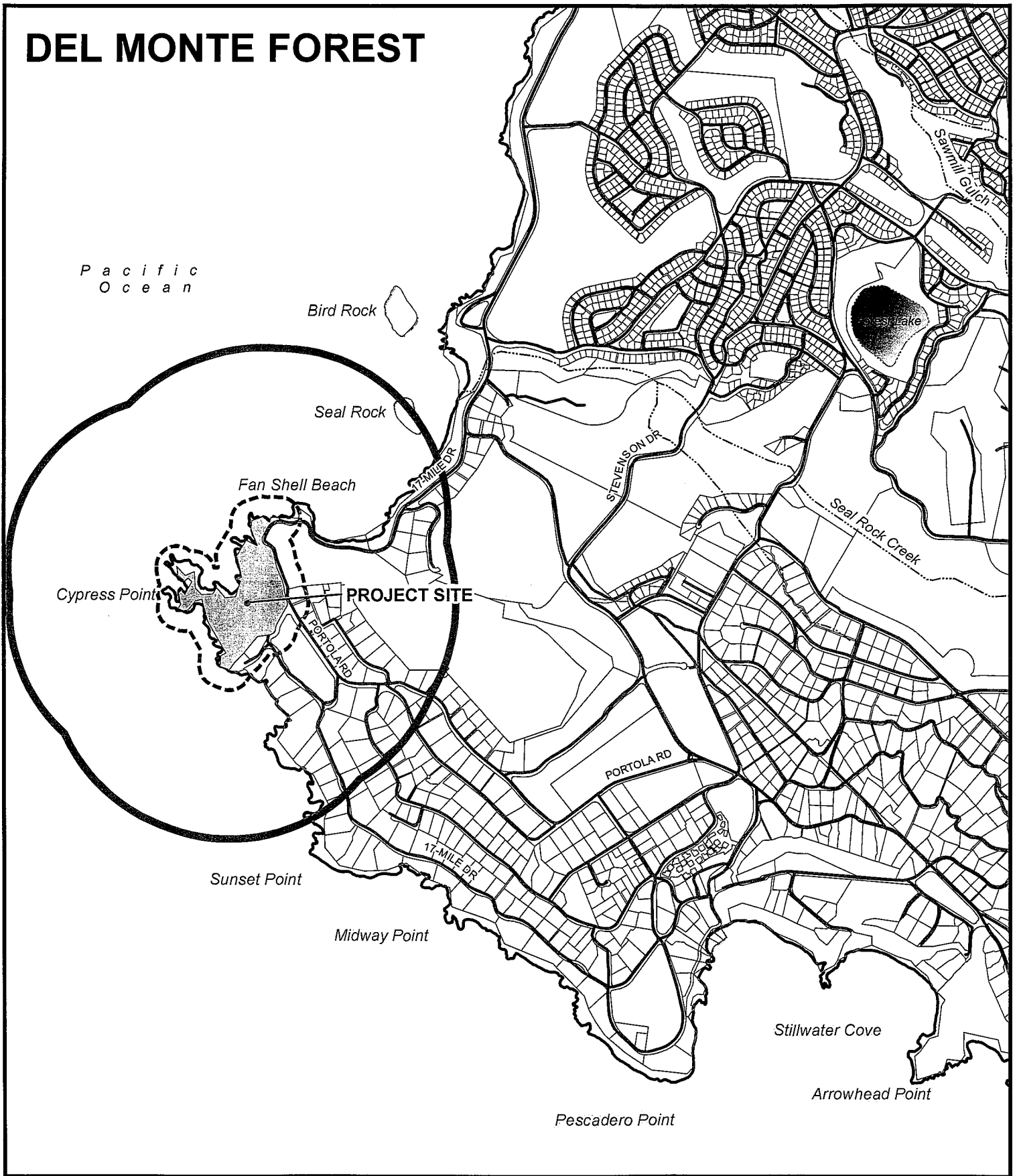


EXHIBIT D
VICINITY MAP

PLN120163 - Cypress Point Club

Planning Commission
October 10, 2012

DEL MONTE FOREST

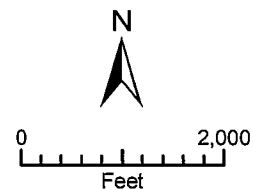


APPLICANT: CYPRESS POINT CLUB

APN:008-271-006-000

FILE # PLN120163

Water 2500' Limit 300' Limit City Limits



PLANNER: SIDOR

EXHIBIT E
ADVISORY COMMITTEE MINUTES
DEL MONTE FOREST LUAC

PLN120163 - Cypress Point Club

Planning Commission
October 10, 2012

Action by Land Use Advisory Committee Project Referral Sheet

Monterey County Planning Department
168 W Alisal St 2nd Floor
Salinas CA 93901
(831) 755-5025

Advisory Committee: **Del Monte Forest**

Please submit your recommendations for this application by: **August 2, 2012**

Project Title: CYPRESS POINT CLUB

File Number: PLN120163

File Type: PC

Planner: SIDOR

Location: 3150 17 MILE DR PEBBLE BEACH

Project Description:

Amendment to a previously approved Combined Development Permit (PLN970480) consisting of: 1) a Coastal Development Permit for coastal bluff restoration along the 15th and 16th greens of Cypress Point Golf Course; 2) a Coastal Development Permit for development on slopes in excess of 30 percent; and a Design Approval. The property is located westerly of 17 Mile Drive, Pebble Beach (Assessor's Parcel Numbers 008-271-006-000 and 008-272-012-000), Del Monte Forest Land Use Plan, Coastal Zone. This Amendment (PLN120163) consists of: 1) a Coastal Development Permit and Design Approval for the construction of an approximately 70 linear foot seawall along the 15th green; 2) a Coastal Development Permit to allow development on slope exceeding 30%; 3) a Coastal Development Permit to allow development within 100 feet of environmentally sensitive habitat; 4) a Coastal Development Permit to allow development within 50 feet of a coastal bluff; 5) a Coastal Development Permit to allow development within 750 feet of a known archaeological resource; and grading (approximately 50 cubic yards of cut). The property is located at 3150 17 Mile Drive, Pebble Beach (Assessor's Parcel Number 008-271-006-000), Del Monte Forest Land Use Plan, Coastal Zone.

Was the Owner/Applicant/Representative Present at Meeting? Yes X No _____

Was a County Staff/Representative present at meeting? LIZ GONZALES (Name)

PUBLIC COMMENT:

Name	Site Neighbor?		Issues / Concerns (suggested changes)
	YES	NO	
BUD CARNEY & LES STRNAD FROM CAL LAND PLANNING		X	PRESENTED PROJECT

LUAC AREAS OF CONCERN

Concerns / Issues (e.g. site layout, neighborhood compatibility; visual impact, etc)	Policy/Ordinance Reference (If Known)	Suggested Changes - to address concerns (e.g. relocate; reduce height; move road access, etc)
STOCK - WHAT WILL EROSION BE? LES - SAME AS GRANITE		
DEWAR - RISE IN SEA LEVEL ISSUES? LES - DIFFICULT TO CALCULATE. AREA IS STABLE.		
BUD - CAPITOLA HAS GONE FROM 8" TO 55" TIDAL DIFF. ESTIMATED IN NEXT 100 YEARS. VARIABLES ARE		
UNKNOWN.		

ADDITIONAL LUAC COMMENTS

VERBANEC - GOOD DESIGN OF PROPOSED WALL.

RECOMMENDATION :

Motion by STOCK (LUAC Member's Name)

Second by VERBANEC (LUAC Member's Name)

Support Project as proposed

Recommend Changes (as noted above)

Continue the Item

Reason for Continuance: _____

Continued to what date: _____

AYES: DEWAR, VERBANEC, GETREU, LIETZKE, STOCK

NOES: ∅

ABSENT: SLABO, CANEER

ABSTAIN: ∅



**MONTEREY COUNTY RESOURCE MANAGEMENT AGENCY
PLANNING DEPARTMENT**
168 West Alisal, 2nd Floor, Salinas, CA 93901
Telephone: (83) 755-5025 Fax: (831) 757-9516
<http://www.co.monterey.ca.us/planning>

RECEIVED
JUL 19 2012
MONTEREY COUNTY
PLANNING DEPARTMENT

DESIGN APPROVAL REQUEST FORM

ASSESSOR'S PARCEL NUMBER: 008-271-006-000
PROJECT ADDRESS: 3150 17 MILE DR & PORTOLA RD, DEL MONTE FOREST
PROPERTY OWNER: CYPRESS POINT CLUB Telephone: _____
Address: SAME Fax: _____
City/State/Zip: _____ Email: _____
APPLICANT: ANTHONY J. "BUD" CARNEY Telephone: 831-818-8914
Address: 347 ARTHUR AVE Fax: _____
City/State/Zip: APTOS, CA 95003 Email: BUDDCARNEY@COMCAST.NET
AGENT: SAME Telephone: _____
Address: _____ Fax: _____
City/State/Zip: _____ Email: _____

Mail Notices to: Owner Applicant Agent
(Check only one)

PROJECT DESCRIPTION: (Attach Scope of Work) SEE ATTACHED

MATERIALS TO BE USED: Steel & Cement
COLORS TO BE USED: Those of the natural rock formations

You will need a building permit and must comply with the Monterey County Building Ordinance. Additionally, the Zoning Ordinance provides that no building permit be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit.

PROPERTY OWNER/AGENT SIGNATURE: Anthony J. Carney DATE: 7/18/2012

FOR DEPARTMENT USE ONLY

ZONING: RC-D (C2)
GENERAL/AREA PLAN: DMF LUP
ADVISORY COMMITTEE: DMF LUAC
RELATED PERMITS: PC970480
PLANNER: Sidor
LUAC REFERRAL: YES NO
DOES THIS CORRECT A VIOLATION? YES NO
WITHIN ARCH BUFFER ZONE? YES NO
DECISION: ADMINISTRATIVE PUBLIC HEARING
LEGAL LOT: PC970480 YES NO
GIVEN OUT BY: [Signature] DATE: 4-9-12
ACCEPTED BY: [Signature] DATE: 7-19-12
COMMENTS: _____

ADVISORY COMMITTEE RECOMMENDATION
 APPROVAL DENIAL
For: 5 Against: 0 Abstain: 0 Absent: 2
Was the Applicant Present? YES NO
Recommended Changes: NONE
Signature: [Signature]
Date: 8-2-12

RECEIVED
AUG 03 2012
MONTEREY COUNTY
PLANNING DEPARTMENT

APPROPRIATE AUTHORITY: DIRECTOR OF P & B I ZONING ADMINISTRATOR PLANNING COMMISSION
ACTION: APPROVED DENIED

CONDITIONS: _____
APPROVED BY: _____ DATE: _____
PROCESSED BY: _____ DATE: _____
COPY TO APPLICANT: IN PERSON OR MAILED DATE: _____

From
LUAC

STATEMENT OF PLANNING SCOPE OF WORK

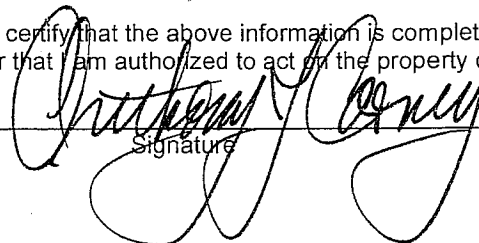
(COASTAL ONLY)

PLEASE CHECK "YES" OR "NO" FOR **ALL** BOXES

- | | Yes | No | |
|-----|-------------------------------------|-------------------------------------|---|
| 1. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Project is for residential use. |
| 2. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | The project is commercial use. |
| 3. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | The project is for agricultural use. |
| 4. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | The project is for industrial use. |
| 5. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | The project is public or quasi/public. |
| 6. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | The project includes a subdivision/lot line adjustment. |
| 7. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | The project is for cell site, telecom (digital) communication facility/site. |
| 8. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Project includes construction of a new structures. |
| 9. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Project includes enlarging, altering, repairing, moving, improving, or removing an existing structures. |
| 10. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | If "yes" describe <u>SEA WALL AMENDMENT</u>
The project includes demolition work.
If "yes" describe _____ |
| 11. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Project includes replacement and/or repair of (50%) or more of the exterior walls of a structure. |
| 12. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Project includes historical structure or a structure more than fifty (50) years old. |
| 13. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Project includes an accessory structure(s)
If "yes" describe _____ |
| 14. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Project includes the placement of a manufactured home, mobile home, modular or prefabricated unit.
<input type="checkbox"/> Private property <input type="checkbox"/> Park installation _____ (mobile home park) |
| 15. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Project includes retaining walls, sea wall, riprap. |
| 16. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | The project includes constructing, enlarging, altering, repairing, moving, improving or removing a septic tank/system. |
| 17. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | The project includes constructing, enlarging, altering, repairing, moving, improving or removing a well. |
| 18. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Project is associated with a new or improvements to a water system.
_____ water system _____ number of connections. |
| 19. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Project includes removal of trees.
If "yes", type _____ size _____ number _____ |
| 20. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Project includes grading, dirt importation, dirt removal, and/or drainage changes. |
| 21. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Project is visible from a public area. (public road, park, slough, beach, trail) |
| 22. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Project is located on a slope/hillside. (30 percent (25 percent-North County) |
| 23. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Project is located within 50 feet of bluff. |
| 24. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Project is located within 100 feet of seasonal or permanent drainage, lake, marsh, ocean, pond, slough, stream, wetlands.
If "yes", describe <u>SEA WALL</u> |
| 25. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Project includes the use of roofing materials that are different in type and/or color from the original materials.
If "yes", describe _____ |
| 26. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Project is change or modification to an approved application. |
| 27. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Project involves or includes an existing or proposed trail or easement. |
| 28. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Project involves new, change or modifications to existing utilities and/or power lines. |

PLEASE DESCRIBE COMPLETELY AND FULLY THE PROJECT YOU ARE APPLYING FOR.
INCLUDE INFORMATION ON ALL QUESTIONS ANSWERED WITH A "YES".

I hereby certify that the above information is complete and correct. I certify that I am the property owner or that I am authorized to act on the property owner's behalf.



Signature

7/18/2012

Date

EXHIBIT F
ADDENDUM

PLN120163 - Cypress Point Club

Planning Commission
October 10, 2012

EXHIBIT F

Addendum Pursuant to the California Environmental Quality Act Article 11, Section 15164

Cypress Point Club Planning File No. PLN120163 Amendment

1. Introduction

The original Combined Development Permit (PLN970480), approved by the Monterey County Planning Commission on March 25, 1998, consisted of the following entitlements: a) a Coastal Development Permit for coastal bluff restoration along the 15th and 16th greens of Cypress Point Golf Course; b) a Coastal Development Permit for development on slopes in excess of 30 percent; and c) a Design Approval.

Environmental review for PLN970480 included the preparation of a Mitigated Negative Declaration/Initial Study (MND/IS) which focused on analyzing potential impacts to Archaeological and Biological Resources. The mitigations recommended in the Initial Study reduced potential effects and impacts to less than significant.

PLN120163 consists of the following entitlements: a) a Coastal Development Permit and Design Approval for the construction of an approximately 70 linear foot seawall along the 15th green; b) a Coastal Development Permit to allow development on slope exceeding 30 percent; c) a Coastal Development Permit to allow development within 100 feet of environmentally sensitive habitat; d) a Coastal Development Permit to allow development within 50 feet of a coastal bluff; e) a Coastal Development Permit to allow development with positive archaeological reports; and grading (approximately 50 cubic yards of cut). These entitlements were all analyzed and mitigated, as required, in the original Combined Development Permit, but were not specifically called out in the project description.

This technical addendum has been prepared pursuant to Article 11, Section 15164 of the California Environmental Quality Act guidelines to make minor technical changes to the project analyzed in the MND/IS, adopted March 25, 1998, by Planning Commission Resolution No. 98018. None of the conditions described in Section 15162 calling for preparation of a subsequent EIR or negative declaration have occurred.

