

**PLANNING COMMISSION  
COUNTY OF MONTEREY, STATE OF CALIFORNIA**

RESOLUTION NO. 06027

A. P. # 125-022-025-000

In the matter of the application of  
**Anthony & Providence Villafranca (PLN020309)**

**FINDINGS AND DECISION**

WHEREAS: The Planning Commission, pursuant to regulations established by local ordinance and state law, has considered, at public hearing, a Combined Development Permit consisting of an Administrative Permit and General Development Plan to allow for the construction of a 12,080 square foot, single-story commercial building containing a maximum of five (5) tenant spaces for uses such as: appliance repair; automotive repair; warehouse; heating, air conditioning, electrical shop; manufacturing; large item retail, retail sales (not to exceed 25% of the floor area); and other light industries of a similar character; 25 parking spaces; installation of a septic system and grading (240 cubic yards cut and 240 cubic yards fill), located 10041 Reese Circle, Prunedale (APN), south of Pesante Road, east of Highway 101, North County Area Plan, came on regularly for hearing before the Planning Commission on April 26, 2006.

WHEREAS: Said Planning Commission, having considered the application and the evidence presented relating thereto,

**FINDINGS OF FACT**

1. **FINDING: CONSISTENCY** – The Villafranca Combined Development Permit (PLN020309), as described in Condition No. 1 and as conditioned, conforms with the policies, requirements and standards of the General Plan, the Greater Salinas Area Plan, and the Monterey County Zoning Ordinance (Title 21) which designates this area as appropriate for light commercial uses. The subject site is in compliance with all rules and regulations pertaining to zoning uses, and any other applicable provisions of Title 21.

**EVIDENCE:** (a) The Planning and Building Inspection staff reviewed the project as contained in the application and accompanying materials for conformity with the Monterey County General Plan; Greater Salinas Area Plan and Monterey County Zoning Ordinance (Title 21).  
(b) The proposed development has been reviewed by the Monterey County Planning and Building Inspection Department, Water Resources Agency, Public Works Department, Environmental Health Division and the North County Fire Protection District. There has been no indication from these agencies that the site is unsuitable for the proposed development. The Initial Study demonstrates that no physical or environmental constraints exist that would indicate the site is not suitable

for the proposed development. Each agency has provided recommended conditions to ensure compliance with policies and zoning regulations.  
(c) The application, plans, and support materials submitted by the project applicant to the Monterey County Planning and Building Inspection Department for the proposed development, found in project file PLN020309.

2. **FINDING: SITE SUITABILITY** - The site is suitable for the use proposed.  
**EVIDENCE:** (a) The project has been reviewed for suitability by Planning and Building Inspection, Public Works, Water Resources Agency, Environmental Health Division and the North County Fire Protection District. Conditions recommended have been incorporated.  
(b) Staff conducted an on-site visit on October 25, 2005 to verify that the site is suitable for this use.  
(c) Review of the Initial Study by other agencies.
3. **FINDING: CEQA (Mitigated Negative Declaration)** - On the basis of the whole record before the Monterey County Planning Commission there is no substantial evidence that the proposed project as designed, conditioned, and mitigated will have a significant effect on the environment. The negative declaration reflects the independent judgment and analysis of the County.  
**EVIDENCE:** (a) On March 15, 2006 staff completed an Initial Study pursuant to the requirements of the California Environmental Quality Act (CEQA). The Initial Study identified potentially significant impacts to hazards/hazardous materials, hydrology/water quality, transportation/traffic and utilities/service systems. The Initial Study is on file in the Planning and Building Inspection Department, 168 West Alisal, 2<sup>nd</sup> Floor, Salinas, CA 94901.  
(b) A Mitigated Negative Declaration was noticed for public review and circulated for public comment from March 15, 2006 to April 5, 2006. No comments were received during the review period. The evidence in the record includes studies, data, and reports supporting the Initial Study; information presented or discussed during public hearings; staff reports that reflect the County's independent judgment and analysis regarding the studies, data, and reports; application materials; and expert testimony regarding this application.  
(c) The Planning Commission considered public testimony and the Initial Study at a hearing on April 26, 2006.
4. **FINDING: NO VIOLATIONS** - There are no known Code violations on the site.  
**EVIDENCE:** Staff has reviewed Monterey County Planning and Building Inspection Department records and is not aware of any other violations existing on the subject property.

5. **FINDING: APPEALABILITY** - The decision on this project is appealable to the Board of Supervisors.  
**EVIDENCE:** Section 21.80.040(C) of the Monterey County Zoning Ordinance (Title 21).

**DECISION**

**THEREFORE**, it is the decision of the Planning Commission of the County of Monterey that the Mitigated Negative Declaration and Program for Monitoring and/or Reporting on Conditions of Approval be adopted and said application for a Combined Development Permit be granted as shown on the attached sketch and subject to the attached conditions.

**PASSED AND ADOPTED** this 26th day of April, 2006, by the following vote:

AYES: Errea, Brown, Isakson, Salazar, Vandevere, Padilla, Diehl, Rochester, Wilmot  
NOES: None  
ABSENT: Sanchez

  
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DALE ELLIS, SECRETARY

A COPY OF THIS DECISION WAS MAILED TO THE APPLICANT ON MAY - 5 2006

THIS APPLICATION IS APPEALABLE TO THE BOARD OF SUPERVISORS. IF ANYONE WISHES TO APPEAL THIS DECISION, AN APPEAL FORM MUST BE COMPLETED AND SUBMITTED TO THE CLERK OF THE BOARD OF SUPERVISORS ALONG WITH THE APPROPRIATE FILING FEE ON OR BEFORE MAY 25 2006

This decision, if this is the final administrative decision, is subject to judicial review pursuant to California Code of Civil Procedure Sections 1094.5 and 1094.6. Any Petition for Writ of Mandate must be filed with the Court no later than the 90<sup>th</sup> day following the date on which this decision becomes final.

**NOTES**

1. You will need a building permit and must comply with the Monterey County Building Ordinance in every respect.

Additionally, the Zoning Ordinance provides that no building permit shall be issued, nor any use conducted, otherwise than in accordance with the conditions and terms of the permit granted or until ten days after the mailing of notice of the granting of the permit by the appropriate authority, or after granting of the permit by the Board of Supervisors in the event of appeal.

Do not start any construction or occupy any building until you have obtained the necessary permits and use clearances from the Monterey County Planning and Building Inspection Department office in Salinas.

2. This permit expires two years after the above date of granting thereof unless construction or use if started within this period.

**Monterey County Planning and Building Inspection  
Condition Compliance and/or Mitigation Monitoring  
Reporting Plan**

**Project Name:** Villafranca

**File No:** PLN020309 **APN:** 125-022-025-000

**Approval by:** Planning Commission **Date:** April 26, 2006

*\*Monitoring or Reporting refers to projects with an EIR or adopted Mitigated Negative Declaration per Section 21081.6 of the Public Resources Code.*

<i>Permit Cond. Number</i>	<i>Mitig. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
1		<p><b>PBD029 - SPECIFIC USES ONLY</b>            This Combined Development Permit allows for the construction of a 12,080 square foot, single-story commercial building containing a maximum of five (5) tenant spaces for uses such as: appliance repair; automotive repair; warehouse; heating, air conditioning, electrical shop; manufacturing; large item retail, retail sales (not to exceed 25% of the floor area); and other light industries of a similar character; 25 parking spaces; installation of a septic system and grading (240 cubic yards cut and 240 cubic yards fill). Uses shall be limited to those that do not have a parking demand greater than on space per 500 square feet of floor area. The property is located at 10041 Reese Circle, Prunedale (Assessor's Parcel Number 125-022-025-000). This permit was approved in accordance with County ordinances and land use regulations subject to the following terms and conditions. Neither the uses nor the construction allowed by this permit shall commence unless and until all of the conditions of this permit are met to the satisfaction of the Director of Planning and Building Inspection. Any use or construction not in substantial conformance with the terms and conditions of this permit is a violation of County regulations and may result in modification or revocation of this permit and subsequent legal action. No use or construction other than that specified by this permit is allowed unless additional permits are approved by the</p>	<p>The owner/applicant shall record a deed restriction stating that the uses shall be limited to those that do not have a parking demand greater than one space per 500 square feet of floor area.</p> <p>Adhere to conditions and uses specified in the permit.</p>	<p>Owner/ Applicant</p> <p>Owner/ Applicant</p>	<p>Prior to final inspectio n</p> <p>Ongoing unless other- wise stated</p>	

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		appropriate authorities. <b>(Planning and Building Inspection)</b>				
2		<b>PBD025 - NOTICE-PERMIT APPROVAL</b> The applicant shall record a notice which states: "A permit (Resolution 06027) was approved by the Planning Commission for Assessor's Parcel Number 125-022-025-000 on April 26, 2006. The permit was granted subject to 25 conditions of approval which run with the land. A copy of the permit is on file with the Monterey County Planning and Building Inspection Department." Proof of recordation of this notice shall be furnished to the Director of Planning and Building Inspection prior to issuance of building permits or commencement of the use. <b>(Planning and Building Inspection)</b>	Proof of recordation of this notice shall be furnished to PBI.	Owner/ Applicant	Prior to issuance of grading and building permits or start of use.	
3		<b>OUTDOOR STORAGE PROHIBITED – NON STANDARD CONDITION</b> All materials, vehicles awaiting repair and equipment on the site shall be stored indoors. The outdoor storage of materials and equipment on the property is prohibited. <b>(Planning and Building Inspection)</b>	The property owner and tenants are responsible for ensuring that no materials, vehicles awaiting repair or equipment are stored outdoors.	Owner/ Tenants	Ongoing	
4		<b>PBD014 – GRADING – WINTER RESTRICTION</b> No land clearing or grading shall occur on the subject parcel between October 15 and April 15 unless authorized by the Director of Planning and Building Inspection. <b>(Planning and Building Inspection)</b>	Prepare appropriate grading plans for seasonal conditions as required by the County of Monterey.	Owner/ Applicant	Ongoing	
5		<b>PBD021 – LIGHTING – EXTERIOR LIGHTING PLAN</b> All exterior lighting shall be unobtrusive, harmonious with the local area, and constructed or located so that only the intended area is illuminated and off-site glare is fully controlled. The applicant shall submit 3 copies of an exterior lighting plan which shall indicate the location, type, and wattage of all light fixtures and include catalog	Submit three copies of the lighting plans to PBI for review and approval.	Owner/ Applicant	Prior to issuance of building permits.	