2. Scope and Purpose of this Addendum

It has been determined that none of the conditions described in Section 15162 of the CEQA Guidelines calling for preparation of a subsequent Initial Study or EIR have occurred, that there are no new significant environmental effects or increase in the severity of previously identified significant effects per Section 15162(a)(2) of the CEQA Guidelines, and there is no new information of substantial importance that was not known at the time the previous MND/IS was adopted, per Section 15162(a)(3) of the CEQA Guidelines.

Documents reviewed included the MND/IS prepared and adopted for PLN970480, and associated technical reports, plans, and applications. Based upon this review, it has been determined that the project will not have the potential to significantly degrade the quality of the environment, will have no significant impact on long-term environmental goals, will have no significant cumulative effect upon the environment, and will not cause substantial adverse effects on human beings, either directly or indirectly.

3. Conclusion

A MND/IS was prepared, circulated, considered, and adopted for PLN970480. All physical impacts to the development site were reviewed, and the County determined that the project as designed and mitigated had reduced potential impacts to a less than significant level. The MND/IS includes mitigation measures that address potential impacts to Cultural (Archaeological) Resources, Biological Resources, Soils, and Noise. The County then considered the proposed project and determined its scope does not alter the conclusions in the MND/IS prepared for PLN970480. Potential impacts to Cultural Resources will be addressed by application of a non-standard County condition of approval, and no further mitigations are required. Potential impacts to Biological Resources will be addressed by the application of the mitigations measures required for PLN970480. Potential impacts to Noise and Soils will be addressed by application of County conditions of approval, and no further mitigations are required. Based on review of the current application, plans, and site visit on March 22, 2012, no other potentially significant issues were identified for the proposed project. The current proposal reduces the overall potential impacts, and does not alter the analysis or conclusions reached by the previous study.

Attachment: Mitigated Negative Declaration/Initial Study for PLN970480/Cypress Point Club, certified March 25, 1998.

EXHIBIT G
MITIGATED NEGATIVE DECLARATION
(PLN970480)

PLN120163 - Cypress Point Club

Planning Commission
October 10, 2012

COUNTY OF MONTEREY
STATE OF CALIFORNIA
NEGATIVE DECLARATION

FILED

JAN 26 1998

BRUCE A. REEVES
MONTEREY COUNTY CLERK
DEPUTY

RESPONSIBLE AGENCY: COUNTY OF MONTEREY DECISION-MAKING BODY:

PROJECT: Cypress Point Club Seawalls at 15th Green,
16th Tee and 16th Fairway
ADDRESS: P.O. Box 466
CITY/STATE/ZIP: Pebble Beach, CA 93953

PLANNER: Chance

TELEPHONE: (408) 755-5025

THIS PROPOSED PROJECT WILL NOT HAVE A SIGNIFICANT EFFECT ON THE ENVIRONMENT AS IT HAS BEEN FOUND:

- (a) That said project will not have the potential to significantly degrade the quality of the environment.
- (b) That said project will have no significant impact on long term environmental goals.
- (c) That said project will have no significant cumulative effect upon the environment.
- (d) That said project will not cause substantial adverse effects on human beings, either directly or indirectly.

PROJECT DESCRIPTION OF NATURE, PURPOSE AND BENEFICIARIES:

Combined Development Permit consisting of a Major Coastal Development Permit for Coastal Bluff Restoration; Waiver of Policy prohibiting development on slopes in excess of 30 percent and Design Approval

PROJECT LOCATION: Seventeen Mile Drive at Portola Road, between Drake Road and Sombria Road, Pebble Beach

TIME PERIOD PROVIDED FOR REVIEW

BEGINS: 01/27/98

ENDS: 02/27/98

ADDRESS WHERE COPY OF APPLICATION AND INITIAL STUDY ARE AVAILABLE:

MONTEREY COUNTY PUBLIC WORKS DEPT. PARKS & RECREATION DEPT.
 LAFCO
 MONTEREY COUNTY PLANNING & BUILDING INSPECTION DEPARTMENT
P.O. BOX 1208/COURTHOUSE, 240 CHURCH STREET, SALINAS, CA 93902

TO BE FILED WITH COUNTY CLERK WHEN NO SIGNIFICANT EFFECT IS FOUND:

NEGDEC
REV. 01/21/98

DATE FILED: 01/26/98
FILE REFERENCE #: 970480
TYPE: CST APN: 008-272-012-000/
008-271-006-000



INITIAL STUDY

MONTEREY COUNTY, CALIFORNIA

PROJECT NAME: CYPRESS POINT CLUB SEAWALLS AT THE 15TH GREEN,
16TH TEE AND 16TH FAIRWAY

File No.: 970480

OWNER NAME: Cypress Point Club, c/o Jeff Markow
Address: P.O. Box 466
Pebble Beach, CA 93953

PROPERTY ADDRESS: Seventeen Mile Drive at Portola Road, between Drake Road and
Sombria Road, Pebble Beach

Cross Street: Seventeen Mile Drive

Assessor's Parcel No.: 008-272-012-000 and 008-271-006-000

Attach both Regional and Local Location Maps showing Project.

STATEMENT OF DETERMINATION/PREPARATION

The following study was prepared by the planner whose signature appears below on behalf of the County of Monterey, State of California.

On the basis of this initial study and any attached or referenced information:
(Check One)


The proposed project **WOULD NOT** have a significant effect on the environment (this includes mitigation measures to change the project to lower significant impacts), and a **NEGATIVE DECLARATION** should be prepared.

XX

The proposed project **MAY** have a significant impact on the environment, and an **ENVIRONMENTAL IMPACT REPORT** should be prepared.

Date: January 23, 1998

Signed:


Daniel D. Chance
Associate Planner

1. ENVIRONMENTAL SETTING:

Describe site size and topography, natural waterways, flora and fauna, existing land use, historical or cultural significance for both the immediate and surrounding site characteristics.

Regional Setting

The project site is located within the Del Monte Forest. The Del Monte Forest is located between the cities of Pacific Grove and Monterey on the north and east, and the City of Carmel-by-the-Sea to the south. The Del Monte Forest is comprised primarily of residential areas, two resort hotels (The Lodge at Pebble Beach and The Inn at Spanish Bay), a small commercial area (at The Lodge), seven 18-hole golf courses and one 9-hole par-3 golf course. The area includes public and quasi-public uses such as a school (Robert Louis Stevenson School) and two fire stations (Pebble Beach and Carmel Hill). In addition, the Del Monte Forest is known for its stands of Monterey pine, Bishop pine, Monterey cypress, Gowen cypress, and Coast live oak, as well as its coastline and recreational uses.

Site Setting

The project site is located on a 157 acre parcel (APN 008-272-012-000 and 008-271-006-000). The site for the proposed project is currently the Cypress Golf Club and the coastal bluffs at the western edge of the golf course. The project site is located directly west of Seventeen Mile Drive between Drake Road and Sombria Road.

To the west of the subject parcel is the Pacific Ocean with a rocky shoreline, creating small rocky points and coves. To the east of the proposed project is the Cypress Point Clubhouse and golf course with Monterey pine and cypress forest habitat and single family dwellings. .

Utilities

Domestic water for the site is supplied by California American Water Company, while sewer service is provided by the Pebble Beach Community Services District. Gas and electric service currently serve the parcel by distribution lines of Pacific Gas and Electric Company. Telephone service is provided through distribution lines of Pacific Bell.

Seismicity

The project lies within an area of uplifted marine terrace environment. All of the areas recommended for coastal protection structures are located along the coastal bluff of the lowest (and youngest) marine terrace. All of the sites lie within the geologic-tectonic unit called the Salinian Block. The Salinian Block is characterized by high-grade metamorphic rocks and Cretaceous granitic rocks. The upper terrace is essentially flat, however the bluffs at the site drops off towards the ocean with slopes that exceed 30 percent.

The site is located in fairly close proximity to several known active faults. The Palo Colorado-San Gregorio Fault is located 2.7 miles to the southwest; the Monterey Bay Fault complex, located about 3.5 miles to the northeast; and the San Andreas is located 25 miles northeast.

The site is also located on a potentially active fault: The Cypress Point Fault, with two fault traces, one of which is located through the 15th hole. Moderate ground shaking is likely at the Cypress Golf Course during the next 50 years.

According to a geologic report prepared for the site by Haro, Kasunich and Associates dated November 1997, there is a very low probability of fault-related surface ground rupture at the proposed project site, however the report states that coastal erosion related to wave attack is the most significant geologic hazard that may affect the golf course.

Soils

A geotechnical investigation of the project site was performed in November 1997 by Haro, Kasunich and Associates. Borings were drilled on the project site to depths of 24 feet. The soils encountered were fairly consistent across the site. The upper materials are dark to light brown silty sands to weathered granite at a depth of 4 to 10 feet and denser granite at 8 to 15 feet.

Drainage/Water Hazards

The project is located within the Seal Rock Watershed, which drains into Pacific Ocean north of Carmel Bay which is designated by the State as an Area of Special Biological Significance ("ASBS"). The site itself is relatively flat with a gentle slope to the west to the bluffs. Any surface runoff flows into existing storm drain and channels. The site could be impacted by large waves or tsunamis generated out at sea or by seismic activity.

Vegetation/Wildlife

The biological report was prepared by Jud Vandevere and Associates on October 1997, which identified the predominant vegetation type as Coastal Bluff Scrub, with the only plant species of concern is dune buckwheat (*Eriogonum parvifolium*). The dune buckwheat and other buckweats on the course may provide habitat for the endangered Smith's Blue Butterfly. No trees are proposed to be disturbed with this project.

The area proposed for development will be in the intertidal area which is habitat for a wide variety of marine invertebrates and marine plants. Mother and newborn pup harbor seals, (*Phoca vitulina richardsi*) use very small, sandy cove beaches and intertidal and high littoral rocks in the area from April 1st to July 1st.

Noise

Other than short-term construction-related noise related to the grading and construction activities required for the project.

Visual

The project site would not be visible from Seventeen Mile Drive or have a significant visual impact. Any structural development would require to be reviewed for visual impacts.

2. PROJECT DESCRIPTION:

Describe the type of project by use, physical shape, supporting infrastructure/public facilities and the finished project's generation of employment, traffic and housing. Describe other project characteristics that relate to possible project impacts, positive or negative, on the environment. Use quantitative analysis if possible. Describe how project will affect the environmental setting. Attach an 8 1/2" x 11" site plan.

The project proposed consists of bluff stabilization within the Cypress Point Golf Course, where the coastal bluffs are eroding and receding toward the improved areas of the golf course. The stabilization work consists of constructing tieback shotcrete seawalls with surfaces that resemble adjacent natural rock formations. The surface of the seawalls will be sculpted, textured and colored to resemble natural bedrock. Since the seawalls will be built against the bluff face, they will be built on slopes greater than 30 percent. The seawalls will be located in the following three locations:

1. Near the fifteenth green.
2. Near the sixteenth tee.
3. Near the sixteenth fairway.

3. PROJECT CONSISTENCY WITH OTHER APPLICABLE LOCAL AND STATE PLANS AND MANDATED LAWS:

Use the list below to verify project related plans and their consistency or non-consistency with project implementation.

- General Plan/Area Plans ___ Air Quality Mngmt. Plan ___
 Specific Plans ___ Airport Land Use Plans ___
 Water Quality Control Plan ___ Local Coastal Program X
 Transportation Plan ___

The project has been reviewed and found consistent with the applicable sections of the Monterey County Local Coastal Program. These sections include, but are not limited to, the Del Monte Forest Area Land Use Plan, the Del Monte Forest Coastal Implementation Plan, and Title 20 (Coastal Zoning Ordinance).

4. PROJECTS THAT HAVE LITTLE OR NO POTENTIAL FOR SIGNIFICANT ENVIRONMENTAL IMPACT:

Some proposed applications that are not exempt from CEQA review may have little or no potential for adverse environmental impact related to most of the topics in the Environmental Checklist; and/or potential impacts may involve only a few limited subject areas. These types of projects are generally minor in scope, located in a non-sensitive environment, are easily identifiable, and are without public controversy. For these types of projects the following finding can be made using the project description, environmental setting, or other information as supporting evidence.

___ CHECK HERE IF THIS SECTION IS NOT APPLICABLE

FINDING: For the following topics (listed in the Environmental Checklist), there is no potential for significant environmental impact from either construction, operation, or maintenance of the proposed project.

- | | | | |
|-----------------------|----------|------------------------|----------|
| 5. EARTH | ___ | 14. HOUSING | <u>X</u> |
| 6. AIR | ___ | 15. TRANSPORTATION | ___ |
| 7. WATER | ___ | 16. PUBLIC SERVICES | <u>X</u> |
| 8. PLANTS | ___ | 17. UTILITIES | <u>X</u> |
| 9. ANIMALS | ___ | 18. NOISE | ___ |
| 10. NATURAL RESOURCES | <u>X</u> | 19. HAZARDS | <u>X</u> |
| 11. ENERGY | <u>X</u> | 20. AESTHETICS | ___ |
| 12. LAND USE | <u>X</u> | 21. CULTURAL RESOURCES | ___ |
| 13. POPULATION | <u>X</u> | | |

Topics not checked above must be addressed further in the Environmental Checklist (Sections 5 - 21) on the following pages. For all projects, complete Sections 22 thru 25.

- #10. Because of the nature of the development, the project will have no impacts on natural resources.
- #11. Because of the nature of the development, this project will have no impacts on energy.
- #12. The proposed project would not change the land use or the existing use of a driving range on the property. The proposed project is located within a open space recreational zoning district. The project, as proposed, conforms with the policies and ordinances of the County's Local Coastal Program (LCP).
- #13. Because of the nature of the development, no impacts on population will occur.
- #14. Because of the nature of the development, the project will not have an impact on housing in the area.
- #16. This project will not require the need for additional or altered governmental services, as in fire, police, schools or maintenance facilities.
- #17. Because of the nature of the development, the project would not have an impact on utilities.
- #19. The project would not pose any risk of exposure or any other health hazard.

**ENVIRONMENTAL CHECKLIST
ENVIRONMENTAL IMPACTS/NON IMPACTS**

NOTE:

- * Summarize conclusions for each section (EARTH, AIR, etc.) with supporting evidence: why there is the potential for (POT.), why there is (YES), or why there is not (NO) -- a significant environmental impact. Use the space provided at the end of each section, or add an attachment with a clear reference.
- * Use information such as other reports, plans or studies as supporting evidence. Add persons/agencies contacted.
- * Include mitigation measures. Include a mitigation monitoring program as an appendix.

<u>5.</u>	<u>EARTH</u> Will the proposal result in:	Significant Impact?		
		NO	POT.	YES
5.1	Unstable earth conditions or in geologic substructures?	<u>X</u>	—	—
5.2	Disruptions, displacements, compaction or overcovering of the soil?	<u>X</u>	—	—
5.3	Change in topography or ground surface relief features?	—	<u>X</u>	—
5.4	The destruction, covering, of modification of any unique geologic or physical features?	<u>X</u>	—	—
5.5	Any increase in wind or water erosion of soils, either on or off-site?	<u>X</u>	—	—
5.6	Changes in the deposition or erosion of beach sands, or changes in siltation	—	<u>X</u>	—

which may modify the channel of a river or stream, or the bed of the ocean or any bay, inlet or lake?

5.7	Exposure of people and property to geologic hazards such as earthquakes, landslides, mudslides, ground failure, or similar hazard?	NO <u>X</u>	POT. —	YES —
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EARTH: Conclusions w/evidence - Persons contacted. Monitoring/Mitigation Measures?

Soils

A geotechnical investigation of the project site was performed in November 1997 by Haro, Kasunich and Associates. Borings were drilled on the project site to depths of 24 feet. The soils encountered were fairly consistent across the site. The upper materials are dark to light brown silty sands to weathered granite at a depth of 4 to 10 feet and denser granite at 8 to 15 feet.