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		sheets for each fixture. The lighting plan shall include down lit lighting fixtures with amber opaque glass. The exterior lighting plan shall be subject to approval by the Director of Planning and Building Inspection, prior to the issuance of building permits. <b>(Planning and Building Inspection)</b>				
6		<p><b>PBD018(B) - LANDSCAPE PLAN AND MAINTENANCE (OTHER THAN SINGLE FAMILY DWELLING)</b></p> <p>The site shall be landscaped. At least 60 days prior to occupancy, three (3) copies of a landscaping plan shall be submitted to the Director of Planning and Building Inspection for approval. A landscape plan review fee is required for this project. Fees shall be paid at the time of landscape plan submittal. The landscaping plan shall be in sufficient detail to identify the location, species, and size of the proposed landscaping. The landscaping shall be installed and inspected prior to occupancy. All landscaped areas and/or fences shall be continuously maintained by the applicant and all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition. <b>(Planning and Building Inspection)</b></p>	<p>Submit landscape plans and contractor's estimate to PBI for review and approval.</p> <p>All landscaped areas and fences shall be continuously maintained by the applicant; all plant material shall be continuously maintained in a litter-free, weed-free, healthy, growing condition.</p>	<p>Owner/ Applicant/ Contractor</p> <p>Owner/ Applicant</p>	<p>At least 60 days prior to final inspection or occupancy</p> <p>Ongoing</p>	
7		<p><b>PBD022 - MITIGATION MONITORING PROGRAM</b></p> <p>The applicant shall enter into an agreement with the County to implement a Mitigation Monitoring and/or Reporting Plan in accordance with Section 21081.6 of the California Public Resources Code and Section 15097 of Title 14, Chapter 3 of the California Code of Regulations. Compliance with the fee schedule adopted by the Board of Supervisors for mitigation monitoring shall be required and payment made to the County of Monterey at the time the property owner submits the signed mitigation monitoring agreement. <b>(Planning and Building Inspection)</b></p>	<ol style="list-style-type: none"> <li>1) Enter into agreement with the County to implement a Mitigation Monitoring Program.</li> <li>2) Fees shall be submitted at the time the property owner submits the signed mitigation monitoring agreement.</li> </ol>	Owner/ Applicant	Within 60 days after project approval or prior to issuance of grading and building permits,	

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					which-ever occurs first.	
8		<b>PBD012 - FISH AND GAME FEE-NEG DEC/EIR</b> Pursuant to the State Public Resources Code, State Fish and Game Code, and California Code of Regulations, the applicant shall pay a fee, to be collected by the County, within five (5) working days of project approval. This fee shall be paid before the Notice of Determination is filed. If the fee is not paid within five (5) working days, the project shall not be operative, vested or final until the filing fees are paid. <b>(Planning and Building Inspection)</b>	The applicant shall submit a check, payable to the <i>County of Monterey</i> , to the Director of Planning and Building Inspection.	Owner/ Applicant	Within 5 working days of project approval.	
9		<b>NON STANDARD CONDITION</b> The applicant shall contribute a pro rata share of the cost of the Country Meadows Road extension. <b>(Public Works)</b>	The applicant shall submit a check, payable to the <i>County of Monterey</i> , to the Public Works Director.	Owner/ Applicant	Prior to issuance of a building permit	
10		<b>EH28 - HAZ MAT BUSINESS RESPONSE PLAN</b> Comply with Title 19 of the California Code of Regulations and Chapter 6.95 of the California Health and Safety Code (Hazardous Material Registration and Business Response Plans) as approved by the Director of Environmental Health. The Director of Environmental Health will insure that the applicant is in compliance with State regulations for Hazardous Material Registration and Business Response Plans through random on-site inspections. <b>(Environmental Health)</b>	Contact the Hazardous Materials Program of the Division of Environmental Health.	Owner/ Applicant	Continuous	

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11		<b>EHSP0 – NON STANDARD CONDITION</b> The installation of both the primary and secondary leachfields shall be required at the time of the initial septic system construction. Site specific engineering will be required as part of the septic system design to ensure that components of the septic system will not be damaged by vehicular traffic and to ensure that the septic system components will not adversely affect the structural integrity of the vehicle traffic area. A permit for the septic system construction shall be obtained from the Monterey County Health Department, Division of Environmental Health. <b>(Environmental Health)</b>	Division of Environmental Health must approve plans and perform inspection as part of the septic permit.	Engineer/ Applicant	Prior to Final Occupancy	
12		<b>DRAINAGE PLAN NON STANDARD CONDITION</b> A drainage plan shall be prepared by a registered civil engineer addressing on-site and off-site impacts, that includes routing stormwater runoff from the paved parking areas to an oil-grease/water separator and construction of stormwater detention facilities to mitigate the impact of impervious surface stormwater runoff. The detention pond shall be fenced for public safety. <b>(Water Resources Agency)</b>	Submit drainage plan to Water Resources Agency	Owner/ Applicant	Prior to issuance of grading or building permits	
13		<b>WR8 - COMPLETION CERTIFICATION</b> The applicant shall provide the Water Resources Agency certification from a registered civil engineer or licensed contractor that stormwater detention/retention facilities have been constructed in accordance with approved plans. <b>(Water Resources Agency)</b>	Submit a letter to the Water Resources Agency, prepared by a registered civil engineer or licensed contractor, certifying compliance with approved drainage plan.	Owner/ Applicant/ Engineer/ Contractor	Prior to final inspection	
14		<b>WR40 - WATER CONSERVATION MEASURES</b> The applicant shall comply with Ordinance No. 3932, or as subsequently amended, of the Monterey County Water Resources Agency pertaining to mandatory water conservation regulations. The regulations for new construction require, but are not limited to:	Compliance to be verified by building inspector at final inspection.	Owner/ Applicant	Prior to final building inspection/occupancy	

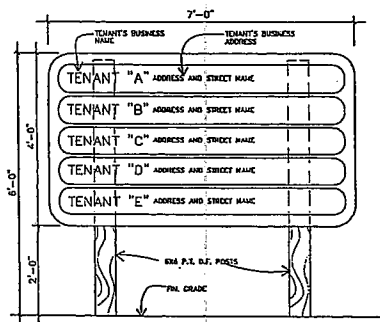


<i>Permit Cond. Number</i>	<i>Mittg. Number</i>	<i>Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department</i>	<i>Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.</i>	<i>Responsible Party for Compliance</i>	<i>Timing</i>	<i>Verification of Compliance (name/date)</i>
		<p>a. All toilets shall be ultra-low flush toilets with a maximum tank size or flush capacity of 1.6 gallons, all shower heads shall have a maximum flow capacity of 2.5 gallons per minute, and all hot water faucets that have more than ten feet of pipe between the faucet and the hot water heater serving such faucet shall be equipped with a hot water recirculating system.</p> <p>b. Landscape plans shall apply xeriscape principles, including such techniques and materials as native or low water use plants and low precipitation sprinkler heads, bubblers, drip irrigation systems and timing devices. (Water Resources Agency)</p>			cy	
15		<p><b>WR44 - WATER USE INFORMATION</b>  The applicant shall provide the Water Resources Agency a copy of the Water Use &amp; Nitrate Impact Questionnaire describing the pre-development and post-development water use on the property. (Water Resources Agency)</p>	Submit the WUNIQ to the Water Resources Agency for review and approval.	Owner/ Applicant	Prior to filing the final map	
16		<p><b>NON STANDARD CONDITION</b>  Provide updated fire protection water system plans/drawings, showing capacities of storage tanks, water mains, hydrant locations, building/businesses served and water system emergency contact phone numbers. (North County Fire District)</p>	Submit plans to fire district for review and approval.	Owner/ Applicant	Prior to issuance of building permit	
17		<p><b>WP0031 - ADDRESSES FOR BLDGS-FIRE</b>  All buildings shall be issued an address in accordance with Monterey County Ordinance No. 1241. Each occupancy, except accessory buildings, shall have its own address. When multiple occupancies exist within a single building, each individual occupancy shall be separately identified by its own address. (North County Fire District)</p>	Applicant shall incorporate specification into design and enumerate as "Fire Dept." notes on plans.	Owner/ Applicant	Prior to occupancy	

Permit Cond. Number	Mitig. Number	Conditions of Approval and/or Mitigation Measures and Responsible Land Use Department	Compliance or Monitoring Actions to be performed. Where applicable, a certified professional is required for action to be accepted.	Responsible Party for Compliance	Timing	Verification of Compliance (name/date)
18		<p><b>WP0056 - FIRE SPRINKLER SYSTEM-FIRE</b>            The building(s) shall be fully protected with automatic fire sprinkler system(s). The following notation is required on the plans when a building permit is applied for:</p> <p>"The building shall be fully protected with an automatic fire sprinkler system. Installation, approval and maintenance shall be in compliance with applicable National Fire Protection Association and/or Uniform Building Code Standards, the editions of which shall be determined by the enforcing jurisdiction. Four (4) sets of plans for fire sprinkler systems must be submitted and approved prior to installation. Rough-in inspections must be completed prior to requesting a framing inspection." (North County Fire District)</p>	The applicant shall enumerate as "Fire Dept." notes on plans.	Owner/ Applicant	Prior to occupancy	
19		<p><b>WP0057 - FIRE ALARM SYSTEM-FIRE</b>            The building(s) shall be fully protected with an approved central station, proprietary station, or remote station automatic fire alarm system as defined by National Fire Protection Association Standard 72 - 1993 Edition. Plans and specifications for the fire alarm system must be submitted and approved by the enforcing jurisdiction prior to requesting a framing inspection. All fire alarm system inspections and acceptance testing shall be in accordance with Chapter 7 of NFPA 72 - 1993. (North County Fire District)</p>	The applicant shall enumerate as "Fire Dept." notes on plans.	Owner/ Applicant	Prior to occupancy	

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20		<b>WP0064 - ROOF CONSTRUCTION-CLASS B-FIRE</b> All new structures, and all existing structures receiving new roofing over 50 percent or more of the existing roof surface, shall require a minimum of Class B roof construction. <b>(North County Fire District)</b>	Applicant shall enumerate as "Fire Dept." notes on plans.	Owner/ Applicant	Prior to occupancy	
21	1	<b>HAZARDOUS MATERIALS - NON STANDARD CONDITION</b> The applicant shall comply with Title 19 of the California Code of Regulations and Chapter 6.95 of the California Health and Safety Code (Hazardous Material Registration and Business Response Plans) as approved by the Director of Environmental Health. <b>(Planning and Building Inspection)</b>	The Director of Environmental Health will ensure that the applicant is in compliance with State regulations for Hazardous Material Registration and Business Response Plans through random on-site inspections.	Owner/ Applicant	Ongoing	
22		<b>ROOFTOP EQUIPMENT - NON STANDARD CONDITION</b> No rooftop equipment shall be allowed. <b>(Planning and Building Inspection)</b>	Compliance to be verified by building inspector at final inspection	Owner/ Applicant	Prior to final inspection	
23		<b>PW0001 – ENCROACHMENT (COM)</b> Obtain an encroachment permit from the Department of Public Works and construct a commercial driveway connection to Reese Circle including acceleration and deceleration tapers. The design and construction is subject to the approval of the Public Works Director. <b>(Public Works)</b>	Applicant shall obtain an encroachment permit from DPW prior to issuance of building permits and complete improvement prior to occupying or commencement of use. Applicant is responsible to obtain all permits and environmental clearances.	Owner/ Applicant	Prior to Building / Grading Permit Issuance	
24		<b>PW0007 – PARKING STD</b> The parking shall meet the standards of the Zoning Ordinance and be approved by the Director of Public Works and the Director of Planning and Building Inspection. <b>(Public Works)</b>	Applicant's engineer or architect shall prepare a parking plan for review and approval.	Owner/ Applicant/ Engineer	Prior to Building / Grading Permits Issuance	

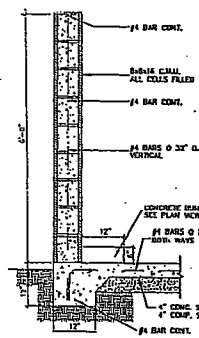
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25		<p><b>NON STANDARD CONDITION</b></p> <p>The applicant shall pay the Transportation Agency for Monterey County (TAMC) regional traffic mitigation fee identified in the TAMC nexus study. <b>(Public Works)</b></p>	Owner/Applicant shall pay fee.	Owner/Applicant	Prior to Building / Grading Permits Issuance	



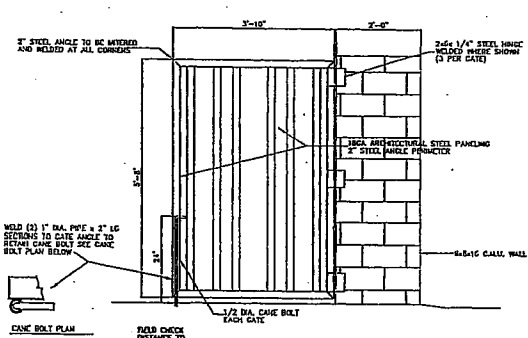
TENANTS SIGN  
3/4" = 1'-0"

NOTE:

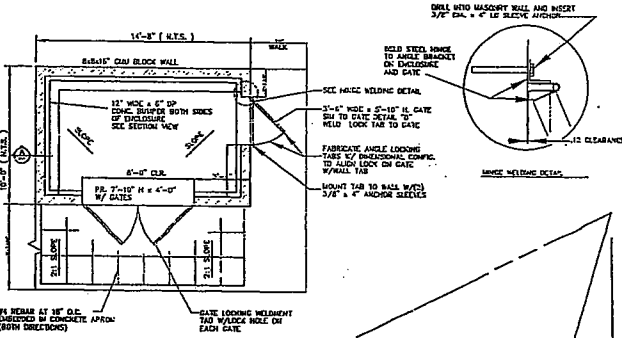
SIGN PERMIT IS TO BE APPLIED BY OTHERS UNDER SEPARATE SUBMITTAL. SIGNAGE SHALL BE CONSISTENT WITH TITLE 21.60.030.



SECTION 'A'  
3/4" = 1'-0"



GATE DETAIL  
3/4" = 1'-0"



TRASH ENCLOSURE PLAN  
1/16" = 1'-0"

**LITHONIA LIGHTING**  
LUMINAIRIES & SPECIFICATIONS  
Lithonia Lighting is a leader in the design and manufacturing of lighting products for over 50 years. Our products are designed to meet the needs of a wide variety of applications. We offer a complete line of lighting products, including: **WFL3 HIGH PRESSURE SODIUM** lighting. For more information, contact us at 1-800-368-5555.

**GENERAL DEVELOPMENT PLAN DATA:**

- PROPOSED USE OF PROJECT - CONSTRUCTION OF A 12,000 S.F. METAL WAREHOUSE FOR A MAX. OF FIVE (5) TENANT SPACES FOR USE SHOWN ON TABLE I BELOW. 25 PARKING SPACES, INSTALLATION OF A SEPTIC SYSTEM, GRADING (150 C.Y. CUT AND 240 C.Y. FILL).
- HOURS OF OPERATION - 8:00 AM TO 8:00 PM MONDAY THRU SATURDAY
- NUMBER OF EMPLOYEES - FIVE (5)
- ALARM SYSTEM DETAILS - THERE WILL BE NO ALARM SYSTEM INSTALLED AT THIS TIME. FUTURE TENANTS WILL INSTALL THEIR OWN ALARM SYSTEM AND GET ALL PERMITS REQUIRED PRIOR TO THE INSTALLATION.
- EROSION CONTROL/DRAINAGE PLAN - SEE ATTACHED SITE GRADING PLANS, SHITS C-1 THRU C-3 & EROSION CONTROL PLAN, SHIT C-4.
- LIGHTING PLAN - SEE SITE LIGHTING ON SITE PLAN, THIS SHIT.
- LANDSCAPING PLAN - SEE ATTACHED LANDSCAPING AND IRRIGATION PLANS, SHITS L1 AND L2.
- ALL PARKING SPACES ARE NUMBERED AND DIMENSIONED, SEE SITE PLAN THIS SHIT.
- PROTECTION OF TRAFFIC FLOW AND OVERFLOW (NONVEHICULAR USE AND TRIPS) - THERE WILL BE A MAXIMUM OF ONE (1) DELIVERY SCOUTER TRIP PER TENANT EVERY TWO WEEKS, ONE (1) MID-SIZED TRUCK TRIP PER TENANT EVERY WEEK, AND TWO TRIPS PER TENANT EVERY DAY.
- LOCATION OF WELL AND SEPTIC - WELL IS LOCATED OFF-SITE, SEE ATTACHED SHIT. SEPTIC SYSTEM LAYOUT, SEE ATTACHED SHIT, SA.
- ELEVATION OF TRASH WALL ENCLOSURE - SEE TRASH ENCLOSURE PLAN AND DETAILS THIS SHIT.
- SIGNAGE - SEE SITE PLAN AND DETAIL #, THIS SHIT. PLAN AND DETAILS THIS SHIT.