Mitigation measures listed below, that would be implemented during the grading of the project and required by the Monterey County Planning and Building Inspection, would reduce any impacts from the proposed project to a level of insignificance:

Mitigation 5.3.a and 5.6a:

The applicant shall incorporate all recommendations and mitigation measures in the Geologic and Geotechnical report prepared by Haro, Kasunich and Associates dated November 1997 into the grading plans and building permits for the seawall, to be approved by the Director of Planning and Building Inspection.

Mitigation 5.3.b:

That a Grading Permit shall be required pursuant to the Monterey County Code relative to Grading, Chapter 16.08. (Planning and Building Inspection)

Seismicity

The site is also located on a potentially active fault: The Cypress Point Fault, with two fault traces, one of which is located through the 15th hole. Moderate ground shaking is likely at the Cypress Golf Course during the next 50 years.

According to a geologic report prepared for the site by Haro, Kasunich and Associates dated November 1997, there is a very low probability of fault-related surface ground rupture at the proposed project site, however the report states that coastal erosion related to wave attack is the most significant geologic hazard that may affect the golf course.

<u>6.</u>	<u>AIR</u> Will the proposal result in:	Significant Impact?		
6.1	Substantial air emissions or deterioration of ambient air quality?	NO —	POT. <u>X</u>	YES —
6.2	The creation of objectionable odors?	NO <u>X</u>	POT. —	YES —
6.3	Alteration of air movement, moisture,	NO	POT.	YES

or temperature, or any change in climate, either locally or regionally?

X ___ ___

AIR: Conclusions w/evidence - Persons contacted. Monitoring/Mitigation Measures?

Air Quality

There is a potential that the project as proposed could have short-term air quality impacts during construction. Grading for the project, which would include 100+ cubic yards for the seawalls would not generate substantial particulate emissions (dust) during construction and is therefore is not a potentially significant temporary air quality impact.

<u>7.</u> <u>WATER</u>	Significant Impact?
Will the proposal result in:	
7.1 Changes in currents, or the course of direction of water movements, in either marine or fresh waters?	NO POT. YES <u>X</u> ___ ___
7.2 Changes in absorption rates, drainage patterns, or the rate and amount of surface runoff?	NO POT. YES <u>X</u> ___ ___
7.3 Alterations to the course or flow of flood patterns?	NO POT. YES <u>X</u> ___ ___
7.4 Change in the amount of surface water in any water body?	NO POT. YES <u>X</u> ___ ___
7.5 Discharge into surface waters, or in any alteration of surface water quality, including but not limited to temperature, dissolved oxygen, or turbidity?	NO POT. YES ___ <u>X</u> ___
7.6 Alteration of the direction or rate of flow of ground waters?	NO POT. YES <u>X</u> ___ ___
7.7 Change in the quantity of groundwaters, either through direct additions or through interception of an aquifer by cuts or excavations?	NO POT. YES <u>X</u> ___ ___
7.8 Substantial reduction in the amount of water otherwise available for public use?	NO POT. YES <u>X</u> ___ ___
7.9 Exposure of people or property to water related hazards such as flooding or tidal waves?	NO POT. YES <u>X</u> ___ ___

**WATER: Conclusions w/evidence - Persons contacted.
Monitoring/Mitigation Measures?**

Drainage

The project is located within the Seal Rock Watershed, which drains into Pacific Ocean north of Carmel Bay which is designated by the State as an Area of Special Biological Significance ("ASBS"). The site itself is relatively flat with a gentle slope to the west to the bluffs. Any surface runoff flows into existing storm drain and channels. The highest potential to impact properties from onsite run-off would be during construction, however with the small amount of grading no significant impact of onsite run-off is anticipated with this project. The Monterey County Water Resources Agency has reviewed the project, and determined that no significant drainage impacts exist with the proposed project..

Water Quality

The project would not have a significant impact from the potential of erosion and run-off sedimentation during construction.

Water Use

The project would not generate the need for additional water use.

Water hazards

The site could be impacted by large waves or tsunamis generated out at sea, or by seismic activity. No new habitable structures are proposed with this project. The Seawalls proposed would reduce the potential of loss of property during large waves.

8. <u>PLANT LIFE</u>		Significant Impact?		
Will the proposal result in:		NO	POT.	YES
8.1	Change in the diversity of species, or number of any species of plants (including trees, shrubs, grass, crops, and aquatic plants)?	—	<u>X</u>	—
8.2	Reduction of the numbers of any unique, rare or endangered species of plants?	—	<u>X</u>	—
8.3	Introduction of a new species of plants into an area, or result in a barrier to the normal replenishment of existing species?	<u>X</u>	—	—

**PLANT LIFE: Conclusions w/evidence - Persons contacted.
Monitoring/Mitigation Measures?**

Reduction of Unique, Rare or Endangered Species of Plants (8.2)

The biological report was prepared by Jud Vandevere and Associates on October 1997, which identified the predominant vegetation type as Coastal Bluff Scrub, with the only plant species of concern is dune buckwheat (*Eriogonum parvifolium*). The dune buckwheat and other buckwheats on the course may provide habitat for the endangered Smith's Blue Butterfly. No trees are proposed to be disturbed with this project. Based on project plans, specifications, and mitigations described, compliance with the following mitigation will reduce this impact to a level of insignificance.

Mitigation 8.2.a:

The applicant shall submit a plan to the Director of Planning and Building Inspection for the loss of 23 dune buckwheat plants at the 15th green seawall and 16th tee seawall, and replanting 32 dune buckwheat (*Eriogonum parvifolium*), at the project sites. The replanting of the dune buckwheat shall be subject to the criteria of the Biological Report prepared by Jud Vandevere, on December 1997, and shall be reviewed by a qualified biologist.

Mitigation 8.2.b:

The applicant shall submit a landscape plan to the Director of Planning and Building Inspection for the replanting of areas disturbed during the development of the project. The landscape plan shall be subject to the criteria of the Biological Report prepared by Jud Vandevere, on December 1997, and shall include the removal of non-native plants.

<u>9.</u>	<u>ANIMAL LIFE</u>	Significant Impact?		
Will the proposal result in:		NO	POT.	YES
9.1	Change in the diversity of species, or numbers of any species of animals (birds, land animals including reptiles, fish, and shell fish, benthic organisms or insects)?	___	<u> X </u>	___
9.2	Reduction in the numbers of any unique, rare or endangered species of animals?	<u> X </u>	___	___
9.3	Introduction of new species of animals into the area, or result in a barrier to the migration or movement of animals?	<u> X </u>	___	___
9.4	Deterioration to existing fish or wild-life habitat?	<u> X </u>	___	___

**ANIMAL LIFE: Conclusions w/evidence - Persons contacted.
Monitoring/Mitigation Measures?**

The dune buckwheat and other buckwheats on the course may provide habitat for the endangered Smith's Blue Butterfly. Implementation of **Mitigation Measure 8.2.a.** above would mitigate the potential impacts of the Smith's Blue Butterfly.

The area proposed for development will be in the intertidal area which is habitat for a wide variety of marine invertebrates and marine plants. Mother and newborn pup harbor seals, (*Phoca vitulina richardsi*) use very small, sandy cove beaches and intertidal and high littoral rocks in the

area from April 1st to July 1st.

Mitigation Measure 9.1:

To avoid abandonment mortality of harbor seals (*Phoca vitulina richardsi*) during the birth and nursing of pups, no construction activity shall occur between April 1st and July 1st.

<u>10.</u>	<u>NATURAL RESOURCES</u>	Significant Impact?		
10.1	Will the proposal result in the increased in rate of use of Natural Resources.	NO <u>X</u>	POT. —	YES —

**NATURAL RESOURCES: Conclusions w/evidence - Persons contacted.
Monitoring/Mitigation Measures?**

See discussion in section 4.

<u>11.</u>	<u>ENERGY</u> Will the proposal result in :	Significant Impact?		
11.1	Use of substantial amounts of fuel or energy?	NO <u>X</u>	POT. —	YES —
11.2	Substantial increase in demand upon existing sources of energy, or require the development of new sources of energy?	NO <u>X</u>	POT. —	YES —

**ENERGY: Conclusions w/evidence - Persons contacted.
Monitoring/Mitigation Measures?**

See discussion in section 4.

<u>12.</u>	<u>LAND USE</u>	Significant Impact?		
12.1	Will the proposal result in a substantial alteration of the present or planned land use of an area?	NO <u>X</u>	POT. —	YES —
12.2	Reduction in acreage of any agricultural crops?	NO <u>X</u>	POT. —	YES —

**LAND USE: Conclusions w/evidence - Persons contacted.
Monitoring/Mitigation Measures?**

See discussion in Section 4.

<u>13.</u>	<u>POPULATION</u>	Significant Impact?		
13.1	Will the proposal alter the location, distribution, density, or growth rate	NO <u>X</u>	POT. —	YES —

of human population of an area?

**POPULATION: Conclusions w/evidence - Persons contacted.
Monitoring/Mitigation Measures?**

See discussion in section 4.

14. HOUSING	Significant Impact?		
14.1 Will the proposal affect existing housing, or create a demand for additional housing?	NO <u>X</u>	POT. ___	YES ___

**HOUSING: Conclusions w/evidence - Persons contacted.
Monitoring/Mitigation Measures?**

See discussion in section 4.

15. TRANSPORTATION/CIRCULATION	Significant Impact?		
Will the proposal result in:			
15.1 Generation of substantial additional vehicular movement?	NO <u>X</u>	POT. ___	YES ___
15.2 Effects on existing parking facilities, or demand for new parking?	NO <u>X</u>	POT. ___	YES ___
15.3 Substantial impact upon existing transportation systems?	NO <u>X</u>	POT. ___	YES ___
15.4 Alteration to present patterns of circulation or movement of people/goods?	NO <u>X</u>	POT. ___	YES ___
15.5 Alterations to waterborne, rail, or air traffic?	NO <u>X</u>	POT. ___	YES ___
15.6 Increases in traffic hazards to motor vehicles, bicyclists or pedestrians?	NO <u>X</u>	POT. ___	YES ___

**TRANSPORTATION/CIRCULATION: Conclusions w/evidence - Persons contacted.
Monitoring/Mitigation Measures?**

During construction, the amount of truck activity is minimal and no traffic control accommodations would be required during grading operations. Construction hours are 8:00am to 6:00pm, Monday through Saturday.

16. PUBLIC SERVICES **Significant Impact?**

Will the proposal have an effect upon, or result in a need for new or altered governmental services in any of the following areas:

16.1	Fire protection?	NO <u>X</u>	POT. —	YES —
16.2	Police protection?	NO <u>X</u>	POT. —	YES —
16.3	Schools?	NO <u>X</u>	POT. —	YES —
16.4	Parks or Other Recreational facilities?	NO <u>X</u>	POT. —	YES —
16.5	Maintenance of public facilities, including roads?	NO <u>X</u>	POT. —	YES —
16.6	Other governmental services?	NO <u>X</u>	POT. —	YES —

**PUBLIC SERVICES: Conclusion w/evidence - Persons contacted.
Monitoring/Mitigation Measures?**

See discussion in section 4.

17. UTILITIES

Significant Impact?

17.1	Will the proposal result in a need for new systems, or substantial alterations to the area utilities?	NO <u>X</u>	POT. —	YES —
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**UTILITIES: Conclusions w/evidence - Persons contacted.
Monitoring/Mitigation Measures?**

See discussion in section 4.

18. NOISE

Significant Impact?

18.1	Increases in existing noise levels?	NO <u>X</u>	POT. —	YES —
18.2	Exposure of people to severe noises?	NO —	POT. <u>X</u>	YES —

**NOISE: Conclusions w/evidence - Persons contacted.
Monitoring/Mitigation Measures?**

Construction of the facility would result in short-term noise from excavation, grading would result in short term noise impacts. Construction activities are estimated by the applicant to occur over a period of approximately one month. To mitigate this short term, potentially significant noise impact to a level of insignificance the following mitigation measure have been recommended.

Mitigation 18.2.a.

Hours of operation or movement of heavy construction equipment shall be limited to between 8:00 a.m. and 6:00 p.m. Such operations shall not occur on weekends or holidays.

Mitigation 18.2.b:

Excessively noisy equipment shall not be allowed on site. A note shall be placed on the building and grading plans outlining this requirement prior to issuance of grading permit.

<u>19. HAZARDS/HUMAN HEALTH</u>	Significant Impact?
19.1 A risk of an explosion or the release of hazardous substances (including, but not limited to, oil, pesticides, chemicals or radiation) in the event of an accident or upset conditions?	NO POT. YES <u>X</u> — —
19.2 Possible interference with an emergency evacuation plan?	NO POT. YES <u>X</u> — —
19.3 Creation of any health hazard or potential health hazard?	NO POT. YES <u>X</u> — —
19.4 Exposure of people to potential health hazards?	NO POT. YES <u>X</u> — —

HAZARDS/HUMAN HEALTH: Conclusions w/evidence - Persons contacted. Monitoring/Mitigation Measures?

See discussion in section 4.

<u>20. AESTHETICS</u>	Significant Impact?
20.1 Will the proposal result in the obstruction of any scenic vista or view open to the public, or will the proposal result in the creation of an aesthetically offensive site open to public view?	NO POT. YES <u>X</u> — —

AESTHETICS: Conclusions w/evidence - Persons contacted. Monitoring/Mitigation Measures?

The surface of the seawalls will be sculpted, textured and colored to resemble natural bedrock and resemble adjacent natural rock formations and would not have a significant visual impact.

<u>21. CULTURAL RESOURCES</u>	Significant Impact?
21.1 Will the proposal result in the alteration of, or the destruction of, a pre-historic or historic site?	NO POT. YES — <u>X</u> —
21.2 Will the proposal result in adverse physical or aesthetic effects to a pre-historic or historic building, structure or object?	NO POT. YES <u>X</u> — —

- | | | | | |
|------|--|----------------|-----------|----------|
| 21.3 | Does the proposal have the potential to cause a physical change which would affect unique ethnic or cultural values? | NO
<u>X</u> | POT.
— | YES
— |
| 21.4 | Will the proposal restrict existing religious or sacred uses within the potential impact area? | NO
<u>X</u> | POT.
— | YES
— |

CULTURAL RESOURCES: Conclusions w/evidence - Persons contacted. Monitoring/Mitigation Measures?

A Preliminary Cultural Resources Reconnaissance was performed on the subject site and is the basis of a report prepared for the project by Anna Runnings and Trudy Haversat of Archaeological Consulting, Inc., on October 1997. The report concluded that the fifteenth green seawall and the sixteenth fairway seawall appear to be Late Coastal Gathering sites, containing primarily haliotis shell and pounding stones, with artifactual material. Impacts to the sites will be minor, occurring at locations already impacted by natural erosion. The archaeological report makes the following recommendations:

The proposed project should not be delayed for archaeological reasons, and no archaeological restrictions are required for the Sixteenth Tee Seawall. If archaeological features or human remains are accidentally discovered during construction, work shall be halted within 150 feet of the find until it can be evaluated by a qualified professional archaeologist.

Mitigation Measure 21.1.a.:

An archaeological monitor shall be present at the fifteenth green seawall and the sixteenth fairway seawall during any construction or preconstruction activities that involve ground disturbance, such as grading, excavation for utilities, etc. If human remains or intact cultural features are discovered during construction, work shall be halted within 50 meters (150 feet) of the find until it can be evaluated by the monitor, and appropriate mitigation measures formulated and implemented.

Mitigation Measure 21.1.b.:

One or more shell samples shall be collected from a known location at each of the above sites for radiocarbon dating.

Mitigation measures listed above, that would be implemented during the grading of the project would reduce any impacts from the proposed project to a level of insignificance:

22. CUMULATIVE/GROWTH INDUCING IMPACTS

NOTE: Describe any cumulative/growth inducing impacts that may occur due to implementation of the project. Identify checklist topic related to the impact and provide adequate evidence.

The project as proposed, the development of the three seawalls would not have a cumulative or growth inducing impacts.

23. FEASIBLE PROJECT ALTERNATIVES

NOTE: If there are significant environmental impacts caused by the project that are unmitigable below significance, describe below any possible project alternatives that would have less environmental impacts.