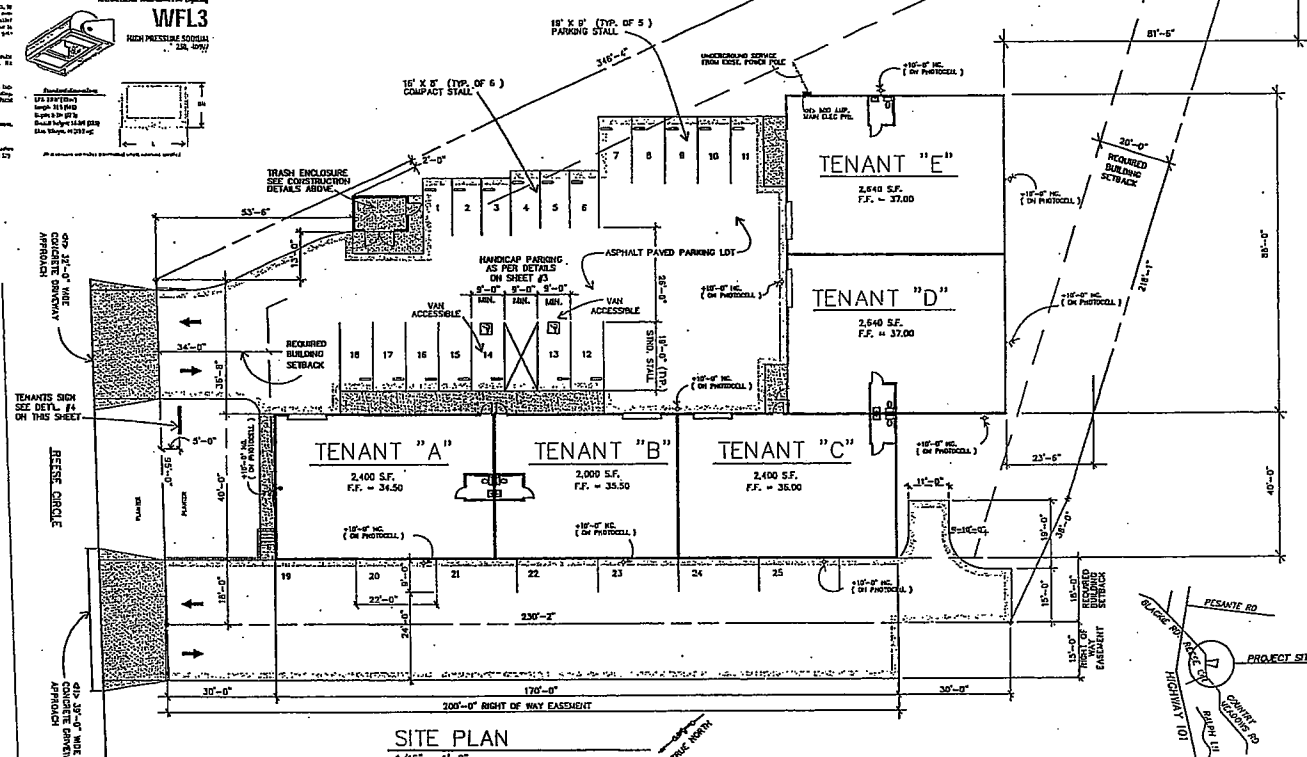
**PURCHMENT PROJECT DATA:**

- SITE ADDRESS - 10041 REESE CIRCLE SALINAS, CA 93907
- A.P.N. 153-022-025-000
- ZONING: L0-1F
- LOT SIZE - 43,390 SQ. FT. (1.00 AC)
- CITY, LOT USE - UNIT
- PROPOSED LOT USE - LIGHT COMMERCIAL (WAREHOUSE)
- FLOOR AREA 12,000 SQ. FT. (PROPOSED)
- PARKING RATIO: 1 SPACE PER 500 S.F. (12,000/500 = 24.16 SPACES)
- PARKING PROVIDED: 25 SPACES (INCL. 2 HANDICAP SPACES)
- CONSTRUCTION TYPE - V-H (NON-SPRINKLERED)
- OCCUPANCY GROUP - WAREHOUSE (11-3)
- LANDSCAPING: 1000 LOT AREA (43,390 SQ. FT.) - 4,354 S.F. PROVIDED - 43,540/24,153 = 1.86 (18.6%)

**PURCHMENT SITE DATA:**

- NO TREES TO BE REMOVED
- SEWER DISPOSAL SYSTEM (1,500 GAL. & 1,500 GALLUPH CHAMBER)
- SITE GRADE OUT - 240 C.Y.
- SITE GRADE FILL - 240 C.Y.
- BUILDING HEIGHT - 18'-0"

TABLE I (SPACE USES ALLOWED)	
1.	APPLIANCE REPAIR
2.	AUTOMOTIVE REPAIR
3.	HEATING, AIR CONDITIONING, ELECTRICAL SHOP
4.	MANUFACTURING (I.e., CRAFT SHOP FOR THE MANUFACTURE OF ART, JEWELRY, SILVERWARE, CERAMICS, LEATHER GOODS, TOYS, BOOKBINDING, EDITORIAL AND DESIGNING, PRINTING, LITHOGRAPHY AND MANUFACTURE OF CLOTHING)
5.	RETAIL, LARGE ITEM (I.e., APPLIANCE STORES)
6.	RETAIL SALES WHICH ARE ACCESSORY AND INCIDENTAL TO THE MAIN USES PERMITTED IN THIS DISTRICT, PROVIDED THAT THE SALES AREA DOES NOT EXCEED 25% OF THE FLOOR AREA OF THE STRUCTURE HOUSING THE SALES FACILITY.
7.	OTHER LIGHT INDUSTRIES OF A SIMILAR CHARACTER, PROVIDED THAT NONE OF THE USES PRODUCE UNDESIRABLE, DUST, SMOKE, NOISE OR OTHER DISCREETABLE EFFECTS.



SITE PLAN  
1/16" = 1'-0"

GENERAL DEVELOPMENT PLAN

VICINITY MAP  
NO SCALE

REVISIONS

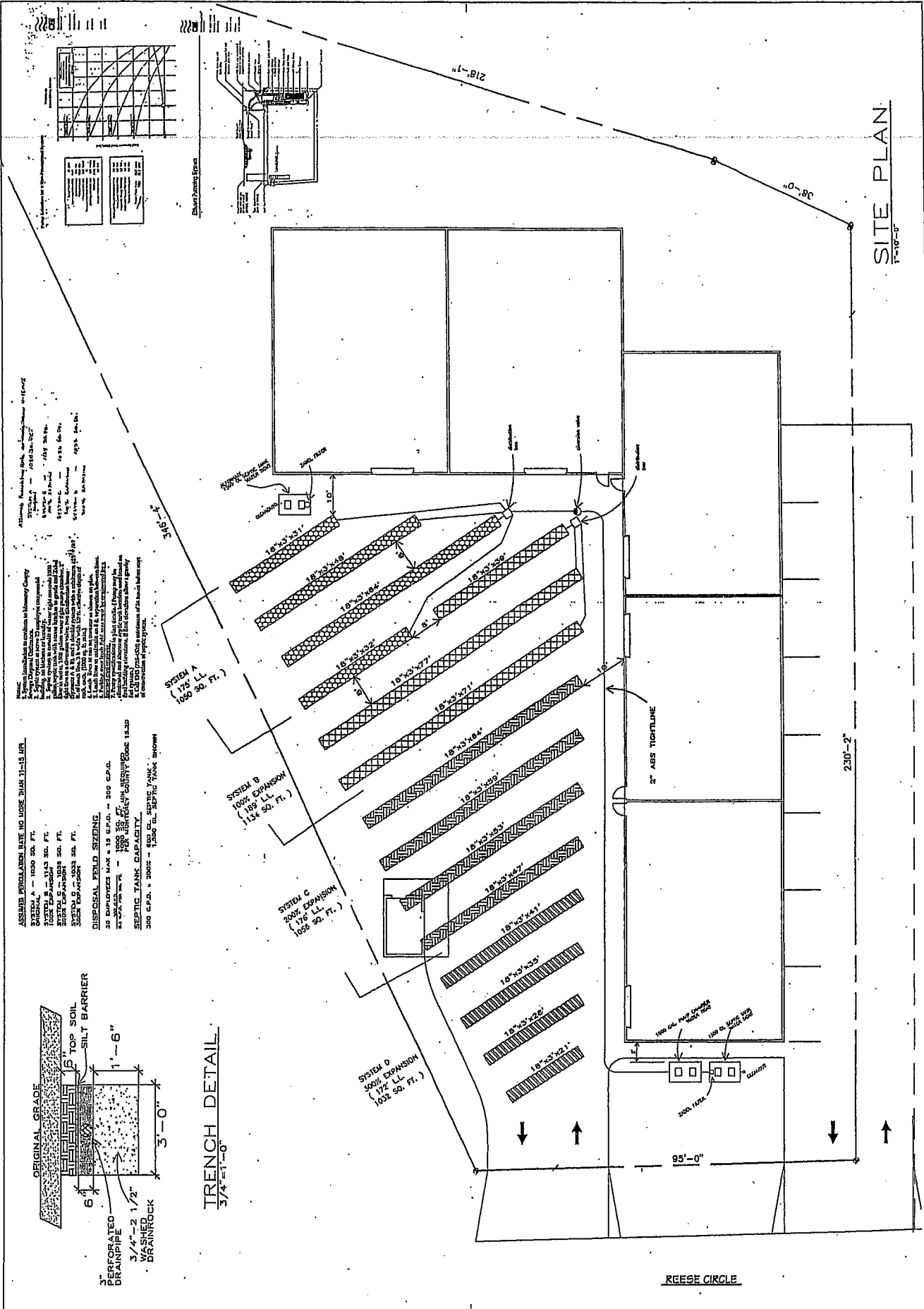
NO.	DATE	DESCRIPTION
1	03-03-03	AS NOTED
2	03-03-03	AS NOTED
3	03-03-03	AS NOTED

1. SITE PLAN TRASH ENCLOSURE DETAILS

**A.Q. DESIGNS**  
Professional Engineer  
(817) 424-5101  
Arturo Quiñero

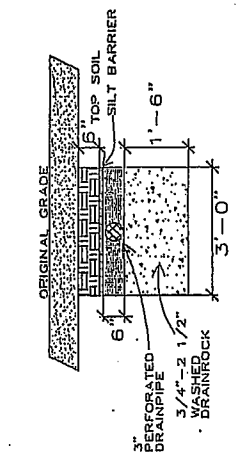
SITE IMPROVEMENTS (METAL BLDG. WAREHOUSE)  
FOR: MR. TONY VILLAFRANCA  
10041 REESE CIRCLE SALINAS, CA.  
(817) 424-3878 9.1507  
APN. 125-022-025-000

SHEET 1



ASSUMED PERCOLATION RATE NO LOWER THAN 11-15 H.P.  
 SYSTEM A - 1100 SQ. FT.  
 SYSTEM B - 1143 SQ. FT.  
 SYSTEM C - 1000 SQ. FT.  
 SYSTEM D - 1000 SQ. FT.  
 DISPOSAL FIELD SIZING  
 300 G.P.D. x 3000' = 900,000 G.P.D.  
 1100 G.P.D. x 3000' = 3,300,000 G.P.D.  
 1143 G.P.D. x 3000' = 3,429,000 G.P.D.  
 1000 G.P.D. x 3000' = 3,000,000 G.P.D.  
 1000 G.P.D. x 3000' = 3,000,000 G.P.D.

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 1000 G.P.D. x 3000' = 3,000,000 G.P.D.



SITE PLAN  
 1:10'-0"

**RECOMMENDED GRADINGS SPECIFICATIONS**

These Recommended Grading Specifications For Earthwork are for shaping the site to the grades and contours shown on the approved plans. In general all earthwork should be performed in accordance with these specifications, the foregoing report, standard practice and applicable ordinance requirements.

**ET1 General Description**

- This item shall consist of all clearing and grubbing, preparation of land to be filled, excavation and fill of the lots, spreading, compaction and control of the fill, and all subsidiary work necessary to complete the graded areas to conform with the lines, grades and slopes as shown on the approved plans.
- The Contractor shall provide all equipment and labor necessary to complete the work as specified herein, as shown on the approved plans as stated in the project specifications.

**ET2 Tests**

- The standard test used to determine maximum densities of all compaction work shall be the A.S.T.M. D-1557, Maximum Density of Soils, using a 10-pound rammer and 10-inch drop. All densities shall be expressed as a relative density in terms of the maximum density obtained in the laboratory by foregoing standard procedure.
- In-place density shall be determined by Test Methods A.S.T.M. D-1556, Density of Soil in Place by Sand Cone Method and D-2922, Density of Soil in Place by Nuclear Method.

**ET3 Clearing, Grubbing and Preparing Areas To Be Excavated Or Filled**

- All vegetable matter, intractable material greater than 4 inches and other deleterious materials shall be removed from the area in which grading is to be done. Such materials not suitable for reuse be disposed of as directed.
- After the foundation for fill has been cleared, it shall be brought to the proper moisture content by adding water or coring and compacting to a relative density of not less than 70% or as specified. The soils shall be tested to a depth sufficient to determine equality and shall be approved by the Soils Engineer for foundation purposes prior to placing engineered fill.

**ET4 Materials**

- The material for engineered fill shall be approved by the Soils Engineer before commencement of grading operations. Any imported material must be approved for use before being brought to the site. The material used shall be free from vegetable matter and other deleterious materials.
- Imported materials for engineered fill shall consist of nonexpansive soil with maximum aggregate size of 4 inches, a PI less than 15 and/or a Co greater than 4 and shall be approved by the engineer.

**ET5 Piling, Spreading and Compacting Fill Materials**

- The selected fill material shall be placed in layers which when compacted, shall not exceed 6 inches in thickness. Each layer shall be spread evenly and shall be thoroughly mixed during the spreading to ensure uniformity of material in each layer. Fill shall be placed such that cross fall does not exceed 1 foot in 20 unless otherwise directed.
- All fills on slopes greater than 1 vertical to 6 horizontal shall be keyed into the adjacent soil.
- When fill material includes rock or concrete rubble, no predictable material larger than 4 inches in greatest dimension will be allowed except under the direction of the Soils Engineer.
- The moisture content of the fill material shall be maintained in a suitable range to permit efficient compaction. The Soils Engineer may require adding moisture, aerating or blending of wet and dry soils.
- Each layer shall be compacted to a relative of not less than 90% relative density or as a specified in soils report and on the accepted plans. Compaction shall be continuous over the entire area of each layer.
- Field density test shall be made by the Soils Engineer of each compacted layer. At least one test shall be made for each 1000 cubic yards or fraction thereof, placed with a minimum of five tests per layer in belted areas. Where a sheep-foot roller is used, the soil may be disturbed to a depth of several inches. Density tests shall be taken in compacted materials below the disturbed surface. When these tests indicate that the density of any layer of fill or portion thereof, is below the required density, that particular layer or portion shall be reworked until the required density has been obtained.
- All earth moving and work operations shall be controlled to prevent water from running into excavated areas. All such water shall be promptly removed and the site kept dry.

**ET6 Seasonal Limits**

- When the work is interrupted by rain, fill operations shall not be resumed until field tests by the Soils Engineer indicate that the moisture content and density of the fill is as previously specified and soils to be placed are in suitable condition.
- No clearing or grading shall occur between Oct. 15 and April 15 unless authorized by the Director of Planning & Building Inspection.

**ET7 Unusual Conditions**

- In the event that any unusual conditions are encountered during the grading operations which are not covered by the soil investigation or the specifications, the Soils Engineer shall be immediately notified such that additional recommendations may be made.

**SPECIFICATIONS FOR EROSION CONTROL**

Erosion Control Measures shall be in place at the end of each day's work between October 15 and April 15.

**ER1 General Description**

- The design of erosion protection features should be appropriate for the project and should consider the topographic and hydrologic features of the site. It is important to minimize grading of or near steep slopes. Distributing native vegetation and natural soil structures across runoff velocity and transport of sediments be minimized.
- The final plan should maintain runoff rates at or below pre-development levels. Runoff from post-development impervious structures should be disposed of on site through percolation of collected waters into the soil by means of percolation trenches intended for storm runoff only.
- If retention/percolation is not possible, post-development generated runoff should be detained in on site basins and released in a controlled fashion. Runoff flows should be directed into pipes or lined ditches and then onto an energy dissipator to reduce the hydraulic gradient before discharging the runoff into streams or drainage ways.
- Detention of runoff may take form of silted basins, gravel berms, turf or vegetation screens, reforestation, etc.
- Free-flowing storm runoff should never be directed to septic tank system leach fields. Discharge should be carried through a leach field area in closed conduit or lined surface drain.

**ER2 Materials Storage**

- During construction, never store cut and fill material where it may wash into streams or drainage ways. Should weather threaten the stored materials, they should be covered with plastic or appropriate retention facilities provided for the detention of the storm water prior to release.
- Keep all culverts and drainage facilities free of silt and debris. Keep emergency erosion control materials such as straw mulch, plastic sheeting and sandbags on site and install these at the end of each day as necessary.

**ER3 Re-vegetation and Planting**

- Re-vegetate and protect exposed soils by October 15. Use appropriate grassing/seeding seed mixes and/or straw mulch for temporary cover. Plant permanent vegetation to include native and drought tolerant plants. Seeding and re-vegetation may require special soil preparation, fertilizing, irrigation and watering.
- In the absence of an Erosion Control Plan, the work will be protected in accordance with the appropriate ordinance, regulation and/or standard practice, whichever provides satisfactory erosion protection. Fixing and erosion control measures shall be in place at the end of each day's work and shall include the following:

- Silt fences below all potential drainage areas.
- All non disturbed soil areas shall be bordered by straw burlap on the down slope side.
- Surface drainage shall be directed to siltation ponds.

**Hydro-Seeding**

Erosion Control (Type D) Type D erosion control shall conform to the provisions in Section 22, "Erosion Control and Highway Planting" of the Standard Specifications and these special provisions. The work shall consist of hydro-seeding erosion control material consisting of a mixture of stabilizing erosion fiber, seed, commercial fertilizer and water to embankment slopes and excavation slopes.

Erosion control shall be applied to all disturbed areas with the finished area and adjacent to the roadway shoulders. Seed shall consist of the following:

Botanical Name	Percentage (Percent)	Pounds Per Acre
Lolium Hilliforme (Annual Ryegrass)	91	55
Avena Sativa (Sierra Oats)	91	40
Dactylis Glomerata (Orchard Grass)	40	25
Echinochloa Californica (California Poppo)	40	25
Lophys Stenoloba (Average Legume)	91	60

The erosion control (Type D) materials shall be mixed and applied in approximately the following proportions:

Material	Per Acre (Slope Measurements)
Fiber	1500 pounds
Seed	200 pounds
Commercial fertilizer	400 pounds
Water	As needed for application
Stabilizing emulsion	As recommended by manufacturer

**ADDITIONAL GRADING NOTES**

- ALL GRADING SHALL CONFORM TO MONTEREY COUNTY GRADING ORD. 1988 AND BODOR CONTROL ORD. 1908.
- CUT AND FILL SLOPES NOT EXCEED 3:1.
- COMPACTOR ON ALL HOUSE PADS SHALL BE A MINIMUM OF 4000. ALL COMPACTOR TESTS AND FINAL GRADING REPORTS SHALL BE SUBMITTED TO THE COUNTY PRIOR TO ANY INSPECTIONS. PADS SHALL BE CERTIFIED BY SURVEYOR TO BE WITHIN 0.1 FT. OF DESIGN GRADE.
- A COPY OF ALL COMPACTOR TESTS AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE COUNTY PRIOR TO SCHEDULING ANY INSPECTIONS.

All Grading & Paving shall be done in conformance with the recommendations contained in the report by Ericc Engineering, Inc., dated August, 2000.