No Project. This does not achieve the intent of the application. A "No Project" alternative would leave the existing golf course as it is, and would have the potential for further erosion of the golf course.

There are no alternative locations for the project.

24. STATEMENT OF MANDATORY FINDINGS OF SIGNIFICANCE

NOTE: If there are significant environmental impacts which cannot be mitigated and no feasible project alternatives are available, then complete the mandatory findings of significance and attach to this initial study as an appendix. This is the first step for starting the environmental impact report (EIR) process.

25. FISH AND GAME ENVIRONMENTAL DOCUMENT FEES

Assessment of Fee:

For purposes of implementing Section 735.5 of Title 14, California Code of Regulations: if based on the record as a whole, the Planner determines that implementation of the project described herein, will result in changes to resources A - G listed below, then a **Fish and Game Document Filing Fee** must be assessed. Based upon analysis using the criteria A - G, and information contained in the record, state conclusions with evidence below.

- A) Riparian land, rivers, streams, water courses, and wetlands under state and federal jurisdiction;
- B) Native and non-native plant life and the soil required to sustain habitat for fish and wildlife;
- C) Rare and unique plant life and ecological communities dependent on plant life, and;
- D) Listed threatened and endangered plant and animals and the habitat in which they are believed to reside;
- E) All species of plant or animals as listed as protected or identified for special management in the Fish and Game Code, the Public Resources Code, and the Water Code, or regulations adopted thereunder;
- F) All marine terrestrial species subject to the jurisdiction of the Department of Fish and Game and the ecological communities in which they reside;
- G) All air and water resources the degradation of which will individually or cumulatively result in the loss of biological diversity among plants and animals residing in air or water.

De minimis Fee Exemption: For purposes of implementing Section 735.5 of the California Code of Regulations: A *De minimis Exemption* may be granted to the **Environmental Document Fee** if there is substantial evidence, based on the record as a whole, that there **will not** be changes to the above named resources 24.A - G caused by implementation of the project. Using the above criteria, state conclusions with evidence below, and follow Planning and Building Inspection Department procedures for filing a De

minimis Exemption.

Conclusion: The project will be required to pay the fee.

Evidence: The project will require potential impacts to sensitive and threatened plant species which will result in changes to resources listed under criteria "D" above.

26. ATTACHED APPENDICES:

ATTACHMENT A
ATTACHMENT B
ATTACHMENT C
ATTACHMENT D

Project location
Grading Plan/ Project plan
Biological Report
Archaeological Report

EXHIBIT H
PLANNING COMMISSION RESOLUTION 98018

PLN120163 - Cypress Point Club

Planning Commission
October 10, 2012

**PLANNING COMMISSION
COUNTY OF MONTEREY, STATE OF CALIFORNIA**

RESOLUTION NO. 98018

A. P. # 008-271-006-000

In the matter of the application of
CYPRESS POINT CLUB (PLN970480)

FINDINGS AND DECISION

WHEREAS: The Planning Commission, pursuant to regulations established by local ordinance and state law, has considered, at public hearing, a Combined Development Permit, located westerly of Seventeen Mile Drive, Del Monte Forest, Coastal zone, came on regularly for hearing before the Planning Commission on March 25, 1998.

WHEREAS: Said proposal includes:

- 1) Major Coastal Development Permit for coastal bluff restoration along the 15th and 16th greens of Cypress Point Golf Course, and
- 2) Waiver of policy prohibiting development on slopes in excess of 30 percent, and
- 3) Design Approval (APN#008-271-006-000 and 008-272-012-000).

WHEREAS: Said Planning Commission, having considered the application and the evidence presented relating thereto,

FINDINGS OF FACT

1. FINDING: This Combined Development Permit (970480) consists of a Coastal Development Permit for 3 seawalls for coastal bluff stabilization and grading; a Coastal Development Permit for a waiver of the policy prohibiting development on slopes in excess of 30%; and Design Approval. The project is consistent with both the Del Monte Forest Area Land Use Plan and the development standards and zoning regulations contained in the certified Coastal Implementation Plan, specifically Chapter 20.147 "Regulations for Development in the Del Monte Forest Land Use Plan Area."
- EVIDENCE: The area is designated and zoned as "OR(CZ)" (Open Space/Recreational).
- EVIDENCE: Staff's research and field review have determined that this project satisfies requirements of the development standards and zoning district regulations of the Coastal Implementation Plan.
- EVIDENCE: Based on staff's field review, the project would not impact views from any common public viewing areas.
- EVIDENCE: Based on staff's field review, the project would not impact shoreline access along Cypress Point.
- EVIDENCE: The Del Monte Forest Land Use Advisory Committee reviewed the application on January 8, 1998, and voted 9 to 0 to recommend approval.
- EVIDENCE: Documents submitted to the Monterey County Planning and Building Inspection Department contained in File No. 970480.

2. FINDING: The project will not have a significant adverse impact on the environment and a Negative Declaration has been adopted by the Monterey County Planning Commission. An initial study was prepared for the project and it was determined that the project with the mitigation measures would have no significant impacts. A Negative Declaration was filed with the County Clerk on January 26, 1998, noticed for public review, and circulated to the State Clearinghouse. Mitigation measures were added to reduce potential impacts identified during the preparation of the Initial Study and Negative Declaration. Those mitigation measures have been incorporated as conditions of approval for the project. The Planning Commission considered public testimony and the initial study.
- EVIDENCE: Initial Study and Negative Declaration contained in File No. 970480.
3. FINDING: The proposed project is consistent with policies of the Del Monte Forest Area Land Use Plan dealing with development within an environmentally sensitive area. The Biological Report (October 1997) prepared for the site by Jud Vandevere and Associates states that the project would result in the loss of 23 coast dune buckwheat (*Eriogonum parvifolium*), which provides habitat for the federally protected Smith's Blue Butterfly. The biologist recommends replanting 32 coast dune buckwheat on the site to mitigate the potential loss of habitat for the Smith's Blue Butterfly, as well as removal of non-native vegetation and establishment of native plant species. The biological report also identified potential impacts to marine wildlife, specifically the Harbor seal, which uses the small sandy cove beaches and intertidal rocks for the birth and nursing of seal pups. The biologist recommends that no construction take place on the site between April 1st and July 1st which is the pupping season for the Harbor seals.
- EVIDENCE: The Biological Report (October 1997) prepared for the site by Jud Vandevere and Associates is consistent with the requirements of the Del Monte Forest Area Land Use Plan; Conditions no.9, 10, 11 and 12.
4. FINDING: The project is consistent with policies of the Del Monte Forest Area Land Use Plan dealing with development in archaeologically sensitive areas. An archaeological survey of the site has been conducted by Archaeological Consulting, Inc. The report states that the potential for cultural resources exists in the vicinity of the 15th green and the 16th fairway since the area is classified as a late coastal gathering site. An archaeological monitor is required to be on site during any construction or land disturbance activities. A condition of permit approval requires that work be stopped in the event that any archaeological resources are discovered.
- EVIDENCE: Archaeological report prepared by Archaeological Consulting Inc., contained in the project file and conditions of permit approval.
5. FINDING: The proposed project is consistent with policies of the Del Monte Forest Area Land Use Plan dealing with development on coastal bluffs and rocky shoreline areas. A Geotechnical/Geological Report (November 1997) has been prepared for the project by Haro, Kasunich Associates, Inc. The report addresses the engineering and design of the seawalls and incorporates the recommendations of the previous geological report prepared by the engineering/geological firm of Foxx, Nielson and Associates, Inc. The report concludes that the proposed project can proceed with conditions.

- EVIDENCE: Geotechnical/Geological Report (November 1997) prepared for the project by Haro, Kasunich Associates, Inc., contained in project file no. 970480.
- EVIDENCE: Conditions no. 2, 3, 4 and 5.
6. FINDING: The request for the proposed development to be located on slopes 30 percent or more is consistent with the Del Monte Forest Area Land Use Plan since no alternative site exists for the project on slopes less than 30 percent.
- EVIDENCE: Plans and materials in File No. 970480.
7. FINDING: The request for the proposed development on slopes 30 percent or more is consistent with Section 20.147.040 of the Del Monte Forest Area Land Use Plan since the project better achieves the resource protection objectives and policies of the Del Monte Forest Area Land Use Plan.
- EVIDENCE: The Biological Report prepared for the project by Jud Vandevere and Associates contained in the file. The project is intended to protect the coastal bluffs and environmentally sensitive areas from further erosion and degradation.
8. FINDING: The site of the proposed development is physically suitable for the type of development proposed.
- EVIDENCE: The project has been reviewed and conditions are recommended by the Monterey County Planning and Building Inspection Department, Water Resources Agency, Public Works Department, the local Fire District, the Environmental Health Division, the California Coastal Commission, and the California Department of Fish and Game. There has been no indication from those agencies that the site is not suitable for the proposed project.
9. FINDING: For purposes of the Fish and Game Code, the project will have a potential for adverse impact on fish and wildlife resources upon which the wildlife depends.
- EVIDENCE: Staff analysis contained in the Initial Study and the record as a whole indicate the project may or will result in changes to the resources listed in Section 753.5(d) of the Department of Fish and Game regulations.
10. FINDING: The establishment, maintenance, or operation of the use or building applied for will not under the circumstances of the particular case, be detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood or to the general welfare of the County.
- EVIDENCE: The above findings and supporting evidence.
11. FINDING: The project, as approved by the Combined Development Permit, is appealable to the Board of Supervisors and the California Coastal Commission.
- EVIDENCE: Section 20.140.080 G and J of the Monterey County Coastal Implementation Plan.

DECISION

THEREFORE, it is the decision of said Planning Commission that said application be granted as shown on the attached sketch, subject to the following conditions:

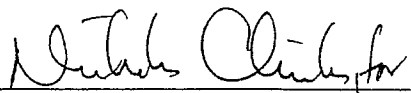
- 1. This Combined Development Permit (970480) consists of a Coastal Development Permit for 3 seawalls for coastal bluff stabilization and grading; a Coastal Development Permit for a waiver of the policy prohibiting development on slopes in excess of 30%; and Design Approval. This permit is in accordance with County ordinances and land use regulations subject to the following terms and conditions. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of Planning and Building Inspection. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the appropriate authorities. (Planning and Building Inspection)
- 2. An erosion control plan shall be prepared for the proposed project. The erosion control plan shall ensure that the project has zero or a negative increase in land disturbance. The improvement and grading plans shall include an implementation schedule of measures for the prevention and control of erosion, siltation and dust. The schedule shall address these issues during and immediately following construction until the erosion control measures are permanently established. This program shall be approved by the Director of Planning and Building Inspection prior to issuance of a grading permit. (Planning and Building Inspection)
- 3. The grading plan, erosion control plan and the building permits for the seawalls shall incorporate all recommendations and mitigation measures in the Geologic and Geotechnical reports prepared by Haro, Kasunich and Associates dated November 1997, subject to the approval of the Director of Planning and Building Inspection. (Planning and Building Inspection)
- 4. A Grading Permit shall be required pursuant to the Monterey County Code relative to Grading, Chapter 16.08. (Planning and Building Inspection)
- 5. No land clearing or grading shall occur on the subject parcel between October 15 and April 15 unless authorized by the Director of Planning and Building Inspection. (Planning and Building Inspection)
- 6. The applicant shall comply with the Noise Element of the Monterey County General Plan and Chapter 10.60 (Noise Control) of the Monterey County Code. (Environmental Health)

7. If, during the course of construction, cultural, archaeological, historical or paleontological resources are uncovered at the site (surface or subsurface resources) work shall be halted immediately within 50 meters (150 feet) of the find until it can be evaluated by a qualified professional archaeologist. The Monterey County Planning and Building Inspection Department and a qualified archaeologist (i.e., an archaeologist registered with the Society of Professional Archaeologists) shall be immediately contacted by the responsible individual present on-site. When contacted, the project planner and the archaeologist shall immediately visit the site to determine the extent of the resources and to develop proper mitigation measures required for the discovery. (Planning and Building Inspection)
- OK 8. An archaeological monitor shall be present during any construction or pre-construction activities for this project which involve ground disturbance, such as grading and excavation. If human remains or intact cultural features are discovered during construction, work shall be halted within 50 meters (150 feet) of the find until it can be evaluated by the monitor, and appropriate mitigation measures formulated and implemented. Shell samples shall be collected from a known location at each of the above sites for radiocarbon dating. A copy of the applicant's contractual agreement with a qualified archaeologist for monitoring activities pursuant to this condition shall be submitted to the Planning and Building Inspection Department prior to issuance of any permits. (Planning and Building Inspection)
9. The site shall be landscaped. At least three weeks prior to final clearance of the building permit, three copies of a landscaping plan shall be submitted to the Director of Planning and Building Inspection for approval. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The Landscape Plan shall include provisions for replanting 32 dune buckwheat (*Eriogonum parvifolium*) at the project site and shall incorporate the recommendations contained in the biological report prepared by Jud Vandevere, on December 1997. The plan is also subject to review and approval by a qualified biologist. The landscaping plan shall be in sufficient detail to identify the location, specie, and size of the proposed landscaping materials. Implementation of the Landscape Plan shall occur prior to final clearance of the permits for the project by the Monterey County Planning and Building Inspection Department. (Planning and Building Inspection)
- 10. No construction activity shall occur between April 1st and July 1st to avoid abandonment mortality of harbor seals (*Phoca vitulina richardsi*) during the pups' birthing and nursing season. Prior to issuance of grading/building permit, after July 1st, a registered biologist shall review the area for presence of harbor seals. (Planning and Building Inspection)
11. The 23 coastal dune buckwheat plants (*Eriogonum parvifolium*) proposed for removal shall be removed once a building and/or grading permit has been issued for the project and prior to the adult flight period for the Smith's Blue Butterfly which occurs between mid-June through September. (Planning and Building Inspection)
12. All landscaped areas and/or fences shall be continuously maintained by the applicant and all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. (Planning and Building Inspection)
13. The design of each seawall shall be subject to the approval of the Director of Planning and Building Inspection prior to final building permit clearance. (Planning and Building Inspection)

- ✓ 14. Pursuant to the State Public Resources Code, State Fish and Game Code, and California Code of Regulations, the applicant shall pay a fee to be collected by the County of Monterey in the amount of \$1,275. This fee shall be paid on or before the filing of the Notice of Determination. Proof of payment shall be furnished by the applicant to the Director of Planning and Building Inspection prior to the recordation of the tentative map, the commencement of the use, or the issuance of building and/or grading permits, whichever occurs first. The project shall not be operative, vested or final until the filing fees are paid. (Planning and Building Inspection)
- 15. The property owner agrees as a condition of the approval of this permit to defend at his sole expense any action brought against the County because of the approval of this permit. The property owner will reimburse the County for any court costs and attorneys' fees which the County may be required by a court to pay as a result of such action. County may, at its sole discretion, participate in the defense of any such action; but such participation shall not relieve applicant of his obligations under this condition. Said indemnification agreement shall be recorded upon demand of County Counsel or prior to the issuance of building permits or use of the property, whichever occurs first. (Planning and Building Inspection)
- 16. The applicant shall record a notice which states: "A permit (Resolution No. 98018) was approved by the Planning Commission for Assessor's Parcel Number 008-272-012-000 and 008-271-006-000 on March 25, 1998. The permit was granted subject to 16 conditions of approval which run with the land. A copy of the permit is on file with the Monterey County Planning and Building Inspection Department." Proof of recordation of this notice shall be furnished to the Director of Planning and Building Inspection prior to issuance of building permits or commencement of the use. (Planning and Building Inspection)

PASSED AND ADOPTED this 25th day of March, 1998 by the following vote:

AYES: Calcagno, Crane-Franks, Diaz-Infante, Errea, Hawkins, Hennessy, Hernandez
 NOES: None
 ABSENT: Lacy, Pitt-Derdivanis, Reaves



 William L. Phillips, SECRETARY

Copy of this decision mailed to applicant on **APR - 1 1998**

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK OF THE BOARD OF SUPERVISORS ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE **APR 13 1998**