**REVISIONS**

NO.	DATE	DESCRIPTION

MONTEREY COUNTY SURVEYORS, INC.  
 208 J. J. HARRIS STREET  
 SAN JUAN, CALIF. 95040  
 A PROFESSIONAL CORPORATION



**SITE GRADING PLAN**  
 AS SHOWN ON THE MAP FILED IN V&A, OR PARCEL MAPS AT PG. 40 OF PARCELS 3 & 4, HIGHLAND STREET, HIGHLAND, CALIF. COUNTY OF MONTEREY, STATE OF CALIFORNIA.  
 TONY VILLAFRANCA

DATE  
**TONY VILLAFRANCA**  
 360 E. 18th St.  
 Salinas, CA 95075  
 559-4664  
 10241 Reese Circle  
 Salinas, CA 95107  
 APN 125-022-025

Approved for construction, Date: \_\_\_\_\_  
 Harold E. Girco RCE 19424

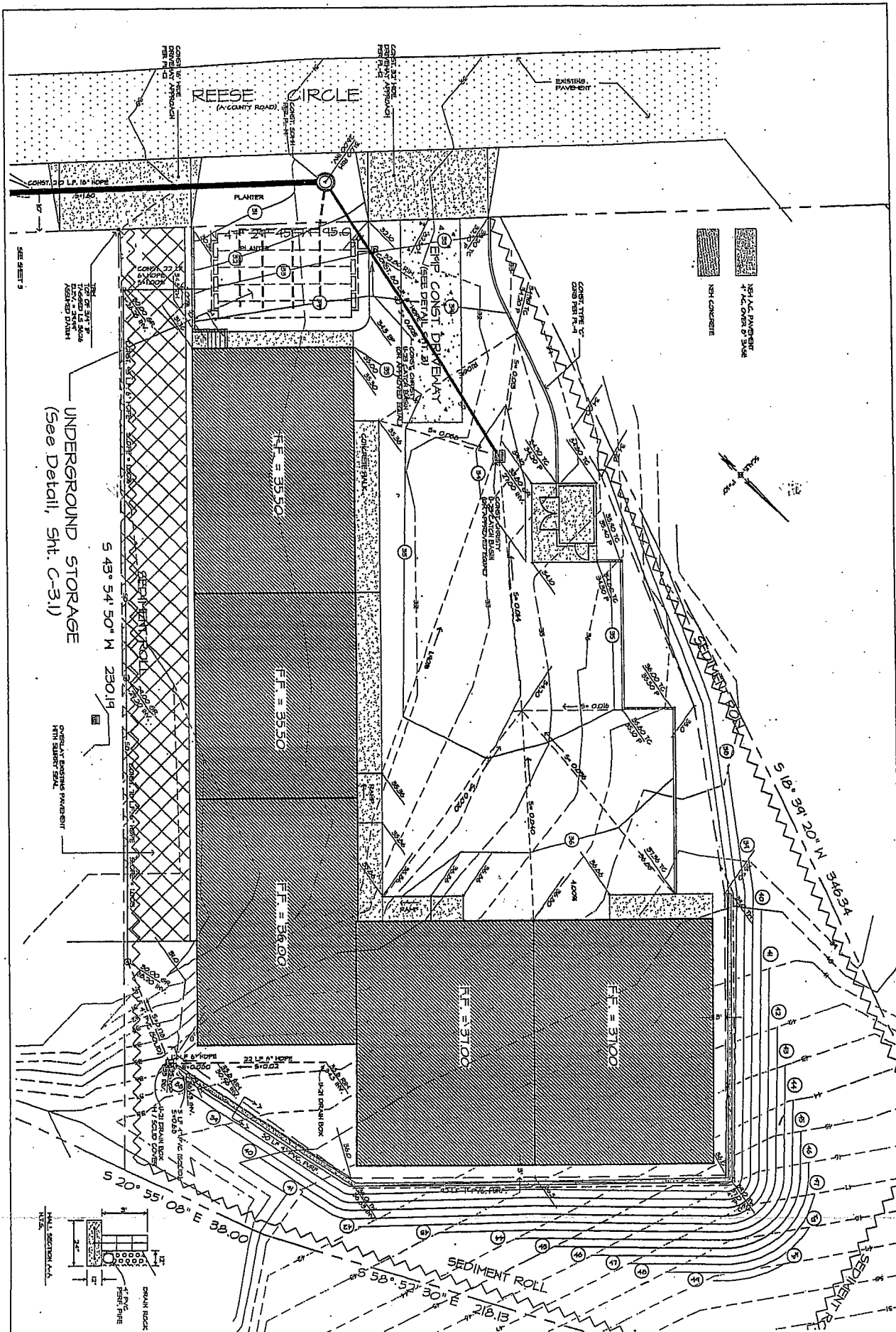
**UNAUTHORIZED CHANGES & USES:**  
 The engineer preparing these plans will not be responsible for or liable for, unauthorized changes to or use of these plans. All changes to the plans must be in writing and must be approved by the engineer of these plans, and the Monterey County Department of Public Works.

DATE: 10/22/04  
 SCALE: 1"=10'  
 DRAWN BY: MCH Y  
 CHECKED BY: \_\_\_\_\_  
 DATE: 10/22/04  
 PLOT









DATE	NOV 20 2008
SCALE	AS SHOWN
PROJECT	EROSION CONTROL
CLIENT	TONY VILAFRANCA
DESIGNED BY	MONTEY
CHECKED BY	MONTEY
DATE	NOV 20 2008

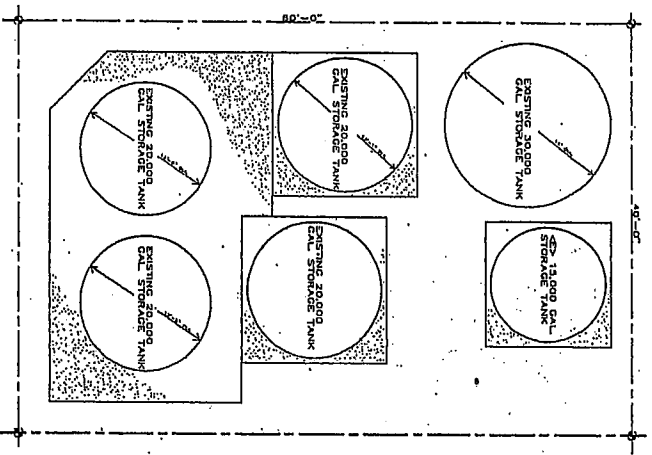
**EROSION CONTROL PLAN**  
 OF PARCEL 5 AS SHOWN ON THE MAP FILED IN VOL. 16 OF PARCEL MAPS AT PG. 40  
 IN THE RANGE 02.54 NEMA T'WORLD 02.0 COUNTY OF MONTEREY, STATE OF CALIFORNIA,  
 made for  
**TONY VILAFRANCA**



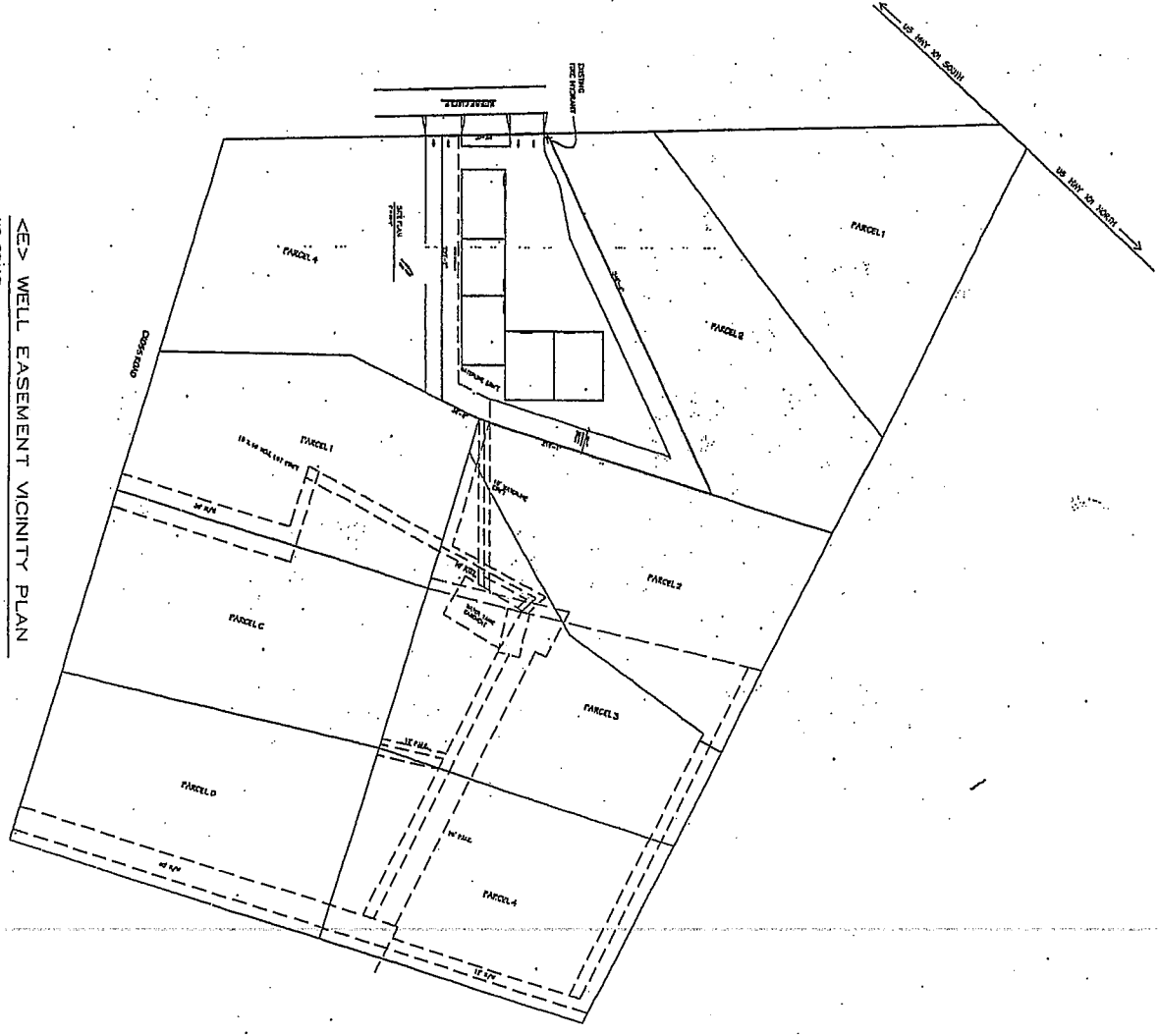
MONTEREY COUNTY SURVEYORS, INC.  
 225 SALINAS STREET SALINAS, CA 95012  
 (831) 424-1084 FAX (831) 424-1094  
 email: MCSURCAT@AOL.COM