THIS APPLICATION IS ALSO APPEALABLE TO THE COASTAL COMMISSION. UPON RECEIPT OF NOTIFICATION OF THE DECISION BY THE BOARD OF SUPERVISORS, THE COMMISSION ESTABLISHES A 10 WORKING DAY APPEAL PERIOD. AN APPEAL FORM

CYPRESS POINT CLUB (PLN970480)

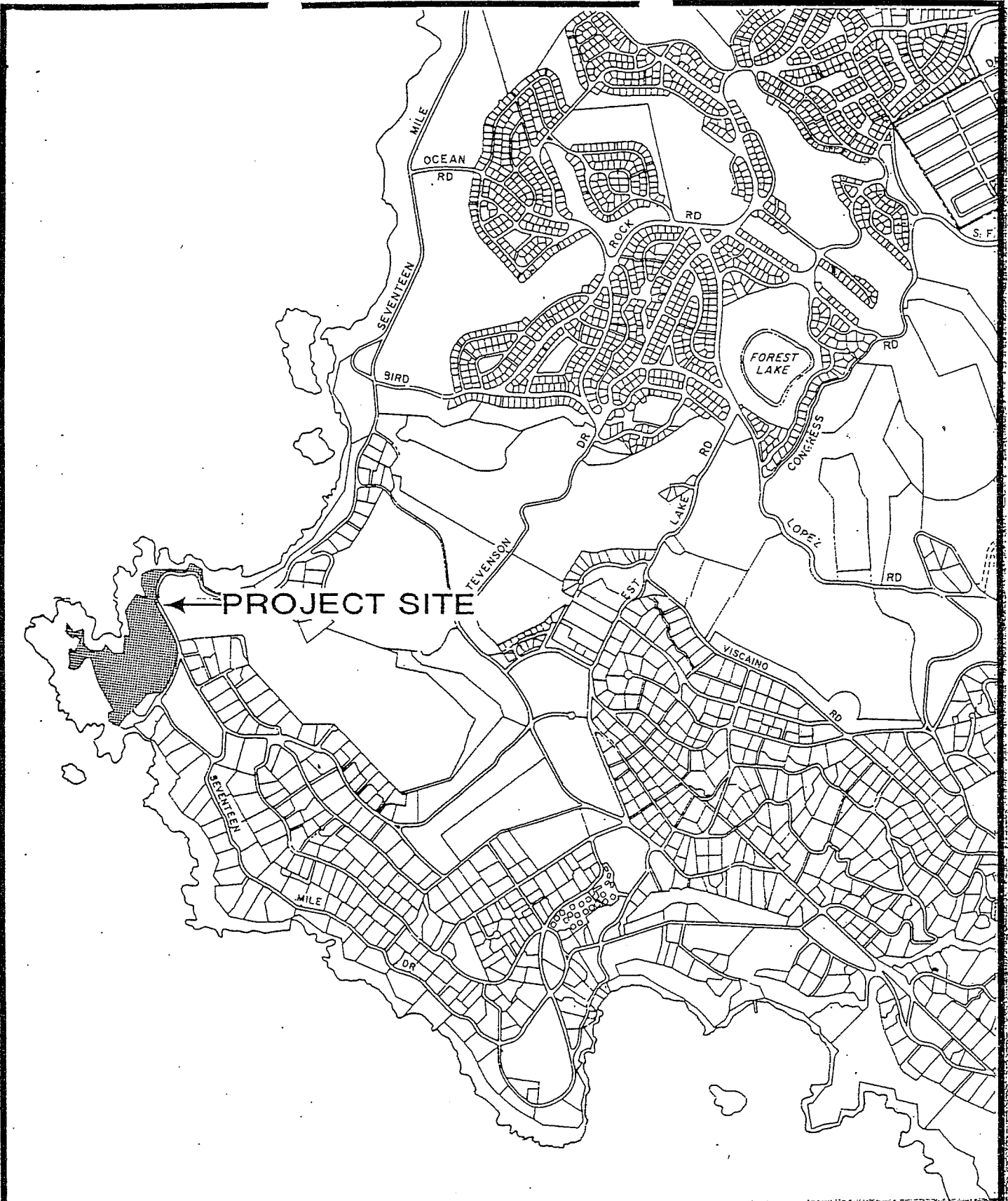
Page 7

MUST BE FILED WITH THE COASTAL COMMISSION. FOR FURTHER INFORMATION,
CONTACT THE COASTAL COMMISSION AT (408) 479-4863 OR AT 725 FRONT STREET,
SUITE 300, SANTA CRUZ, CA

NC/

CAWIN70\RESO\CDP-CZ

Rev. 5/9/97



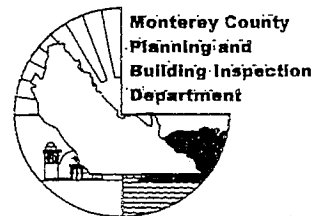
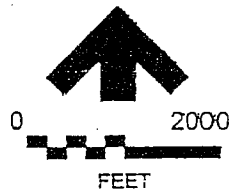
APPLICANT: CYPRESS POINT CLUB

APN: 008-271-006-000

FILE# 970480

300' LIMIT: 

2,500' LIMIT: 



DATE: 3/25/98

EXHIBIT I
BIOLOGICAL REPORTS

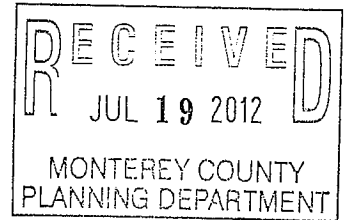
PLN120163 - Cypress Point Club

Planning Commission
October 10, 2012

LIB 120242

June 19, 2012

Anthony J. "Bud" Carney
California Land Planning
347 Arthur Avenue
Aptos, CA 95003



SUBJECT: Proposed Seawall Repair, Cypress Point Club

Dear Mr. Carney:

At your request, on April 25, 2012 I met with you and visited the site of a proposed seawall repair project along the rocky coastline in Pebble Beach. As I understand, you and your firm, California Land Planning, are coordinating permit applications for a small seawall repair project situated on the coastal bluff below a sand trap on the 15th Green of the Cypress Point Club, APN 008-271-006. On April 25, 2012, we were joined in the field by Mark Foxx, Engineering Geologist with Haro Kasunich and Associates, Geotechnical Consultants, and Jeff Markow, Golf Course Superintendent for the Cypress Point Club.

This letter report was commissioned to identify the potential occurrence of special status plants and animals in the proposed work and staging area, and in the immediate project vicinity. In addition to documenting current biological conditions in the proposed project area, this letter report includes recommendations to eliminate potential impacts to sensitive species and enhance habitat that may be suitable for the federally endangered Smith's blue butterfly (*Euphilotes enoptes smithi*).

Figure 1 depicts the general project vicinity and Figure 2 is a photograph of current conditions in the proposed work site. The area of coastal bluff proposed for repair is immediately below a sand trap on the 15th Green and above a natural bedrock ledge. The proposed repair site is sandwiched between adjoining areas of artificial seawall designed by Haro Kasunich and Associates, and constructed in accordance with 1998 Coastal Development Permit Conditions approved by the Monterey County Planning and Building Inspection Department (PLN 970480). Figure 3 is a photo-simulation of the proposed seawall repair.

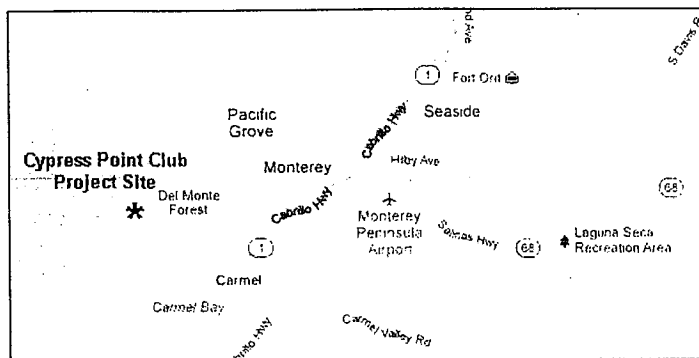
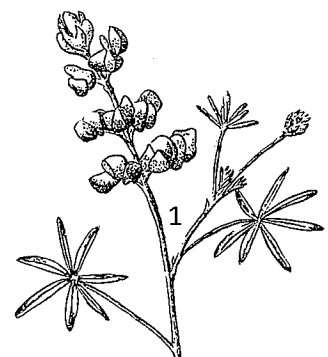


Figure 1 – Area Map

Nicole Nedeff
Consulting Ecologist

11630 McCarthy Road
Carmel Valley, CA 93924

(831) 659-4252
nikki@ventanaview.net



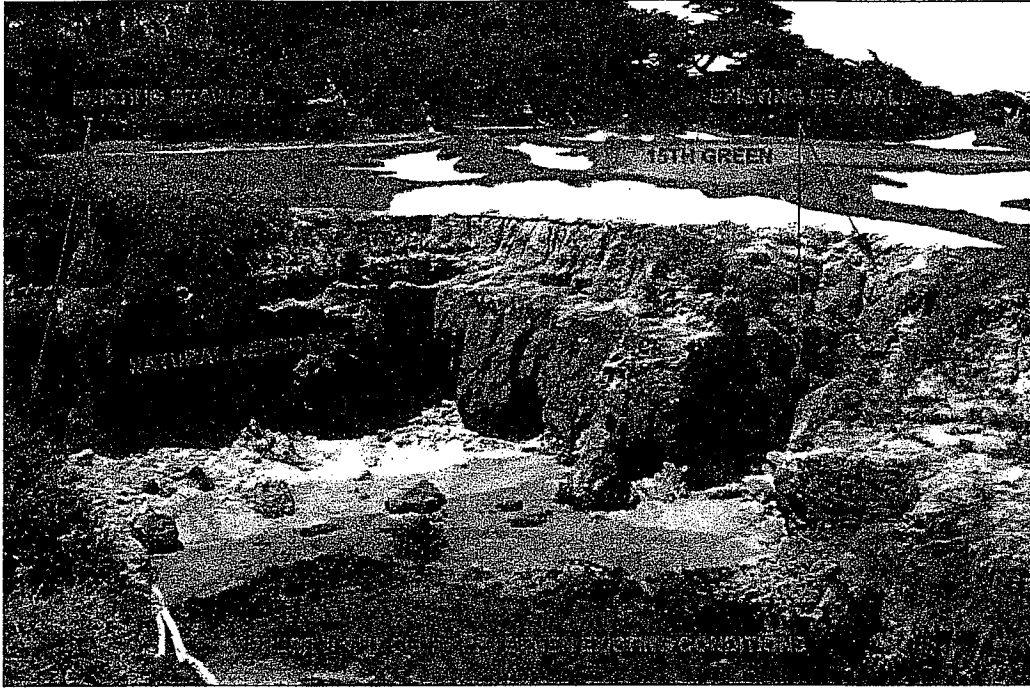


Figure 2 – Existing conditions at the proposed seawall repair site.

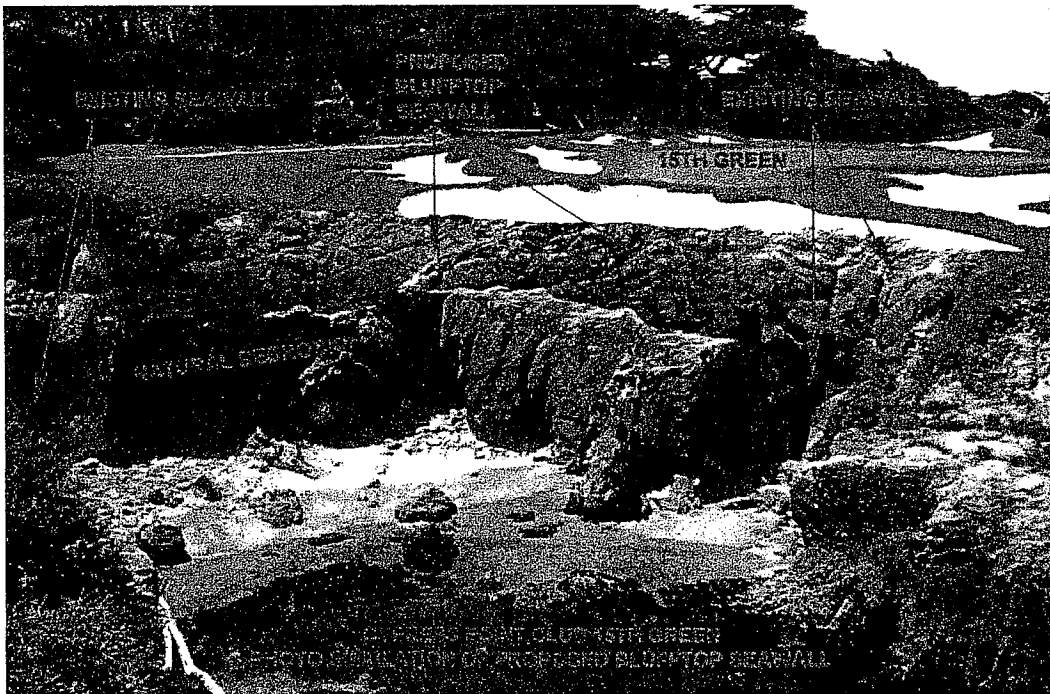


Figure 3 – Photo-simulation of the proposed seawall and 15th Green after construction is complete.

The coastal bluff identified for seawall repair is at the edge of a wave-cut marine terrace composed of coarse-grained granitic bedrock. Bedrock is overlain by shallow soils, which are veneered by imported sand (in the trap), or vegetated with turf or iceplant (*Carpobrotus edulis*). Several small areas along the top of the marine terrace support sparse native plants and several weedy species that have colonized pockets of soil collected in the cracks and joints of the weathered bedrock.

Natural vegetation in the proposed project area would likely have been composed of Northern Coastal Scrub and Coastal Bluff Scrub, with groves of Monterey and Gowen cypress (*Hesperocyparis macrocarpa* and *H. goveniana*) beyond the landward margin of the proposed staging area. Because the golf links of Cypress Point Club have essentially replaced native vegetation with manicured turf and/or imported sand, there really is no "natural vegetation community" in the project area. Isolated and widely scattered native species that were documented on the coastal bluff in the project vicinity include seaside daisy (*Erigeron glaucus*), bluff lettuce (*Dudleya caespitosa*), California corythogyne (*Corethrogyne californica*), salt grass (*Distichlis spicata*), Pacific seaside plantain (*Plantago maritima*) and yarrow (*Achillea millefolium*). Very little native vegetation occurs in the footprint of the proposed seawall, which is essentially barren rock. Occasional weedy species noted during field survey include Hottentot fig iceplant (*Carpobrotus edulis*), common sow thistle (*Sonchus oleraceus*), grass poly (*Lythrum hyssopifolium*) and white sweet-clover (*Melilotus albus*).

At the up-coast, northerly edge of the proposed construction staging area is a patch of iceplant that has swamped native seacliff buckwheat (*Eriogonum parvifolium*). The buckwheat stand is technically outside the project work area. This buckwheat is one of two specific host plants for all life stages of the federally endangered Smith's blue butterfly (*Euphilotes enoptes smithi*). Since the adult butterflies are active from late June through mid-August, no specimens were observed in or around the buckwheat during the late April survey period at the project site. However, it is possible that the small, endangered butterfly could find appropriate habitat in the buckwheat stand at the edge of the proposed staging area. At the present time, the buckwheat plants that are currently in place are almost completely engulfed by invasive iceplant. It was impossible to determine whether the "emergent" buckwheat branches and plant parts were numerous individual specimens (perhaps as many as 12-15 plants), or portions of larger plants that had managed to break through the dense blanket of iceplant. Yarrow also occurs with the buckwheat as an "emergent" through the thick cover of iceplant.

Seacliff buckwheat branches, or parts of plants, were noted in an area approximately 3 x 3 square meters. The iceplant-dominated area is bordered by a narrow walking pathway and is positioned near the top of the marine terrace bluff. No seacliff buckwheat specimens were observed in the project area or the proposed staging area, yet it will be appropriate to provide a buffer for existing plants between staging activities, construction and potential walking traffic along the pathway.

No other special status species were observed in the proposed project and equipment staging areas, or in the general project vicinity. It should be noted that a small, sandy pocket beach

nearby on the down-coast, southerly side of the 15th Green could support mother and pup harbor seals (*Phoca vitulina richardsi*), which are known to utilize sandy coves in the Cypress Point area during birthing and nursing.

Suggested Permit Conditions to Reduce or Eliminate Potential Biological Concerns:

A. It is understood that the turf and sand trap damaged during project construction will be restored to pre-existing conditions with new sod, grass plantings and imported sand. It is recommended that Project Permit Conditions note and reference the specifications outlined in the "Construction Management Plan Provisions" included on the site plan drawing and incorporated in this report as Appendix A.

B. In addition to the above-referenced recommendations, the following suggestions are provided to protect and enhance potential sensitive species habitat:

1. All preparation, equipment staging and work should commence after the normal harbor seal pup nurturing period, which generally concludes in mid-June. No construction activity should occur between April 1 and July 1 to avoid abandonment and possible mortality of harbor seal pups.

2. The project staging area shall be marked with plastic drift fencing positioned through the iceplant within at least five (5) feet of any seacliff buckwheat plant, or branch emerging through the iceplant cover. In addition, the coastal margin of the adjoining decomposed granite walking path should be fenced to avoid potential impacts to seacliff buckwheat. A qualified biologist should supervise and approve the placement of protective fencing.

3. After the adult flight period (mid-June through late August) for Smith's blue butterfly, all invasive iceplant at the top of the bluff adjacent to the seawall project area should be very carefully removed to expose and liberate underlying seacliff buckwheat plants. Iceplant that is removed from the site should be disposed of in an appropriate manner to insure it can not resprout and colonize additional surface areas. Exposed soil after iceplant removal can be lightly mulched with chipped native plant material to reduce weed infestation.

4. The margin of nearby cypress forest should be marked and protected from construction activities with plastic drift fencing. It is likely that no cypress trees will be adversely affected by any activities related to the seawall repair project, however it is prudent to delineate a "No Activity" zone within five (5) feet of the canopy dripline of the forested area near the project area.

5. Although referenced above in the Construction Management Plan Provisions, it is crucial to establish secure silt fencing and debris catchment nets below the footprint of the proposed seawall repair work to protect the rocky beach, inter-tidal zone, and all waters of the Monterey Bay National Marine Sanctuary below the project area. No debris of any kind, including iceplant

or other weedy plants, should be permitted to fall to the beach below at any time during project staging or implementation.

If the suggestions noted above are employed before, during and after project implementation, the construction of the proposed seawall repair will be reduced to biologically acceptable levels and have a less than significant impact on any natural habitat or special status species that could occur in the project area and vicinity.

Please contact me if I can elaborate on any portion of this letter report, or answer any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "Nicole Nedeff". The signature is fluid and cursive, with the first name "Nicole" written in a larger, more prominent script than the last name "Nedeff".

Nicole Nedeff
Consulting Ecologist

Attachment: Appendix A, Construction Management Plan Provisions

Nicole Nedeff
Consulting Ecologist
11630 McCarthy Road
Carmel Valley, CA 93924
831.659.4252 phone
831.659.4230 fax
831.320.9463 mobile
nikki@ventanaview.net

APPENDIX A

CONSTRUCTION MANAGEMENT PLAN PROVISIONS – SITE PLAN

CONSTRUCTION MANAGEMENT PLAN PROVISIONS

Construction access shall be as directed by owner. Impacts to the access route must be minimized and disturbance along the access route must be restored to pre-construction conditions upon project completion. The following provisions shall apply to the work.

All excess fill shall be hauled offsite to an approved dumpsite.

All work shall take place during daylight hours and lighting of the beach area is prohibited unless, due to extenuating circumstances, the Executive Director of the California Coastal Commission authorizes non-daylight work and/or beach area lighting.

Construction work or equipment operations shall not be conducted seaward of the mean high water line.

All construction equipment shall remain as far landward as possible, and avoid contact with ocean waters and intertidal areas.

All erosion and sediment controls shall be in place prior to the commencement of construction as well as at the end of each work day. At a minimum, silt fences, or equivalent apparatus, shall be installed at the perimeter of the construction site to prevent construction related runoff and/or sediment from entering into the Pacific Ocean. Fencing may be used on the beach for erosion and sediment controls (e.g, a silt fence at the base of the bluff) as necessary to contain rock and/or sediments at the project site.

No work shall take place on the beach.

The Contractor (and Permittee) shall monitor weather forecasts and take appropriate precautions in advance of storm or extreme tidal events.

Construction (including but not limited to construction activities, and materials and/or equipment storage) is prohibited outside of the defined construction, staging, and storage areas shown hereon.

All heavy equipment used for concrete pouring located on the coastal terrace shall be set at least 25 feet landward of the blufftop and shall use flexible hoses or articulated booms to deliver concrete to the project site. Other heavy equipment may be used periodically atop the coastal bluff, but shall be removed from the bluff-top when not in use. All heavy equipment and project construction materials shall be stored in the construction staging areas shown.

Equipment washing, refueling, and/or servicing shall not take place on the beach, or within 100 feet of the shoreline, or on the golf course proper.

Petroleum products and other hazardous materials will be kept a distance of at least 100 feet from the shoreline and shall be stored off the golf course proper.

The construction site shall maintain good construction site housekeeping controls and procedures (e.g., clean up all leaks, drips, and other spills immediately; keep materials covered and out of the rain (including covering exposed piles of soil and wastes); dispose of all wastes properly, place trash receptacles on site for that purpose, cover open trash receptacles during wet weather, remove all construction debris from the beach).

All areas of beach disturbed by construction activities shall be restored to their original pre-construction condition. The plans show the dimensions of the access routes and the staging areas. Upon completion of construction of the seawall, the access route and staging area shall be restored to their original condition.

At all times during project construction activities, copies of each of the following shall be maintained in a conspicuous location at the construction job site (where such copies shall be available for public review) and all persons involved with the construction shall be briefed on the content and meaning of each prior to commencement of construction: (a) the signed coastal development permit; (b) the approved final plans; and (c) the approved construction management plan.

MARINE PROTECTION

To prevent any impacts upon the marine habitat, no overburden or wet cement may be allowed to adversely impact the beach or enter the tidal zone. Under no circumstances shall use of equipment be allowed on the beach or below the mean high tide line. Any areas of loose or unstable soil must be stabilized immediately after other portions of the project are finished. Any heavy equipment operation must be conducted with care near the edge of the bluff to prevent the destabilization of the substrate and additional erosion. Care must be taken so the coastal bluffs outside the work area are not damaged during construction. The Contractor shall conduct daily checks of the beach area to make sure no construction debris has fallen onto the beach. If any debris is discovered, cleanup & removal is required.

BIOLOGICAL PROTECTION

No work shall be allowed and no material or equipment shall be placed within the sensitive areas noted in the biological protection plan

LIB120241

**JUD VANDEVERE and ASSOCIATES
BIOLOGICAL CONSULTANTS**

93 Via Ventura
Monterey, CA 93940
(408) 372-6001

**LANDSCAPE PLAN
CYPRESS POINT CLUB**

Pebble Beach

APN 008-271-006

Prepared for

Jeff Markow

Golf Course Superintendent
Cypress Point Club
Pebble Beach, California 93953

18 May 1998

LANDSCAPE PLAN: CYPRESS POINT CLUB, PEBBLE BEACH, APN 008-271-006

1. This landscaping plan shall include provisions for replanting 60 dune buckwheat, *Eriogonum parvifolium* at the project site and shall incorporate the recommendations contained in the biological report prepared by Jud Vandevere, on December 1997. The predominant vegetation type is Coastal Bluff Scrub.
2. This report has been prepared by Jud Vandevere and Associates.
3. Fieldwork was performed on 28 Oct 97 by Jud Vandevere.
4. This report has been prepared for Jeff Markow, Golf Course Superintendent for the Cypress Point Club.

5. The site is Cypress Point on the 17-Mile-Drive, P. O. Box 466, Pebble Beach, CA 93953, APN 008-271-006.

6. **SUMMARY RESULTS:**

a. At the 15th green and the 16th tee, dune buckwheats will be planted to mitigate for lost buckwheats. Where turf grass is damaged, it will be replaced by new sod. At the 17th green seawall, seaside daisies, salt grass and some of the 60 dune buckwheats that will replace the 23 buckwheats lost during construction should be planted to replace damaged ice plant. These plants and other buckwheats on the course could provide habitat for the endangered Smith's blue butterfly, *Euphilotes enoptes smithi*.

b. The predominant vegetation type is Coastal Bluff Scrub.

I. **INTRODUCTION:** This report deals with a plan for restoring buckwheat habitat. The report was prepared for Jeff Markow.

II. **REGIONAL SETTING:** From Pebble Beach Golf Course to Cypress Point Golf Course, along the 17-Mile-Drive, nearly every parcel has been developed within the Del Monte Forest, and the Forest is surrounded by the ocean and the cities of Carmel, Pacific Grove and Monterey. On this the western extremity of the Monterey Peninsula, less than one acre will be impacted.

III. **DESCRIPTION OF LOCAL VEGETATION:**

a. The areas that will be disturbed by the proposed project were visited with Jeff Markow and all plant and animal species seen were recorded.

LANDSCAPE PLAN: CYPRESS POINT CLUB, PEBBLE BEACH, APN 008-271-006

III. DESCRIPTION OF LOCAL VEGETATION: cont.:

b. The Del Monte Forest consists of a Closed-cone Coniferous Forest of endangered Monterey pine, *Pinus radiata*, threatened by pitch canker fungus, *Fusarium subglutinans* f. sp. *pini*. The extent of this sensitive Closed-cone Coniferous Forest habitat has been diminishing rapidly on the Monterey Peninsula. Also within Pebble Beach are biologically-rich Maritime Chaparral and dune vegetation habitats, comprised of a number of rare, endangered or sensitive plant taxa. Some of these habitats are partially protected within the S. F. B. Morse Botanical Reserve and a small remnant dune which is contiguous to the south side of Spanish Bay Links. The Point Lobos and Del Monte Forest areas each support one of the only two groves in the world of the endangered Monterey cypress, *Cupressus macrocarpa*, and of the endangered Gowen cypress, *Cupressus goveniana* ssp. *goveniana*. Pebble Beach supports other habitats: Coastal Bluff Scrub, Coastal Sage Scrub and Oak Woodland.

c. The dominant (and only) plant community that will be impacted by the proposed project is Coastal Bluff Scrub. Construction of the course many years ago reduced this habitat to a steep cliff terrain between links and ocean, where the dominant plant is introduced Hottentot fig, *Carpobrotus edulis*. Other noticeable vascular plants are: dune buckwheat; New Zealand spinach, *Tetragonia tetragonioides*; California corethrogyne, *Corethrogyne californica*; large-flowered sand spurrey, *Spergularia macrotheca*; seaside daisy, *Erigeron glaucus*; beach-bur, *Ambrosia chamissonis*; alkali heath, *Frankenia grandiflora* and salt grass, *Distichlis spicata* var. *stolonifera*. Above the splash zone, in fresh-water seeps, occurs the alga, *Enteromorpha intestinalis*.

d. The specific habitat of the site is the edge of a wave cut terrace.

1. At each project site the plant community, Coastal Bluff Scrub, occupies the area between the links and the intertidal.
2. Some plants are growing on earlier placed retaining walls. 100% of the vegetation is Coastal Bluff Scrub.
3. Today the dominant plant is Hottentot fig.

IV. RARE AND ENDANGERED PLANTS AND/OR COMMUNITIES: Two of the proposed project sites, 1 and 2, support buckwheat plants which provide habitat for the possible occurrence of Smith's blue butterfly. Although no butterflies were seen on the October visit, the adult flight period of Smith's blue is from mid-June through September. Even though the presence of the butterfly could not be determined, mitigation for loss of habitat is recommended.

The small, endangered Monterey cypress tree that is close to the project site at the 15th green should not be adversely affected by the construction of a retaining wall. This very low lying tree has the tips of its outer branches, with their drip lines, touching the ground.

No other Monterey cypresses with their drip lines are anywhere near the other sites.

LANDSCAPE PLAN: CYPRESS POINT CLUB, PEBBLE BEACH, APN 008-271-006

IV. RARE AND ENDANGERED PLANTS AND/OR COMMUNITIES: cont.

No Coastal Dune habitat occurs near the project site and thus none of its rare or endangered plant or animal taxa will be affected. Although the survey was conducted when many plants are not in bloom, sufficient flowering California corethrogyne, *Corethrogyne californica*, were found to determine that the corethrogyne on site is not the rare branching beach-aster, *C. leucophylla*.

V. THREATENED SPECIES: The bases of the seawalls will be in the intertidal area which is habitat for a wide variety of marine invertebrates and marine plants. Mother and newborn pup harbor seals, *Phoca vitulina richardsi*, use very small, sandy cove beaches and intertidal and high littoral rocks in the area from 1 April to 1 July.

Jud Vandevere will survey the beaches and rocks in the area on 1 July 98, to determine the presence or absence of harbor seal pups.

There are no other threatened species that will be adversely affected by this proposed project.

**VI. IMPACT ASSESSMENT AND MITIGATION MEASURES FOR LANDSCAPING:
(CONCLUSION)**

Proposed 15th green seawall: This part of the project involves the construction of a new seawall. The present decomposed granite walk path will remain the same after the project.

Impact 1. The endangered Smith's blue butterfly will lose one possible food plant, a dune buckwheat. No additional plants of concern will be removed.

Mitigation 1. The loss of one possible food plant should be mitigated by replanting ten dune buckwheat about 100 meters north of the project site in existing coastal bluff scrub. Approximately 50% of the plantings may not survive. The new plantings should be arranged in a three-foot-diameter circle with eight spaced evenly at the perimeter, and two near the center. This configuration produces the best results for creating optimal Smith's blue habitat. This grouping should be kept weeded and watered until established. Only nursery-obtained plants of the Coastal Bluff Scrub ecotype of *Eriogonum parvifolium* should be used. They can probably be obtained from the Pebble Beach Company.

Impact 2. Existing turf grass, west of the new wall, will be damaged during construction.

Mitigation 2. This area will be repaired with new sod after construction.

Impact 3. Intertidal areas here are used by harbor seals to give birth and to nurse their pups. Construction noises might cause abandonment mortality.

Mitigation 3. To avoid mortality, construction activity should not occur between 1 April and 1 July.

LANDSCAPE PLAN: CYPRESS POINT CLUB, PEBBLE BEACH , APN 008-271-006

**VI. IMPACT ASSESSMENT AND MITIGATION MEASURES FOR LANDSCAPING:
(CONCLUSION) cont.**

Impact 4. Overburden from excavation, or other debris, could enter the marine environment, smothering sessile marine invertebrates and plants.

Mitigation 4. Soils and other materials should not be permitted to cover the littoral zone. Activity should be confined to the area where the keyways and talus are placed. Any areas of loose or unstable soil should be immediately stabilized after other parts of the project are completed. To prevent destabilization of the substrate and additional erosion, operators of heavy equipment near the bluff's edge should exercise extreme care. The bluffs on either side of each project area should not be damaged.

Proposed 16th tee seawall: Will be a 45' long artificial rock seawall that will be a northward extension of the existing wall.

Impact 1. Smith's blue butterflies will lose 22 possible buckwheat, food plants.

Mitigation 1. The loss of 22 possible food plants should be mitigated by replanting 50 dune buckwheats, just outside the project site. (See mitigation 1 for the 15th seawall for instruction.)

Impacts 3 and 4 and mitigations 3 and 4. They are the same as for the 15th seawall.

When these mitigations are followed, the Coastal Bluff Scrub that was affected, will be restored to close to its original condition.