PROVISIONS

◀E> STORAGE TANK LAYOUT PLAN  
NO SCALE



◀E> WELL EASEMENT VICINITY PLAN  
NO SCALE



2B

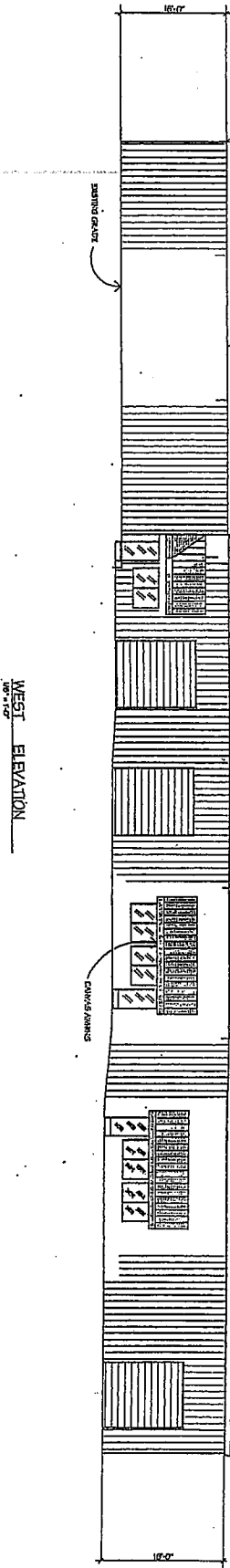
SITE IMPROVEMENT (METAL BLDG, WAREHOUSE)  
FOR MR. TONY VILLAFRANCA  
10041 HERSH CIRCLE BALHAS, CA  
(831) 419-3370  
APL = 125-022-025-000



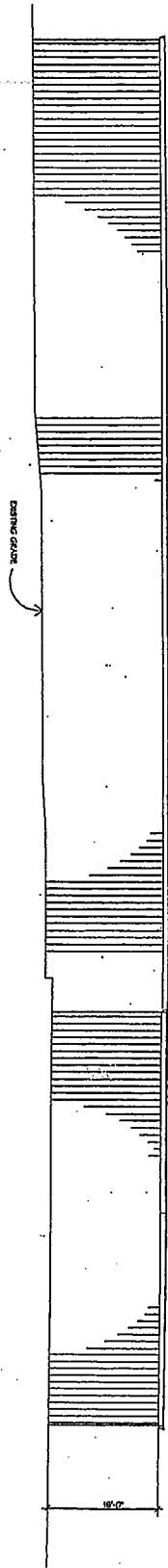
**A.O. DESIGNS**  
Professional Drafting Consultant  
(831) 424-6181  
Arturo Quiñero 233 17th Street, Suite 101, San Diego, CA 92103

1. ◀E> WELL EASEMENT VICINITY MAP  
1. ◀E> STORAGE TANK LAYOUT  
DATE: 8-03-05  
BY: AS NOTED  
JOB: 25-77

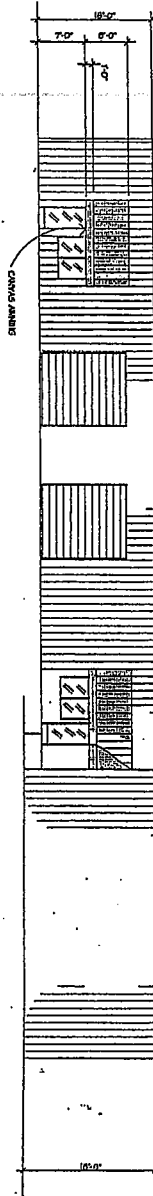
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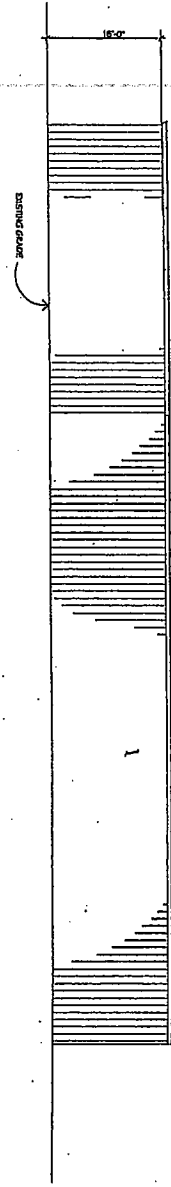
EAST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION



**EXTERIOR FINISH SCHEDULE**

1	ROOF SLOPE	1/4" x 1/2"
2	ROOF OVERHANG	NONE
3	EXPOSURE LAYER	CONCRETE
4	ROOF CENTER	PAINTED 6" x 6" SHEET METAL
5	EXTERIOR FINISH	PAINTED CONCRETE
6	WINDOW FRAMES	ALUM. ANGLE

1  
5

SITE IMPROVEMENTS ( METAL BLDG. WAREHOUSE )  
 FOR: MR. TONY VILAFRANCA  
 10041 KEEBE CIRCLE SALINAS, CA 95077  
 (831) 448-3678  
 APN: 125-022-025-000



**A.Q. DESIGNS**  
 Professional Drafting Consultants  
 (831) 424-9191  
 Arturo Quintana

1. EXTERIOR ELEVATIONS  
 8-03-03  
 AS NOTED  
 23-77

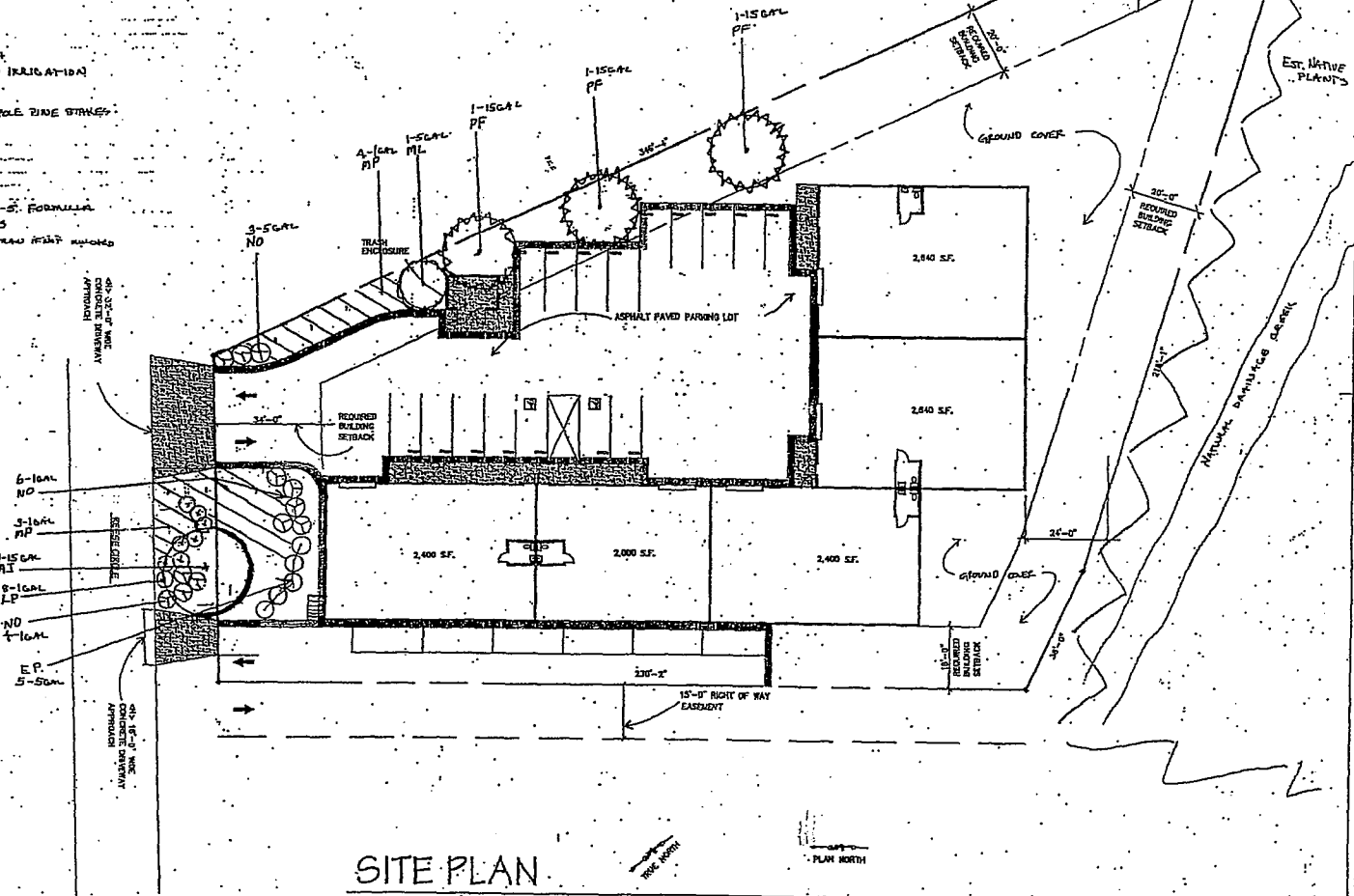
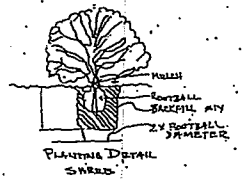
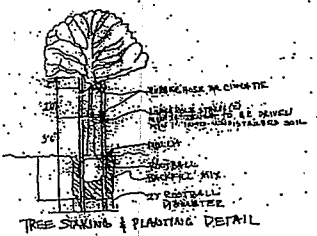
DATE  
 BY