Proposed 16th fairway seawall: Will be a 70' long artificial rock seawall.

Impact 1. No plants or animals of concern would be affected. The only cover is introduced ice plant.

Mitigation 1. None required.

Impact 2. Existing turf grass, south of the new wall, will be damaged during construction.

Mitigation 2. The damaged area will be repaired by bringing in new sod when the construction has been completed.

Impacts 3 and 4, and mitigations 3 and 4. They are the same as for the 15th seawall.

LANDSCAPE PLAN: CYPRESS POINT CLUB, PEBBLE BEACH, APN 008-271-006

**VI. IMPACT ASSESSMENT AND MITIGATION MEASURES FOR LANDSCAPING:
(CONCLUSION) cont.**

Proposed 17th green seawall:

Impact 1. No plants or animals of concern would be affected. The only cover is introduced ice plant.

Mitigation 1. None required.

Impact 2. Existing turf grass and ice plant east of construction area, will be damaged during project.

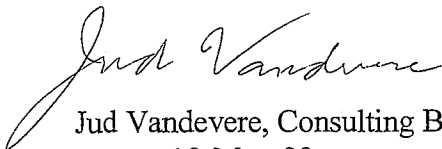
Mitigation 2. The damaged turf grass will be replaced with new sod when construction is completed. Damaged ice plant should be replaced with seaside daisy, salt grass and some of the 60 dune buckwheats. They can probably be obtained from the Pebble Beach Company.

Impacts 3 and 4, and mitigation's 3 and 4. They are the same as for the 15th seawall.

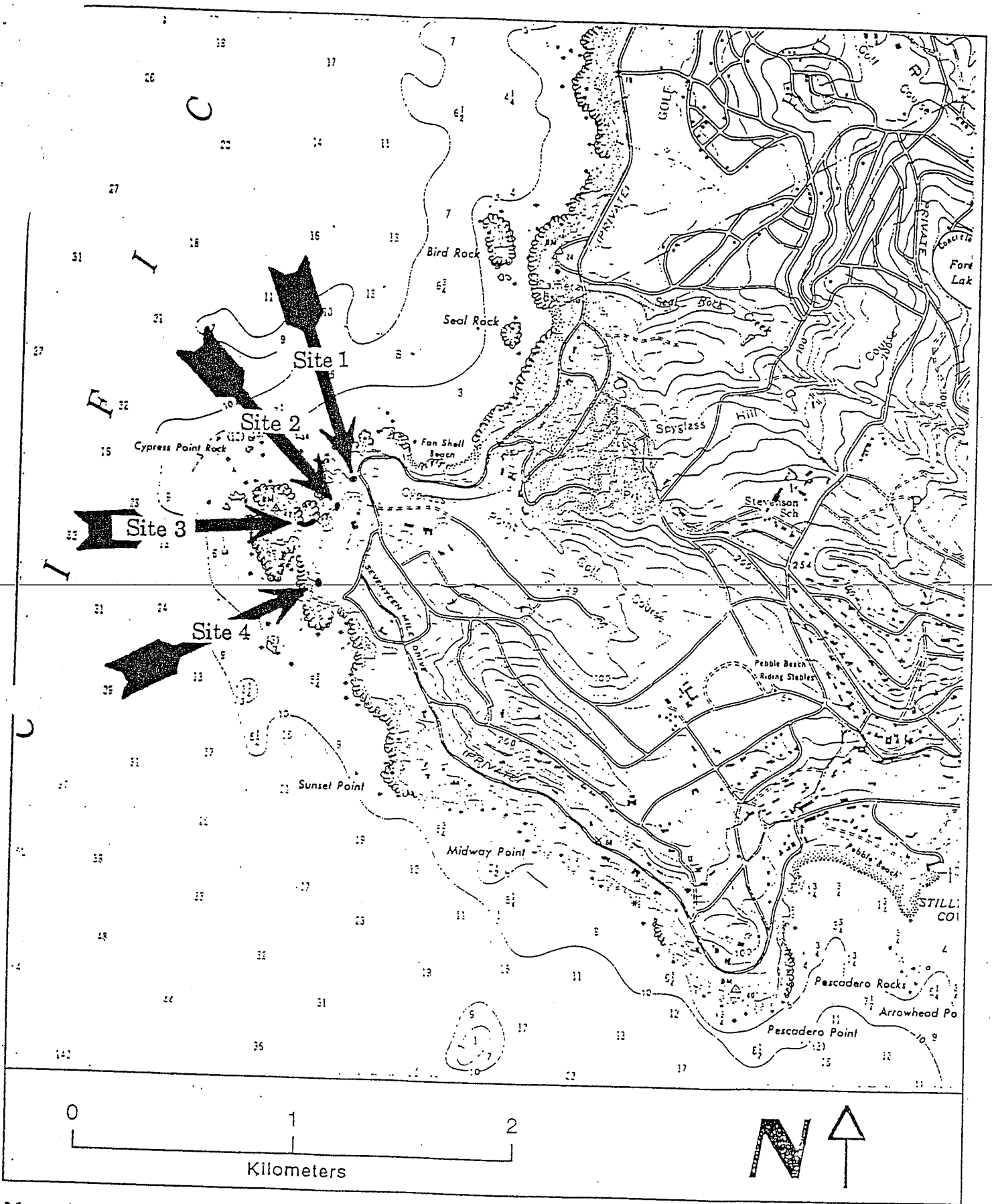
Conclusion:

1. Soil used to backfill the seawalls should be free of toxic, hazardous or inappropriate materials.
2. Areas of bare, loose soil may become infested with invasive exotic plants which can spread into native plant communities causing loss of species diversity. These non-natives should be removed and the areas replanted with natives.
3. Introduced ice plants (Hottentot fig, *Carpobrotus edulis* and sea fig, *C. chilense*) should be removed from the project area. Site-specific natives such as: seaside daisy, Nuttall's locoweed, salt grass and especially dune buckwheat should be planted. Use of nursery-obtained buckwheats would increase habitat for the endangered Smith's blue butterfly.

If this landscape plan is employed, the impacts of this project upon the area's plant and animal habitats will have been reduced to biologically-acceptable levels.



Jud Vandevere, Consulting Biologist
18 May 98

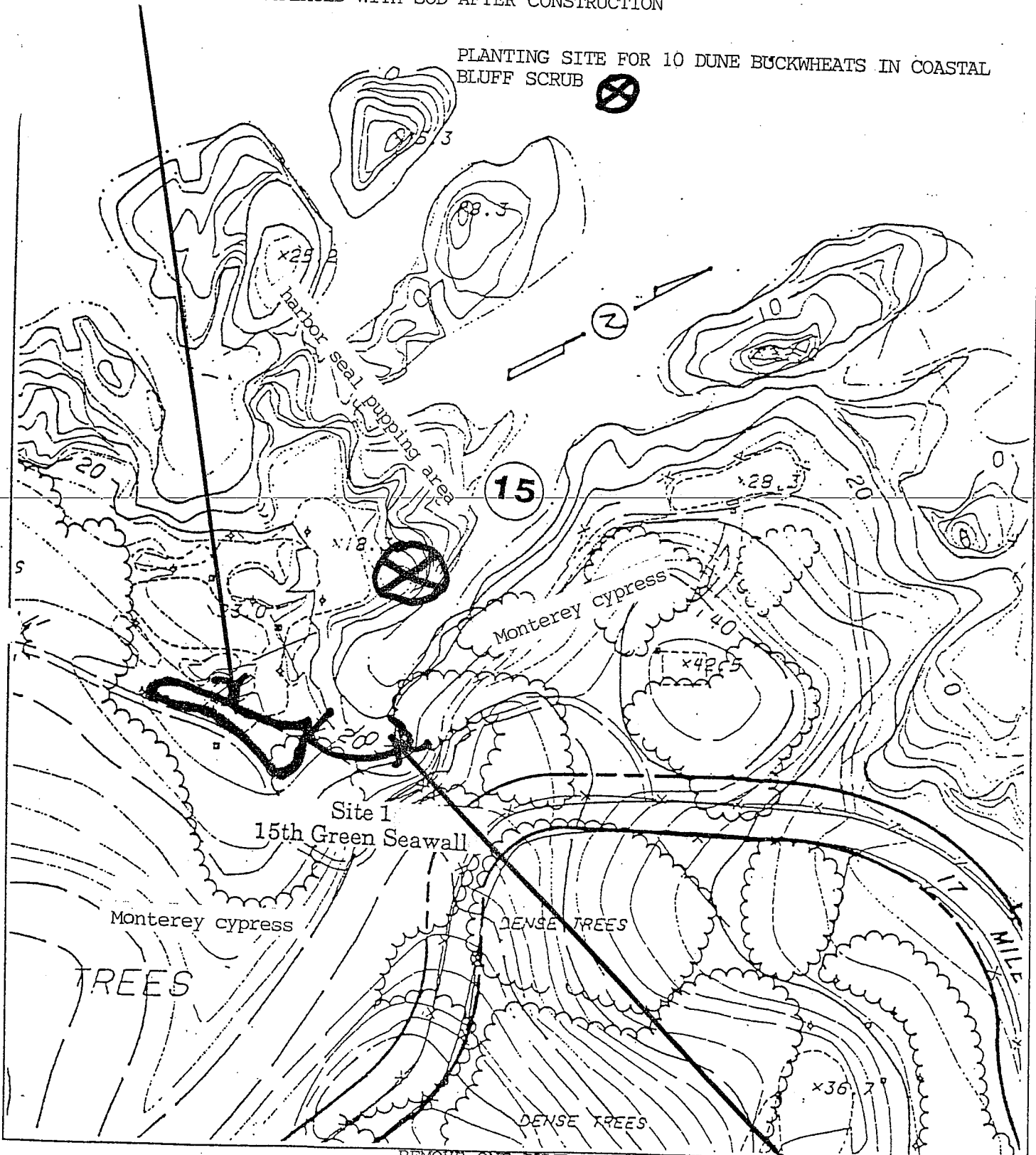


Map 1. Project Location.

7 DSCAPE PLAN, CYPRESS POINT CLUB, PEBBLE BEACH, APN 008-271-006

TURF GRASS WILL BE REPLACED WITH SOD AFTER CONSTRUCTION

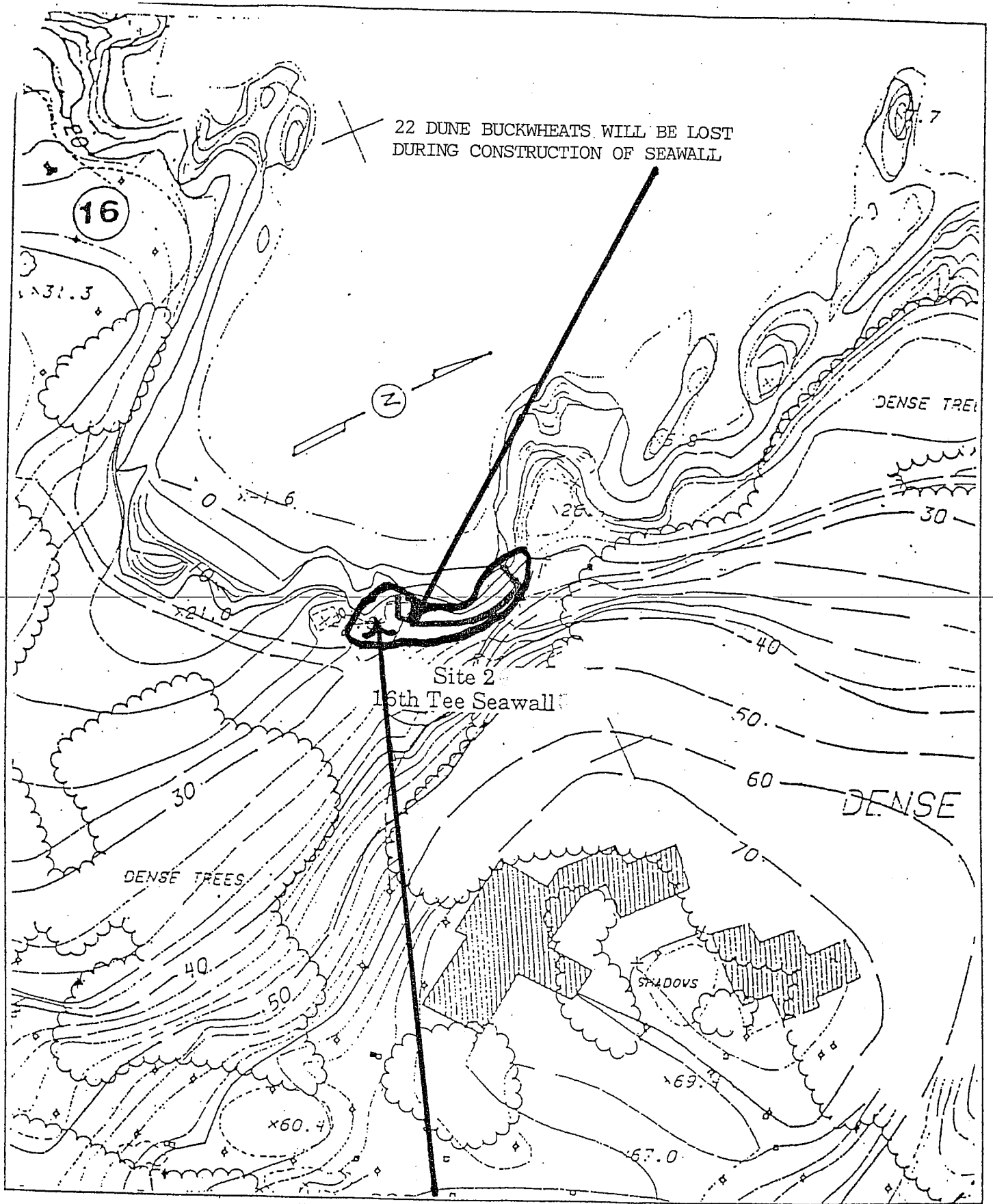
PLANTING SITE FOR 10 DUNE BUCKWHEATS IN COASTAL BLUFF SCRUB



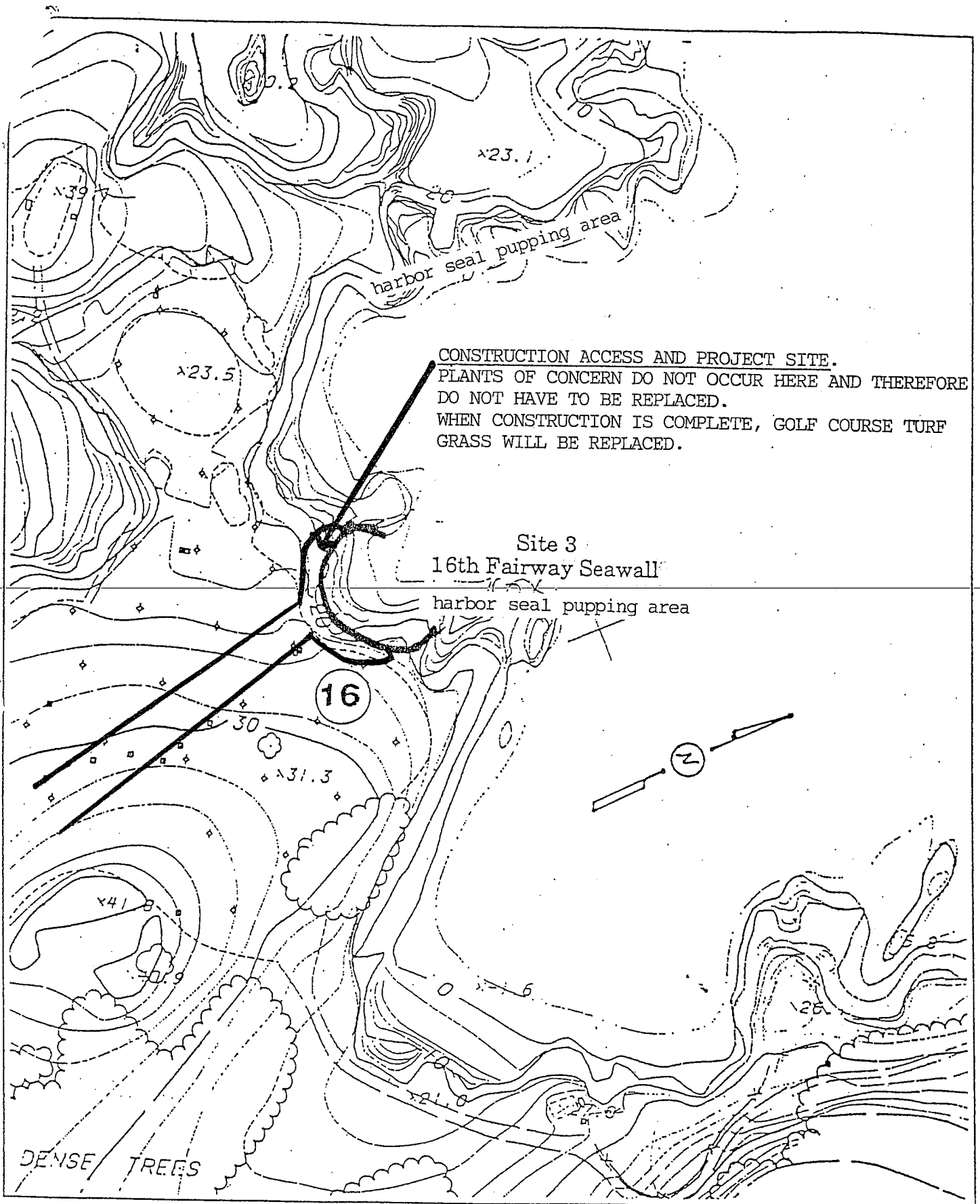
Map 2. Project Location.