# PLANT LEGEND

BOTANICAL NAME	COMMON NAME	QTY SIZE
MT. AFRICA JALIBRENSIS	SINK TREE	1-15 GAL
EP. EUCNOPS PECTINATUS	SEA LAVENDER	6-5 GAL
LP LIMNODIUM PEREGRINUM	SEA LAVENDER	8-1 GAL
ML MIMODIUM LAEVLUM	SEA LAVENDER	1-5 GAL
MP MYRTILLUM VACCINIIFOLIUM	SEA LAVENDER	1-10 GAL
ND NEROLIUM OLIVACEUM	SEA LAVENDER	10-1 GAL & 3-5 GAL
PE POPULUS FREAXIUM	WESTERN COTTONWOOD	3-15 GAL

# NOTES

1. PLANTING AREA TO BE COVERED W/ 3" MULCH
2. ALL NEW PLANTING TO BE IRRIGATED W/ DRIP IRRIGATION
3. USE GOOD PLANTING TECHNIQUES
4. TREE STAKING:
  - A. ALL TREES TO BE STAKED W/ 2-2 1/2" x 10' LOGGABLE PINE STAKES
  - B. TREE TIES:
    - 1. SHALL BE PLASTIC CHAIN-TIES
    - 2. PLANT BACKFILL MIX:
      - 3/4 NITROGENOUS
      - 1/4 SHAVINGS
    - 3. EXHAUSTED SOIL
    - 4. MIX TOPSOIL W/ 1/2 BERESE PLANTING & 1 PART 20-10-5 FERTILIZER
    - 5. FERTILIZER TABLETS (CAGEPOD) @ 210 G. GALLONS
  - 5. ALL SOIL DISTURBED BY CONSTRUCTION OVER LIFESPAN MUST BE MIXED
  - 6. FERTILIZER TO BE INSTALLED PRIOR TO OCCUPANCY



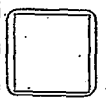
# SITE PLAN

1/16" = 1'-0"

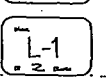
REVISIONS	BY

DATE: 25-17  
 DRAWN BY: [Signature]  
 CHECKED BY: [Signature]  
 DATE: 5-25-02

LANDSCAPE ARCHITECT  
 SUSAN COCHRANE - LANDSCAPE DESIGN  
 930 CREEK W. #111  
 S. PALM BEACH, FL 33401 PH: 757-7601



LANDSCAPE PLAN  
 MR. TONY VILLAFRANCA  
 1001 W. W. B. BLVD.  
 SUITE 100  
 PALM BEACH, FL 33407



## LEGEND

- WATER CONTROL VALVE (WALL MOUNTED)
- SHAW FLOOD BODY (12" APPROX. EQUAL, WITH GATE BACK ON 1) DISCONNECT
- WATER STOPVAL WITH REMOVABLE PISTON AND HANGING FLANGE
- FIVE - 1/2" BRASS BALL VALVE
- FIVE 1/2" PVC BALL VALVE
- WATER STOPVAL WITH POP ACTION
- WATER OF FIVE GPM POP ACTION
- 1/2" BRASS PIPING
- 1/2" BRASS PIPING LITERAL LINE
- 1/2" BRASS PIPING SLACK
- 1/2" BRASS PIPING FOR DRAIN COVER

- FIVE 1/2" BRASS BALL VALVE
- FIVE 1/2" PVC BALL VALVE

## SPECIFICATIONS

THE DRAINAGE OF IRRIGATION PIPING SHALL BE DONE BY GRAVITY PLUMBED AND THE PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

1. ALL IRRIGATION PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

2. ALL IRRIGATION PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

3. ALL IRRIGATION PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

4. ALL IRRIGATION PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

5. ALL IRRIGATION PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

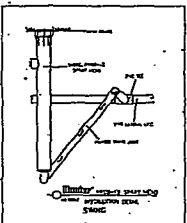
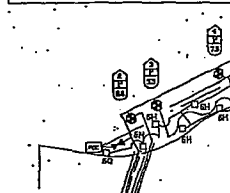
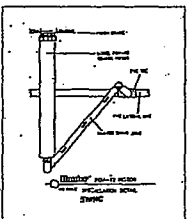
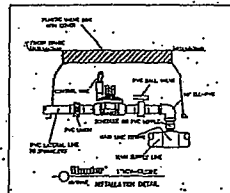
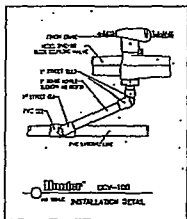
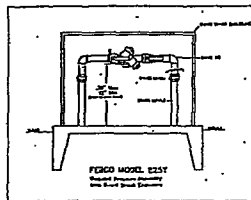
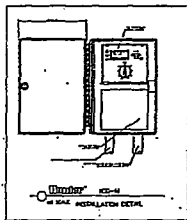
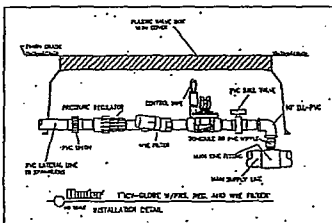
6. ALL IRRIGATION PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

7. ALL IRRIGATION PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

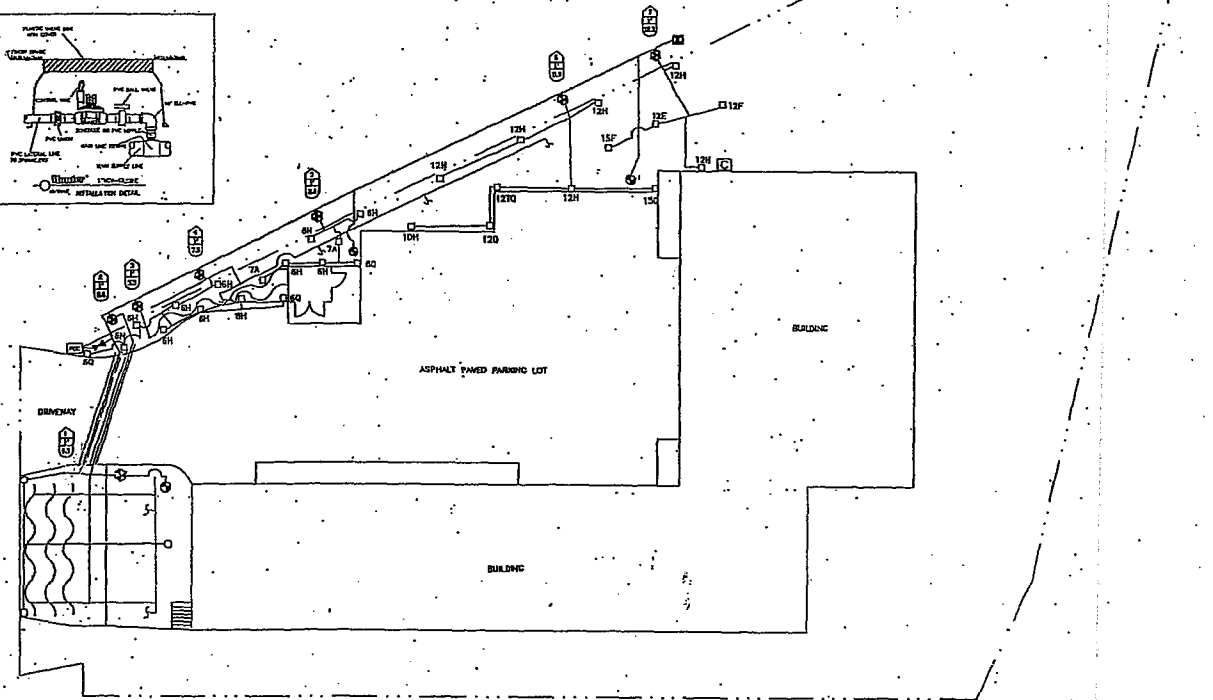
8. ALL IRRIGATION PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

9. ALL IRRIGATION PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

10. ALL IRRIGATION PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:



- \* How long to water
- 15 min per day, 1st week
- 1 hour per week, first 2 months
- then water when needed
- If a plant wilts put another wicklet at its base or change to a larger emitter.
- If several plants wilt leave water on longer or longer on line.
- Do not get crown of plant or tree wet. Place emitters between drip line and tree base.



REVISED BY	
SURF COVERAGE IRRIGATION DELIVER	
930 GRESPI WAY	
SAN JUAN CA 92081	PH 757-7621
MR. TOMMY VILLAFRANCA	IRRIGATION PLAN
LOCAL REESE, CA	
SAN JUAN CA 92081	PH 757-7621
DATE 12-12-02	
SCALE 1" = 16'	
DRAWN BY	
PAGE	2
OF	2

Scale 1" = 16'