REMOVE ONE DUNE BUCKWHEAT WITH NO ADDITIONAL LOSS OF PLANTS OF CONCERN. THE PRESENT DECOMPOSED GRANITE WALKPATH WILL REMAIN.

LANDSCAPE PLAN, CYPRESS POINT CLUB, PEBBLE BEACH, APN 008-271-006

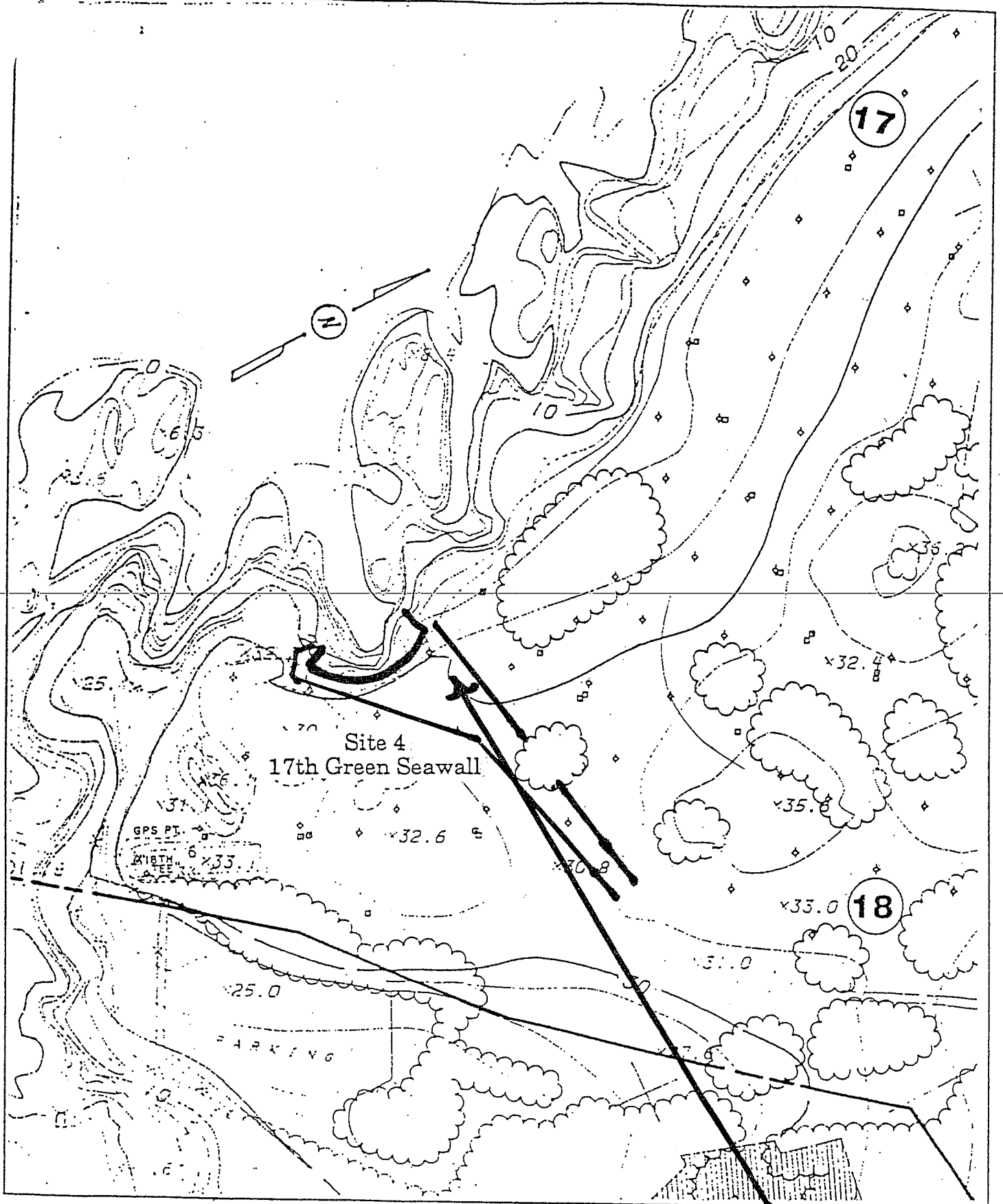


Map 3. Project Location. 50 DUNE BUCKWHEATS SHOULD BE PLANTED IN THE LARGER CIRCLED AREA TO MITIGATE FOR THE LOSS OF 22 BUCKWHEATS



Map 4. Project Location.

LANDSCAPE PLAN, CYPRESS POINT CLUB, PEBBLE BEACH, APN 008-271-006



Map 5. Project Location.

CONSTRUCTION ACCESS AND PROJECT SITE

DAMAGED ICE PLANT SHOULD BE REPLACED WITH SEASIDE DAISY, NUTTALL'S
 LOCOWEED, SALT GRASS OR DUNE BUCKWHEAT

LANDSCAPE PLAN, CYPRESS POINT CLUB, PEBBLE BEACH, APN 008-271-006

CYPRESS POINT
PLAN 970480
CHAUCER

BIOLOGICAL REPORT: CYPRESS POINT CLUB, PEBBLE BEACH, APN 008-271-006

1. This biological report will consider the impacts of the placement of retaining walls on the seaward edge of the Cypress Point Golf Course. The predominant vegetation type is Coastal Bluff Scrub. The only plants of concern that will be affected are a small number of dune buckwheats, *Eriogonum parvifolium*. Monterey cypress, *Cupressus macrocarpa*, are nearby but will not be disturbed by or during construction.
2. This report has been prepared by Jud Vandevere and Associates.
3. Fieldwork was performed on 28 Oct 97 by Jud Vandevere.
4. This report has been prepared for Jeff Markow, Golf Course Superintendent for the Cypress Point Club.
5. This site is Cypress Point on the 17-Mile-Drive, P. O. Box 466, Pebble Beach, CA 93953, APN 008-271-006.

6. SUMMARY RESULTS:

a. The only plant species of concern is dune buckwheat, *Eriogonum parvifolium*. Twenty-three of them could be destroyed by the project. These plants and other buckwheats on the course may provide habitat for the endangered Smith's blue butterfly, *Euphilotes enoptes smithi*. Monterey cypress should not be impacted by this project.

b. The predominant vegetation type is Coastal Bluff Scrub.

I. **INTRODUCTION:** This report deals with fieldwork, impacts and mitigations and was requested because of the presence of buckwheats. The report was prepared for Jeff Markow.

II. **REGIONAL SETTING:** From Pebble Beach Golf Course to Cypress Point Golf Course, along the 17-Mile-Drive, nearly every parcel has been developed within the Del Monte Forest, and the Forest is surrounded by the ocean and the cities of Carmel, Pacific Grove and Monterey. On this the western extremity of the Monterey Peninsula, less than one acre will be impacted.

III. **DESCRIPTION OF LOCAL VEGETATION:**

a. The areas that will be disturbed by the proposed project were visited with Jeff Markow and all plant and animal species seen were recorded.

BIOLOGICAL REPORT: CYPRESS POINT CLUB, PEBBLE BEACH, APN 008-271-006

III. DESCRIPTION OF LOCAL VEGETATION: cont.:

b. The Del Monte Forest consists of a Closed-cone Coniferous Forest of endangered Monterey pine, *Pinus radiata*, threatened by pitch canker fungus, *Fusarium subglutinans* f. sp. *pini*. The extent of this sensitive Closed-cone Coniferous Forest habitat has been diminishing rapidly on the Monterey Peninsula. Also within Pebble Beach is a biologically-rich Maritime Chaparral and dune vegetation habitats, comprised of a number of rare, endangered or sensitive plant taxa. Some of these habitats are partially protected within the S. F. B. Morse Botanical Reserve and a small remnant dune which is contiguous to the south side of Spanish Bay Links. The Point Lobos and Del Monte Forest areas each support one of the only two groves in the world of the endangered Monterey cypress, *Cupressus macrocarpa*, and of the endangered Gowen cypress, *Cupressus goveniana* ssp. *goveniana*. Pebble Beach supports other habitats: Coastal Bluff Scrub, Coastal Sage Scrub and Oak Woodland.

c. The dominant (and only) plant community that will be impacted by the proposed project is Coastal Bluff Scrub. Construction of the course many years ago reduced this habitat to a steep cliff terrain between links and ocean, where the dominant plant is Hottentot fig, *Carpobrotus edulis*. Other noticeable vascular plants are: dune buckwheat, New Zealand spinach, *Tetragonia tetragonioides*; California corethrogyne, *Corethrogyne californica*; large-flowered sand spurrey, *Spergularia macrotheca*; seaside daisy, *Erigeron glaucus*; beach-bur, *Ambrosia chamissonis*; alkali heath, *Frankenia grandiflora* and salt grass, *Distichlis spicata* var. *stolonifera*. Above the splash zone, in fresh-water seeps, occurs the alga, *Enteromorpha intestinalis*.

d. The specific habitat of the site is the edge of a wave cut terrace.

1. At each project site the plant community, Coastal Bluff Scrub, occupies the area between the links and the intertidal.
2. Some plants are growing on earlier placed retaining walls. 100% of the vegetation is Coastal Bluff Scrub.
3. Today the dominant plant is introduced Hottentot fig.

IV. RARE AND ENDANGERED PLANTS AND/OR COMMUNITIES: Two of the proposed project sites, 1 and 2, support buckwheat plants which provide habitat for the possible occurrence of Smith's blue butterfly. Although no butterflies were seen on the October visit, the adult flight period of Smith's blue is from mid-June through September. Even though the presence of the butterfly could not be determined, mitigation for loss of habitat is recommended.

The small, endangered Monterey cypress tree that is close to the project site at the 15th green should not be adversely affected by the construction of a retaining wall. This very low lying tree has the tips of its outer branches, with their drip lines touching the ground.

No other Monterey cypresses with their drip lines are anywhere near the other sites.

BIOLOGICAL REPORT: CYPRESS POINT CLUB, PEBBLE BEACH, APN 008-271-006

IV. RARE AND ENDANGERED PLANTS AND/OR COMMUNITIES: cont.

No Coastal Dune habitat occurs near the project site and thus none of its rare or endangered plant or animal taxa will be affected. Although the survey was conducted when many plants are not in bloom, sufficient flowering California corethrogyne, *Corethrogyne californica*, were found to determine that the corethrogyne on site is not the rare branching beach-aster, *C. leucophylla*.

V. THREATENED SPECIES: The bases of the seawalls will be in the intertidal area which is habitat for a wide variety of marine invertebrates and marine plants. Mother and newborn pup harbor seals, *Phoca vitulina richardsi*, use very small, sandy cove beaches and intertidal and high littoral rocks in the area from 1 April to 1 July.

There are no other threatened species that will be adversely affected by this proposed project.

**VI. IMPACT ASSESSMENT AND MITIGATION MEASURES FOR DEVELOPMENT
(CONCLUSION)**

Proposed 15th green seawall: This part of the project involves the construction of a new seawall.

Impact 1. The endangered Smith's blue butterfly will lose one possible food plant, a dune buckwheat.

Mitigation 1. The loss of one possible food plant should be mitigated by replanting ten dune buckwheat, just outside the project site. Approximately 50% of the plantings may not survive. The new plantings should be arranged in a three-foot-diameter circle with eight spaced evenly at the perimeter, and two near the center. This configuration produces the best results for creating optimal Smith's blue habitat. This grouping should be kept weeded and watered until established. Only nursery-obtained plants of the Coastal Bluff Scrub ecotype of *Eriogonum parvifolium* should be used. They can probably be obtained from Pebble Beach Company.

Impact 2. Inshore intertidal and high littoral rocks and very small, sandy cove beaches are used by harbor seals to give birth and to nurse their pups. Construction noises might cause abandonment mortality.

Mitigation 2. To avoid abandonment mortality, construction activity should not occur between 1 April and 1 July.

BIOLOGICAL REPORT: CYPRESS POINT CLUB, PEBBLE BEACH, APN 008-271-006

**VI. IMPACT ASSESSMENT AND MITIGATION MEASURES FOR DEVELOPMENT
(CONCLUSION) cont.**

Impact 3. Overburden from excavation, or other debris, could enter the marine environment, smothering sessile marine invertebrates and plants.

Mitigation 3. Soils and other materials should not be permitted to cover the littoral zone. Activity should be confined to the area where the keyways and talus are placed. Any areas of loose or unstable soil should be immediately stabilized after other parts of the project are completed. To prevent destabilization of the substrate and additional erosion, operators of heavy equipment near the bluff's edge should exercise extreme care. The bluffs on either side of each project area should not be damaged.

Proposed 16th tee seawall: Will be a 45' long artificial rock seawall that will be a northward extension of the existing wall.

Impact 1. Smith's blue butterflies will lose 22 possible buckwheat, food plants.

Mitigation 1. The loss of 22 possible food plants should be mitigated by replanting sixty dune buckwheat, just outside the project site. (See mitigation 1 for the 15th seawall for instruction.)

Impacts 2 and 3 and mitigations 2 and 3. They are the same as for the 15th seawall.

Proposed 16th fairway seawall: Will be a 70' long artificial rock seawall.

Impact 1. No plants or animals of concern would be affected. The only cover is introduced iceplant.

Mitigation 1. None required.

Impacts 2 and 3 and mitigations 2 and 3. They are the same as for the 15th seawall.

BIOLOGICAL REPORT: CYPRESS POINT CLUB, PEBBLE BEACH, APN 008-271-006

Conclusion:

1. Soil used to backfill the seawalls should be free of toxic, hazardous or inappropriate materials.
2. Areas of bare, loose soil may become infested with invasive exotic plants which can spread into native plant communities causing loss of species diversity. These non-natives should be removed and the areas replanted with natives.
3. Introduced ice plants (Hottentot fig, *Carpobrotus edulis* and sea fig, *C. chilense*) should be removed from the project area. Site-specific natives such as: seaside daisy, Nuttall's locoweed, salt grass and especially dune buckwheat should be planted. Use of nursery-obtained buckwheats would increase habitat for the endangered Smith's blue butterfly.

If these mitigation measures are employed, the impacts of this project upon the area's plant and animal habitats will have been reduced to biologically-acceptable levels.

Jud Vandevere
Jud Vandevere, Consulting Biologist
19 Nov 94